

STAFF REPORT: OCTOBER 12, 2022 MEETING

PREPARED BY: A. DYE

APPLICATION NUMBER: 22-8048

ADDRESS: 1515 CHICAGO

HISTORIC DISTRICT: BOSTON-EDISON

APPLICANT: DERECK WATSON

PROPERTY OWNER: ROXANA KUHN, CHICAGO BLVD. TRUST

DATE OF PROVISIONALLY COMPLETE APPLICATION: SEPTEMBER 30, 2022

DATE OF STAFF SITE VISIT: SEPTEMBER 27, 2022

SCOPE: REPLACE FRONT PORCH COLUMNS AND REPAIR PORCH FLOOR AND STEPS, ERECT REAR DECK

EXISTING CONDITIONS

Erected in 1916, this structure exhibits Colonial Revival details and Prairie influences. The symmetrical front elevation is punctuated by a classically designed half-round portico featuring dentil trim and four equally placed Doric fluted columns which rest on square pedestals. The first floor's arched windows are tied together through semi-circular brick courses and stone banding. The rowlock course at the cornice offers an echoing vertical pattern to the dentil trim at the front porch. Prairie details include the low pitch hip roof, broad overhanging boxed eaves, and corbel brick at the top of the chimney. A straight walkway leads from the sidewalk to the front door; two steps were centrally placed along the walk to accommodate the raised lawn.



HDC staff photo, September 27, 2022

The side elevations offer different levels of architectural detail reflecting their level of visibility. The east elevation, where the driveway is located, continues the arched window/stone banding details with mulled windows near the rear. The west elevation, with close placement to the neighboring house, doesn't carry dominant details from the front façade and has one small, mulled window opening.



HDC staff photo, September 27, 2022

The articulation of the rear elevation through the mulled windows, asymmetrical volume, and deeply overhanging eaves, strongly identifies with the Prairie style. The one-story structure covered with wood siding was approved by the Commission and erected in 1980, and replaced a deteriorated one-story screened porch. The sliding door, approved by the Commission in 2021, replaced the original design's single sliding door and small off-set window. A small, raised patio and concrete steps that were proportional to the single sliding door remain, and are proposed for replacement in this application.



Applicant photo

In the southeast corner of the rear yard sits a detached garage. The steeply pitched hip roof and beige brick cladding offers evidence that this is likely the original garage that was constructed in 1917.

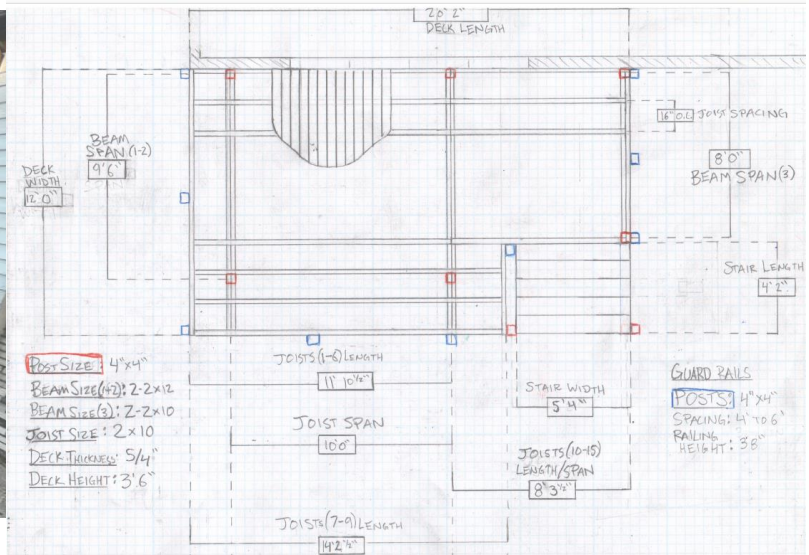
PROPOSAL

Front Walk and Porch

- Build proper temporary support for porch roof
- Remove four current columns
- Install four new load bearing fiberglass columns with top and bottom trim pieces, paint yellowish-white to match existing column color
- Demo damaged cement from front steps of porch
- Install necessary re-bar reinforcements and new concrete steps
- Paint porch landing with brown weatherproof paint
- Demo existing cement stairs on path to house
- Build frame/mold for two new cement steps
- Pour cement steps

Erect Rear Deck – 12’ deep x 20’-2’’ wide x 3’-6’’ high (deck height)

- Cut into concrete and dig holes where needed for total of 8 deck posts and footings at 42’’ depth to get below frost line and match the foundation depth of the adjacent addition on existing house.
- Pour cement footings with centered posts.
- Build and attach beams per building department approved design/specs.
- Build and attach joists per building department approved design/specs.
- Build and attach stairs per building department approved design/specs.
- Add flashing and attach deck to house per building department approved design/specs for non-ledger freestanding deck.
- Attach balusters with proper hold-down anchors per building department approved design/specs.
- Attach 5/4 premium decking.
- Attach railings and trim to deck and stair balusters.
- Enclose the bottom of the deck with vertically installed 6’’ wide 5/4 decking boards along the entire perimeter
- Stain with Russet solid color waterproof deck stain and sealer.



Deck components, per applicant's deck material list and links

STAFF OBSERVATIONS AND RESEARCH

- The Boston-Edison Historic District was established in 1974.
- The 1974 designation photo (below left) shows the four matching columns in place, along with a decorative railing at the roof. It also shows deterioration present at the front left pedestal, which may explain why this column no longer has the slightly flared base. The 1988 photo (center, found in property file) shows the upper railing removed and deterioration/work being completed on the back left column base and pedestal. The front right column was replaced between 1988 and 2007 (per Google street view) without Commission review. The 2022 staff photo (below right) shows existing conditions. Symbols reference column designs shown on page 5.



- The porch's face brick, concrete steps and porch floor, and column pedestals were painted dark brown between 2009 and 2011 (based on Google images) and was not approved by the Commission. The dark colors changed the appearance of the front entry. The porch became a dominate feature and the pedestals lost their balanced relationship to the columns.
- Although the Commission approved the installation of the double sliding door at the rear, it did not approve the unpainted siding nor the removal of the upper porch railing. Staff questions if the project is still being completed, and would like the applicant to confirm the finished work will match the Commission's approved design.

ISSUES

- The 1974 and 1988 photos give visual evidence of deterioration and repair of the pedestals supporting the left two columns. The photos at right are closeups of the two outward pedestals (front left and front right, adjacent the porch steps). The pedestal in the photo on the right was modified when a replacement column of slightly different design and height was installed between 1988 and 2007.



Applicant photos

- Doric columns typically have 20 flutes. Staff counted 10 visible flutes on the original columns, so the columns likely have 20 flutes along the column’s circumference.
 - The previously installed replacement column is slightly shorter than the original columns, has a rounded base, and a more intricate capital. The fluting also has a slightly more pronounced edge than the original columns, but otherwise is similar in diameter and number of flutes (20).
 - It is staff’s opinion, when viewed from the sidewalk the appearance of the replacement column does not stand out strongly in contrast to the original columns due to the similar fluting pattern (circumference and height).
- Staff asked if a repair estimate for the columns (which could have included a replacement cost for the pedestals) was obtained, prior to considering replacement.
 - Applicant response: *The reasons for replacing all four columns are because of the damaged pedestals, the mismatched fourth column, and the fact that the three matching columns are also damaged. We have done an extensive search and made as many requests with companies to find a matching column to go with the three existing columns, but we were unable to have success with that route.*



Left - Original column (3)
 Middle: Replacement column (1)
 Right: Proposed column

Symbols reference location of columns as shown on page 4 photo



Staff photo

- The portico is a distinctive character-defining feature. Details on the level of deterioration of the existing columns was not submitted. Standard Six states “*Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials.*”
- The design of the proposed new replacement column offers significantly less fluting around the circumference, as well being significantly shorter in length. These reductions create a flatter, more contemporary appearance which is counter to the highly detailed and patterned front elevation. Also, the proposed columns extend to grade, eliminating the need for a pedestal, furthering a more streamlined appearance to the portico.
- Listed below are the dimensions of the existing and proposed columns.

Three Matching Columns:

Total Height -- 7’ 2”

Capital -- 4” tall x 12” x 12”

Pedestals -- 10” tall x 14” wide x 14” deep

Diameter -- 9” at base tapering to 8” at top

Base -- 3” tall with 12” diameter

Single Column

Total Height -- 7’ 2”

Capital -- 3.5” tall x 10” x 10”

Diameter -- 8” at base tapering to 7” at top

Base -- 3” tall with 11” diameter

New Columns (4)

Total Height -- 8’ high

Capital -- no dimensions given

Diameter -- 9.75” at base tapering to 8” diameter at top

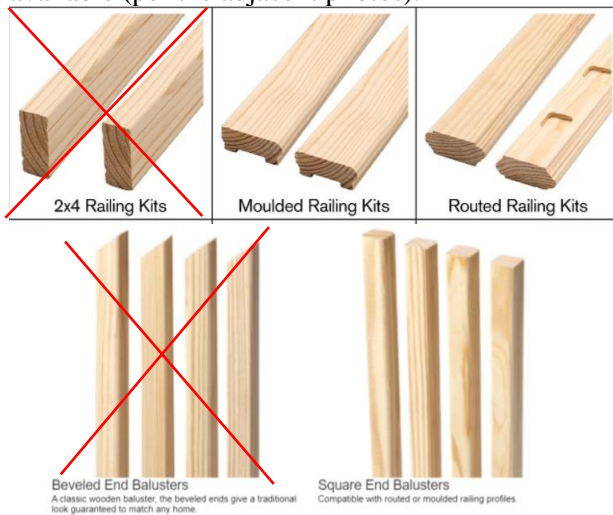
Base -- no dimensions given

Staff notes that the three existing and single replacement columns are different dimensions, but the taper is the same 1” from base to top, creating a similar proportion. The new column has a larger base so the taper is closer to 2”.

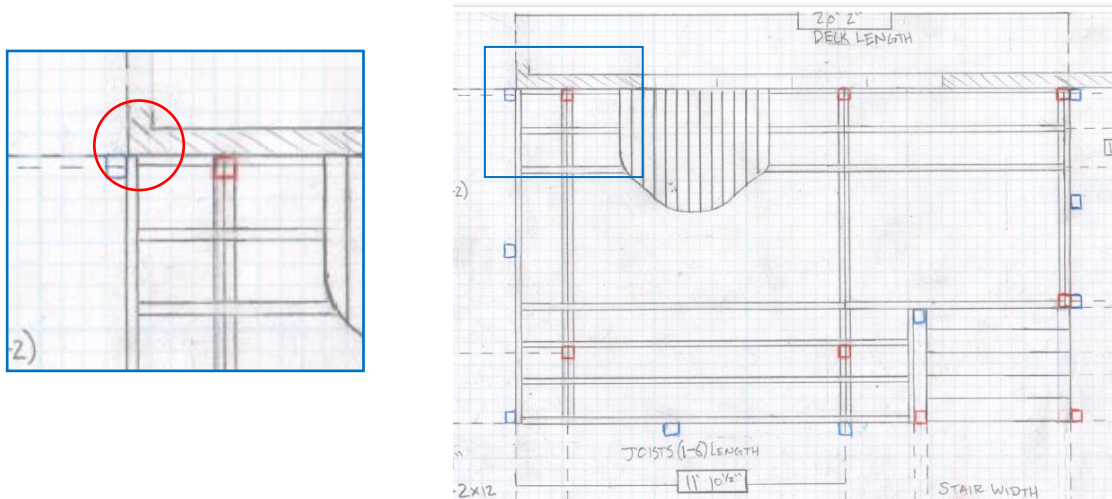
- This application proposes to retain the current painted finishes/colors of the concrete porch floor/steps, porch face brick, and column pedestals. It is staff's opinion the concrete porch floor and steps, and the porch's face brick should retain their natural surface colors and finishes, and the pedestals should be painted the color of the columns as they are extensions of the column base. Staff didn't find Commission/staff approval on file for the current finish colors of these components. Comparison photos are on page 3 of the staff report.

Rear Deck

- The selected angled balusters applied to the outer side of the top and bottom rails is a contemporary deck design and is in sharp contrast to the historic dwelling. Installing square end balusters to the underside of the top and bottom rails is similar to the design of a historic railing. Staff researched the manufacturer's railing designs and a more sympathetic baluster and top/bottom rail is available (per the adjacent photos).



- The blue squares denote the supporting deck posts and are placed adjacent the deck edge only for illustration so the location of the porch balusters can be clearly identified. The posts will be installed below the deck floor.
- Staff believes the deck should be inset 3" from the side of the house. This will create a slightly deferential condition for the deck to the house and will eliminate any challenge of lining up the deck wall to the house wall.



RECOMMENDATION

Recommendation One - Denial

Section 21-2-78, Determination of Historic District Commission

It is staff's opinion the work as proposed for the portico, consisting of the replacement of the four (4) columns and retaining and repainting the surfaces of the front porch floor and steps will alter the features and spaces that characterize the property. Therefore, staff recommends the Commission issue a Denial for the work as proposed because it does not meet the Secretary of the Interior Standards for Rehabilitation nor the Boston Edison Historic District Elements of Design, specifically Standards:

2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Recommendation Two – Certificate of Appropriateness

Section 21-2-78, Determination of Historic District Commission

It is staff's opinion the remaining components of the application do not destroy historic materials that characterize the site. Staff therefore recommends Commission issue a Certificate of Appropriateness for the proposed work as it meets the Secretary of the Interior Standards for Rehabilitation and the Corktown Historic District's Elements of Design, with the conditions that:

- The deck and stair railings will be constructed with the molded or routed railings and square balusters. The final selection will be listed on the deck material list and drawings.
- The deck will be inset from the west wall of the house by 3". The deck plan will be revised, or a note stating this design change will be added to the existing drawings.
- A site plan will be submitted confirming the porch step repair will retain the existing footprint and radius, along with the dimensions for the new concrete front walkway steps.
- Repaint painted porch elements in off-white colors to match historic conditions. Paint samples will be submitted to staff for field verification for approval prior to application.

Description of Existing Conditions:

Currently the front porch consists of three severely damaged/weathered columns of one design, and one poorly installed and damaged column of a second design. Along with the columns, the two steps onto the porch are also damaged/weathered. There is a cement sidewalk that leads up to the porch, and in the middle of that path there is a set of two cement stairs which are damaged and have been poorly repaired at some point by a previous owner.

Description of Project:

We would like to replace all four columns on the porch with a set of matching fiberglass columns in the same style as the four that are currently installed. During this process the columns will be installed properly to prevent any future damage/failure like we are seeing with the current columns. We will also properly repair the two cement steps at the front edge of the porch and refinish the porch in a matching brown weatherproof cement paint.

Separate from the porch, we would like to cut out the two existing cement stairs on the path leading up through the front yard, and replace them with two properly constructed cement stairs for a nice clean look to the house.

Detailed SOW:

- Build proper temporary support for porch roof
- Remove four current columns
- Install four new load bearing fiberglass columns with top and bottom trim pieces
- Demo damaged cement from front steps of porch
- Install necessary re-bar reinforcements and new concrete steps
- Paint porch landing with brown weatherproof paint
- Demo existing cement stairs on path to house
- Build frame/mold for two new cement steps
- Pour cement steps

Material Links: (No cut sheet/brochure available for some reason)

- <https://www.aicmillworks.com/fiberglass-column-round-fluted-10-96-tapered>
- <https://www.aicmillworks.com/tuscan-capital-for-10-round-column>
- <https://www.aicmillworks.com/tuscan-base-for-10-round-column>















Existing Conditions:

Due to the addition of a new sliding door (approved by historical district in 2021), the current stairs to the rear entrance of the house do not suit the door. There is also a cement slab patio added by a previous owner.

Description of Project:

This project consists of building a brand new, free standing 42" tall wooden non-ledger deck to solve the issue of the currently mismatched stairway and rear entry door. All specs will be to code and can be seen in the attached drawings or SOW. The deck will be stained with a brown waterproof stain shown in the material links below. All wood, fasteners, and other materials will be to code, and will be built to fit the parameters of approved sizes, spacing, anchors and all other details necessary. See "Deck Material List" for links to all materials being used!

SOW:

- Cut into concrete and dig holes where needed for total of 8 deck posts and footings at 42" depth to get below frost line and match the foundation depth of the adjacent addition on existing house
- Pour cement footings with centered posts.
- Build and attach beams per building department approved design/specs
- Build and attach joists per building department approved design/specs
- Build and attach stairs per building department approved design/specs
- Add flashing and attach deck to house per building department approved design/specs for non-ledger free standing deck
- Attach Balusters with proper hold-down anchors per building department approved design/specs
- Attach 5/4 premium decking
- Attach railings and trim to deck and stair balusters
- Stain with brown waterproof deck stain

Audra Dye

From:
Sent: Thursday, September 29, 2022 3:14 PM
To: Audra Dye
Subject: [EXTERNAL] Re: Revised Request for Additional Information - Rear Deck

Hello Audra,

I am putting together the rear elevation photo with markings to show where the deck will align with the edge of the house and the sliding door. In the meantime, here are the answers to the front porch questions:

Front Porch Update:

- Total span between concrete porch base and porch awning is 8'
- Existing Column & Pedestal Dimensions:
 - The Three Matching Columns:
 - Pedestals - 10" tall x 14" wide x 14" deep
 - Columns
 - Total Height - 7' 2" - 9" diameter at base tapering to 8" diameter at top
 - Capital - 4" tall x 12" x 12"
 - Base - 3" tall with 12" diameter
 - Single Mismatched Column
 - Total Height - 7' 2" - 8" diameter at base tapering to 7" diameter at top
 - Capital - 3.5" tall x 10" x 10"
 - Base - 3" tall with 11" diameter

New Column Details:

The new columns will not need a pedestal and will extend the entire span of the porch opening, resting only on the proposed base directly on the concrete slab porch.

The reasons for replacing all four columns are because of the damaged pedestals, the mismatched fourth column, and the fact that the three matching columns are also damaged. We have done an extensive search and made as many requests with companies to find a matching column to go with the three existing columns, but we were unable to have success with that route.

Audra Dye

From: d
Sent: Thursday, September 29, 2022 5:19 PM
To: Audra Dye
Subject: Re: [EXTERNAL] Revised Request for Additional Information - Rear Deck
Attachments:

No problem!

I will have our assistant compile all of the companies she reached out to and I will forward them to you here. I believe this supplier was the only one who actually got back to us with a quote to purchase. I know these new columns don't match the three that I am assuming are more original to the house, but they are pretty close to what was used as the fourth column that is currently mismatched. I am assuming that the previous owners ran into the same problem we are, and were forced to purchase a column that didn't exactly match the others. If you look at the PDF on the original application I sent, there is a close up on page 5 that shows the type of ugly damage that is on the column. It looks like it may have been poorly repaired at some point in its life. We had hoped to repair and refinish the three columns and replace the fourth with a match, but again we just can't seem to find anywhere to get a match and we thought four matching columns will look better even if they aren't originals. That being said, we are open to referrals on where we can find an exact match if the committee happens to know of anywhere. We are really trying our best to get this house back to having the awesome curb appeal it should have. Last note on the front porch, I forgot to add that we would like to paint the new columns with the exact color that the existing columns are, rather leaving the stark white color they come in. Please let me know if there is anything else you need from me on the porch.

Rear Deck Update:

I am attaching a PDF with two photos, one showing the full rear elevation, and the other shows a red outline of where the deck will meet the house. The deck will be flush with level of the floor in the house so you walk straight out with no step down. It will be attached as a free standing deck per code. I left the railings off of the outline so they didn't confuse the level of the deck. We would like to enclose the bottom of the deck with vertically installed 6" wide 5/4 decking boards along the entire perimeter. That would be the same material that is linked in the proposal for the deck boards, do you need me to present it any other way or is me telling you here good enough?

Thank you,
Dereck Watson

Audra Dye

From: dereck@atraeo.com
Sent: Wednesday, October 5, 2022 6:54 PM
To: Audra Dye
Subject: [EXTERNAL] Re: 1515 Chicago - Questions on front porch

This Message Is From an External Sender

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

Hello,

I was unaware of the changes that were made to the porch, they must have been made by the previous owner after the 2011 photo you sent me. I guess I would ask to allow us to keep that part of violated repairs to the porch as is because I do not think we would be able to remove that concrete without damaging the bricks underneath. If that were the case, we would be open to painting the porch the same color brown that is on it now, or we could also try to power wash back down to the concrete finish first if they would rather us try that? We would also like to keep the column and roof portion of the porch the same almond color that is on it now, from the looks of the 2010 photo I believe it was already switched to that color by a previous owner as well.

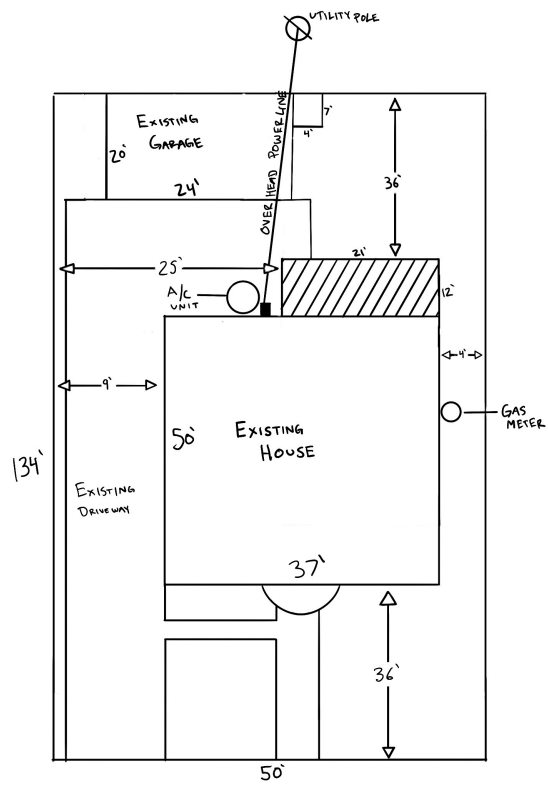
For the columns, I have sent close ups showing the extent of the damage/poor repair of damage to the columns so I don't have anything else to share on that front. But that really isn't the reason we are asking to replace all four. We could repair the three original columns, but then we would still have a fourth column that does not match so it wouldn't really solve the issue in our opinion. From my understanding of the research our assistant did, our first plan was to have a replica of the three original columns made to replace the mismatched fourth column with. Unfortunately she was not able to find a company that made custom designed columns, all of the companies she was able to find only made select styles, none of which were a close enough match to the originals. This is why we asked to replace all four columns to create a matching set of four columns. It is also my understanding that she could not find columns in the exact height of our existing columns in order to save the pedestal boxes. If we were to somehow find columns that allowed us to rebuild the wooden box pedestals, would it help us to get approval for replacing all four? As I mentioned in my previous emails, we are also open to having the fourth column replaced with an exact replica of the original three if we could be provided with a referral to a company that can provide that service, as that would be the easiest and best solution. Let me know if there is anything else I can help with!

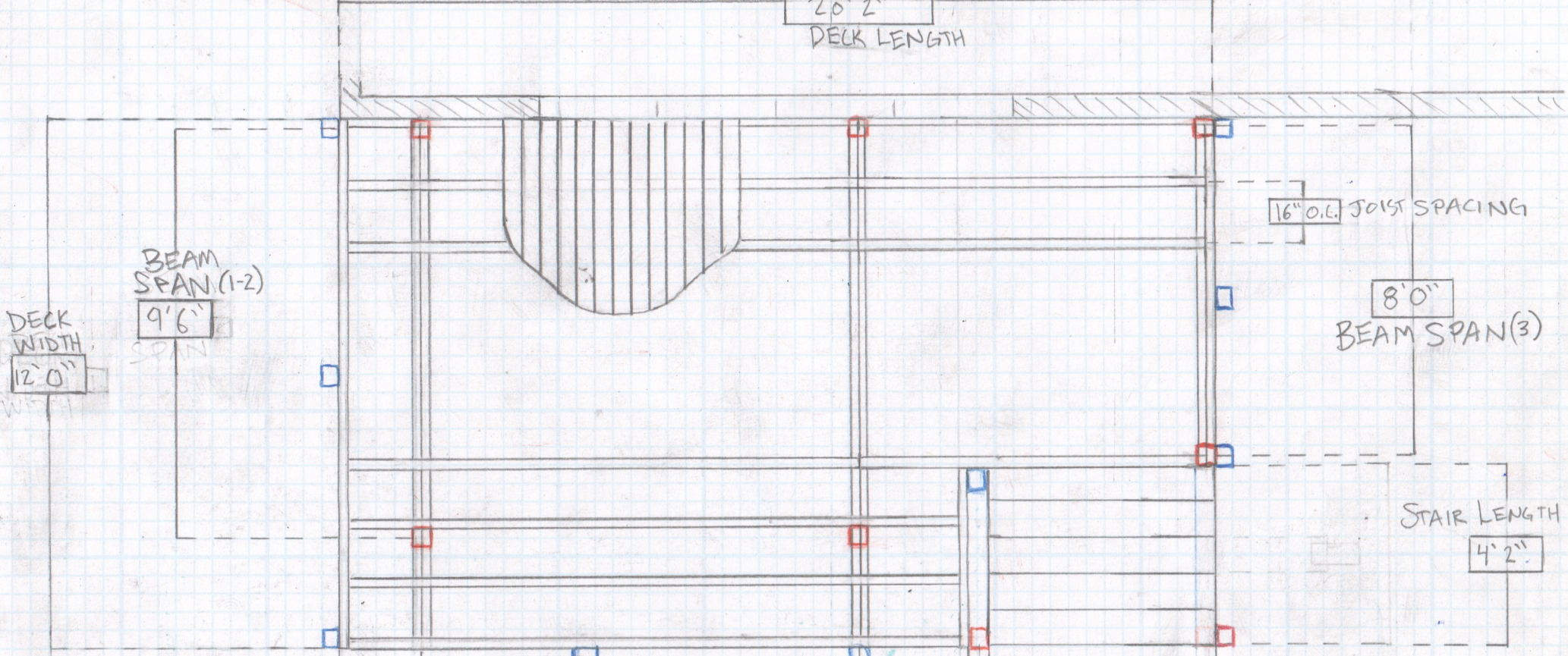
Thank you,
Dereck Watson

On Oct 5, 2022, at 3:44 PM, Audra Dye <dyea@detroitmi.gov> wrote:

Hi Dereck,

In my deeper review of the house, I noticed work done in the recent past that was not reviewed/approved by the Commission, which includes the painting of the porch floor and steps, porch face brick and column pedestals. These painted elements are a violation. Below left is a 2009 Google image (the 2011 Google image shows the porch elements painted) and the 1974 designation photo more clearly shows the original materials' finishes. I would like to know if you want to add these violations to the application, asking that they remain as-is, or if the property owner would like to remedy the unapproved work, as this would affect your current scope of work. Also, do you have a more





20' 2"
DECK LENGTH

16" O.C. JOIST SPACING

BEAM SPAN (1-2)
9' 6"

DECK WIDTH
12' 0"

8' 0"
BEAM SPAN (3)

STAIR LENGTH
4' 2"

POST SIZE: 4" x 4"

BEAM SIZE (1+2): 2-2x12

BEAM SIZE (3): 2-2x10

JOIST SIZE: 2x10

DECK THICKNESS: 5/4"

DECK HEIGHT: 3' 6"

JOISTS (1-6) LENGTH

11' 10 1/2"

STAIR WIDTH
5' 4"

JOIST SPAN

10' 0"

JOISTS (10-15)
LENGTH/SPAN

8' 3 1/2"

GUARD RAILS

POSTS: 4" x 4"

SPACING: 4' TO 6"

RAILING HEIGHT: 38"

JOISTS (7-9) LENGTH

14' 2 1/2"

JOISTS (1-9)
CANTILEVER

1' 10 1/2"

JOISTS (7-9)
CANTILEVER

2' 4"

MATERIAL	QUANTITY	PRICE PER UNIT	TOTAL	
LUMBER				
https://www.homedepot.com/p/4-in-x-4-in-x-8-ft-2-Ground-Contact-Pressure-Treated-Southern-Yellow-Pine-Timber-194354/205220341	8	\$11.88	\$95.04	
https://www.homedepot.com/p/WeatherShield-2-in-x-4-in-x-8-ft-2-Prime-Ground-Contact-Pressure-Treated-Lumber-291224/301836994	1	\$7.78	\$7.78	
https://www.homedepot.com/p/WeatherShield-2-in-x-4-in-x-10-ft-2-Prime-Ground-Contact-Pressure-Treated-Lumber-253920/206967803	4	\$8.98	\$35.92	
https://www.homedepot.com/p/2-in-x-12-in-x-12-ft-2-Prime-Ground-Contact-Pressure-Treated-Lumber-288730/301880852	7	\$43.98	\$307.86	
https://www.homedepot.com/p/2-in-x-10-in-x-8-ft-2-Prime-or-Better-Ground-Contact-Pressure-Treated-Lumber-166298/206964278	4	\$12.78	\$51.12	
https://www.homedepot.com/p/2-in-x-10-in-x-10-ft-2-Prime-or-Better-Ground-Contact-Pressure-Treated-Lumber-166298/206964277	9	\$18.98	\$170.82	
https://www.homedepot.com/p/2-in-x-10-in-x-12-ft-2-Prime-or-Better-Ground-Contact-Pressure-Treated-Lumber-166298/206964289	8	\$23.98	\$191.84	
https://www.homedepot.com/p/2-in-x-10-in-x-16-ft-2-Prime-or-Better-Ground-Contact-Pressure-Treated-Lumber-166298/206964265	3	\$28.37	\$85.11	
https://www.homedepot.com/p/5-Step-Ground-Contact-Pressure-Treated-Pine-Stair-Stringer-279714/301040023	5	\$26.98	\$134.90	
CEMENT				
https://www.homedepot.com/p/Quikrete-80-lb-Concrete-Mix-110180/100318511	17	\$5.87	\$99.79	9.7 cuft by 0.6cuft per bag
DECKING - PREMIUM				
https://www.homedepot.com/p/WeatherShield-5-4-in-x-6-in-x-12-ft-Ground-Contact-Pressure-Treated-Premium-Pine-Decking-Board-253944/206967716	34	\$14.48	\$492.32	
https://www.homedepot.com/p/WeatherShield-5-4-in-x-6-in-x-12-ft-Ground-Contact-Pressure-Treated-Premium-Pine-Decking-Board-253944/206967716	13	\$9.78	\$127.14	
FLASHING				
https://www.homedepot.com/p/Gibraltar-Building-Products-6-in-x-25-ft-Aluminum-Roll-Valley-Flashing-RV625A/202092843	1	\$18.98	\$18.98	25 ft roll
FASTENERS				
https://www.homedepot.com/p/Grip-Rite-11-x-1-1-4-in-Electro-Galvanized-Steel-Roofing-Nails-1-lb-Pack-114EGRFG1/202308501	1	\$3.98	\$3.98	
https://www.homedepot.com/p/Deckmate-3-1-2-in-Green-Exterior-Self-Starting-Star-Flat-Head-Wood-Deck-Screws-10-5-lbs-280-pcs-312DMG5/305418469	1	\$26.98	\$26.98	
https://www.homedepot.com/p/Deckmate-2-1-2-in-Green-Exterior-Self-Starting-Star-Flat-Head-Wood-Deck-Screws-9-5-lbs-435-pcs-212DMG5/305418468	2	\$26.98	\$53.96	
https://www.homedepot.com/p/Crown-Bolt-1-2-in-x-4-1-2-in-External-Hex-Hex-Head-Lag-Screws-25-Pack-87470/203151824	2	\$17.21	\$34.42	
https://www.homedepot.com/p/Everbilt-1-2-in-Galvanized-Flat-Washer-25-per-Bag-802294/204276406	2	\$10.28	\$20.56	
https://www.homedepot.com/p/Everbilt-1-2-13-in-x-8-in-Galvanized-Hex-Bolt-805756/204633237	4	\$3.46	\$13.84	
https://www.homedepot.com/p/Everbilt-1-2-in-13-Galvanized-Hex-Nut-804076/204647893	4	\$0.55	\$2.20	
https://www.homedepot.com/p/Simpson-Strong-Tie-LRUZ-ZMAX-Galvanized-Slopeable-Light-Rafter-U-Hanger-for-2x10-Nominal-Lumber-LRU210Z/205694651	5	\$8.68	\$43.40	
RAILINGS				
https://www.homedepot.com/p/Pressure-Treated-6-ft-Handrail-132380/202674738	8	\$59.98	\$479.84	
https://www.homedepot.com/p/Stamped-Black-Metal-Bracket-279486/301295586	32	\$0.98	\$31.36	
https://www.homedepot.com/p/4-in-x-4-in-x-8-ft-2-Ground-Contact-Pressure-Treated-Southern-Yellow-Pine-Timber-194354/205220341	6	\$11.88	\$71.28	
https://www.homedepot.com/p/4-in-x-4-in-Pressure-Treated-Wood-Post-Skirt-97276/202266021	12	\$2.97	\$35.64	
https://www.homedepot.com/p/Hampton-4-in-x-4-in-Pressure-Treated-Wood-Pyramid-Post-Cap-58670/100036592	12	\$8.97	\$107.64	
https://www.homedepot.com/p/ProWood-6-ft-Southern-Yellow-Pine-Stair-Rail-Kit-with-B2E-Balusters-447298/318278306	2	\$73.59	\$147.18	

https://www.homedepot.com/p/Hot-Dipped-Galvanized-Steel-Lateral-Anchor-System-for-Deck-to-Ledger-Connections-and-Stair-Stringers-DLHDG/206515896	10	\$11.08	\$110.80		
STAIN					
https://www.homedepot.com/p/BEHR-PREMIUM-1-gal-SC-117-Russet-Solid-Color-Waterproofing-Exterior-Wood-Stain-and-Sealer-5011701/300845888	2	\$44.98	\$89.96		
TOTAL PRICE			\$3,091.66		





