

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

This letter is formatted with an auto fill date, so the date reflects the day I printed the letter for use with the July 2024 HDC application. The staff review was conducted on July 17, 2018.

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226
PHONE 313-224-6536
FAX 313-224-1310

~~June 20, 2024~~ 2018

CERTIFICATE OF APPROPRIATENESS

Mack Farr
West Village CDC
7900 Mack
Detroit MI 48214

RE: Application Number 18-5766; 1450 Seyburn; West Village Historic District

Dear Mr. Farr:

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Section 25-2-57(b) of the 1984 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA) which is effective as of ~~June 20, 2024~~.

Staff finds the work appropriate:

- Repair front porch concrete platform as needed. New concrete shall be tinted gray or finished with a clear curing compound to match existing concrete.
- Repair and tuck-point the existing front porch face brick. Reuse existing brick - should new brick be needed it shall match existing brick in dimension, color, pattern and profile.
- Rebuild front porch brick wing walls as needed. Historic bricks and stone caps to be reused and will be reinstalled within the existing footprint, height and design.
- Repair, and rebuild as needed, porch portico. Retain flat roof and roof overhang. Install two new square wood columns, flanking front stairs (per historic photograph). Dimensions and details for the top and bottom of the columns to be installed to match original detailing. Repair existing corner columns, add missing decorative details to match historic detailing. All will be painted to match the existing color (white).
- Install new concrete porch drain where original is no longer in place. Design of new will match the existing in dimension, and location.
- The existing asphalt shingle roof will be removed; a new asphalt shingle roof will be installed, color: Slate Gray.
- The existing gutters and downspouts will be removed and new aluminum gutters/downspouts installed, color: white.

per the submitted scope of work, as the projects meet the "Secretary of the Interior's Standards for Rehabilitation" Standard Number #6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

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The projects were approved with the following condition:

- A custom mortar mix will be used, and will match the historic mortar in composition, color, profile and dimension.

Please retain this Certificate of Appropriateness for your files. The Detroit Historic District Commission's approval and issuance of a Certificate of Appropriateness does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding this letter, please contact me at (313) 224-6543.

For the Commission:

Audra Dye
Staff
Detroit Historic District Commission

Bid Sheet (cont.)

	Qty	Price	Total
Remove Bricks, Repair all Damage, & Structural Wood <i>Color to match original</i>			
Replace Gutters Boards & Gutters <i>white</i>	1	\$1,800.00	\$1,800.00
Masonry Repair- Rear Side of House Replace all missing bricks, repair foundation and footing	1	\$2,500.00	\$2,500.00
Exterior Painting <i>Match original color</i>	1	\$1,200.00	\$1,200.00
Replace Porch Repair Cost Includes Roof Repair	1	\$4,000.00	\$4,000.00
Glass Block Window Installation	1	\$700.00	\$700.00
Deck Estimate-11x12 2 Story Enclosed Deck, Insulated & Dry-walled. Light Fixture, Flooring, & Windows	1	\$5,000.00	\$5,000.00
Forrer-18x6 Drywall, Paint, Light Fixture, Flooring, Build Closet	1	\$1,600.00	\$1,600.00
Replace sewage line from house to city If needed	1	\$1.00	\$1.00

*Porch Repair:
Repair foundation
Stabilize porch corner
Repair Decking
Replace corner Bricks*

Total: ~~\$49,811.00~~
39,811

*HDC#18-5766
AB-7/7/18*

