

STAFF REPORT: APRIL 12, 2023 MEETING
APPLICATION NUMBER: 23-8271
ADDRESS: 3917-3923 W. VERNOR HWY.
HISTORIC DISTRICT: HUBBARD FARMS
APPLICANT: JOSE M. VARGAS JR. (LA JALISCIENSE RESTAURANT)
PROPERTY OWNER: LAURA A. ALKEVICZ
DATE OF PROVISIONALLY COMPLETE APPLICATION: 02/20/2023
DATE OF STAFF SITE VISIT: 03/29/2023

PREPARED BY: B. BUCKLEY

SCOPE: CONSTRUCT PATIO AND SHED ROOF

EXISTING CONDITIONS

The building located at 3917-2923 W. Vernor Hwy. is a former automobile repair facility that was constructed in two phases between approximately 1920 and 1940. The building was heavily altered during the late 20th and early 21st centuries with the construction of a gable roof over the western half of the building, the removal of all original windows and doors, and a complete renovation of the façade fenestration. The remaining character defining feature on the building is the gabled and arched parapet wall that features cast stone details and decorative brick banding typical of early-to-mid 20th century commercial construction.



Figure 1: 3917-2923 W. Vernor Hwy., looking southeast.



Figure 2: 3917-3923 W. Vernor Hwy. ca. 1993, looking southwest. HDAB

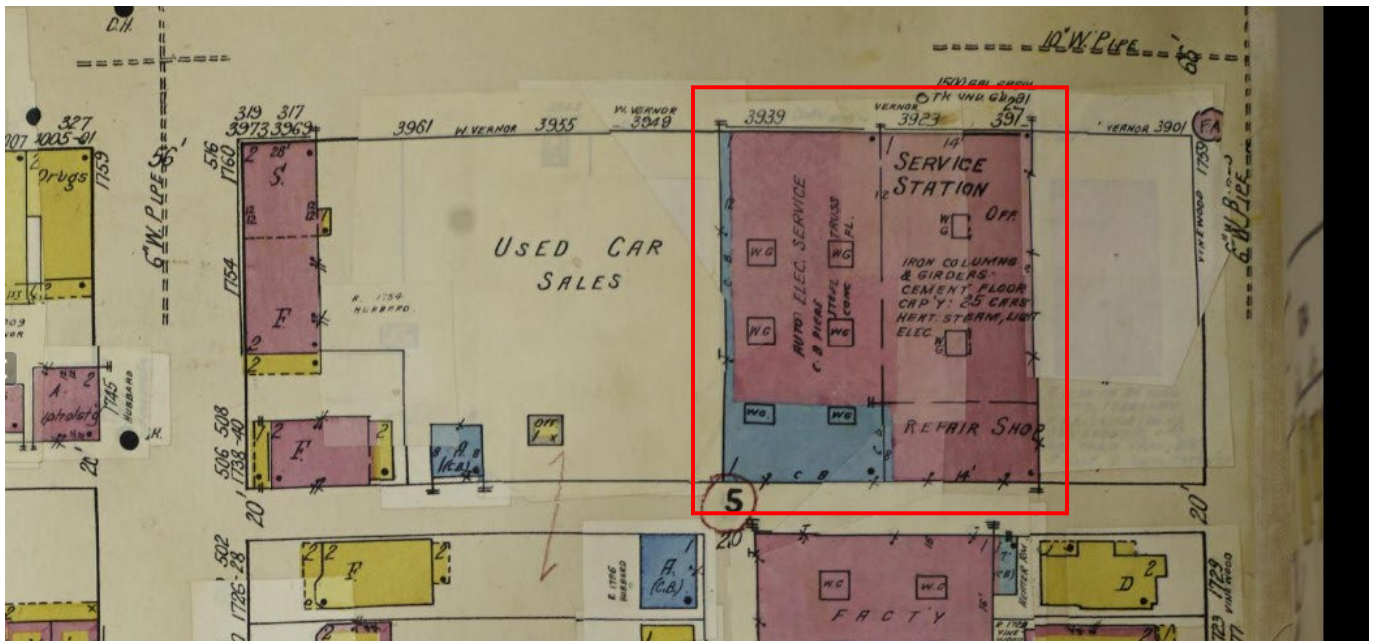


Figure 3: 1950 Sanborn map showing 3917-3923 W. Vernor Hwy.

PROPOSAL

The applicant is seeking approval for an existing outdoor patio covered by a shed roof, portions of which were temporarily issued a Notice to Proceed under the temporary COVID-19 site alterations program. The covered patio includes painted wood framing, corrugated metal roof panels, and a wood plank parapet along the western wall with internally lit signage. The signage will be addressed in a separate application that is yet to be submitted.



Figure 4: View of the shed roof patio area, signage, and parapet as constructed, looking east.



Figure 5: Detail view of the covered patio as constructed, looking southeast.



Figure 6: View of the covered patio looking northeast. Temporary gazebo is seen on the right side of the photograph.

STAFF OBSERVATIONS AND RESEARCH

- The Hubbard Farms Historic District was established in 1993.
- HDC records indicate a COA for alterations to a gable roof (constructed in 1997 without HDC permission), installation of a door on the western elevation, and painting of the western wall was issued in 1998.
- Numerous alterations occurred at the western wall of the building during the 2000's and 2010's without HDC approval. An enclosed entryway was added on the western elevation was later expanded to run the majority of the length of the western wall. Various shed roof additions were constructed and removed or altered during that time.
- In 2021, the La Jalisciense restaurant received a Notice to Proceed from the HDC staff related to temporary COVID-19 related site alterations. The scope of work for the alterations included, “Metal and plexiglass gazebos (3) with electrical heaters, outlets and lighting. Moveable tables and chairs. Wood timber overhang with lighting and electrical. Hanging and wall mounted baskets and planters.”
- The stone cladding, wood parapet, and signage were added to the patio area without HDC permission in 2021.



Images 7-9: Evolution of the western elevation, from top to bottom: 2009, 2013, 2015.

ISSUES

- According to the Secretary of Interior's Standards for Rehabilitation regarding additions and alterations (Standards 9 and 10):
 - “9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.”
 - “10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.”

The property at 3917-3923 W. Vernor Hwy. was heavily altered in the late 20th and early 21st century. As altered, the property fails to convey its age, original design, or significance as a historic automobile facility along the W. Vernor commercial corridor. Prior to the construction of the covered patio, the western elevation of the building consisted of a painted brick and concrete block wall, a non-historic door and 21st century addition. It is staff's opinion that the construction of the shed roof patio does not alter distinctive character defining features of the building, which are limited to the parapet area of the façade. The materials used for the patio addition (painted wood framing, stone veneer, corrugated metal roof panels) do not have a detrimental visual effect on the property or Historic District.

RECOMMENDATION

Section 21-2-78, Determination of Historic District Commission

It is staff's opinion the project as does not alter or obscure the features and spaces that characterize the property. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as completion, with the exception of the signage, because it meets the Secretary of the Interior Standards for Rehabilitation.