

STAFF REPORT: JUNE 14, 2023 REGULAR MEETING
APPLICATION NUMBER: 23-8389
ADDRESS: 1773 PARKER
HISTORIC DISTRICT: WEST VILLAGE
APPLICANT: DANNY DEROSE
PROPERTY OWNER: DANNY DEROSE
DATE OF PROVISIONALLY COMPLETE APPLICATION: MAY 22, 2023
DATE OF STAFF SITE VISIT: MAY 25, 2023

PREPARED BY: T. BOSCARINO

SCOPE: ERECT GARAGE

EXISTING CONDITIONS

1773 Parker is a two-and-a-half story, wood-sided house built in 1909. It faces east onto the street in the West Village Historic District. The house is comparable to the other houses on its block in age and scale. The house lacks ornamentation specific to a particular architectural style; its overall massing is consistent with that often found on Colonial Revival, Prairie, or Bungalow-inspired houses. A garage, likely alley facing, was built in 1918 and was demolished at an unknown date; a broken concrete slab remains.



May 2023 photo by staff.

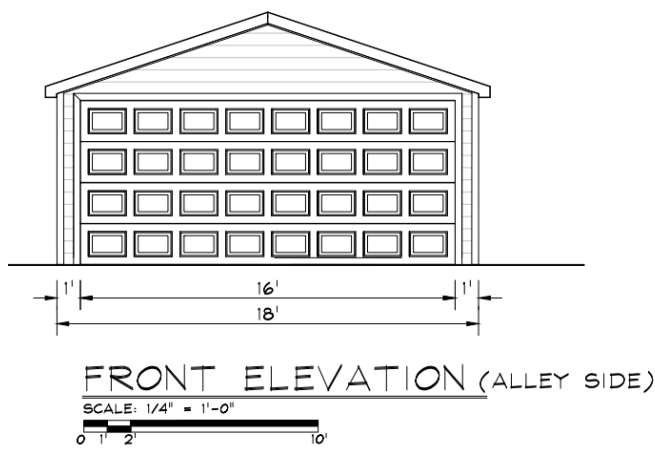
PROPOSAL

The applicant proposes to erect a garage. The garage is proposed to be 18 feet wide by 20 feet deep at the “exact location of garage that has been torn down.” It is a gable-roof building with a two-car, steel sectional door on the west (alley-facing) elevation and a pedestrian steel panel door on the north (side) elevation. The roof is to be

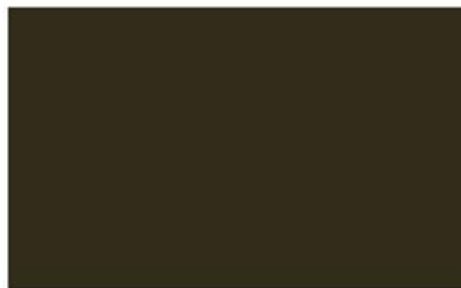
architectural shingles in Onyx Black and the siding is to be James Hardie plank siding closely matching B:14, Dark Greyish Olive from Color System E. Both the pedestrian door and garage door are proposed to be painted to match the siding.



Images from application showing existing conditions.



Proposed garage. Image from application documents.



B:14 Dark Grayish Olive
MS: 10Y 2/2

Proposed colors. Left image from application, right image from Color System E.

STAFF OBSERVATIONS AND RESEARCH

- The West Village Historic District was established by Ordinance 547-H in 1983. The Final Report for the

district states that it is “of historical importance as a benchmark to the growth of Detroit in the late nineteenth and early twentieth centuries,” implying a Period of Significance.

- The Elements of Design (Sec. 21-2-132) note:
 - Garages are typically alley-facing and located at the rear of the lot.
 - “Doors and shutters feature an array of colors, usually harmonizing with the main body of the house” and “Victorian buildings display freedom in use of color.”
- The garage’s massing, symmetry, and lack of ornamental detail are compatible with the house and comparable to other garages in the vicinity.
- The application does not provide measurements of the existing concrete slab, but staff visually estimates that it is approximately the same size as the proposed garage.
- Staff agrees that Color System E is appropriate, as the house is not clearly associated with a particular architectural style and Color System E offers the greatest flexibility and is appropriate for the Period of Significance.
- The color of the house is a dark red (approximately B:18 Dark Reddish Brown from Color System E) with light green trim (closest to, but noticeably brighter than, E:4 Grayish Yellow Green from Color System E). The proposed garage paint color introduces an additional color to the property.

ISSUES

- An image shown in the application documents depicts textured siding. Smooth siding is more appropriate as it matches the appearance of historic painted wood siding found on the house at 1773 Parker and other existing buildings in the West Village Historic District.
- The proposed material for trim and soffit panels is unclear in the application documents. James Hardie board is mentioned but it is not clear if this is proposed for the trim as well or just the siding.
- Buildings from the Period of Significance in West Village typically used contrasting color schemes. Color System E notes that trim should “contrast [with] body color.”

RECOMMENDATION

Section 21-2-78: Determinations of Historic District Commission

Staff recommends that the Commission issue a *Certificate of Appropriateness* for the proposed work as it meets the Secretary of the Interior’s Standards for Rehabilitation, with the following conditions:

- *The siding shall be smooth rather than textured.*
- *Trim and soffit panels shall be fiber cement (i.e., James Hardie) or wood.*
- *The trim and doors shall be painted a contrasting color selected from Color System E, selected from the house at 1773 Parker, or approved by staff.*