

STAFF REPORT: SEPTEMBER 10, 2022 MEETING

PREPARED BY: A. DYE

APPLICATION NUMBER: 22-8013, 22-8034

ADDRESS: 3940 – 3942 THIRD

HISTORIC DISTRICT: WILLIS-SELDEN LOCAL

APPLICANT: LARS GRAEBNER, VOLUMEONE DESIGN STUDIO, LLC

PROPERTY OWNER: JOHN CARLSON, SELDEN FIFTY 666, LLC

DATE OF PROVISIONALLY COMPLETE APPLICATION: AUGUST 20, 2022

DATE OF STAFF SITE VISIT: AUGUST 31, 2022

SCOPE: REHABILITATE BUILDING, ESTABLISH OUTDOOR SEATING AND SURFACE PARKING LOT

EXISTING CONDITIONS

The building at 3940 Third Avenue is located mid-block on the east side of the street, between Selden and W. Alexandrine. Sited along the southern and west property lines, the front wall of the building abuts the sidewalk. Vacant lots currently surround the property; however, the Third Avenue Garage which is the new home of Detroit Public Theatre (3960 Third) is three lots to the north.

A single-story masonry structure was erected in 1952 and a one-story addition (8' x 52') erected in 1965. The concrete block remains visible on the south-side and rear elevations, while the front and north-side elevations are mostly covered with trimmed out plywood. The building's roof is partially obscured by a parapet and front-facing shallow gable.



Above: HDC staff photo, August 31, 2022. Right: Detroit Parcel Viewer aerial view.

Based on Google street view, the current paneling and exposed windows and doors date to 2015 – 2016 and the exterior was painted green between 2019 – 2020.

The parcels also consist of a curb cut off Third Avenue and a gravel surface covering the remaining lots.



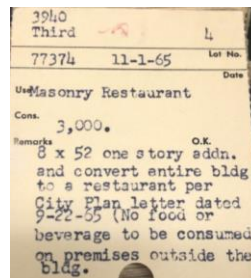
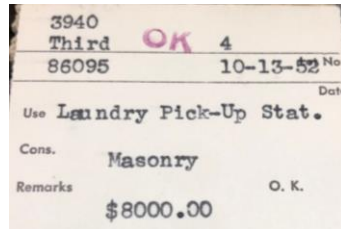
PROPOSAL

Rehabilitate the building and site to include the following:

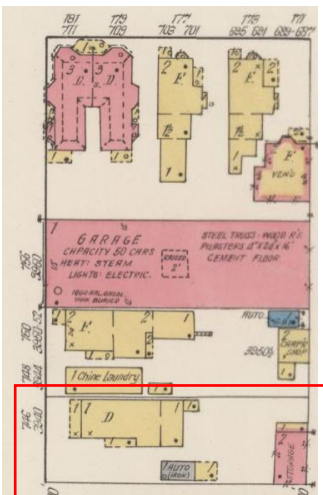
- New windows and doors (using or altering existing openings) fabricated from an aluminum storefront system.
- Repair exterior walls and paint all facades with a geometric pattern.
- Erect bollards adjacent Third Avenue sidewalk to cordon off the outdoor seating area from the street.
- Pave and mark remaining lot for surface parking.

STAFF OBSERVATIONS AND RESEARCH

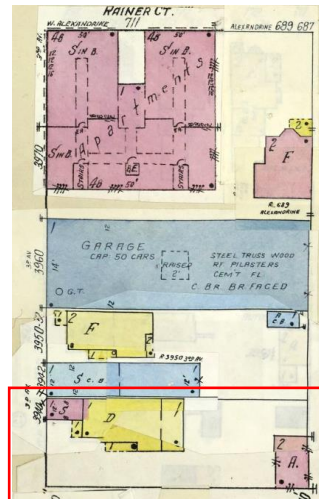
- The Willis-Selden Local Historic District was established in 2011.
- A 1952 BSEED building permit card states the initial building use was for “laundry pick-up station”. The last recorded permit available in the paper permit file was dated 1965 for an addition and change of use to a restaurant.



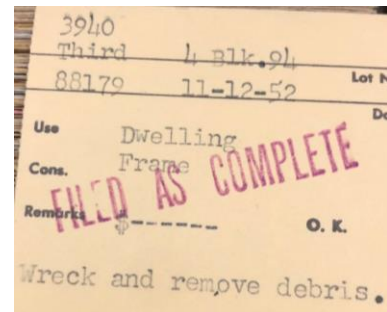
- BSEED building permit cards and Sanborn maps illustrate the evolution of this street from 19th century residential to early 20th century commercial. As shown below, the Third Avenue garage (3960 Third), constructed of concrete block with brick veneer, was in place by 1921 and adjacent frame dwellings were still present. The house at 3940 Third received its first commercial alteration in 1923 by the erection of a one-story storefront addition. After succeeding commercial uses and fire damage, the permit to demolish the dwelling at 3940 was issued exactly one month after the issuance of a permit for the construction of the current building.



Sanborn Map, Vol. 2, 1921; page 76



Sanborn Map, Vol. 2, 1921 – 1950; page 76

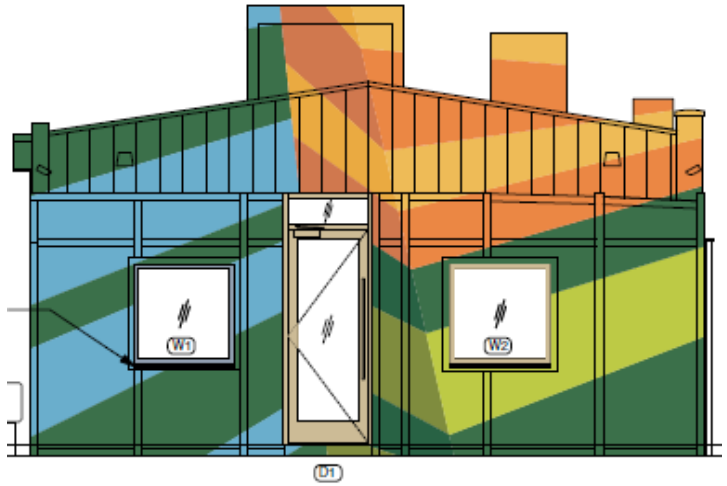


- The single-story building was constructed for a utilitarian use and at a time when new construction in the neighborhood was infrequent (the HDAB final report for the Willis-Selden Local HD states “*In the second half of the twentieth century, building additions, alterations, and new construction occurred sparingly...*”). It is staff’s opinion the building likely didn’t have many, if any, mid-century decorative elements, and the current building does not offer distinctive character-defining details.

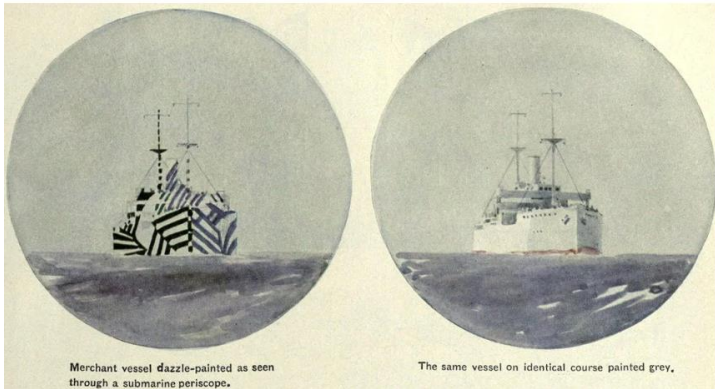


South elevation, staff photo

- The building is a non-contributing structure to the local historic district and changes to this building may be viewed with some flexibility within the Standards.
- It is staff’s opinion that the proposed geometric mural wrapping the existing four sides of the structure and rooftop enclosures is a creative approach to the building’s rehabilitation and adds a level of creativity currently lacking on the existing facades.
 - Staff notes that two different frame colors for the windows and doors are suggested, gold and military blue, and their location is dependent on the adjacent cool or warm color scheme, as depicted on the adjacent rendering.
- The painting method suggested in this application, “Razzle Dazzle” is also known as “Dazzle Camouflage”, a painting method for ship camouflage developed and used initially during World War I.



Applicant rendering



Merchant vessel dazle-painted as seen through a submarine periscope. The same vessel on identical course painted grey, submarine commander's periscope view of a merchant ship in dazle camouflage (left) and the same ship uncamouflaged (right), via Wikimedia

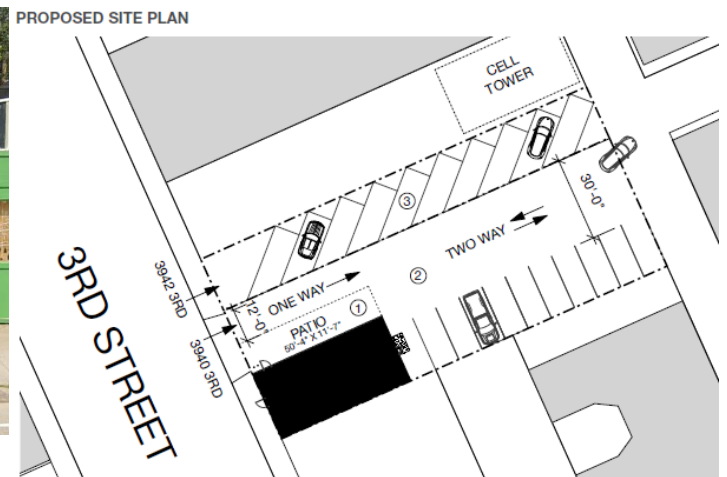
Images from Wikipedia



- The project includes the resurfacing of the existing gravel lots for surface parking and a patio. The existing wide curbcut extends from the northwest corner of the building to the corner of the proposed one-way lane entrance from Third Avenue.



Google street view



- ① Owner proposes the addition of a patio adjacent to the north side of the building
- ② Both 3942 Third and 3940 Third to be resurfaced with new gravel
- ③ 3942 Third to be converted into 45° angled parking for use by 3940 Third

ISSUES

- The front and north facades have paneling in addition to concrete block and will require extreme precision with the painting method to make sure a unified appearance extends across differing materials and elevations.
- The patio has not been fully designed within this application. The rendering on page 15 of the applicant's submission packet shows four bollards at the Third Avenue sidewalk, but it is not clear if any other enclosure is planned for the other two sides of the patio where cars will be actively moving across the surface lot. Cut sheets for the outdoor seating and bollards are needed, as well as cut sheets for any additional elements for the project (such as exterior lighting and additional patio enclosure).

RECOMMENDATION

Section 21-2-78, Determination of Historic District Commission

It is staff's opinion the proposed rehabilitation of the building and site will not alter the features and spaces that characterize the property. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation and the Elements of Design for the district.

Staff recommends the Certificate of Appropriateness be issued with the following conditions:

- The final design for the patio and associated cut sheets for all exterior elements will be submitted to staff for review and approval prior to the issuance of the building permit.



3940 3RD STREET

REHABILITATION OF A COMMERCIAL
BUILDING

THE CITY OF DETROIT HISTORIC
DISTRICT COMMISSION HEARING

SEPTEMBER 14 , 2022

VE VOLUMEONE DESIGN STUDIO
1100 PARKER ST. SUITE 100
DETROIT, MI 48214
INFO@V1-STUDIO.COM
+ 1.313.264.1130

EXISTING BUILDING	3
PROJECT DESCRIPTION	4
WILLIS-SELDEN LOCAL HISTORIC DISTRICT MAP	5
HISTORIC FACADE PHOTOS 2007-2013	6
HISTORIC FACADE PHOTOS 2016-2022	7
EXISTING CONDITION JULY 2022	8
EXISTING ELEVATIONS	9
ELEMENTS TO BE REMOVED OR REPAIRED	10
EXISTING FLOOR PLAN	11
NEW PROPOSAL	12
SITE PLANS	13
THE SECRETARY OF THE INTERIORS STANDARDS FOR REHABILITATION	14
NORTH AND FRONT FACADE	15
SOUTH AND FRONT FACADE	16
SOUTH AND FRONT FACADE FROM ACROSS STREET	17
PROPOSED ELEVATIONS	18
HISTORIC AND PROPOSED MURAL COLOR SWATCHES	19
WINDOW AND DOOR SCHEDULE WITH COLOR SWATCHES	20
PRODUCT SPECIFICATIONS	21
PRODUCT SPECIFICATIONS	22



3940 3rd Street, Detroit, MI 48201

LOCATION PLAN

1" = 100"



EXISTING BUILDING

3940 3RD STREET

One Retail Building

Owner: Selden Fifty 666, LLC
Jon Carlson
3075 Charlevoix Dr. SE
Suite 100
Grand Rapids, MI 49546

Phone: 734-661-4720

Location: 3940 3rd Street
Detroit, MI 48201

Building Size: 1,275 sq ft GSF

Building Height: 15'-5" (West facade), 12'-8" (North facade), 11'-3" (East facade), 13'-2" (South facade)

Lot Size: 7,500 sq ft
Parcel Number: 04003400
County: Wayne
Subdivision: Cass Farm
Legal: E THIRD 4 BLK 94 CASS FARM SUB L1 P175-7 PLATS, W C R 4/34 50 X 150

Built: 1953

Zoning Regulations: Willis-Selden Local Historic District
SD2 – Special District

Occupancy Type, New Use: Retail/ TBD

Construction Type (MBC 602): Type IIIB

Design Team: VolumeOne Design Studio LLC, Detroit
Lars Gräbner & Christina Hansen
1100 Parker Street, Suite 100
Detroit, MI 48214
Phone: 313-264-1130
graebner@v1-studio.com, www.v1-studio.com

PROJECT DESCRIPTION

EXISTING BUILDING

The building at 3940 Third Street located on the east side of the street between Selden to the south and W. Alexandrine to the north. The one-story, 1,275 square feet building has been used as a restaurant and is currently vacant.

The owner wishes to renovate the building for use by a small, local business.

Historic Significance

Located in the Willis-Selden Local Historic District, 3940 3rd Street was not included in the list of buildings contributing to the area's historic significance in the Final Report: Proposed Willis-Selden Local Historic District of 2010 (See map on page 4).

Facade Treatment

Historic evidence shows that the building's facade underwent several transformations including different color schemes, facade panelings, and different openings. The existing plywood panels and trim were added in stages and eventually replaced vertically oriented corrugated metal panels on the front facade. The previous owner changed the color of the building from white to green presumably in 2020.

The building's facade currently consists of painted plywood panels with irregularly spaced, wood trim partially covering CMU walls. Parts of the wood trim and plywood panels are damaged. The plywood panels with wood trim are limited to the entire west and partially the north facades.

An illuminated sign [*Coca-Cola; We deliver Pizza, Ribs and Chicken*] from a previous business remains on the front facade in poor condition.

Windows

As part of a previous renovation, direct-set single-pane glass were installed instead of windows on the west and north facades.

Doors

The front entrance door is damaged.

PROPOSED CHANGES

Facade Treatment

The condition of the facade is in a repairable state. Attention should be paid to loose trim and open joints. In order to achieve a cost-effective renovation the painted facade will be primed, caulked, and finished with new facade paint.

To address the facade's appearance, the owner proposes repainting all facades with a mural. The mural's design is intended to add both friendly colors and excitement to the otherwise simple building. Using large, bold patterning, the mural will use an applied perspective [*Razzle Dazzle*] to alter the building's perceived shape and disguise the facade's irregular material palette.

The previous business' signage will be removed.

New Windows

The owner plans to replace the direct-set glass panes on the west facade with a more energy efficient aluminum storefront window system.

New Doors

The north facade's direct-set glass will be removed and the opening converted into a side entrance with access to a small patio area and parking.

The front entrance door will be replaced including its transom window. The plywood above the current door will be removed to reveal the transom window above.

Both new doors will be fabricated as an aluminum storefront system.




WILLIS-SELDEN LOCAL HISTORIC DISTRICT MAP

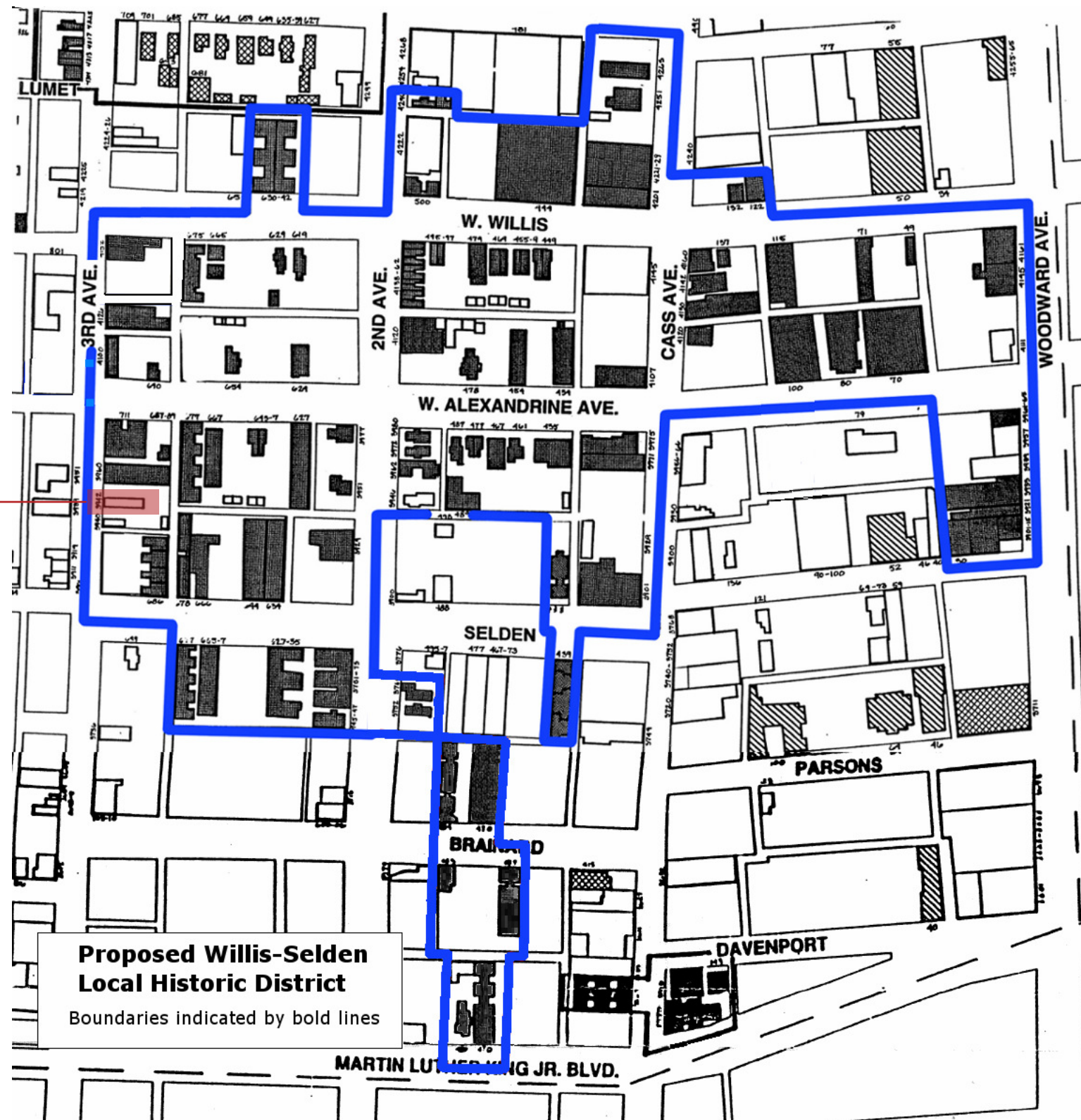
Reference:
 Final Report: Proposed Willis-Selden
 Local Historic District
 Page 17
 Published October 5, 2010

3940 Third Street

MAP KEY

Building historic contribution designations by Historic Designation Advisory Board in 2010 Final Report: Proposed Willis-Selden Local Historic District

-  Historic district Boundary
-  Building identified as **contributing**
-  Building identified as **not contributing**



**Proposed Willis-Selden
 Local Historic District**

Boundaries indicated by bold lines

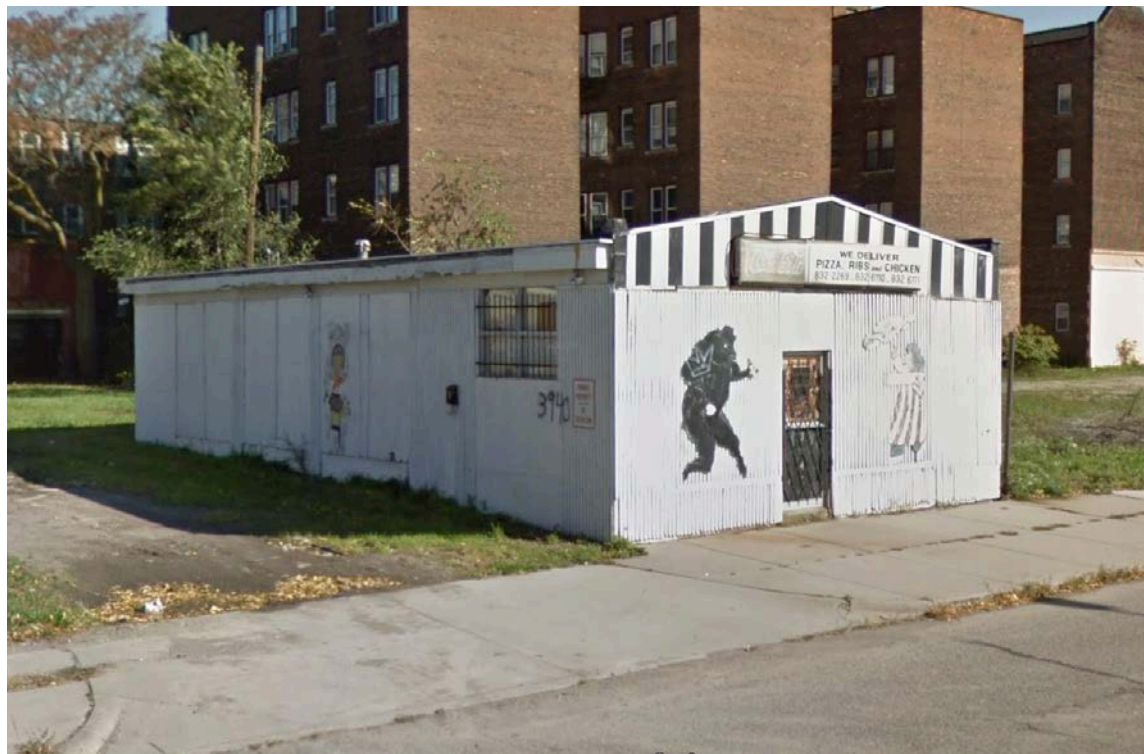
HISTORIC FACADE PHOTOS 2007-2013



August 2007 *)



August 2009 *)



June 2011 *)



July 2013 *)

*) Source: Google

HISTORIC FACADE PHOTOS 2016-2022



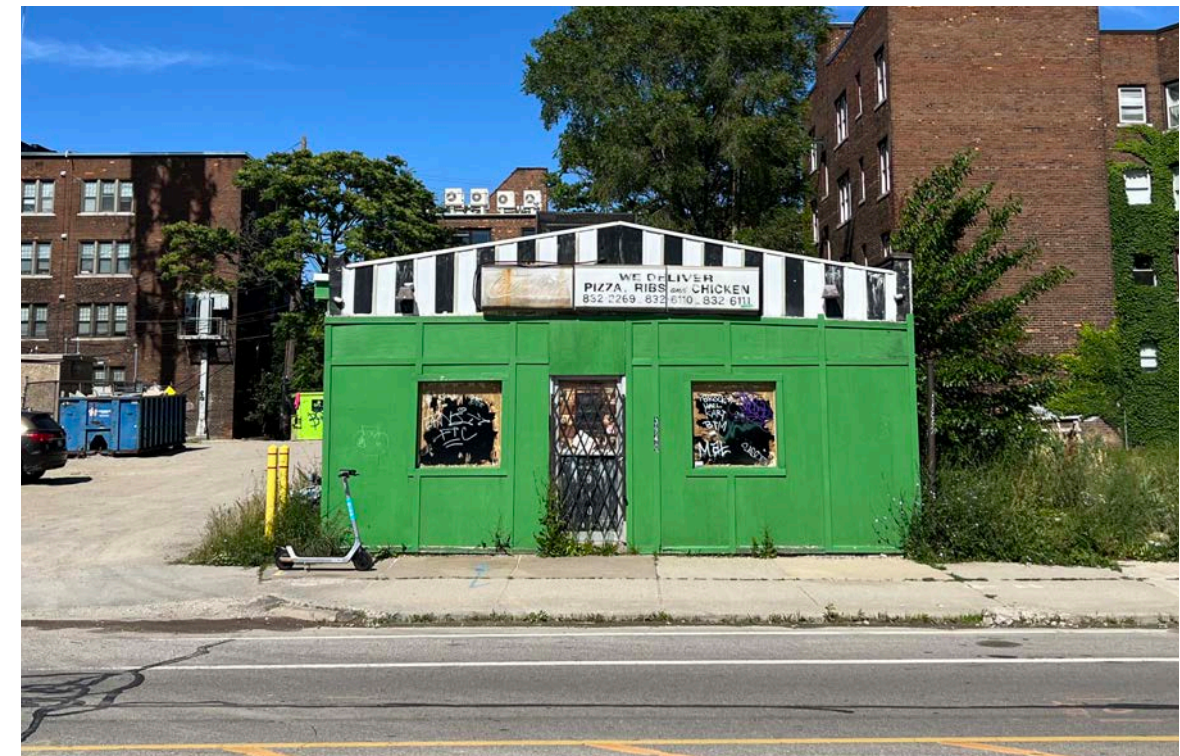
August 2015 *)



October 2016 *)



November 2020 *)



June 2022

*) Source: Google

EXISTING CONDITION JULY 2022



1



2

- 1. Front (West) facade
- 2. North facade
- 3. South facade
- 4. East facade

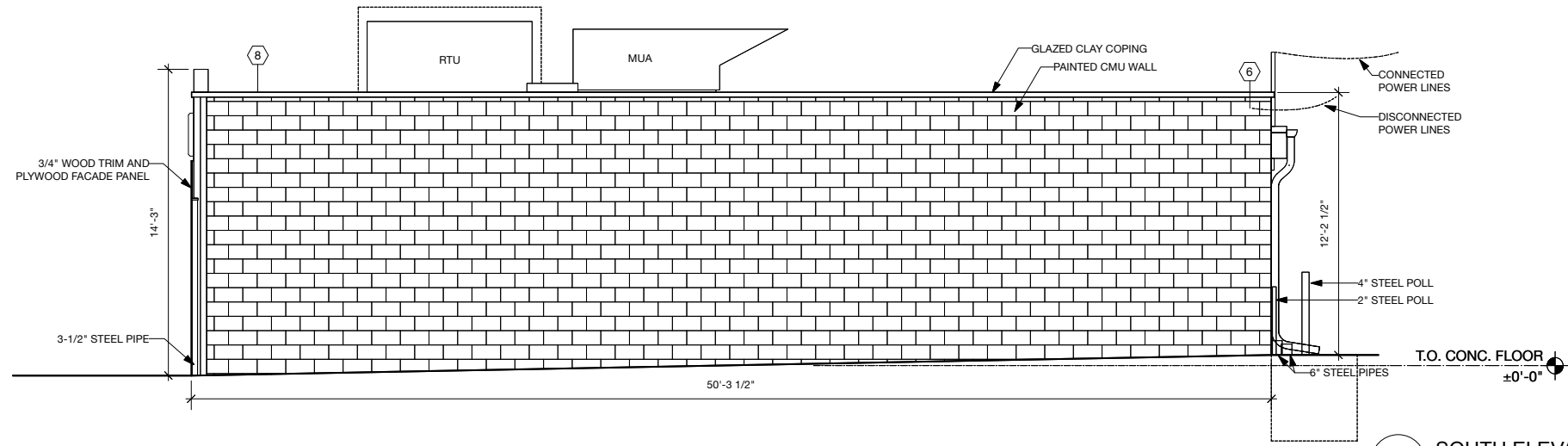


3

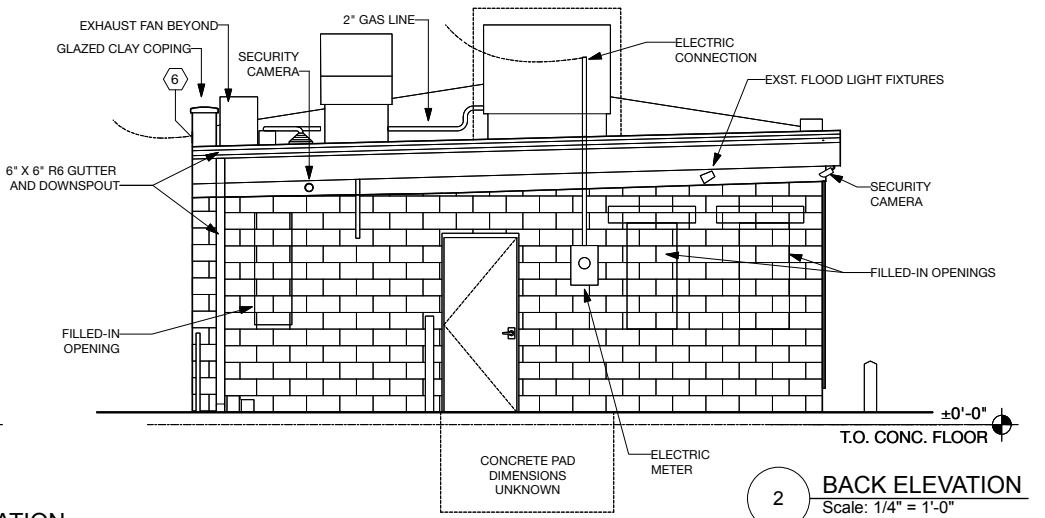


4

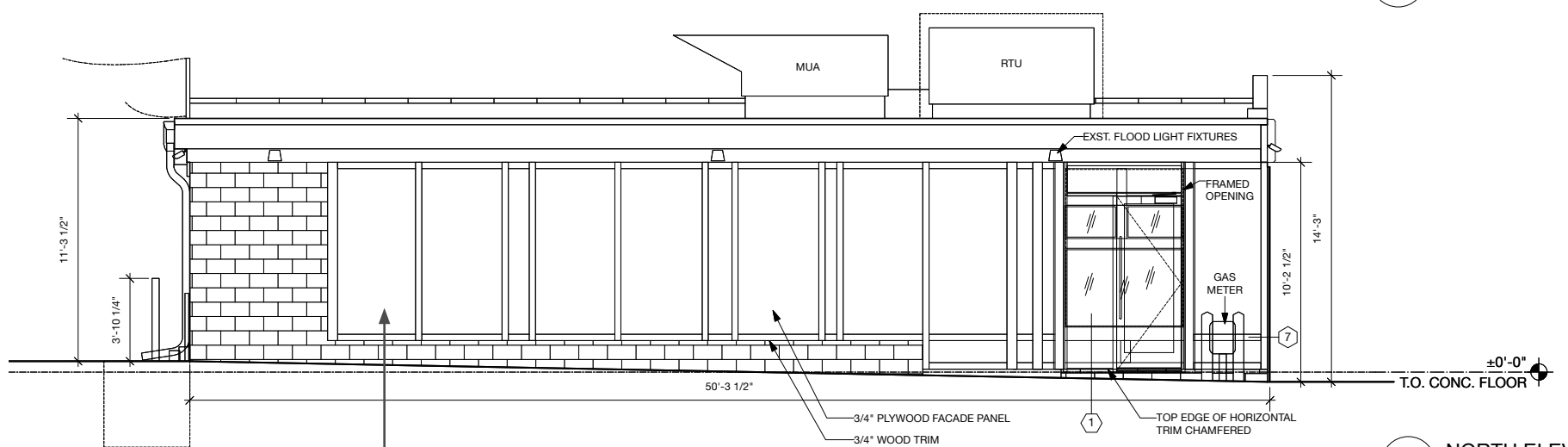
EXISTING ELEVATIONS



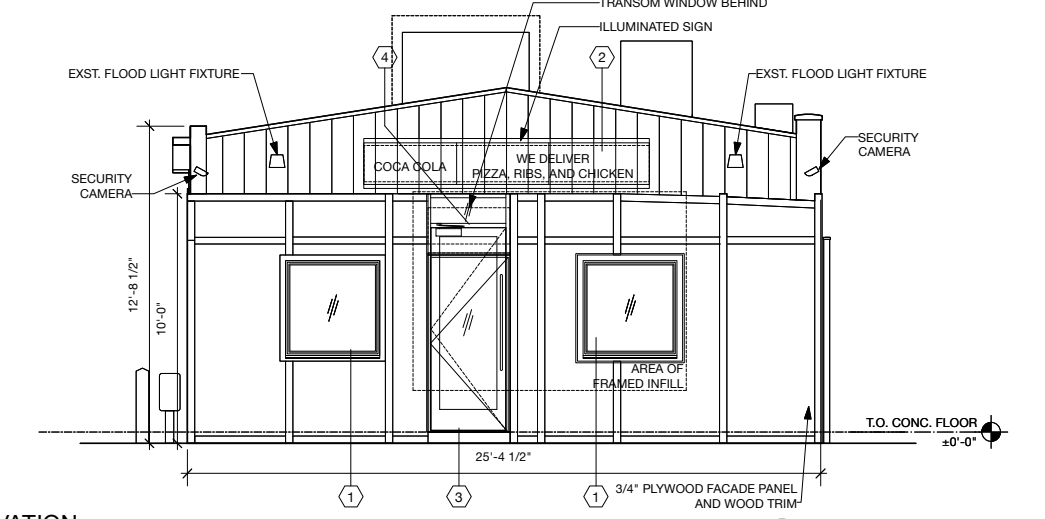
5 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 BACK ELEVATION
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

Trim, plywood facade panel,
CMU painted green



DAMAGED ELEMENTS TO BE REMOVED OR REPAIRED

1. Remove direct-set glass panels
2. Remove signage
3. Remove damaged front entrance door
4. Repair damaged plywood over front entrance
6. Remove decommissioned wires and associated hardware
7. Repair damaged wood trim
8. Repair damaged roof leak

(photos on following page)

ELEMENTS TO BE REMOVED OR REPAIRED

Note: Numbers relate to the drawing on the previous page (Page 9)



4



3



1



1

- 1. Front facade direct-set glass openings will be replaced with modern storefront system to improve thermal performance
- 3. Front entrance door will be replaced with modern aluminum storefront system
- 4. Damaged plywood above front entrance will be removed to reveal opening for storefront glazing above new door



1



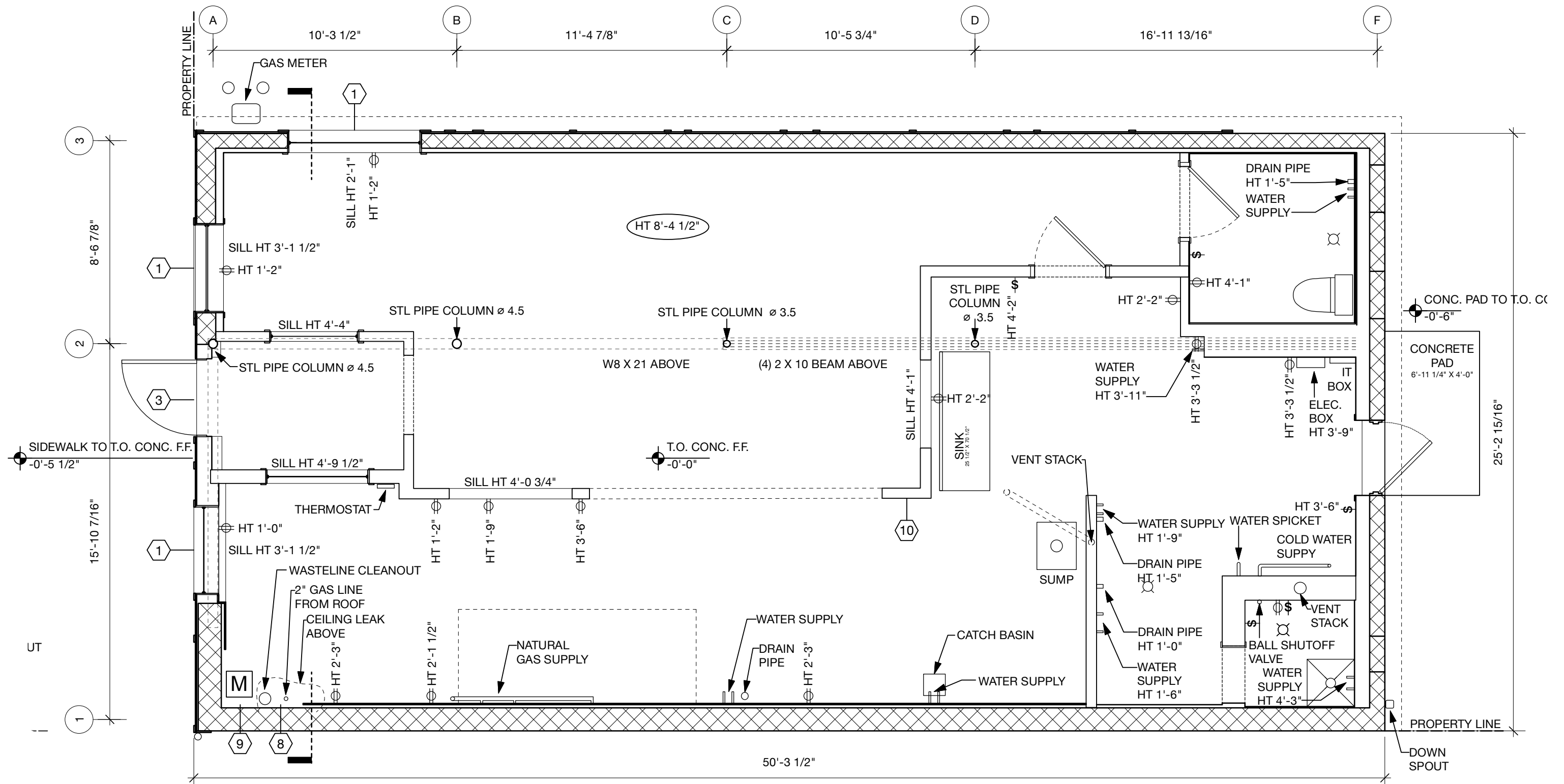
2



7

- 7. Damaged trim on north facade to be replaced
- 2. Signage above front entrance to be removed
- 1. North facade direct-set glass opening to be replaced with door storefront system

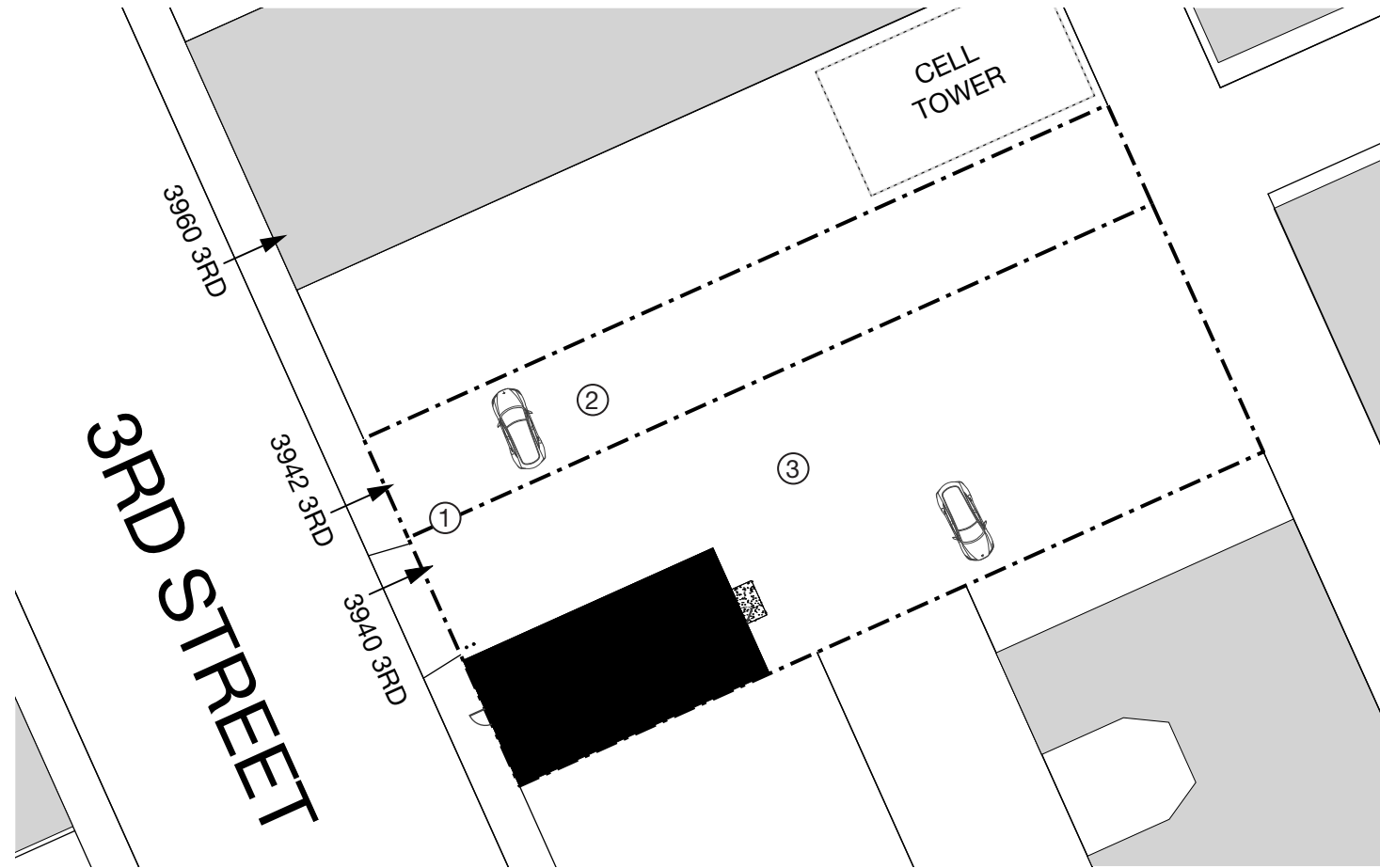
EXISTING FLOOR PLAN





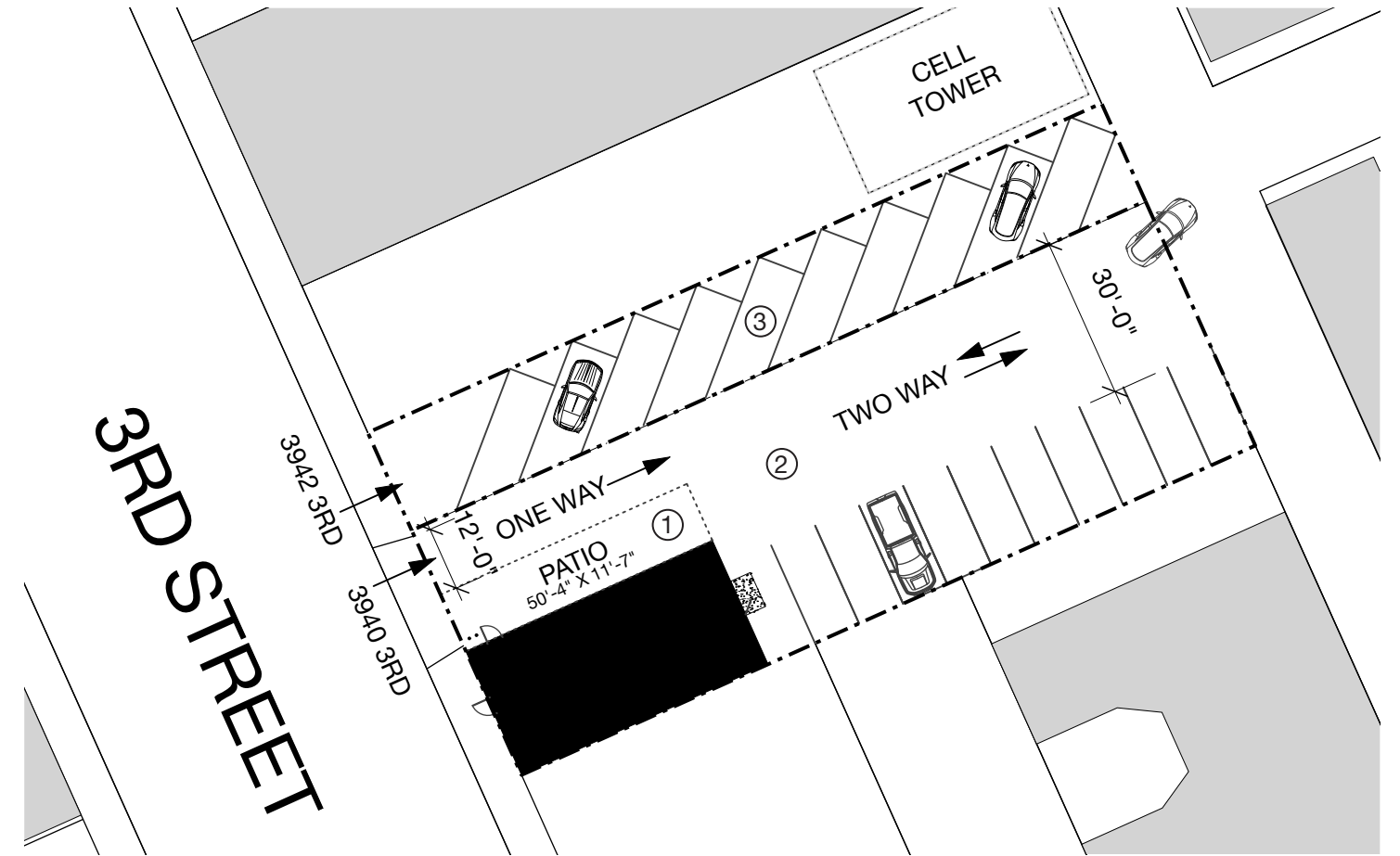
NEW PROPOSAL

EXISTING SITE PLAN



- ① Owner of 3940 Third also owns 3942 3rd St and 3960 Third
- ② 3942 3rd currently used as parking space for 3940 3rd and 3960 Third
- ③ Unmaintained gravel surface

PROPOSED SITE PLAN



- ① Owner proposes the addition of a patio adjacent to the north side of the building
- ② Both 3942 Third and 3940 Third to be resurfaced with new gravel
- ③ 3942 Third to be converted into 45° angled parking for use by 3940 Third

PROJECT RESPONSE

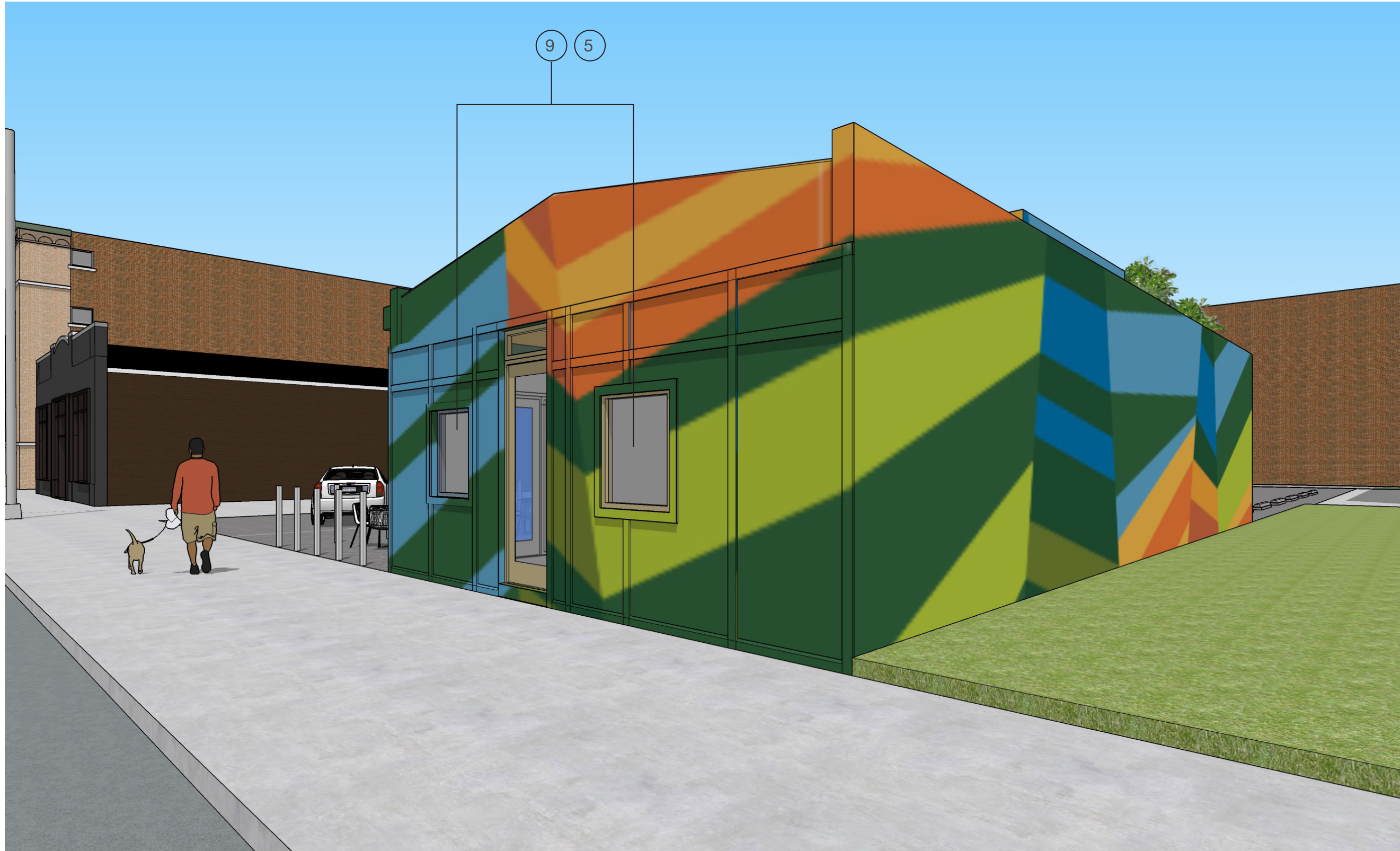
- ① **A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.**
R: The property will not undergo any change of use. No changes will be made to materials, features, and spatial relationships.
- ② **The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationship that characterize a property will be avoided.**
R: No changes will be made to materials, features, and spatial relationships.
- ③ **Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**
R: No changes that create a false sense of historic development will be undertaken.
- ④ **Changes to a property that have acquired historic significance in their own right will be retained and preserved.**
R: The building is not a contributing resource in the Willis-Selden Local Historic District according to the 2010 Final Report for the Willis-Selden Local Historic District.
- ⑤ **Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**
R: All existing features will be preserved. Painted facade areas will be repainted with an altered color scheme. New windows and doors will be installed as all windows are missing and the door is in disrepair.
- ⑥ **Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**
R: All existing and damaged facade elements such as plywood, battens, and trim will be repaired.
- ⑦ **Chemical or physical treatment, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**
N/A
- ⑧ **Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**
N/A
- ⑨ **New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**
R: The majority of exterior alterations are limited to new paint and new windows and doors without changing their size and proportions. The north window opening will be transformed into a door without changing the width and height of the original header or lintel.
- ⑩ **New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**
N/A

NORTH AND FRONT FACADE



To address the facade's appearance, the owner proposes repainting all facades with a mural. The mural's design is intended to add both friendly colors and excitement to the otherwise simple building.

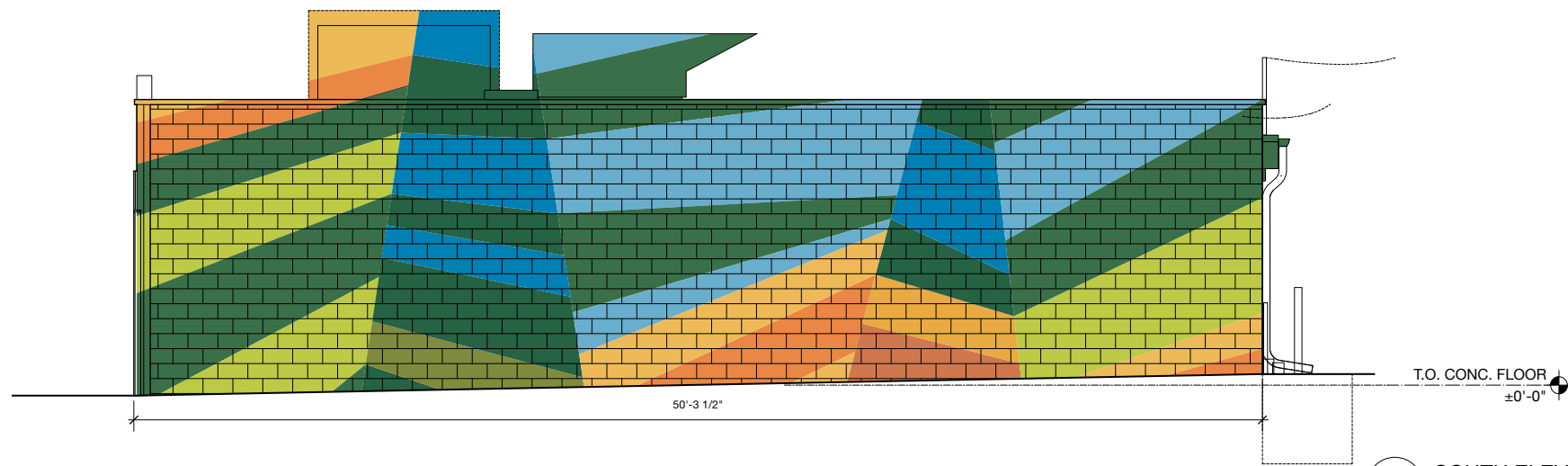
Using large, bold patterning, the mural will use an applied perspective [Razzle Dazzle] to alter the building's perceived shape and disguise the facade's irregular material palette.



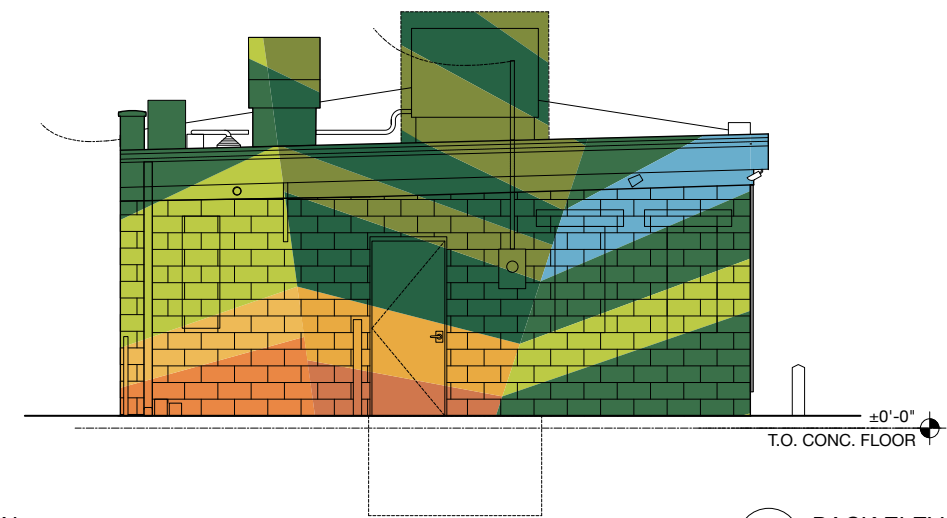
SOUTH AND FRONT FACADE FROM ACROSS STREET



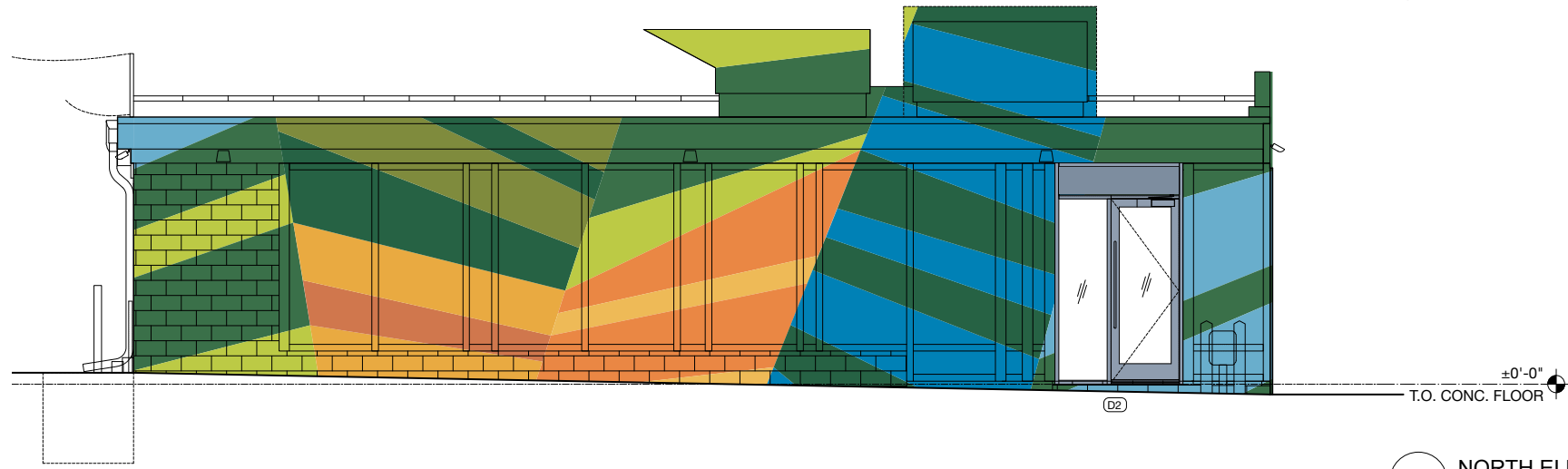
PROPOSED ELEVATIONS



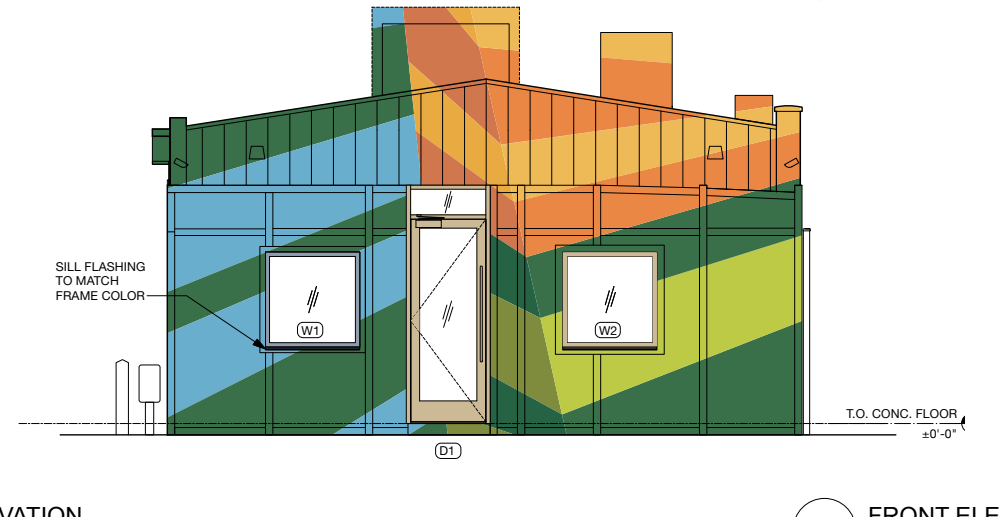
5 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



2 BACK ELEVATION
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

HISTORIC AND PROPOSED MURAL COLOR SWATCHES

ACCEPTABLE COLORS FOR BUILDINGS IDENTIFIED AS CONTRIBUTING RESOURCES BY THE HISTORIC DESIGNATION ADVISORY BOARD

ACCEPTABLE COLOR COMBINATIONS *MS = MUNSELL STANDARD

BODY	TRIM	SASH	CORNICE/ PORCH	IRON CRESTING
Any System B Color EXCEPT A:7, A:8, A:9, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Shingles: Stained or painted any System B Color ESPECIALLY Dark Greens, Olives, Browns and Yellows EXCEPT A:7, A:8, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Existing brick or stone	Any System B Color darker than the brick or stone body, ESPECIALLY B:6, B:8, B:11, B:18	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19

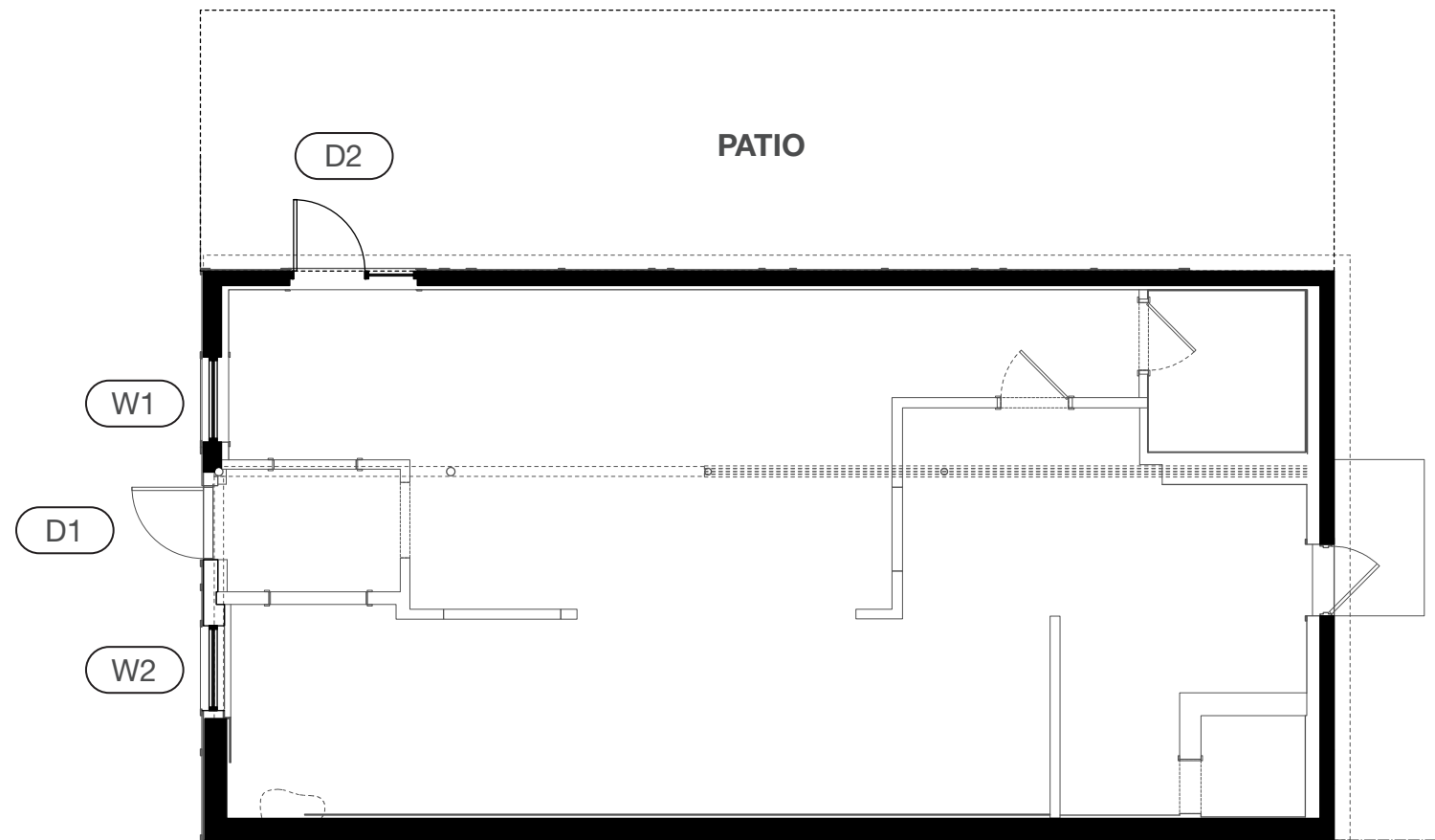
PROPOSED MURAL COLORS

The building is designated by the Historic Designation Advisory Board as **not** contributing to the Willis-Selden Historic District (see map on page 4).

To address the facade's appearance, the owner proposes repainting all facades with a mural. The mural's design is intended to add both friendly colors and excitement to the otherwise simple building. As a non-contributing building, colors outside of the Acceptable Color Combinations were chosen.

Storefront Frame Colors	Mural Colors	

WINDOW AND DOOR SCHEDULE WITH COLOR SWATCHES



Gold
UC70542F



Military Blue
UC70533

WINDOW DOOR SPECIFICATIONS

ALL DIMENSIONS OF ROUGH OPENING TO BE FIELD VERIFIED.
PROVIDE 1/2" SHIM AROUND ALL WINDOWS.
ALL WINDOWS ARE DOUBLE PANE GLASS

(D1) DOORS/ FRAMES:
MANUFACTURER: CRL, US ALUMINIUM OR SIMILAR
SERIES:400-T MEDIUM STILE DOOR WITH A.D.A. BOTTOM RAIL
FRAME: IT451 ANODIZED ALUMINUM STOREFRONT SYSTEM 2" X 4.25", 1" IGS
EXTERIOR PULL TBD
FINISH: SEE SCHEDULE
DOOR CLOSER MANUFACTURER: ASSA ABLOY NORTON DOORS
410DAXTPNX689

(D2) MANUFACTURER: CRL, US ALUMINIUM OR SIMILAR
400-T MEDIUM STILE
SERIES:400-T MEDIUM STILE DOOR WITH A.D.A. BOTTOM RAIL
FRAME: IT451 ANODIZED ALUMINUM STOREFRONT SYSTEM 2" X 4.25", 1" IGS
EXTERIOR PULL TBD
FINISH: SEE SCHEDULE
DOOR CLOSER MANUFACTURER: ASSA ABLOY NORTON DOORS
410DAXTPHX689

(W1)(W2) WINDOWS
MANUFACTURER: CRL, US ALUMINIUM OR SIMILAR
IT451 ANODIZED ALUMINUM STOREFRONT SYSTEM 2" X 4.5", 1" IGS
FINISH: SEE SCHEDULE
INCLUDE EXTERIOR SILL FLASHING COLOR TO MATCH FRAME

DOOR SCHEDULE

DOOR ID	LOCATION	QTY	OPENING SIZE			THRESH. MATL.	MATL. FINISH	HARDWARE SET	CLOSER	DOOR PULL	DOOR STOP	ACCESSORIES	HINGE
			WIDTH	HEIGHT	THICK.								
D1	EAST ENTRANCE	1	3'-4 1/2"	9'-7 1/2"	8 3/8"	ALUMINIUM	GOLD UC70542F	A	410DAXTPNX689	TBD	TBD	TBD	TBD
D2	NORTH ENTRANCE	1	5'-8 1/2"	9'-9 1/2"	10 3/8"	ALUMINIUM	MILITARY BLUE UC70533	B	410DAXTPHX689	TBD	TBD	TBD	TBD

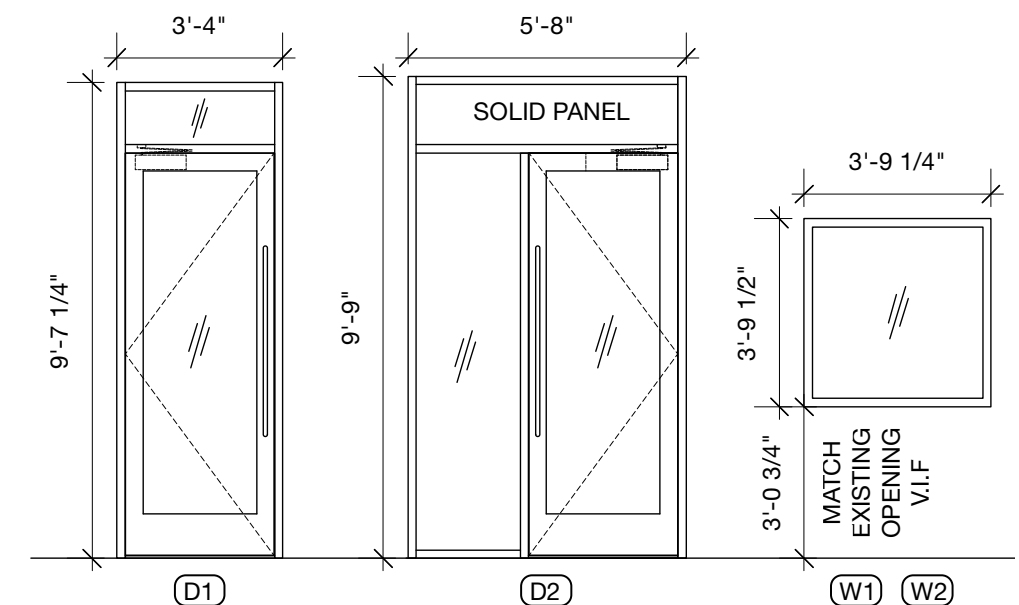
HARDWARE SCHEDULE

HARDWARE ID	TYPE	LOCK SET	HARDWARE TYPE								
			PUSH SIDE	MANUFACTURER	MODEL NUMBER	FINISH	PULL SIDE	MANUFACTURER	MODEL NUMBER	FINISH	
A	ENTRANCE	1	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
B	ENTRANCE	1	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD

WINDOW SCHEDULE

WINDOW ID	LOCATION	QTY	OPENING SIZE			FRAME		GLAZING		
			WIDTH	HEIGHT	THICK.	MATL.	FINISH	TYPE	COLOR	SPACERS
W1	WEST FACADE	1	3'-9 3/4"	3'-10"	1'-2 1/4"	ALUMINIUM	MILITARY BLUE UC70533	TBD	TBD	TBD
W2	WEST FACADE	1	3'-9 3/4"	3'-10"	8 3/8"	ALUMINIUM	GOLD UC70542F	TBD	TBD	TBD

ALL DIMENSIONS OF ROUGH OPENING TO BE FIELD VERIFIED PRIOR TO ORDERING WINDOWS OR DOORS





U.S. Aluminum
Color Selection Guide



PPG Coatings Protected

DURANAR® Coatings



DURANAR® SUNSTORM™ Coatings



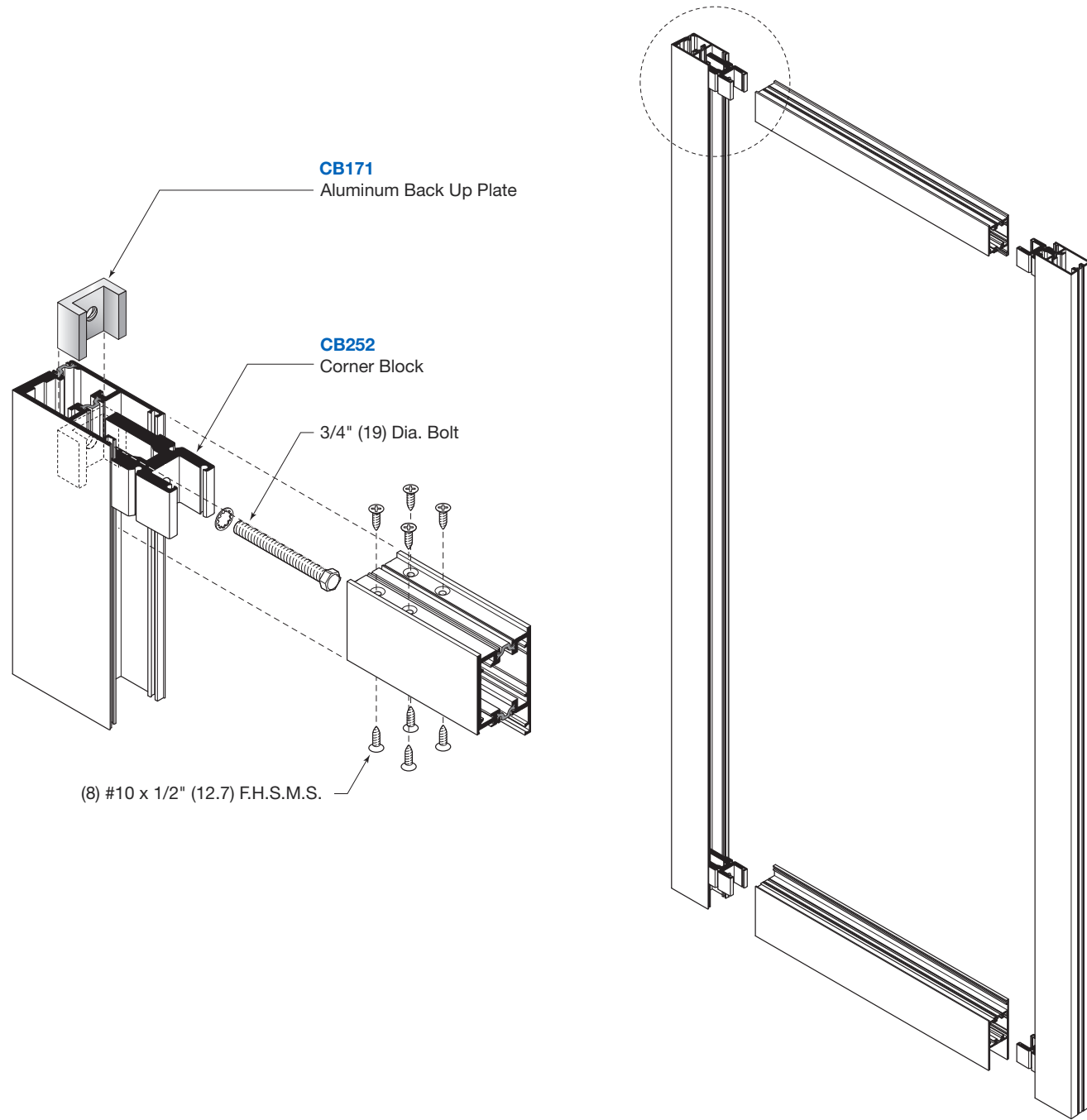
These color samples are as close as possible to the actual colors offered within the limitations of color chip reproduction.

ENTRANCES

Door Corner Construction

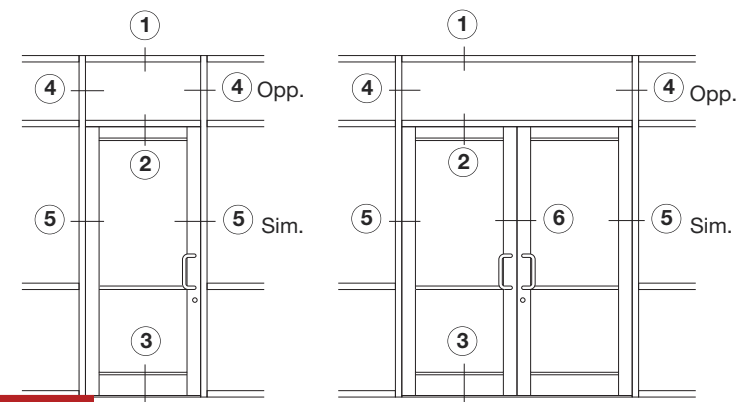


Thermal Doors
 • Series 250-T
 • Series 400-T



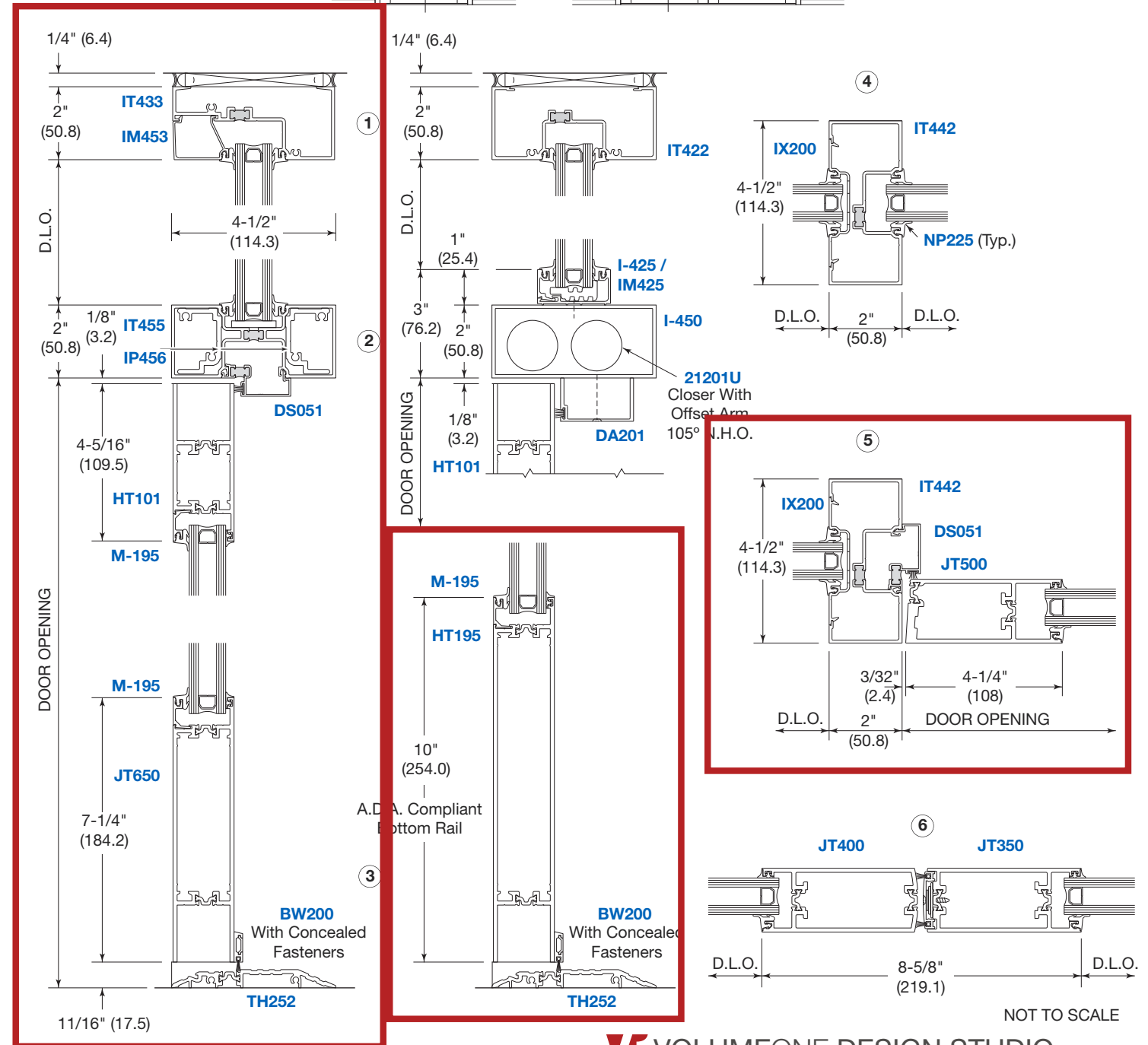
Typical Details

NOTE: Series 400-T Medium Stile Door Shown. For Series 250-T Narrow Stile Door Details, visit usalum.com.



ENTRANCES

Thermal Doors
 • Series 250-T
 • Series 400-T



NOT TO SCALE