STAFF REPORT: 9/14/2022 MEETING PREPARED BY: D. RIEDEN

APPLICATION NUMBER: #22-8010 **VIOLATION NUMBERS:** #624

ADDRESS: 4700 THIRD AVENUE

HISTORIC DISTRICT: WARREN-PRENTIS

APPLICANT: TANYA YONO

PROPERTY OWNER: TANYA YONO

DATE OF PROVISIONALLY COMPLETE APPLICATION:8/22/2022 DATES OF STAFF SITE VISITS: 7/21/22, 7/29/22, 8/19/22, 8/25/22

SCOPE: REPLACE PILASTERS AND ENTRANCE (WORK COMPLETED WITHOUT APPROVAL)

EXISTING CONDITIONS

Built in 1921, the commercial property at 4700 Third is a 1-story retail store on a 1000SF lot facing Southwest. It is constructed of brick with brick herringbone patterns and limestone and concrete pilasters that have been since reconstructed with repairs since 1996 with several HDC Certificates of Appropriateness. The non-historic, wood paneling and wood awning has been since removed, and some of the previously painted brick on all sides of the building remain unpainted in the newer reconstruction of the walls on Third and Forest Ave. The front entrance now introduces transoms and sidelights, which have been extended to reach the limestone banding. Both the wall reconstruction and the new entrance are the work items under review in this application.

This property has the following former HDC approvals and violations on Detroit Property Information System (DPI):

- December 1996, HDC COA: Rebuilding of herringbone brick wall between storefront and roof, replace and repaint non-historic wood paneling
- September 2018, HDC COA: Signage
- November 2018, HDC COA: General rehab, replace external brick to match pattern and limestone detailing
- April 2019, HDC COA: General Rehab, replace brick panel along Forest Ave to match existing
- August 2021, HDC COA: Roof
- July 2022, Violation: Siding work outside of permitted COAs material and design



Site Photo 1, by Staff August 25, 2022: (Southwest) front elevation, showing replaced pilasters and entrance.



Site Photo 2 by Google Street, October 2016: (Southest) front elevation, showing previous conditions of the walls prior to COAs issued and work completed without approval.



Aerial 1 of Parcel # 04003415.002L by Detroit Parcel Viewer.

PROPOSAL

The proposed work consists of two projects: rebuilding the wall on Forest Ave by replacing the rotten facia, wood and face brick, and the replacement of the limestone pilasters along Third Ave. and Forest Ave. with rough limestone, and the replacement of two (2) entry doors and three (3) security shutters. All work is complete prior to approval.

Rebuilding of wall on Forest, Replacement of pilasters on Forest and Third Ave.

- Rebuild 2 collapsed walls on Forest Ave. with brick and limestone in pattern to match existing herringbone brick and limestone patterns.
- Remove and replace limestone pilasters on Third Avenue and Forest Avenue walls with Indiana split limestone.
- Remove existing peeling paint on Forest Ave. wall and repaint reddish, brown to match

Replace entrance doors & security shutters

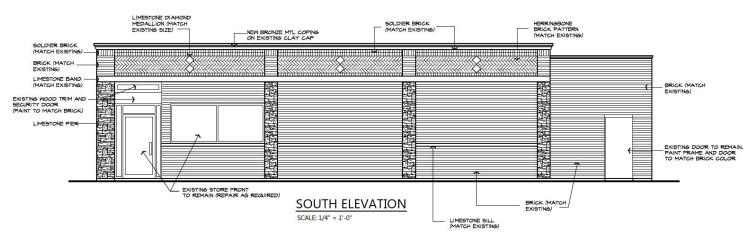
- Replace existing two (2) entry doors and replace with two (2) entry, Ramco aluminum doors and frames (See attached details), powder-coated black finish.
- Replace three (3) security shutters and replace with three (3) security shutters above door entries and window. Security shutters: AL-7 commercial extruded aluminum, small box design, color bronze.

STAFF OBSERVATIONS AND RESEARCH

- The Warren-Prentis Historic District was established in 2001.
- Staff observes that the herring-bone brick pattern and the smooth limestone pilasters of the original walls are distinctive character-defining features of the building.
- Staff offers the opinion that the smooth pilasters replaced with rough. Indiana split limestone introduces a new design element that alters the simplicity of the rhythm of limestone banding and pilasters, offset by the details of the brick patterns.
- Staff observed that the window on the south wall along Forest Ave is not placed in the position as proposed in the drawings in the following manner: both the window and the limestone sill are shown in the proposed drawing to match the running band of the walls. Currently the window and the limestone sill sit approximately 1' higher. It is staff's opinion that the proposed drawing would be appropriate over what was built without approval. (see Elevation 1, below and Site photo 1, above.)

- The limestone banding across the top and middle of the building is not consistent. Some areas are smooth limestone, other locations show a lip to the top edge, and along Third Avenue, the banding is squared to nearly tile shape, rather than elongated stone pieces as installed in other areas of the wall. Staff observed that these shorter lengths were installed sometime between Aug 2018 and June 2019.
- Staff observed that the wood-awning that was removed since August 2021, was not previously addressed in this application and is adding this note to potentially give the applicant an opportunity to address this before the Commission. In staff's opinion, this awning is not a character-defining feature of this building as it appears to have been added, similar to the wood paneling that once covered the more distinctive, character defining features of the wall's brick and limestone patterns.
- Staff observed that the proposed front entrance appears taller, although the doors remain in similar dimension, because of the added glass transoms and sidelights that reach the height of the limestone banding. Because staff believes the awning was not historic, the minimal framing and glass that now occupies this area is minimaly intrusive and does not alter the character-defining features of the building. Staff also observes that the doors are mirrored, which offers some symmetry and a clean simplicity to the entrance that is appropriate in staff's opinion.
- Staff observed that the entire building was once painted, and only two brick bays on Forest Ave., have been repainted a reddish brown. The proposal does not extend painting any of the other brick wall bays, which in staff's opinion introduces an inconsistancy that was not previously existing. Staff offers the opinion that the new paint be removed to expose the brick underneath.
- Staff observes that the proposed security shutters are not a permanent alteration and could be taken down in the future without too much impact on the historic material. It is staff's opinion that these shutters are consistent with Standard 9 in that they do not destroy historic materials and Standard 10 in that if removed in the future, the essential form and integrity of the historic property would be unimpaired. Staff offers the opinion that there may be other security methods that may be less intrusive, but the proposed shutters are not demonstrably inappropriate.

NOTE: MATCH ALL NEW BRICK WITH EXISTING



Elevation 1, by applicant, south elevation on Forest Ave., showing the limestone sill for the window location.

ISSUES

- All work in this application was completed without HDC approval.
- Staff identifies that the replacement of the smooth limestone pilasters with the roughhewn limestone pilasters are inappropriate as they introduce a material treatment and busy, dissected design that destroys the historic character of the property (Standards 2 and 3), removed distinctive features (Standard 5), does not match the old character-defining feature of the simplicity of the original limestone pilasters (removed without permit) in design, texture, and other visual properties (Standard 6).
- Staff identifies that the proposed window location in the drawings is an appropriate location, but the built location, without approval, appears to have been misplaced and interrupts the design and rhythm of limestone and brick interplay. Staff offers the opinion that the window on the south wall should be located as shown in the proposed drawing.
- Staff offers the opinion the previously approved work on Third Avenue regarding the limestone banding
 was not executed in a manner that was approved, creating short segments of limestone, rather than
 elongated segments that match the existing limestone. (See attached HDC COA, 2018)
- Staff offers the opinion that the application of paint on the Forest Ave. wall causes an inconsistency in the final treatment of this wall.
- Staff has no issue with the proposed entrance replacement and shutters.

RECOMMENDATION

Section 21-2-78, Determination of Historic District Commission

Recommendation #1: Replacement of limestone pilasters

Staff finds that the replacement of the smooth limestone pilasters with rough cut limestone pilasters destroys the historic character of this property and removes distinctive, character-defining features.

Staff therefore recommends that the Commission issue a Denial for the above work items, as they do not meet the Secretary of the Interior's Standards for Rehabilitation, specifically Standards:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Recommendation #2: Rebuilding of the brick wall, Replacement of entry doors, Installation of security shutters

It is staff's opinion the proposed installation of brick walls, replacement of entry doors and the installation of security shutters are appropriate. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation.

Staff recommends the Certificate of Appropriateness be issued with the following conditions:

- The installed window and it's corresponding to limestone sill be reconstructed and placed according to the proposed drawings.
- The paint applied on the south wall be removed, or the applicant provide a paint scheme to HDC staff that addresses inconsistent application of paint on this wall.
- HDC staff shall review the final details of both the relocation of the window and limestone sill and the paint application for approval before the applicant executes these actions.

11/29/2018

CERTIFICATE OF APPROPRIATENESS

Bob Olsen U.S.A. Masonry Restoration 4700 Third St. Detroit, MI 48126

RE: Application Number 18-5991; 4700 Third; Warren-Prentis Historic District

Dear Mr. Olsen:

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Section 25-2-57(b) of the 1984 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA), which is effective as of November 29, 2018.

Staff finds the work appropriate for the following reasons:

The following work items meet the Secretary of the Interior's Standards for Rehabilitation standard 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence:

- Replace failing external panel brick along Third street with new brick to match existing brick pattern and details
- Continue herringbone brick pattern and limestone detailing to match previously completed restoration work
- COA applies to replacement of panel brick on Third Street wall only

Please retain this Certificate of Appropriateness for your files. You should now proceed to the City of Detroit Buildings Safety and Engineering Department to obtain a building permit. The Detroit Historic District Commission's approval and issuance of a Certificate of Appropriateness does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding this letter, please contact me at (313) 224-4803.

For the Commission:

Brendan Cagney

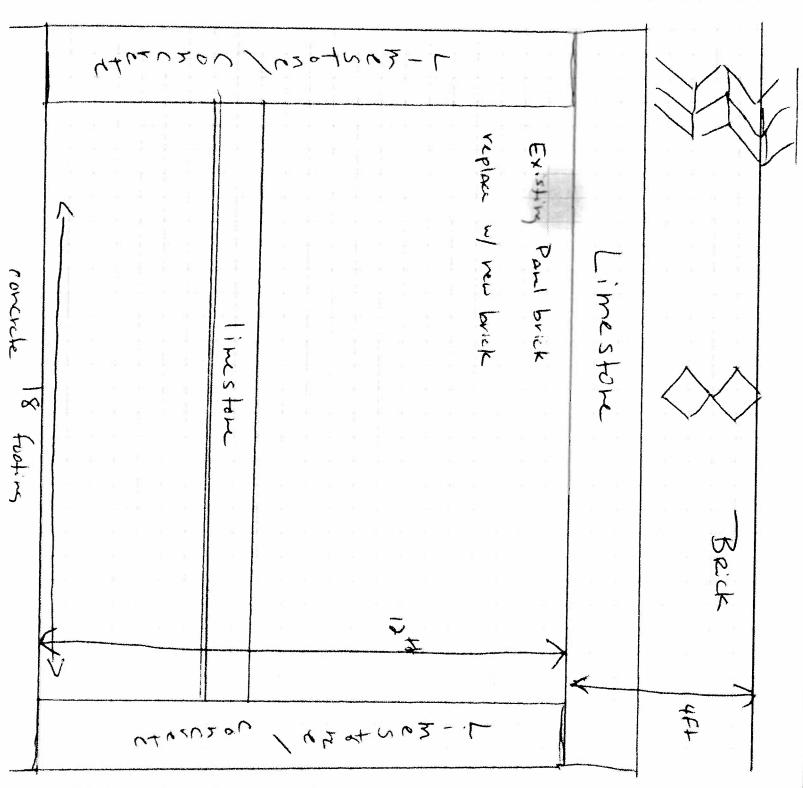
Staff

Detroit Historic District Commission



JOBNOTES

3210 Coolidge Hwy. Berkley, Mt. 48072 248.291.6213 | Fax 248.291.6178 www.PowerTechniquesInc.com



Direct Dr. Design Server S. Madaria Barra Cartery of Projection for Devices. CPS A Emergency Japanian and Systems of Projection Process. Battery favor (Physical Research Inc.) and Provide Crafting and Systems of Projection Projection of Projection of Projection of Projection (Physical Research Inc.).
Direct Dr. Design Server S. Madaria Barra Contents of Projection Association of Projection (Physical Research Inc.).













City of Detroit

Buildings, Safety Engineering and Environmental Department Property Maintenance Division

Coleman A. Young Municipal Center

2 Woodward Avenue, 4th Floor, Suite 412, Detroit, Michigan 48226 (313) 628-2451

CORRECTION ORDER

2021-12-20

Owner:

Thomas H Yono 4700 Anthony Wayne Drive

Detroit, MI 48201

Record ID

: ANN2004-01870

Location

: 4700 ANTHONY WAYNE Detroit, Michigan 48201

Legal Occupancy

: RETAIL OR WHOLESALE STOI

Tenant

Sector: 4

District :

Use Group

: M

Zoning District

Inspection Type

: Annual Called Re-Inspection

Inspection Result

: FAIL

Inspector

: Carl Craik

Inspection ID

: 32078710

The Property Maintenance inspected the above premises on 12/20/2021

Violations of the Detroit **Property Maintenance Code and/or Official Zoning Ordinance** were found to exist and corrections shall be made on or before the compliance date.

Compliance Date: 01/19/2022

		1.50
<u>Violations</u>		
COMMERCIAL ELECTRICAL 2019		
1 COMMERCIAL ELECTRICAL 2019		Life Committee of the C
Defective Switch - 8-15-372	Repair/replace defective/missing wall switch/receptacle covers. /Open J box above Cooler at Hallway	NON-COMPLIANT
COMMERCIAL EXTERIOR 2019		
2 COMMERCIAL EXTERIOR 2019		
Peeling Paint - 8-15-201	Remove peeling paint from exterior surfaces of building and repaint at	NON-COMPLIANT
3 COMMERCIAL EXTERIOR 2019		
Exterior Walls - 8-15-205	Maintain all building and/or structure exterior walls in good repair at //Rotten Fascia and Overhang, Rotten wood Siding.	NON-COMPLIANT
COMMERCIAL INTERIOR 2019	motion rascia and overnarily, notion wood claims.	
4 COMMERCIAL INTERIOR 2019		
Surfaces - 8-15-303	Maintain all interior surfaces (including: ceilings, walls and floors) in a good, clean sanitary condition. /Dirty Damaged Ceiling Tiles	NON-COMPLIANT
Failed items for Annual Inspection, COMMER	RCIAL ADMIN 2019	
5 Failed items for Annual Inspection, COMM	IERCIAL ADMIN 2019	
Certificate of Compliance - 8-15-35	Secure the required annual "Certificate of Compliance" from this department.	NON-COMPLIANT
6 Failed items for Annual Inspection,COMM	IERCIAL ADMIN 2019	
Pay Fee - 8-15-33	For compliance you are required to pay the prescribed inspection fee, in addition to complying any existing violations.	NON-COMPLIANT
Failed itams for Annual Inspection COMME	OCIAL EVTEDIOD 2010	

Failed items for Annual Inspection, COMMERCIAL EXTERIOR 2019

Failed items for Annual Inspection, COMMERCIAL EXTERIOR 2019

Remove graffiti, markings, or paintings from exterior surfaces. Graffiti - 8-15-111

NON-COMPLIANT

8 Failed items for Annual Inspection, COMMERCIAL EXTERIOR 2019

Exterior Walls - 8-15-205 Maintain all building and/or structure exterior walls in good repair at NON-COMPLIANT

Telephone inquiries may be made between 8:00 am and 4:00 pm Monday - Friday.

NOTE: YOU ARE REQUIRED TO OBTAIN A CERTIFICATE OF COMPLIANCE FOR YOUR PROPERTY. UNDER CERTAIN CONDITIONS, YOU MAY BE ENTITLED TO RECEIVE A TEMPORARY CERTIFICATE OF COMPLIANCE WHILE CORRECTIONS ARE IN PROGRESS.

TO RECEIVE THE REQUIRED CERTIFICATE OF COMPLIANCE FOR INSPECTION OR MAINTENANCE OF GRANT CONDITIONS, YOU MUST PERFORM THE FOLLOWING:

- 1. CORRECT ALL OF THE DEFICIENCIES LISTED ABOVE.
- 2. PAY THE REQUIRED INSPECTION FEES AS INVOICED.
- 3. CALL (313) 628-2451 FOR A RE-INSPECTION AFTER CORRECTION OF DEFICIENCIES AND PAYMENTS OF THE FEES AS INVOICED
- 4. YOU MUST REGISTER YOUR PROPERTY.

YOUR FAILURE TO COMPLY WITH THE ABOVE WILL RESULT IN THE ISSUANCE OF ONE OR MORE TICKETS WHICH WILL BE HEARD AT THE CITY OF DETROIT, DEPARTMENT OF ADMINISTRATIVE HEARINGS, WHICH IS LOCATED AT 1004 COLEMAN A. YOUNG MUNICIPAL **CENTER DETROIT, MICHIGAN 48226**

- Remove two non-historic entry doors at storefront & replace with two non-historic entry doors
- Remove three failing security shutters & replace with three security rolling shutters above door entry & window
- Remove failing Limestone pilasters along 3
 Street wall & Forest Ave wall with Limestone Indiana Split Limestone
- Remove peeling paint along Forest Ave wall & repaint reddish brown to match
- Rebuild 2 collapsed walls on Forest Ave with Brick/Limestone and Herring Bone Pattern Brick to match existing.

Description of existing conditions:

In the beginning of June 2022, we had significant storm damage, and it lifted our overhang and pulled away from the building. Pieces of the building had fallen, and we needed to remove it. There was panel brick attached to plywood that was not secure. For safety measures, we secured the sidewalk area. The pilasters on Forest side were buckled as was the brick above. Two of the walls on Forest side were face/panel brick that were crumbling, cracked, buckled, and leaning. I had rotten fascia & rotten wood siding. These photos show pilasters popping out of the wall, the TOPS of the pilasters were removed & never put back by previous mason and I have no idea what he did with them. There was an opening at the top as shown in some pics attached. The pilasters coming out of the walls were happening on third street wall as well as forest Ave. wall.

The pilasters posed a dangerous and hazardous environment as you can see from the pictures.

As the mason I hired for this job in July 2022 removed them from Third Street wall, one broke, one fell and broke, one was cracked already, and we were not able to restore them. We were not able to re-store because the materials were not available due to the Pandemic and Supply Chain Management shortage. The composition of them was limestone. In addition, the pilasters on Forest Ave, you can see was buckling, and was damaged. There were two more on the Forest side that we matched with the same material. We would have repaired to previous conditions but the material was not available nor was distribution taking place in this material industry area.

On Forest side, I had paint peeling, crackling, graffiti, and discoloration. By the non-historic entry doors which were already in place, I had 2 heavy steel security shutters that were detaching from the building as was the steel shutter above the window (forest side), The wood where the shutters were located, was not able to handle the weight of the shutters and you could see that it had cracked and pulled away where the screws attached holding them to the building.

The non-historic window had fog/condensation between the tempered glass. The face/panel brick and frame wood by the non-historic entry doors were under rotten plywood and face/panel brick.

I had a correction order from the City of Detroit. I have attached it. The Correction Order requires repairs, corrections and other items needed to pass inspection and be able to operate legally.

Our entire focus has been to secure the safety of the environment, residents and customers. We even shut down our business for 1 month in order to secure the safety, health and well being of our residents, customers and neighbors.

From: Tanya Yono
To: Dan Rieden

Subject: [EXTERNAL] Re: 4700 Third - September 14th Historic District Commission Meeting

Date: Wednesday, August 31, 2022 1:34:02 PM **Attachments:** Security shutter proposed color.png

This Message Is From an External Sender

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

HI Dan,

Yes, I remember. Thank you for assisting me with the application.

I am going to respond to the questions below.

Some of the limestone band is inconsistent with its materiality. I believe the part you are asking about is on the Third ave street. The band at the top section under the herringbone. I don't know why it's different, that was untouched by my mason.

There are some photos in the application that show a wood frame with a wood siding. What is this photo of? I had wood frame where the overhang was and then also the section of wall east of that going east down Forest. We do not have labels provided for these photos, so we do not know the contents of some of these photos. Please provide labels for the photos that are not obvious (close-up images). Ok, I have attached it here with a label.

Please provide the color and selected style/design for the proposed security shutters. The brochure you provided doesn't identify which choice you're proposing. The shutter style we propose is a solid shutter and the color is dark bronze. I attached a sample of it.

From: Tanya Yono
To: Dan Rieden

Subject: [EXTERNAL] Re: 4700 Third - September 14th Historic District Commission Meeting

Date: Wednesday, August 31, 2022 1:43:16 PM **Attachments:** Security shutter proposed color.png

This Message Is From an External Sender

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

I meant to write this in my description when answering question #3

Here is a better description of the security shutters we propose

The color is bronze. (Made to go with commercial door bronze)

The style is AL-7 commercial extruded aluminum. Small box design

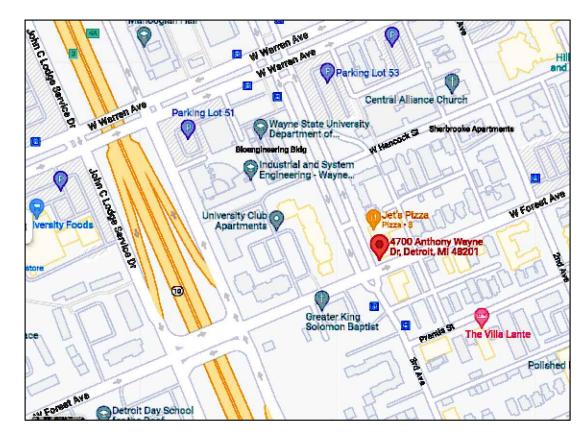
On Tuesday, August 30, 2022, 05:38:59 PM EDT, Dan Rieden <riedenda@detroitmi.gov> wrote:

Dear Ms. Yono,

I would like to introduce myself, so you have my information available. You may recall we met on site earlier this summer in person. I will be working with you to help bring your application to full completion before the HDC meeting. Please note that staff is working partially from home, so please reach me by this email.

Upon initial review of your application, I have the following questions. It would be very helpful to have the answer to the first question by end of Friday, September 2nd:

- 1. Some of the limestone band is inconsistent with its materiality. Can you explain why?
- 2. There are some photos in the application that show a wood frame with a wood siding. What is this photo of? We do not have labels provided for these photos, so we do not know the contents of some of these photos. Please provide labels for the photos that are not obvious (close-up images).
- Please provide the color and selected style/design for the proposed security shutters. The brochure you provided doesn't identify which choice you're proposing.



- LOCATION MAP -



GENERAL PROJECT NOTES

I. THE CONTRACT DOCUMENTS ARE PREPARED FOR THE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AND PROPOSED DESIGN CONCEPT.

- 2. DO NOT SCALE THE CONTRACT DOCUMENTS. DIMENSIONS AS INDICATED SHALL GOVERN.
- 3. CONTRACTORS SHALL WARRANT THEIR RESPECTIVE CONSTRUCTION AND WORK TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS IF ALL LOCAL, STATE, AND FEDERAL LAWS, AUTHORITIES HAVING JURISDICTION, AND MANUFACTURER'S INSTALLATION AND WARRANTY REQUIREMENTS.
- 4. CONTRACTORS SHALL PROVIDE ALL REQUIRED LABOR AND MATERIALS TO ACHIEVE INDUSTRY STANDARD OF MEANS AND METHODS TO ACHIEVE THE DESIGN INTENT OF THE CONTRACT DOCUMENTS REGARDLESS WHETHER OR NOT DOCUMENTED HEREIN± CONSIDERATIONS FOR ADDITIONAL LABOR OR MATERIAL COSTS ON THE BASIS OF OMISSIONS SHALL NOT BE GRANTED.
- 5. INTERPRETATIONS, CLARIFICATIONS, CHANGES, DELETIONS, AND RELATED MODIFICATIONS TO THE CONTRACT DOCUMENTS SHALL BE SOLELY BY THE ARCHITECT EITHER BY ISSUANCE OF A CONSTRUCTION CHANGE DIRECTIVE OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS.
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY ALL FIELD CONDITIONS PRIOR TO SUBMITTING PROJECT BIDS, ORDERING MATERIALS, GENERATING SHOP DRAWINGS AND SUBMITTALS, AND START OF WORK, THE ARCHITECT SHALL NOT BE HELD LIABLE FOR UN-VERIFIED FIELD CONDITIONS.
- 1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, DIFFERENCES, OR ABNORMALITIES WITH THE FIELD CONDITIONS AGAINST THOSE AS DOCUMENTED IN THE CONSTRUCTION DOCUMENTS IN A TIMELY FASHION. THE CONTRACTOR SHALL BE HELD LIABLE FOR FAILURE TO REPORT ITEMS TO THE ARCHITECT AND RESPONSIBLE FOR CONSTRUCTION COSTS AND APPLICABLE FEES TO REMEDY CONFLICTS.
- 8. NO SUBSTITUTIONS, CHANGES, OR OMISSIONS FROM THE CONTRACT DOCUMENTS ARE PERMITTED. CONTRACTOR MAY REQUEST SUBSTITUTIONS, CHANGES, AND/OR OMISSIONS IN LIBITING BY THE ARCHITECT
- 3. CLARIFICATIONS TO THE DOCUMENTS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR REVIEW AND RESPONSE.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR THE REVIEW AND COORDINATION OF WORK AS ENTAILED WITHIN THE CONTRACT DOCUMENTS, INCLUDING THOSE OF THE ARCHITECT'S CONSULTANTS. COORDINATION OF RELATED TRADE WORK SHALL INCLUDE BUT NOT BE LIMITED TO: SEQUENCING, PHASING, FIELD COORDINATION, CUTS AND OPENINGS, INSPECTIONS, AND APPROVALS.
- II. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES PRIOR TO ORDERING MATERIALS. THE ARCHITECT SHALL NOT BE HELD LIABLE FOR QUANTITIES AS NOTED ON CONTRACT DOCUMENTS.

MASONRY WORK:

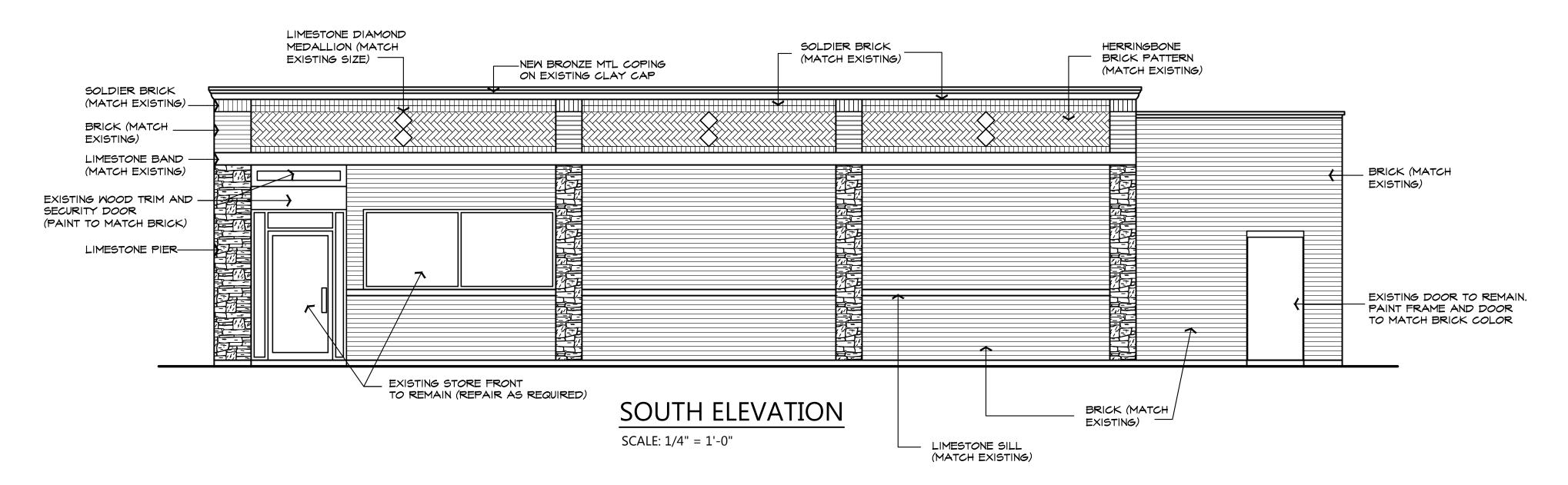
ALL MASONRY WORK IS TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (AI 530/ASCES) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6) AND N.C.M.A. SPECIFICATIONS.

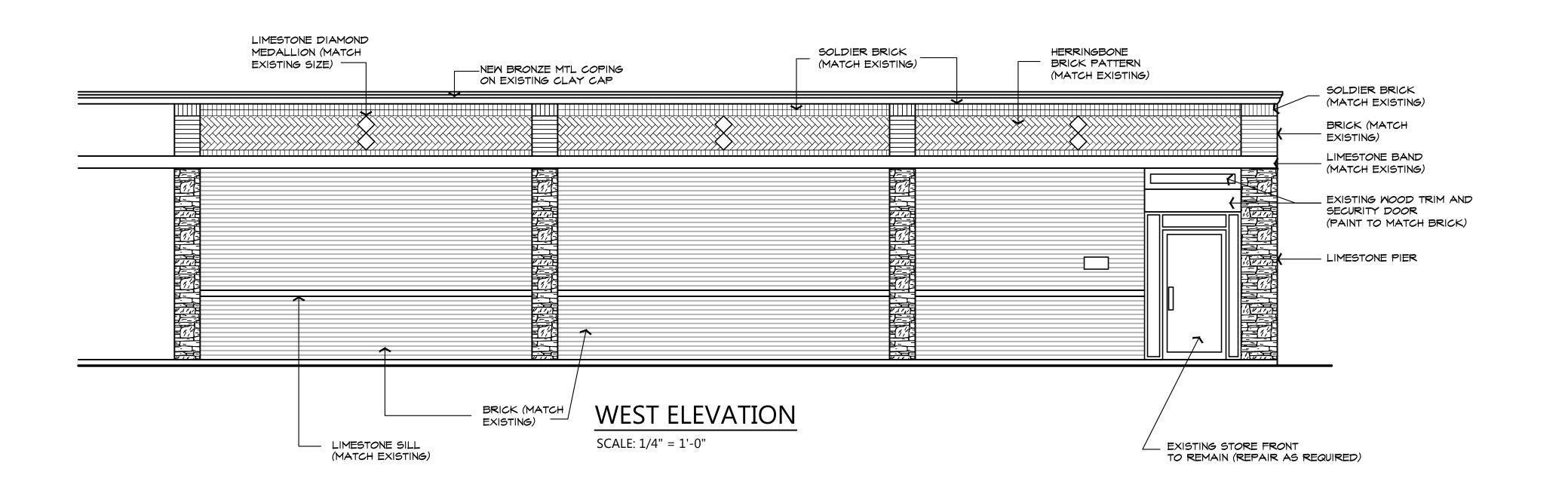
2. THE REFERENCE MATERIAL STANDARD FOR EACH MASONRY CONSTRUCTION MATERIAL USED ON THIS PROJECT INCLUDING MASONRY UNITS, MORTAR AND METAL ACCESSORIES. MASONRY:

2.1. CONCRETE BLOCK: ASTM C90-01a
2.2. BRICK: ASTM C62-01

- 2.2. BRICK: ASTM C62-01
 2.3. MORTAR: ASTM C270-01a
 2.4. REINFORCEMENT: ASTM A82-01
- 3. BLOCK GRADE A, LOAD BEARING UNITS ASTM-C90-01a, IN ACCORD WITH CONCRETE MASONRY ASSOCIATION SPECIFICATIONS.
- 4. ALL MASONRY BEARING STEEL BEAMS AND LINTELS TO BEAR 8" MINIMUM ON THREE COURSES SOLID MASONRY, WITH 2 3/4" BOLTS EACH END, UNLESS OTHERWISE NOTED.
- 5. UNLESS OTHERWISE NOTED, PROVIDE 4" x 4" x 5/16" ANGLE (L.L.V.) LINTEL FOR EACH 4" OF MASONRY FOR SPANS UP TO 5'-0" MAXIMUM.
- 6. ALL DOUBLE ANGLE LINTELS SHALL BE WELDED BACK TO BACK WITH A 3/16" FILLER WELD WITH MINIMUM 2 INCH STITCH WELD EVERY 8 INCHES.
- 1. PROVIDE INSULATION FOR ALL CMU WALLS.
- 8. MASONRY COMPRESSIVE STRENGTH 1'm=1500 PSI MINIMUM.
- 9. ALL BLOCK SHALL CONFORM TO ASTM C90, TYPE I, WITH A MINIMUM UNIT NET AREA COMPRESSIVE STRENGTH OF 1900 PSI.
- 10. MORTAR SHALL BE TYPE "S" (1800 PSI) CONFORMING TO ASTM C-270. USE MORTAR CEMENT WHERE EXTERIOR WALLS ARE UNREINFORCED.
- II. ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.
- 12. MASONRY GROUT SHALL CONFORM TO ASTM C-476, WITH PEA GRAVEL AGGREGATE AND A MINIMUM STRENGTH OF 2000 PSI, BUT NOT LESS THAN SPECIFIED 5'm
- 13. PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIDE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING SHALL HAVE "LADDER" TYPE REINFORCING. WHERE VENEER MASONRY 15 PRESENT, PROVIDE SAME WITH ADJUSTABLE VENEER TIES AT 16" O.C. STAGGERED.

NOTE: MATCH ALL NEW BRICK WITH EXISTING









www.GUMMAGROUP.net

7419 Middlebelt Road, Suite 4 West Bloomfield, MI 48322 (248) 865-5555 Fax (248) 865-5015

Project:

UNIVERSITY VILLAGE MARKET

4700 ANTHONY WAYNE DR., DETROIT, MI

Designed	R.K.
Drawn	R.K.
Approve	<u> 5. 5. P.E.</u>
Scale	AS NOTED

 140000		

Do not scale drawings. Use given dimensions only. If not shown, verify correct dimensions with Gumma Group.

Contractor shall check and verify all dimensions and

constitute original and unpublished work of Gumma Group and may not be duplicated, used or disclosed without the

Project No.

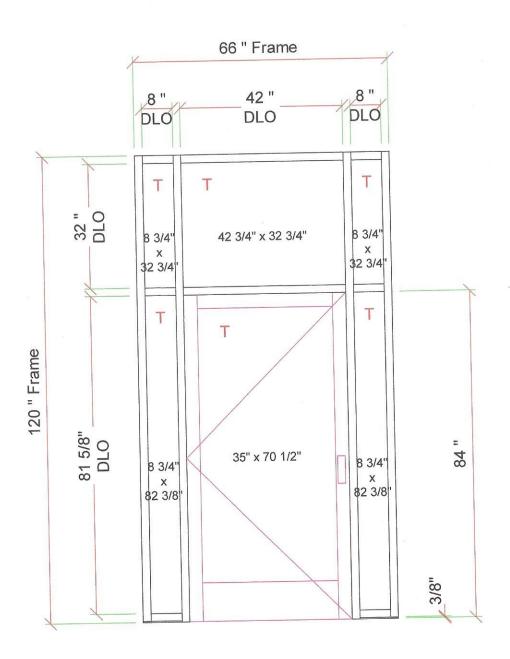
conditions at job site.

JOB#: 22-##

Issued	`
BUILDING APPROVAL 07/22/2022	
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Sheet Title and Number ELEVATIONS

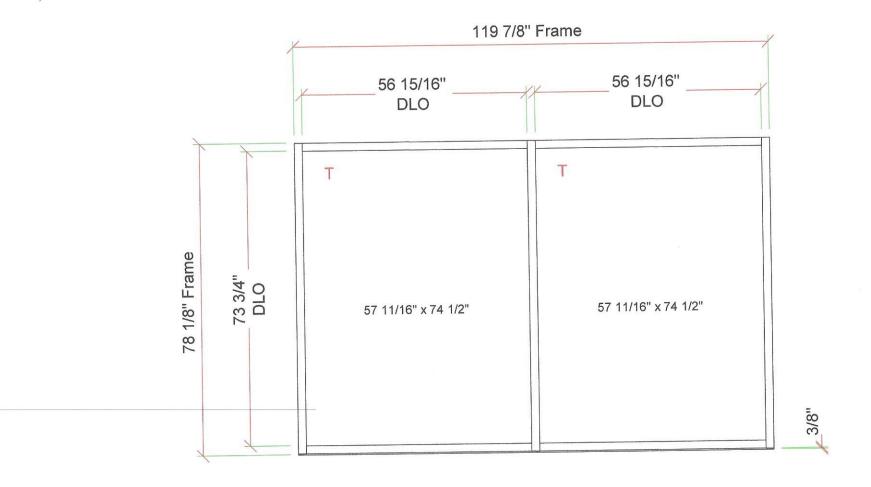
A-100



UNIVERSITY VILLAGE MARKET - SAL - 1 - 001 - EXTERIOR ENTRANCE (2 Thus)

Frame: (C2-Clear) E14000 : Storefront : 2 x 4-1/2 : Flush

Glaze: E45159 subsill



UNIVERSITY VILLAGE MARKET - SAL - 2 - 002 - EXTERIOR UPPER WINDOW (1 Thus)

Frame: (C2-Clear) E14000 : Storefront : 2 x 4-1/2 : Flush Glaze : E45159 subsill

SPECIFICATIONS: STANDARD ENTRANCE DOORS

GENERAL DESCRIPTION

Work includes furnishing all necessary materials, labor and equipment for the installation of the aluminum entrance doors, door frame and hardware as specified herein.

NOT included: Structural support of the framing system.

PRODUCTS/MATERIALS

Aluminum entrance shall be model (s): Narrow stile 2", Medium Stile 3 11/16" and Wide Stile 5" (Nominal) as manufactured by Ramco (Reliable Architectural Metals Company), Detroit, Michigan. Door and frame sections shall be extruded aluminum AA-6063-T5 alloy with a nominal wall thickness of .125". Glazing and door moldings a minimum of .062". Weather-stripping to be silicone treated plastic pile and glazing gaskets shall be EPDM elastomeric extrusions or vinyl with a fiberglass reinforcement cord to prevent stretching. Weather-stripped insert in top and bottom rail is (optional). .375" high tension, zinc plated steel tie rods run the full width of the top and bottom rails joined together with .250" aluminum reinforcing plates and .375" serrated lock nuts. Narrow Stile doors shall have an adjustable setting block in the top rail.

FINISH HARDWARE

Ramco doors shall be supplied with standard hardware unless otherwise specified. Refer to the finish hardware section of Division 8 for requirements for finish hardware items not specified herein. Glass and glazing shall conform to the requirements specified in section "Glass and Glazing." The architect must specify special hardware for custom doors and entrances. Hardware furnished by others shall be sent to Ramco for application.

FABRICATION

Doors shall be mortised to provide positive interlocking of door rails to door stiles. Assembled with .375" diameter high tension steel plated rod, with .250" reinforced corner plate. Welding is (optional) in corner construction.

FINISHES

All exposed framing surfaces shall be free of scratches and other serious blemishes. Aluminum extrusions shall be given an acid etch, followed by an anodic oxide treatment conforming to the American Architectural Metal Association to obtain a color anodized finish AA-M12C2XA31 class II (clear anodized) or AA-M12C2XA44 class I (dark bronze anodized). Wood grain, black anodize, powder coat, and Kynar finishes are available upon request.

EXECUTION

Entrance doors and framing system shall be installed, glazed, and adjusted by experienced workers in accordance with Ramco's installation instructions and the approved shop drawings.

CLEANING AND PROTECTION

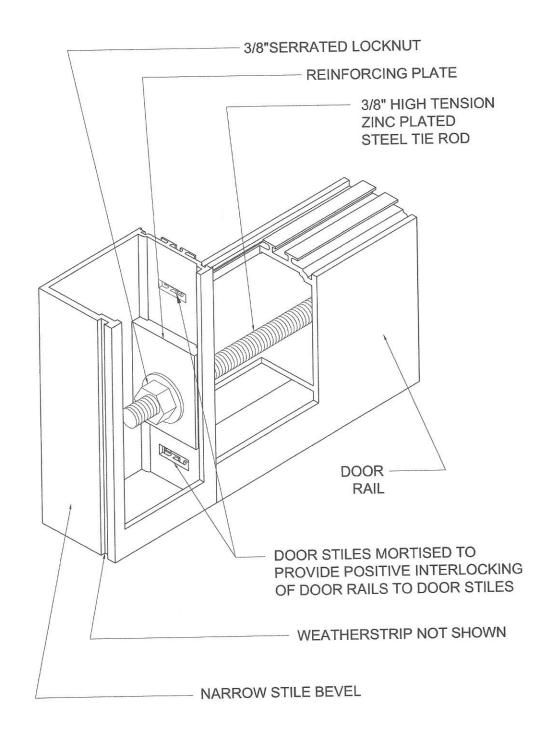
The installer shall prevent the aluminum entrance materials and finish from damage during the installation of the materials. After installation it is the responsibility of the general contractor or owner to prevent damage to the aluminum entrance materials and finish. Ramco assumes no responsibility after pick up or delivery.

NOTE: "Always Service All Ways" is our trade mark and to keep up with today's innovations Ramco reserves the right to change specifications without written notice.



RELIABLE ARCHITECTURAL METALS COMPANY

9751 ERWIN STREET DETROIT, MI 48213 PH: 800.445.0263 FAX: 313.924.8877



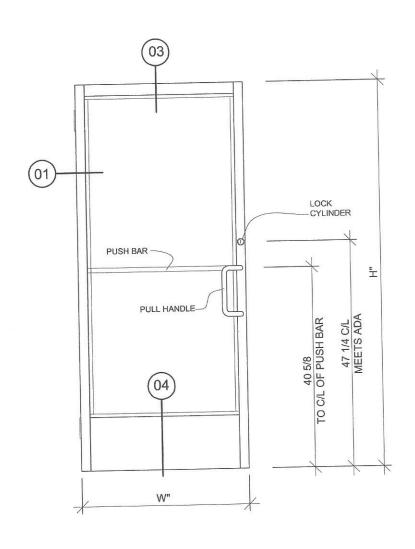
DOOR ASSEMBLY

www.ramcometals.com



STANDARD ENTRANCES

9751 ERWIN STREET DETROIT, MI 48213 PH: 800.445.0263 FAX: 313.924.8877



SINGLE DOOR STANDARD SIZES

STILE	HANDING	SWING	WIDTH (W)	HEIGHT (H)
NARROW	(LH) OR (RH)	SINGLE OR DOUBLE	36"	84"
NARROW	(LH) OR (RH)	SINGLE OR DOUBLE	42"	84"
MEDIUM	(LH) OR (RH)	SINGLE OR DOUBLE	36"	84"
MEDIUM	(LH) OR (RH)	SINGLE OR DOUBLE	42"	84"
WIDE	(LH) OR (RH)	SINGLE OR DOUBLE	36"	84"
WIDE	(LH) OR (RH)	SINGLE OR DOUBLE	42"	84"

SPECIFICATIONS: RTF 1850 SERIES 2" x 4 1/2"

GENERAL DESCRIPTION

Work includes furnishing all necessary materials, labor and equipment for the installation of the aluminum framing system as specified herein.

NOT included: Structural support of the framing system.

PERFORMANCE REQUIREMENTS

Structural Performance-Deflection shall be tested in accordance with the ASTM E330. Maximum deflection of a member shall not exceed L/175 of its span, and when the load is removed there shall be no evidence of permanent deformation or damage when tested under a load of (SPECIFY) PSF. Thermal Performance when tested in accordance with AAMA 1503.1-88 and ASTM C 236-89 Condensation Resistance Factor (CRF) will be a minimum of 63, and Thermal Transmittance (U Value) will be 0.46 BTU/HR/FT²/°F or less.

PRODUCTS/MATERIALS

Extrusions shall be AA-6063-T5 alloy and temper (ASTM B221 alloy G.S.10A-T5) with a nominal wall thickness of .090". RTF 1850 Series is a thermally broken framing system with a pour and debridge process that combines a mechanical and adhesive bond between the urethane and the aluminum. Fasteners shall be aluminum; stainless steel or zinc plated steel in accordance with ASTM A 164. Glazing gaskets shall be EPDM elastomeric extrusions or vinyl with a fiberglass reinforcement cord to prevent stretching.

FABRICATION

The framing system shall provide for flush glazing on all sides with no projecting stops. Vertical and horizontal framing members shall have a nominal face dimension of 2" with an overall depth of $4\frac{1}{2}$ ".

FINISHES

All exposed framing surfaces shall be free of scratches and other serious blemishes. Aluminum extrusions shall be given an acid etch, followed by an anodic oxide treatment conforming to the American Architectural Metal Association to obtain a color anodized finish AA-M12C2XA31 class II (clear anodized) or AA-M12C2XA44 class I (dark bronze anodized). Black anodize, powder coat and Kynar finishes are available upon request.

EXECUTION

The framing system shall be installed, glazed, and adjusted by experienced workers in accordance with Ramco's installation instructions and the approved shop drawings.

CLEANING AND PROTECTION

After installation all metal surfaces shall be cleaned to remove contaminants. All work shall be protected against damage until approved by the general contractor. Thereafter, it shall be the responsibility of the general contractor to provide protection and final cleaning.

NOTE: "Always Service All Ways" is our trade mark and to keep up with today's innovations Ramco reserves the right to change specifications without written notice.

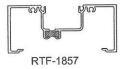


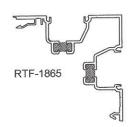
RELIABLE ARCHITECTURAL METALS COMPANY

9751 ERWIN STREET DETROIT, MI 48213 PH: 800.445.0263 FAX: 313.924.8877

1850 SERIES

INDIVIDUAL EXTRUSIONS
1/4 SCALE





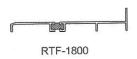








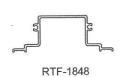










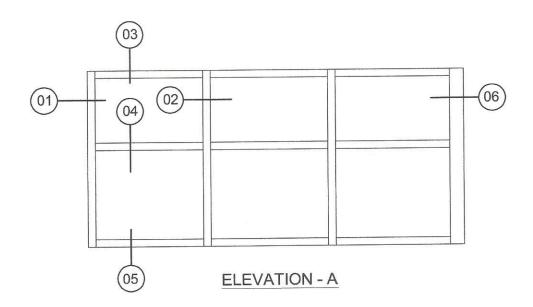


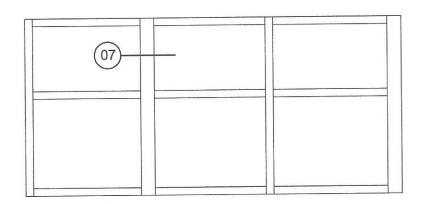




1850 SERIES
STOREFRONT TYPICAL ELEVATIONS
(1" GLAZING)

9751 ERWIN STREET DETROIT, MI 48213 PH: 800.445.0263 FAX: 313.924.8877



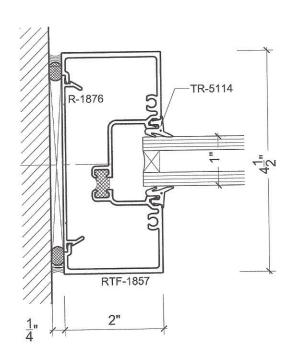


ELEVATION - B

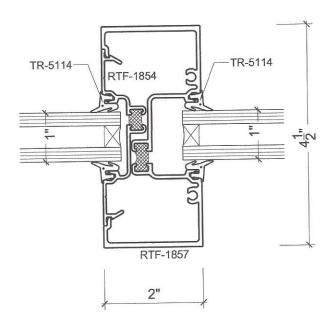


1850 SERIES

DETAILS 1/2 SCALE





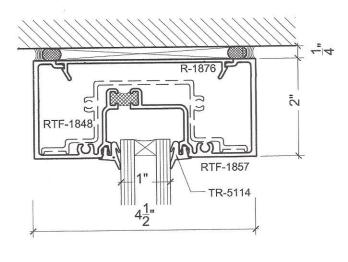


SECTION (2)

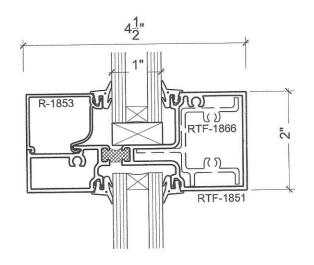


1850 SERIES

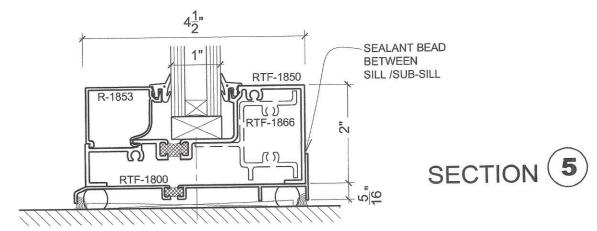
DETAILS
1/2 SCALE



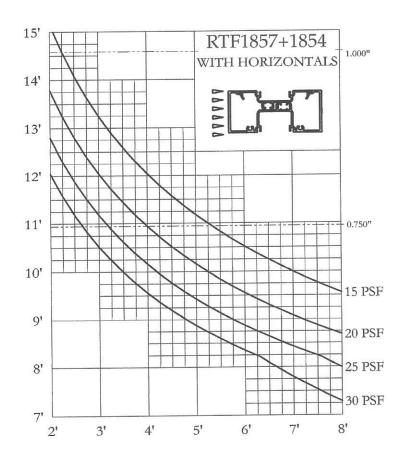
SECTION (3)



SECTION 4







#1 THESE WINDLOAD CHARTS ARE BASED UPON THE LESSER OF DEFLECTION RATIO (L/175) OR STRESS (12667)

#2 THESE STRUCTURAL CURVES ARE ESTIMATES AND ARE PRESENTED TO THE BEST KNOWLEDGE OF THE WILLIAM L BONNELL CO. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CUSTOMER TO BE SATISFIED THAT THE CURVES ARE CORRECT. THE WILLIAM L BONNELL CO. MAY NOT BE HELD RESPONSIBLE IN ANY WAY FOR THE FAILURE OF PERFORMANCE RESULTING FROM THE USE OF THESE CURVES.















Shutter Controls & Options

Torsion Spring Assist Control Systems

QMI shutters have a non-slip hinge, which allows for the use of a torsion spring inside the tube opposite the control mechanism.

The spring assist has many advantages to standard shutter controls.



Manual Strap

A manual pull strap can be used on larger shutter sizes since the weight of the shutter is neutralized. The spring provides a counterbalance resulting in the shutter locking in the down position.



Manual Gear / Crank

The spring assist neutralizes the weight and enables gear operation for larger shutters and requires less effort to rotate the hand crank.

up to 65 sq ft (6.5 sq meters)



Manual Push-up / Pull-down

Where most shutters require motors, the QMI spring-operated shutter allows for push up/pull down operation. This saves on both shutter and electrical costs. Large spring-operated shutters are useful for entry doors, as egress (life safety) issues are not a concern. Simple baseslat locks enable security, but allow for escape during fire or power failures. Spring operation is available up to 130 sq. ft (13 sq meters) without motors or gears.



Solar Powered Operation

Enjoy energy savings from a roller shutter that does not add to your energy cost. Because of its springloaded tube, QMI shutters require less power for operation. This makes it possible to operate with a solarpowered battery.





Rolling Shutters Vision & Solid

Store**Safe**®

Safe Selling All Night Long



Punched slats allow protected nighttime store views, but disappear into the shutter's box housing during the day.

"Security with Vision."

- The ultimate in security
- · High visibility
- Reduces energy costs
- · Prevents break-ins
- Smallest roll up coil available
- · No hand-holds



Available Options





