

**STAFF REPORT:** 6/14/2023 MEETING

**PREPARED BY:** D. RIEDEN

**APPLICATION NUMBER:** #23-8391

**ADDRESS:** 2108, 2120 & 2146 BURNS

**HISTORIC DISTRICT:** INDIAN VILLAGE

**APPLICANT:** GARY BROWNELL (OWNER)/ KEVIN ADKINS (ARCHITECT)

**PROPERTY OWNER:** GARY BROWNELL

**DATE OF PROVISIONALLY COMPLETE APPLICATION:** 05/22/2023

**DATES OF STAFF SITE VISITS:** 4/27/2021, 5/24/23

**SCOPE:** ERECT WORKSHOP/GARAGE BUILDING, ALTER LANDSCAPE

### EXISTING CONDITIONS

Erected in 1912, the 2-1/2 story, single-family is prominently located on the corner of 2108 Burns Street and Kercheval Avenue in the Indian Village Historic District. The home is situated toward the southern property line, leaving an expansive back yard space consisting of a second parcel at 2120 Burns. The home features elements of the English Revival architectural style, where the south-facing, front facade features (2) two, 2-1/2 story, front gable projections with articulated fascia boards. The home is clad in natural materials with a stucco finish on the first floor while the second floor and gables have a wood shake finish. In September 2020, the house was painted white without approval and has since received a COA to repaint the house in appropriate colors. However, the work has not yet been executed. Windows appear to have a majority of true divided lites intact. The garage next to the home has a simple, box-like massing, with a contemporary two-car, overhead garage door, which was previously approved by the HDC for demolition in May 2007. A 6' shadowbox wood fence occupies the south and east corners of the property, changing to a 6' black aluminum fence for the front and west sides of the property. The project site mostly occupies the footprint of the adjacent garage running east and north to the limits of the two property parcels.



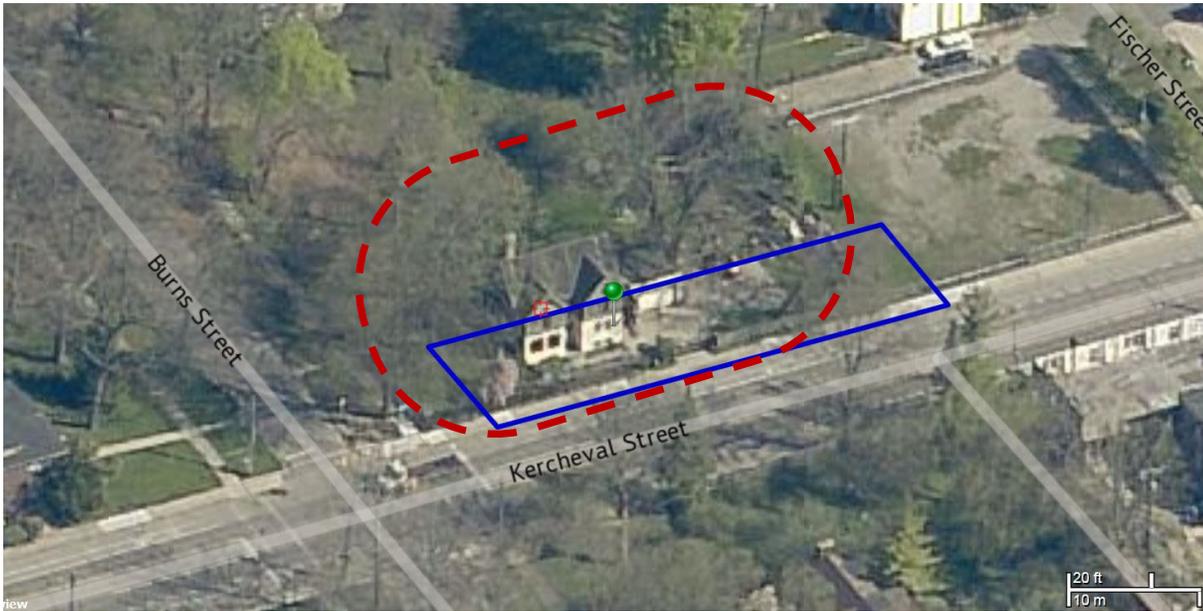
*Site Photo 1, by Staff May 24, 2023: front elevation facing southeast*



*Site Photo 2 by Staff May 24, 2023: garage demo and new construction site*

This property has the following violation and previous approvals:

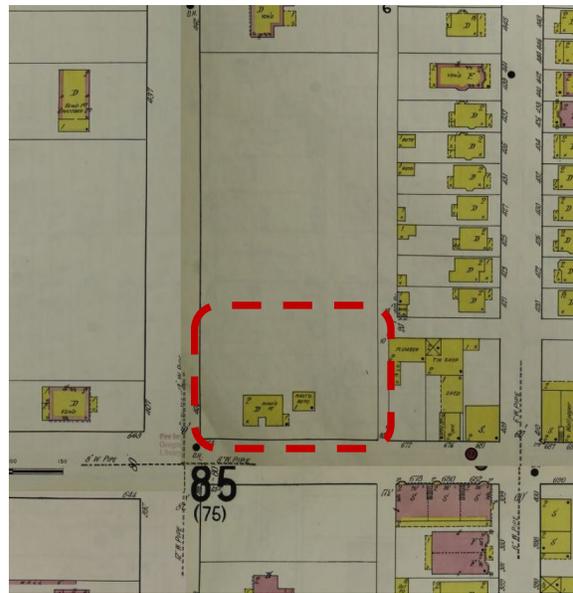
- Apr. 2000, COA: Paint trim, shingles and sash
- June 2001, COA: Replace asphalt shingles with cedar shingles, install rubber roofing on flat roof, install copper flashing, eaves, flashings, gutters.
- May 2007, COA: Replace and expand existing driveway.
- May 2007, COA: Demolish existing garage.
- Sept. 2020, Violation: House painted white without approval
- Oct. 2020, COA: Install skylights
- Oct. 2020, COA: Replace wooden privacy fence
- Dec. 2020, Denial: House painted white (without approval/permit)
- Dec. 2020, COA: Install brown, aluminum gutters and downspouts
- Feb. 2021, COA: Erect two new buildings on site, new pool, landscaping
- July 2022, COA: Paint existing house and new construction buildings



Aerial view, May 2020



Aerial of Parcel 17006165. 2108 and 2120 Burns



1915 Sanborn Maps. Note: address was 406 Burns.

**PROPOSAL**

The proposed project includes no work to the existing residence. Removal of an existing two car garage, previously approved, is shown as already removed in this application. This is a previously approved proposal by the Commission in May 2021. However, due to Board of Zoning Appeals (BZA) rejection of the previous plan and the subsequent significant changes to the plan, this proposal has been altered sufficiently to warrant a new review of the proposal. Most changes are reflected in the change of the building’s structure from two buildings into one, 1748 SF accessory structure, a.k.a. the workshop. Minor changes in the landscape plan are also noted below. Please see attached plans.

The list below highlights the changes from the previous proposal:

- The two accessory structures have been redesigned to be one accessory structure.

- The total square footage for the two accessory structures was 1837 sf and is now 1748 sf for the one proposed accessory structure.
- One accessory structure contained a guest suite. That has been removed and replaced with a hobby/exercise room.
- The accessory structures were located 29'-7" from the Kercheval property line and is now 29'-4" for the one proposed accessory structure.
- The accessory structures were located 9'-7" from the east property line and is now 18'-8" for the one proposed accessory structure.
- The accessory structures were 23'-0" in height to the ridge and the two wings of the one proposed accessory structure is 21'-1" in height.
- The accessory structures were 21'-8" wide each and the two wings of the one proposed accessory structure are 19'-4" wide.
- There were ten (10) skylights for the two accessory structures and there are now six (6) for the one proposed accessory structure.
- The proposed accessory structures and cabana had a black metal roof where they now have black shingle roof with metal at the front canopy and the connector hall.
- The raised patio at the rear of the house is unchanged.
- The shape and size of the pool is unchanged.
- The cabana no longer has the bump out to the east which was an outdoor shower enclosure.
- The previous submittal specified C4 and B19 colors and the current proposal specifies D1 brick and stucco and B19 trim.
- The planting plan has been altered to allow for open sight lines at the corner of Burns and Kerchaval to satisfy one of the conditions of the previously approved planting plan: the proposed tall evergreens were replaced with a low growing perennial bed.

## STAFF OBSERVATIONS AND RESEARCH

- Indian Village Historic District was established in 1970. Its Elements of Design (Sec. 21-2-103) provide the following guidance for new construction and the landscape:
  - *"Height... Additions to existing buildings shall be related to the existing structure. New buildings shall meet the following standards: a. The eight adjoining houses on the same face, excluding any houses built since 1930, churches, schools and commercial structures, shall be used to determine an average height... The level of the eaves of a proposed new structure having as much or more significance for compatibility as the room height, an average eave or cornice height shall be determined by the same process provided for in Subsection (c)(1)a of this section. The proposed new structure shall have a height at the eaves or cornice, of not less than 90 percent of the average determined from existing structures, and in no case shall the eaves or cornice of the proposed structure be lower than the lowest eave or cornice height used in the computation, or higher than the highest."*
  - *"Proportion of buildings' front façades. Proportion varies in the district, depending on age, style, and location in a specific subdivision. Height being established by the standards in Subsection (c)(1) of this section; proportion will be established by permitting no proposed building or addition to create a front façade wider or narrower than those existing on the same block."*
  - *"Proportion of openings within the façade. Window openings are virtually always taller than wide; several windows are sometimes grouped into a combination wider than tall. Window openings are always subdivided, the most common window type being guillotine sash, whose area are generally further subdivided by muntins. Façades have approximately 15 percent to 35 percent of their area glazed..."*
  - *"Rhythm of solids to voids in front façades. In buildings derived from classical precedents, voids are usually arranged in a symmetrical and evenly spaced manner within the façade. In*

*examples of other styles, especially those of Neo-Tudor and Victorian substyles, voids are arranged with more freedom, but usually is a balanced composition.”*

- *“Rhythm of spacing of buildings on streets. The spacing of the buildings is generally determined by the setback from the side lot lines; these tend to be consistent, even though lot width may vary...”*
- *“Relationship of materials. The majority of the buildings are faced with brick, while many are partially or totally stucco. There are some stone buildings; clapboard is rare, and almost never the sole material. Wood shingle is occasionally used as a wall covering, usually at the second floor level, and never as the sole material. **Roofing includes slate, tile, and wooden and asphalt shingles.** Stone trim is common. Wood is almost universally used for window frames and other functional trim, and is used in many examples for all trim.”*
- *“Relationship of textures. The most common relationship of textures in the district is that of the low-relief pattern of mortar joints in brick contrasted to the smooth surface of wood or stone trim. The use of stucco or concrete, with or without half-timbering, as a contrast to brick surfaces is not unusual. Tile, slate, or wood shingle roofs have particular textural values where they exist. Asphalt shingles, generally, have little textural interest, even in those types which purport to imitate some other variety.”*
- *“Relationship of colors. Natural brick colors (red, yellow, brown, buff) predominate in wall surfaces. Natural stone colors also exist. Where stucco or concrete exists, it is usually left in its natural state, or painted in a shade of cream. Roofs are in natural colors (tile and slate colors, wood colors) and asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style.”*
- *“Relationship of roof shapes. Roofs with triangular gables and hip roofs predominate...”*
- *“Walls of continuity. The major wall of continuity is created by the buildings with their uniform setbacks within the blocks. New buildings should contribute to this wall of continuity...”*
- *“Relationship of significant landscape features and surface treatment. The typical treatment of individual properties is a flat front lawn area in grass turf, often subdivided by a walk leading to the front entrance, and sometimes with a walk at the side leading to the rear. Materials for such walks are concrete, brick, or stone, or combinations of those materials... Straight side driveways leading from the street to rear garages exist, but alley-facing garages are common... Driveway materials include concrete, brick and gravel. Side lots are not uncommon in the district, and a number of these form a part of the original site plan for the residence. Such side lots are usually landscaped, often fenced at or near the setback line, and very occasionally contain paved areas such as a tennis court...”*
- *“Scale of façade and façade elements... Window sashes are usually subdivided by muntins, which affect the apparent scale of the windows within the façades.”*
- *“Degree of complexity within the façade. The degree of complexity has been determined by what is typical and appropriate for a given style. The classically inspired buildings usually have simple, rectangular façades with varying amounts of ornamentation...”*
- *“Orientation, vistas, overviews. While most of the buildings are oriented toward the street, it is not unusual for an entrance to face the side, especially in the case of a landscaped side lot or corner house. The street façade in these cases is well coordinated with the rest of the street façades. Garages are frequently oriented either toward an alley or a side street; almost all garages are detached and at the rear of the lot. In those few cases where pre-1930 houses have attached garages, they are at the rear and are entered from the side or rear. The doors of such attached garages are generally not visible from the street.”*
- The scale and location of the proposed construction plan as presented in the application material does not remove or alter distinctive features or finishes of the property, nor are they in conflict with the elements of design of the Indian Village Historic District.
- The proposed elevations, rooflines and locations of the new construction appear to be harmonious with the existing house and has little or no negative impact to sightlines towards the property.

- The scale of the proposed building is deferential to the scale of the house and appears to be a modern interpretation of the informal, vernacular character of English Revival homes. Design elements such as the stucco and brick siding, stained cedar siding, and roof pitch reflect a relationship of scale and material of existing architectural features of the home in a naturalized, less formal composition appropriate to the English Revival character of the property. Details such as the matching black trim/argeboard roofs, for example, show a strong relationship with the second-story, black trim/argeboard of the house.
- The roof material on the “connector” portion changes from asphalt to metal. The Elements of Design, as shown above, does not list metal roof material. Staff proposes that a more appropriate alternative would be to have the roof as one material, ie., asphalt shingles, to be more harmonious with the buildings two wings. Staff had previously suggested that to preserve the original design intent, the connector should be de-emphasized. However, metal roofing here actually draws the eye.
- The front elevation windows of this hall features two fixed picture windows that could be more appropriately deferential to the house by changing these to a pair of double hung windows that more closely expresses connection to the house, rather than introducing a new openings set farther apart. As stated in the Elements of Design above, “*Window openings are virtually always taller than wide... always subdivided and generally further subdivided by muntins.*” It is staff’s opinion that the introduction of fixed picture windows of this design is not appropriate for the front façade of the building. (See Site photo 3 and Figure 1 below.)
- Staff expressed these concerns to the applicant and the architect provided the following response:
  - Metal Roof
 

*“The previous submittal had metal for all roofs, including the existing house. We have since changed that to asphalt shingles. When the connector was added to the design, it was suggested to us that we make it look a bit different that the two primary wings of the accessory structure. One of the ways that we did that was with a different roofing material, though the same color. We wanted to carry that over to the canopy that covers the entry doors, as its common to have metal roofs on porches and canopies. We thought the different material, though the same color, added a bit of character. If you strongly prefer it, we could switch it all to asphalt shingle.”*
  - Front Elevation Hall Windows
 

*“Our thought was that the pair of windows picked up on the main floor of the house as the two primary massing elements each have two window openings. The proportion that we have for the connector most closely resembles the house massing element closest to it. There are no double hung windows in the accessory structure and we’d like to carry on the consistency of the casement windows, which are also on the furthest massing element of the house.”*



Site Photo 3, by Staff May 24, 2023: south elevation of house showing existing window expression.



Figure 1 by Applicant : Proposed front elevation of hallway (middle), showing proposed picture windows.

- The placement of the patio, hot tub, fireplace, pool, cabana, sunken lounge, and walking path around an open lawn creates an appropriately unconfined spatial relationship of outdoor activities, surrounded by a

privacy enclosure of plantings. The removal of the outdoor shower from the previously approved plan opens views into the yard and is an appropriate modification.

- The proposed evergreen landscaping in the front yard and at the corner of Burns and Kercheval has been removed from the previous proposal to preserve sight-lines to/from the corner. This satisfies one of the conditions of the previously approved plan and is appropriate.
- The applicant also stated that they were working with their contractor to rectify the previous violation of the white-painted house and stated that they would like to address it at the same time as the painting of the new constructed building.
- The applicant has received a COA for paint on both the existing house and the new constructed building in a previous application. This included black trim for both buildings, where black is typically applied only to the sash, not the trim. Because the new construction should not call attention to itself than the house, it is staff's opinion that the proposed color scheme is appropriate, because it matches the previously approved color scheme.
- In May 2007, HDC COA, the Commission approved the proposal to demolish the existing garage.
- Because the new building is considered an accessory unit, the applicant met with the Planning and Development Department's design review team on several occasions:
  - December 2020: the applicant received a "revise and resubmit" briefing due to several concerns.
  - March 13, 2021: PDD review
  - May 5, 2021: PDD review
  - February 9, 2023: HDC Staff review of updated plans

## ISSUES

- The outstanding violation of the white painted house continues to receive public complaints.
- Staff recommends that the roof material of the new building be consistent and recommends that asphalt shingles would be most appropriate to defer to the existing asphalt shingles of the existing house.
- Staff recommends that the front facing windows of the proposed building's front elevation hallway consist of a design, scale and operation that more closely resembles the front elevation of the house.
- Staff identified no other major issues with the new construction features because this proposal meets the Elements of Design for the Indian Village Historic District, as applied to this particular property.

## RECOMMENDATION

### Section 21-2-78, Determinations of Historic District Commission

It is the staff's opinion that this proposal is appropriate. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior's Standards, and the Indian Village Historic District's Elements of Design.

*With the conditions that the applicant:*

1. The roof material of the proposed structure be asphalt.
2. The windows of the front elevation hallway more closely express the design, scale and operation of the house at its front elevation.
3. HDC staff review the above changes for approval prior to implementation.