

**STAFF REPORT:** 9/14/2022 MEETING

**PREPARED BY:** D. RIEDEN

**APPLICATION NUMBER:** #22-8009

**VIOLATION NUMBER:** #603

**ADDRESS:** 269 WATSON

**HISTORIC DISTRICT:** BRUSH PARK

**APPLICANTS:** MEIR ISRAEL, ROSE VALENCIA

**PROPERTY OWNER:** ARBEN GJEKAJ

**DATE OF PROVISIONALLY COMPLETE APPLICATION:** 8/22/2022

**DATES OF STAFF SITE VISITS:** 3/29/21, 4/27/22, 8/25/22

**SCOPE:** REPLACE EXTERIOR WALL AND DOORS (WORK STARTED WITHOUT APPROVAL),  
INSTALL REAR DECKS, ENCLOSED BASEMENT STAIRWELL AND BALCONY

### EXISTING CONDITIONS

Built in 1875, the property at 269 Watson is a 3-story residence facing southeast. The mansard roof has asphalt shingles with bracketed eaves and features three, pediment-topped dormers. The east and west sides of the house each have brick chimneys, where the house is clad with red brick detailing several handiworks of brick masonry: stack bond soldiers and headers, English Cross bond, and arches with keystones over each second floor window. Each of the blind arch windows are double-hung and have been replaced over time. The third-floor windows, which were truly arched at the top, were recently replaced and are one of the violations listed below. The first-floor bays are similarly arched with stone quoins at the top of each corner and a stone, wrap-around sill. The arched portico over the dark wood front door is highly detailed with ornate brackets. The front brick faced porch is elevated with concrete coping and steps that lead to the front walkway. A simple lawn is barely rooted in the front yard.

This property has the following former HDC approvals and violation on Detroit Property Information System (DPI):

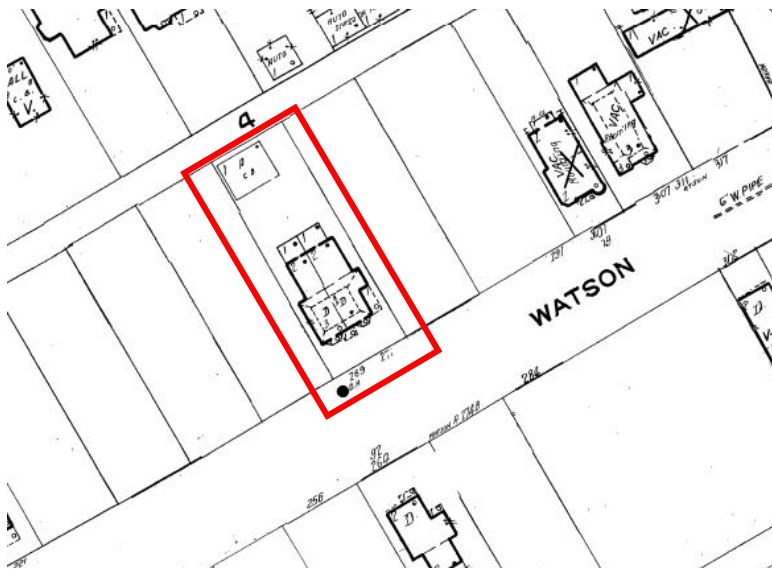
- October 1996, HDC COA: Replace front doors, new flat roof, repair front porch, paint trim, tuck/point brick, sidewalk
- April 2022, Violation: Brick wall, doors, windows and a portion of the east elevation porch was removed without approval
- August 2022, HDC COA: Replace asphalt roof, repair soffit and brackets, replace gutters/downspouts.



Site Photo 1, by Staff August 25, 2022: (Southeast) front elevation.



Designation Image, 1975: (Southeast) front elevation.



Sanborn V3, P030



Aerial 1 of Parcel # 01000765 by Detroit Parcel Viewer.



Site photo 2, by staff, August 25, 2022: (Northwest) side elevation showing brick wall, window and door removal locations.



Site photo 3, by Applicant, (Northeast) rear elevation, showing location for proposed balconies, doors and decks.



Site photo 4, by applicant: (East) side elevation showing new replaced door and portion of wood porch removed (work done without approval).



Site photo 5, by Applicant, (Northeast) rear elevation, showing proposed location for stairwell (two boards) and basement door (white outline).

## **PROPOSAL**

Staff received confirmation that the windows scope item in the original application has been removed from this proposal per the applicant's wish to address this next month. The proposed work consists of several projects: rebuilding the west elevation wall with tuck-pointing through-out the building where needed, installing a new basement access door with an enclosed stairwell, replacing three (3) existing doors and repairing the front door, and building two (2) rear decks and a large balcony. Work has started without approval. (See also attached drawings.) Staff has also requested more detail information regarding the work for the brick wall repair, the doors, paint and stain colors, railing detail and vinyl siding (or alternative). However, at the time of this report, these details have not yet been provided.

### Repair of west elevation wall and tuck point throughout

- Repair the west elevation brick wall with original bricks, restoring it back to its original condition.
- Staff has not yet received specific description nor drawings that shows the method of the brick repair at time of drafting of this report and has yet to see how the windows and door would be restored.
- Tuck point on all elevations of the house where needed.

### Install one (1) new rear door with new enclosed staircase

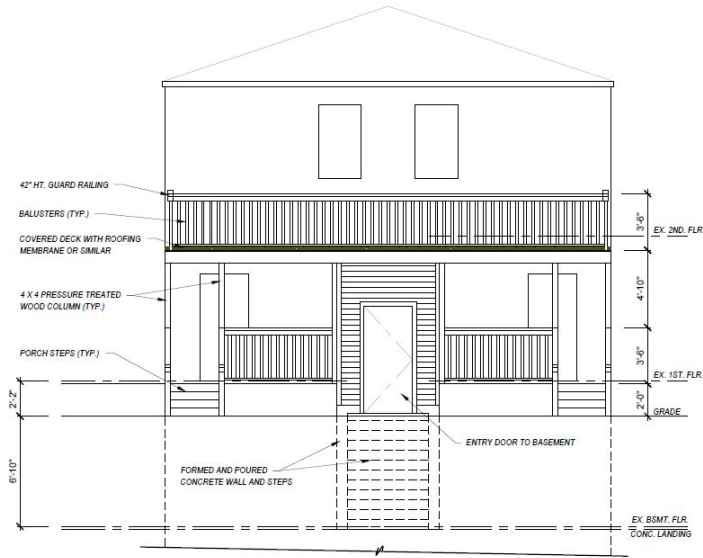
- At the rear elevation, center of the basement floor, the applicant proposes to excavate and cut a new door opening for basement access. The new opening would accommodate a new 6 panel, 36"x80" Jeld Wen steel door.
- The excavated opening to this door is proposed to have two (2) poured-in-place, 8" wide concrete retaining walls (with 1 course of masonry block) and 5' wide concrete steps to a 3' wide concrete landing immediately outside the door.
- This new stairwell is proposed to be enclosed within a wood frame with vinyl siding and trim. The color has not yet been confirmed.
- An exterior door installed facing the north side, entrance to the basement. This door is also a 6 panel, 36"x80" Jeld Wen steel door, painted white Behr exterior paint, semi-gloss.

### Replace three (3) doors (work completed), repair front door

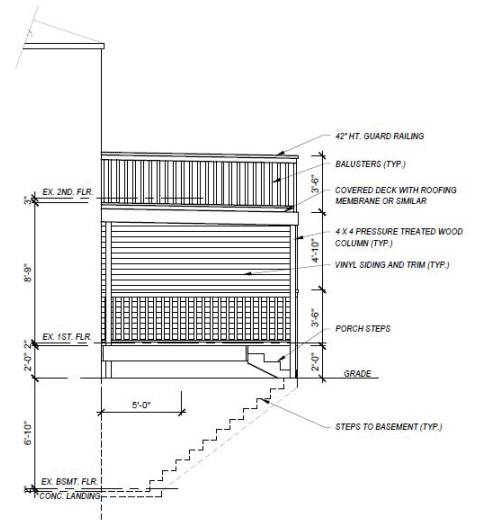
- Restore front elevation 2-panel door and stain with dark brown or black burnished polyurethane. The color has not yet been confirmed.
- Replace the east elevation and rear two doors with Jeld Wen, steel, 4-panel, 36"x80", decorative doors, color painted white with Behr's exterior paint, semi-gloss.

### Erect one (1) 12' x 28' balcony and two (2) 12'x 11' rear elevation decks

- At the rear elevation, construct two (2) wood 12'x 11' decks on concrete pier footings on either side of the newly created back door enclosed staircase with one (1) wood 12' x 28' balcony that covers all three areas: the two decks and the staircase.
- The balcony and deck are supported by 4"x4" pressure-treated wood columns.
- Each rear 12'x11'deck has individual steps.
- The balcony's wood deck will be covered with an EPDM rubber roofing membrane.
- The decks and balcony shall have a 42" wood railing with balusters on a steel frame. The detail on this railing has not yet been provided.
- All wood is pressure-treated pine and stained. The applicant has not yet clarified the color.



NORTH ELEVATION @  $\frac{1}{4}'' = 1'-0''$



PARTIAL EAST ELEVATION @  $\frac{1}{4}'' = 1'-0''$   
(SIMILAR @ WEST ELEVATION)

*Elevations 1&2, by applicant: (North) rear of building showing proposed stairwell, decks, and balcony*

## STAFF OBSERVATIONS AND RESEARCH

- The Brush Park Historic District was established in 1980.
- Staff noticed that the east porch has been partially removed. This work is not part of this application and the applicant has not yet responded with a status update on this work.
- Staff observed the replaced doors on the east and rear elevations is work that was completed without approval.
- Staff observed that the rear elevation has had what may be a former doorway removed and sealed with glass block and brick. Staff has not received an explanation of this work. Staff observed that the proposed work in this application will largely obscure the visibility this area.
- Staff observed from the Sanborn map that the rear elevation once supported a rear deck and/or balcony that has since been removed. Staff reviewed Google Street and saw images from Brush street that confirms this rear elevation has had no rear structures since at least 2008.
- Staff observes that the arching and soldier/header brick patterns, the blind arched window openings and the stone sills for the windows of the original west wall are distinctive character-defining features of the building. Staff has not yet received details on how the west wall will be reconstructed to address these features where at least one window and a door have been removed.
- Staff observed that the siding for the enclosed stairwell is vinyl and has asked the applicant if they would consider an alternative material. It is staff's opinion that the proposed vinyl siding is not an appropriate material consistent with the design and material of the house, as shown in the drawings. Staff requested confirmation on the use of this (or alternative material) with a product description sheets and a proposed color. At the time of this report, staff has not received a response.
- Staff has also requested more information regarding the doors, paint and stain colors, and balcony/deck railing details. However, at the time of this report, these details have not yet been provided.
- Staff offers the opinion that because the rear elevation is not a primary or secondary elevation, and the removal of some brick material to access the basement is very minimal (approximately 2'x3' area) off the ground plane, the introduction of a new basement door for egress is appropriate.

- Other than the vinyl siding and lack of stain or paint for the decks/balcony, staff offers the opinion that the design, scale and materiality of the decks, basement stair enclosure and the balcony are appropriate.

## ISSUES

- The rear and east elevation doors were replaced, and the west wall removal work was done without HDC approval.
- Staff has not yet received details on how the west wall repair will be reconstructed.
- Staff recommends that the proposed rear basement access, rear decks and balcony are an appropriate design that does not conflict with the design of the house and is appropriate for the district. However, staff does recommend that the siding be of wood or cementitious board in a color and dimension that closely matches the house, with a smooth surface, and a color paint be selected per the HDC color guidelines.
- Staff observed that the proposed white color for the doors does not match Color System C of the HDC Color Package, which recommends C:4 or C:5 Yellowish White for trim on colonial-types of buildings. Staff offers the opinion that applicant choose a paint from the HDC color guide for the doors and trim using Color System C. For the decks and balcony, staff offers the opinion that the wood is painted using this color guideline or stained a light natural color.
- Staff has no issue with the proposed tuck-point for the walls, the repair of the front entrance door, the selection of doors that were used for replacing the rear and side entrance doors.

## RECOMMENDATION

### Section 21-2-78, Determination of Historic District Commission

#### Recommendation: Replace Exterior Wall And Doors; Install Rear Decks, Enclosed Basement Stairwell And Balcony

It is staff's opinion that the replacement of the west wall and tuckpointing of the exterior walls, the replacement of the rear and east doors, the restoration of the front door, the installation of a new basement door with an enclosed stairwell, and the erection of two rear decks and a balcony does not detract from the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation.

*Staff recommends the COA be issued with following conditions:*

- The applicant provides a sketch and detail on the reconstruction of the west wall that demonstrates how it will replicate the existing brick pattern of the wall and provide a sample/photo of proposed matching brick to blend in with the existing brick, should the original bricks not be enough.
- The applicant changes the vinyl siding to wood lap siding or cementitious board siding with a dimension, color and smooth surface to match the design of the house.
- The doors be painted a color that matches Color System C color scheme of the HDC color guide.
- Deck and balcony stain or paint provided for review and approval.
- Staff receives a final plan showing product and detail description of the above work.
- The applicant provides HDC staff a review of the above items before installation.









September 01, 2022

Re; 269 Watson Street Detroit, MI 48201

We are requesting to repair and refit the existing west side facia brick wall with its original bricks. Repairing floors 1, 2 & 3 of the west side wall to its original condition.

Tuck point in areas where needed through out the west, east, south & north side walls of reference property.

In addition, we are requesting to Install a new rear door 6 panel still door 36 X 80 cut approximately 41 inches wide by 15 inches in height from the bottom center side of north-back wall to have ingress & egress to the basement.

Please see photos attached.

September 02, 2022

Re; 269 Watson Street Detroit, MI 48201

Dear Dan & Ben,

In reference to the Doors; 4 new exterior doors will be installed all with same description below.

Unfortunately, 3 doors have been replaced. One on the East side elevation and two on the North-rear side elevation. They are all made by Jeld Wen windows and door Co; Inc. Doors are primed steel 4 panel Decorative camber top 4-9/16 jamb w/ brickmould 36X80. We will be painting them with Behr white steel exterior paint semi-gloss. The fourth door will be the one leading to the basement. The main south front 2 panel door will be restored and stained with a dark brown or black burnished polyurethane.

Windows will be address for the next hearing in October 2022, However the 4 front windows have been ordered with Aluminum Clad Wood material.

Install 2 North-Rear porches' approx. 10.8.X 9.4 with covered deck made out of treated pine.& Epdm rubber. Roofing material.

Porches' will be made out of treated Pine & skap stain boards or Deck tracks-rubbered whichever is allowed.

42-foot guard Railing resting on steel frame with treated pine wood.

**DATA:**

GROSS SITE AREA = 7,498 SQ. FT.  
 EXISTING BUILDING = APPROX. 4,584 SQ. FT.  
 UNIT #1 = APPROX. 703 SQ. FT.  
 UNIT #2 = APPROX. 703 SQ. FT.  
 UNIT #3 = APPROX. 718 SQ. FT.  
 UNIT #4 = APPROX. 619 SQ. FT.  
 UNIT #5 = APPROX. 833 SQ. FT.  
 ZONING = PD  
 PARKING PROVIDED = OFF STREET PARKING PROVIDED

**CODE COMPLIANCE:**

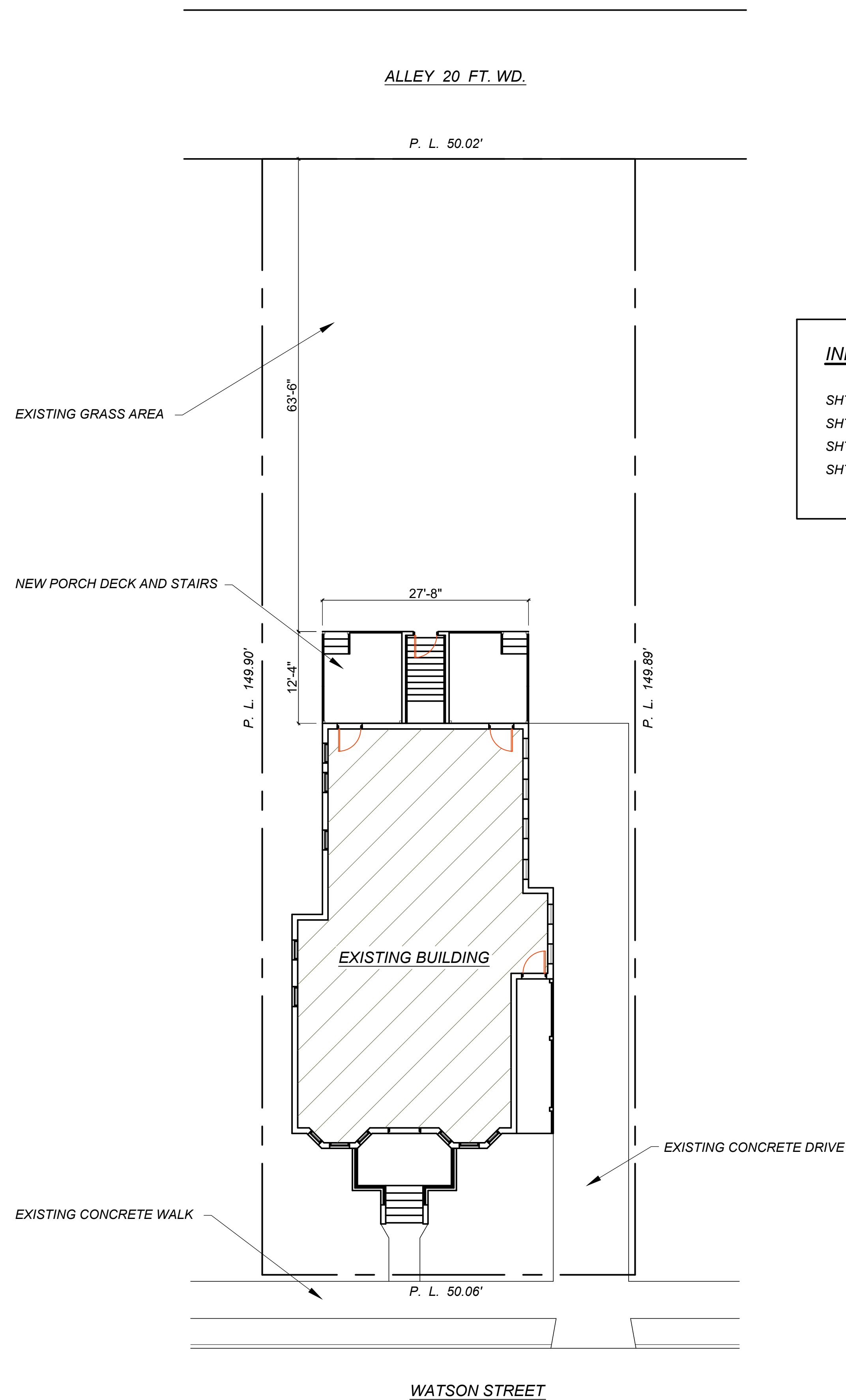
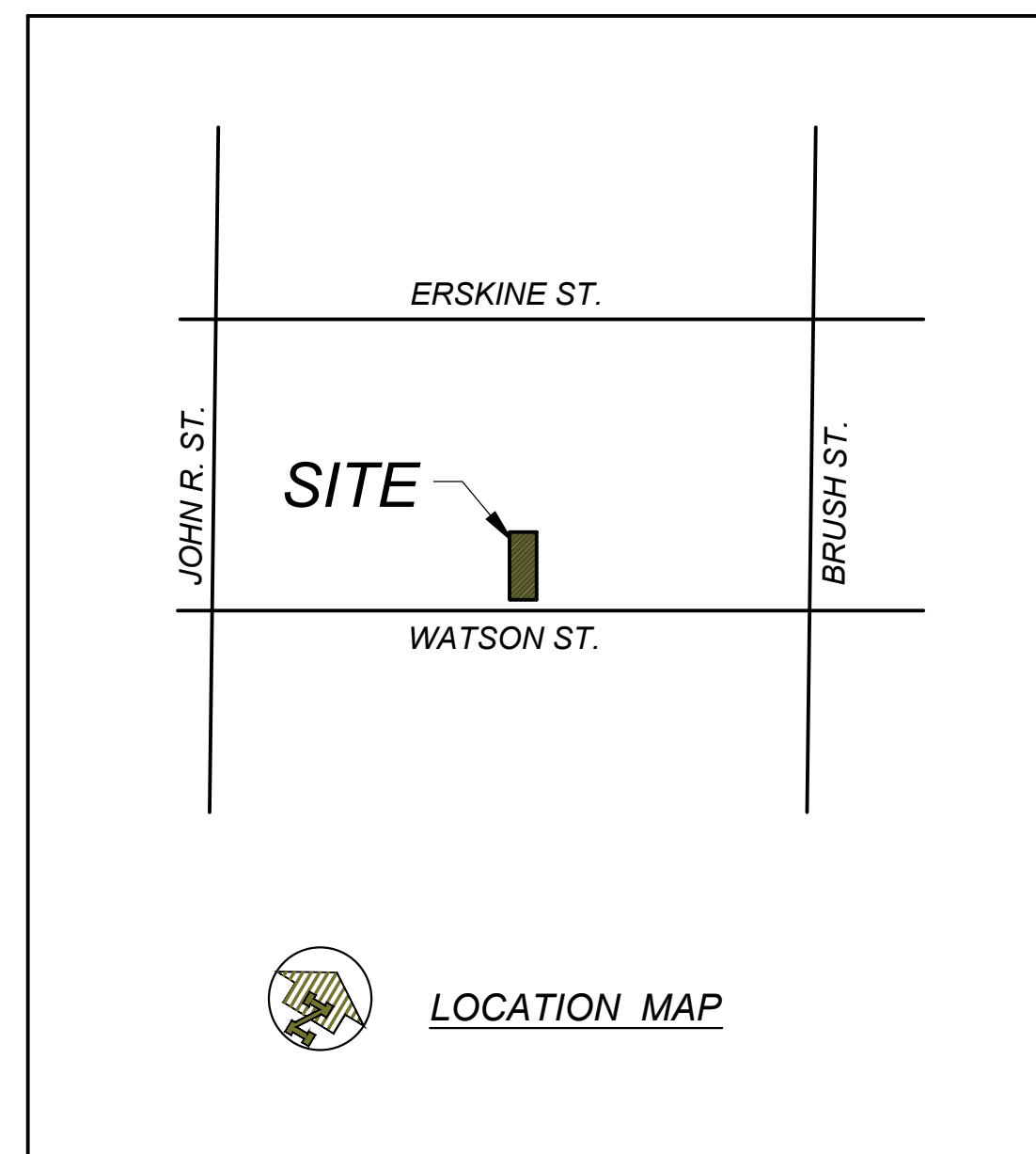
MICHIGAN REHAB BUILDING CODE 2015  
 ALTERATION LEVEL 2  
 COMPLIANCE METHOD - WORK AREA LESS THAN 50%

**LEGAL DESCRIPTION:**

PARCEL ID: 01000765  
 N WATSON 6BLK 8 BRUSH SUB L3 P24 PLATS, WCR 1/48 50 X 150.

**SCOPE OF WORK:**

REPLACE ALL EXISTING DRYWALL, DOORS, ELECTRICAL, PLUMBING FIXTURES AND HVAC EQUIPMENT WITH NEW.



**INDEX TO DRAWINGS:**

SHT. A000	SITE PLAN
SHT. A100	BASEMENT, FIRST FLOOR PLANS
SHT. 101	SECOND, THIRD FLOOR PLANS
SHT. 102	ELEVATIONS

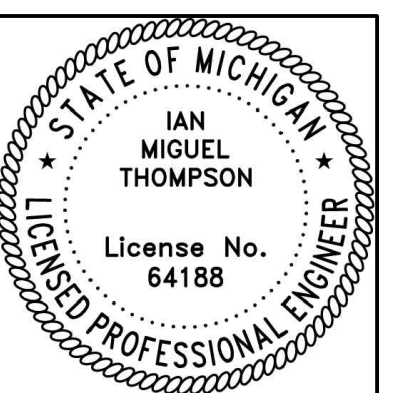
EXISTING SITE PLAN @ 1" = 10'-0"

SKETCH DESIGN GROUP

**ICS**  
 INDIGOSHORES CONSULTANT SERVICES

**ALTERATION LEVEL 2  
 RENOVATION PLANS FOR  
 269 WATSON STREET  
 DETROIT, MI**

DRAWN BY: D. ALLEN  
 CHK BY: I. THOMPSON  
 DATE: 07/20/22



**PROJECT DIRECTORY**

**DESIGNER:**

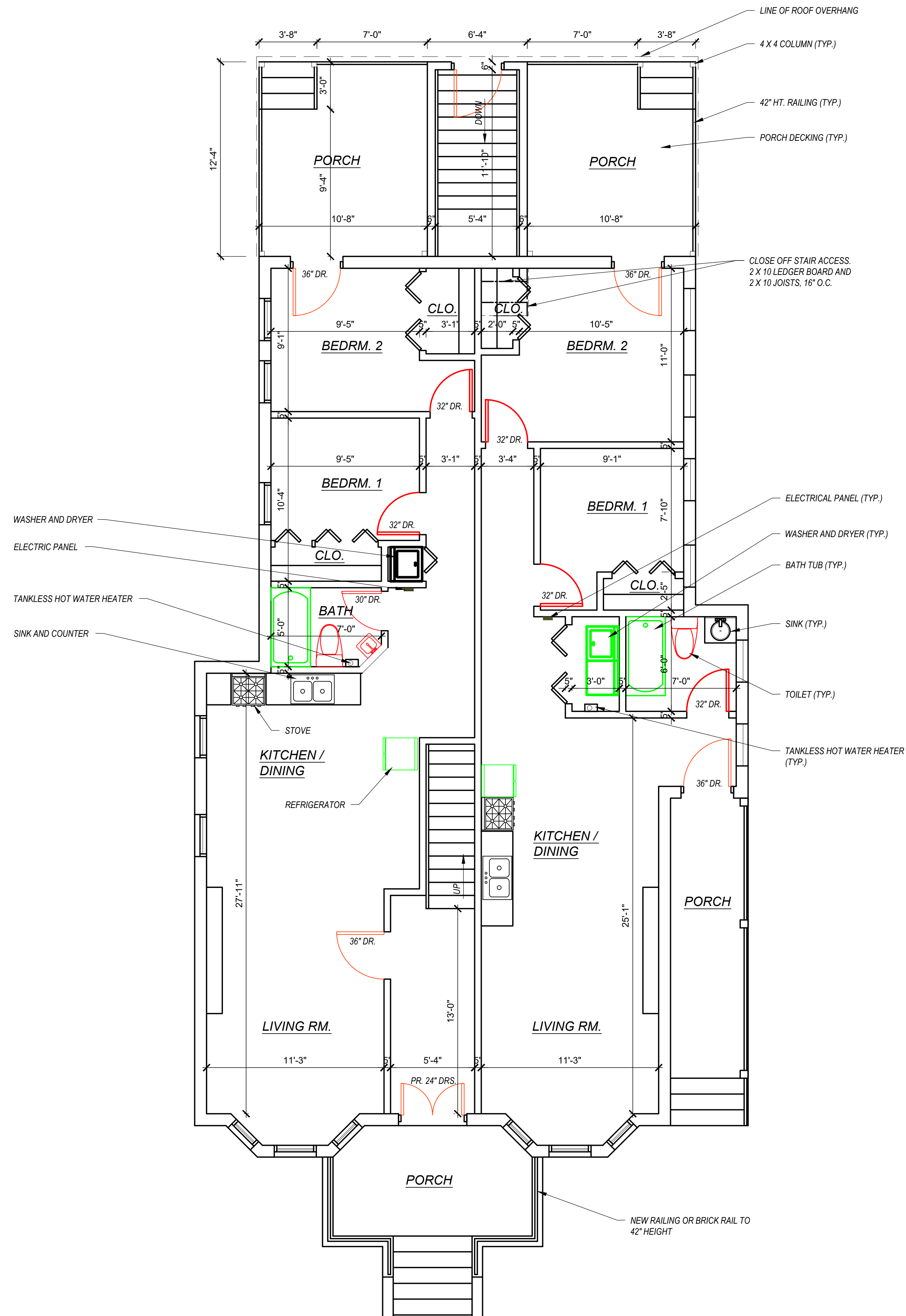
INDIGOSHORES CONSULTANT SERVICES PLC.  
 26520 GRAND RIVER BLVD., SUITE 101  
 REDFORD TWP., MI 48240  
 EMAIL: IAN@INDIGOSHORES.COM  
 PH: 954.804.3955

SKETCH DESIGN GROUP  
 26520 GRAND RIVER AVE., SUITE 101  
 REDFORD TWP., MI 48240  
 EMAIL: SKETCHTIMEDESIGN@GMAIL.COM  
 PH: 248.890.3036

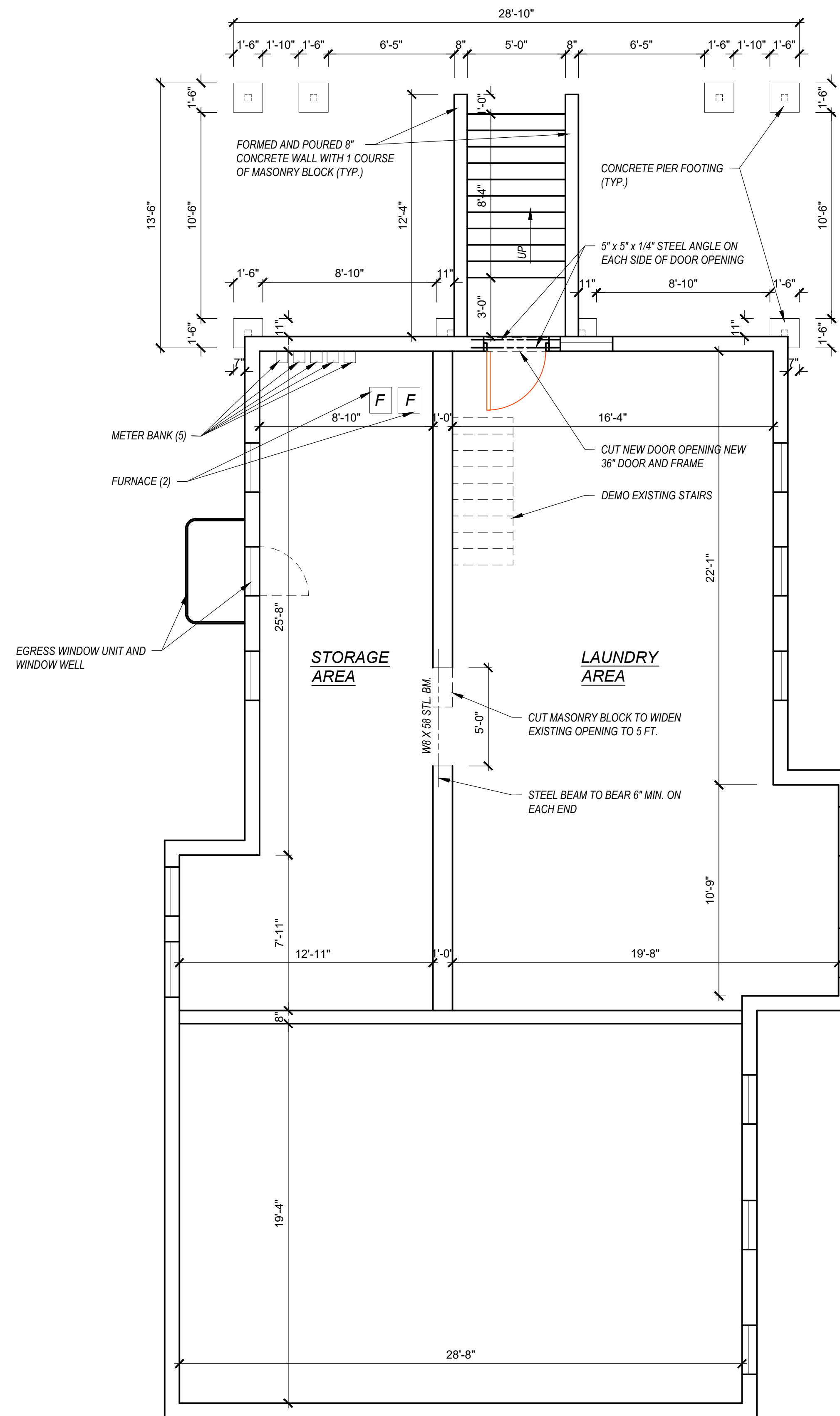
**COVER PAGE**

**A000**

PROJECT #221345



FIRST FLOOR PLAN @ 1/4" = 1'-0"



BASEMENT FLOOR PLAN @ 1/4" = 1'-0"

SKETCH DESIGN GROUP

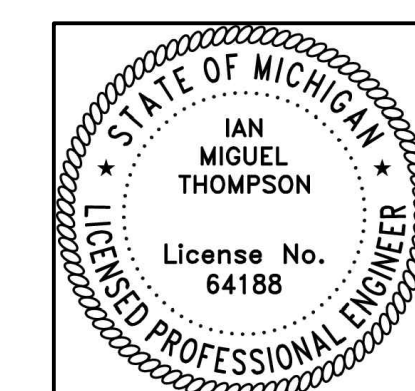
ICS  
INDIGOSHORES  
CONSULTANT  
SERVICES

ALTERATION LEVEL 2  
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269 WATSON STREET  
DETROIT, MI

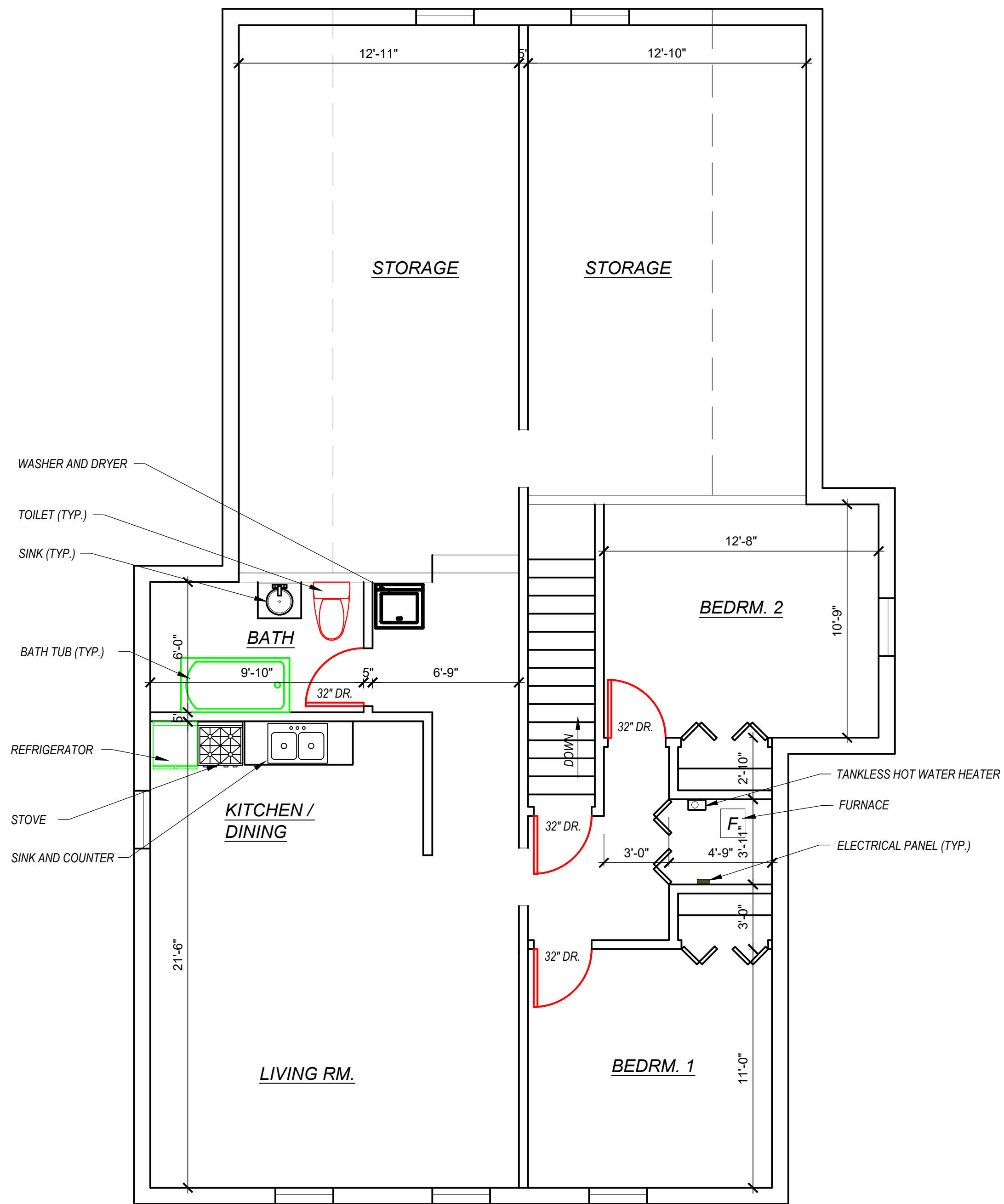
DRAWN BY: D. ALLEN

CHK BY: I. THOMPSON

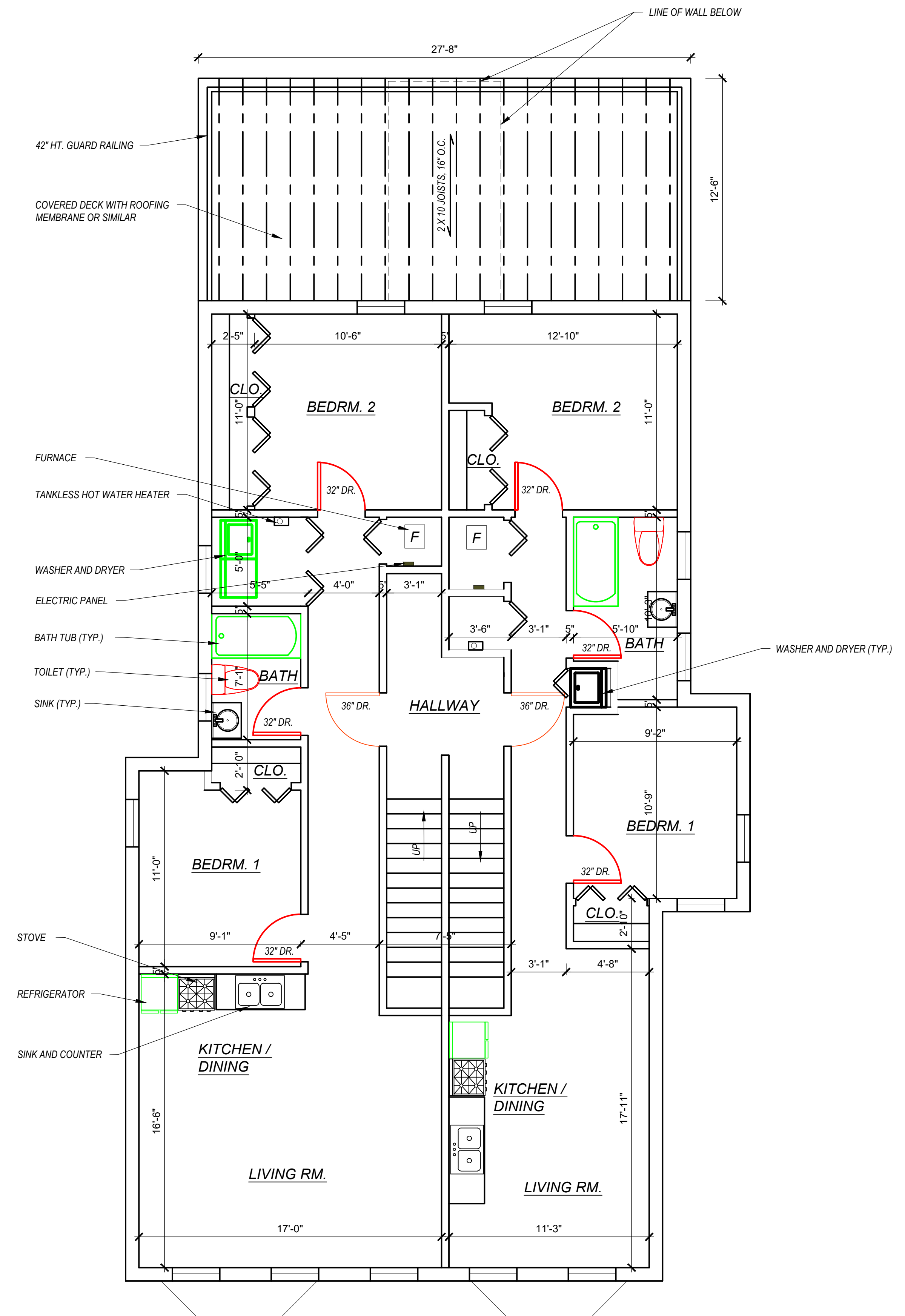
DATE: 07/20/22



A100  
PROJECT #221345



 **THIRD FLOOR PLAN @ 1/4" = 1'-0"**



 **SECOND FLOOR PLAN @ 1/4" = 1'-0"**

SKETCH DESIGN GROUP

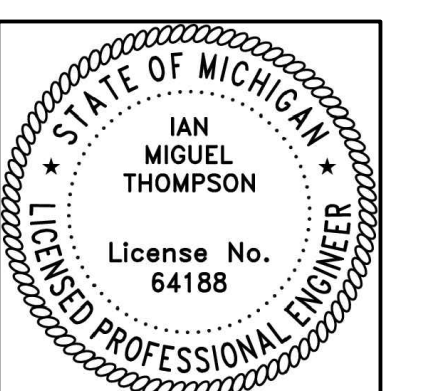
**ICS**  
INDIGOSHORES  
CONSULTANT  
SERVICES

**ALTERATION LEVEL 2  
RENOVATION PLANS FOR  
269 WATSON STREET  
DETROIT, MI**

DRAWN BY: D. ALLEN

CHK BY: I. THOMPSON

DATE: 07/20/22



**A101**

PROJECT #221345



SOUTHWEST ELEVATION @ NO SCALE



SOUTH ELEVATION @ NO SCALE

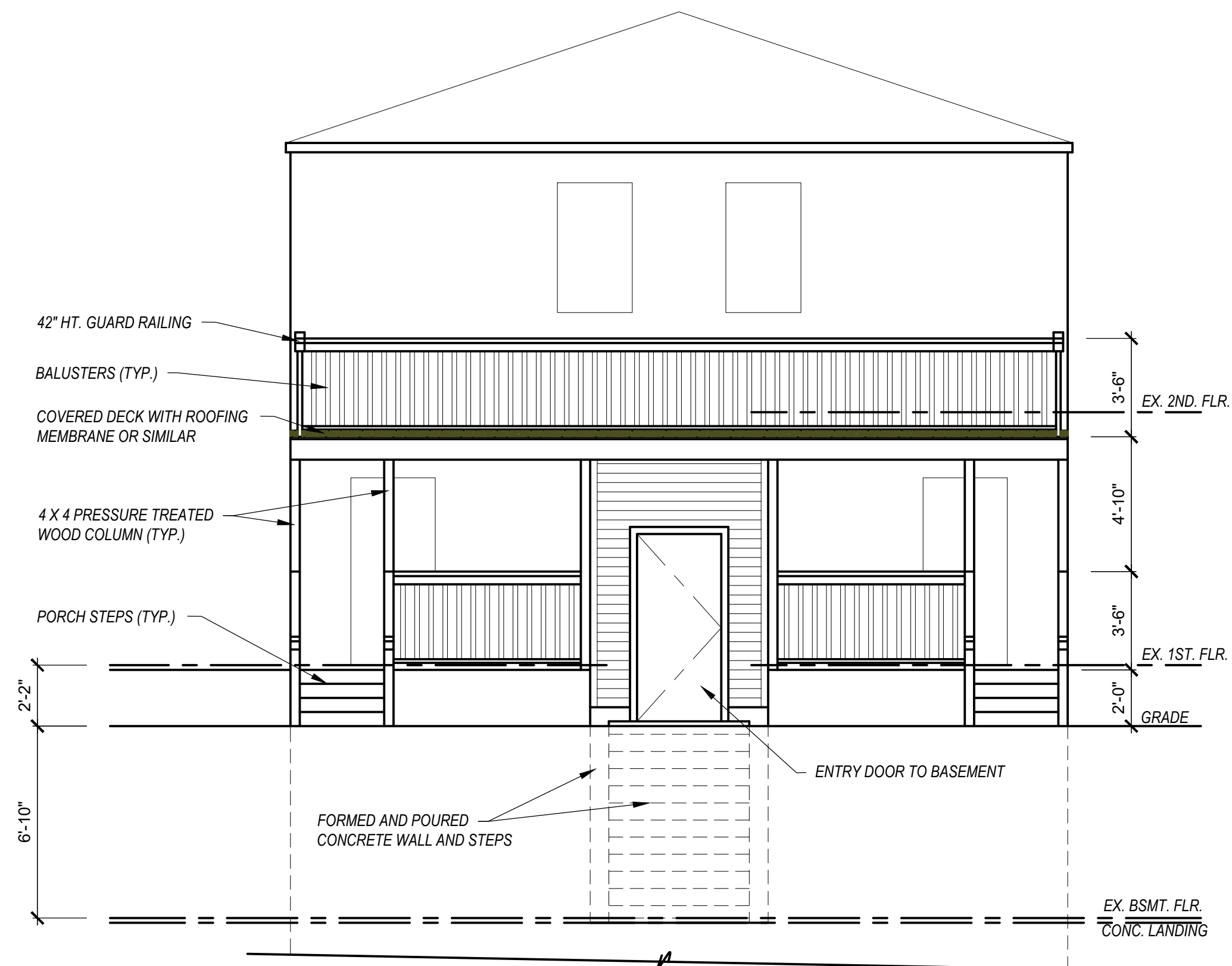


SOUTHEAST ELEVATION @ NO SCALE

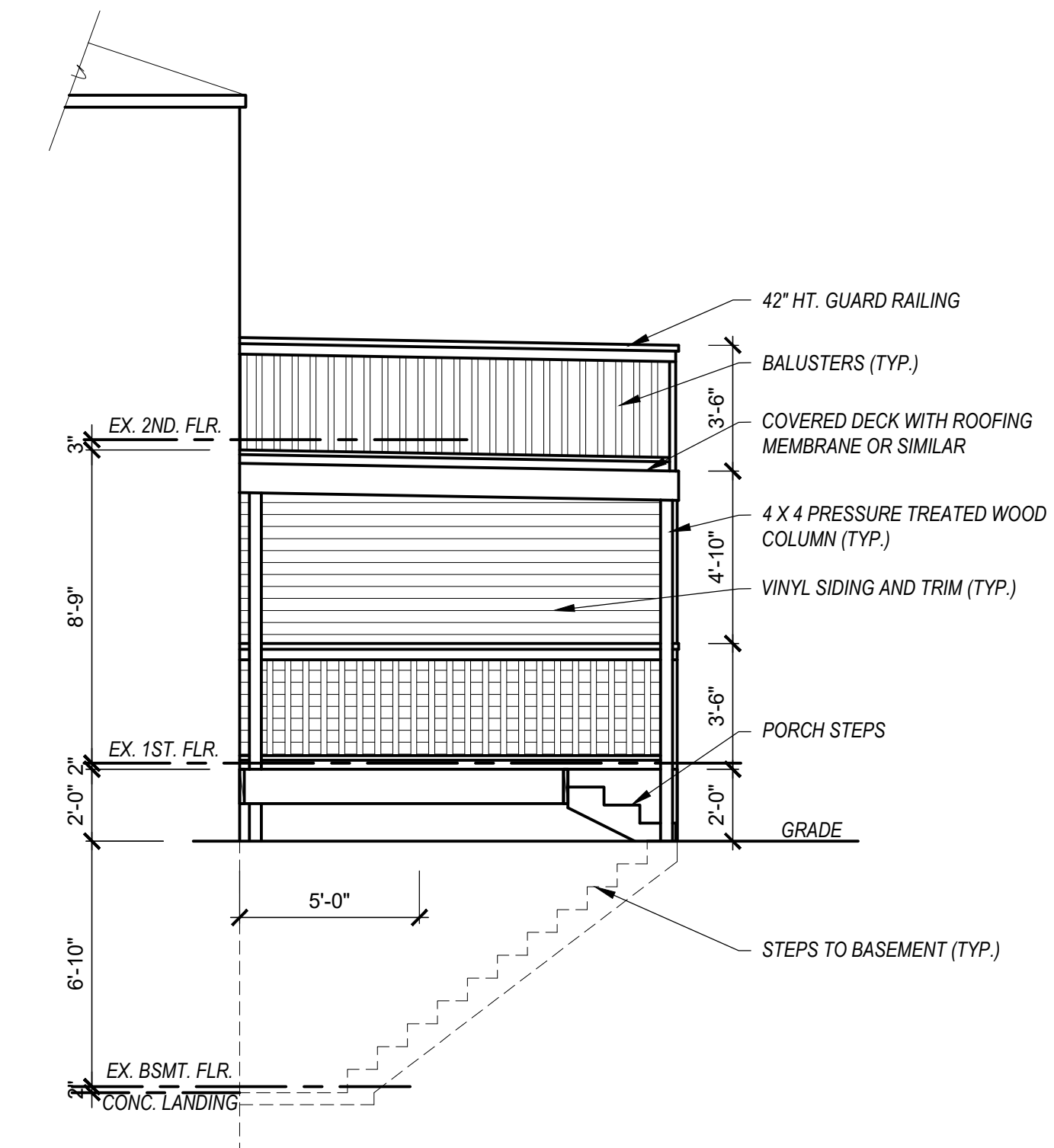
SKETCH DESIGN GROUP

**ICS**

INDIGOSHORES CONSULTANT SERVICES



NORTH ELEVATION @ 1/4" = 1'-0"



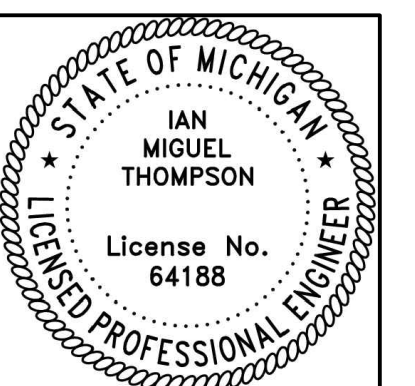
PARTIAL EAST ELEVATION @ 1/4" = 1'-0"  
(SIMILAR @ WEST ELEVATION)

**ALTERATION LEVEL 2  
RENOVATION PLANS FOR  
269 WATSON STREET  
DETROIT, MI**

DRAWN BY: D. ALLEN

CHK BY: I. THOMPSON

DATE: 07/20/22



**A102**

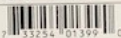
PROJECT #221345

WIDTH 36 HEIGHT 80  
Rough Opening 36-1/2 x 82-1/2

RIGHT  
HAND  
IN SWING



534057



**DECORATIVE  
STEEL**

























Work Item:  
Check and advise back the application request for clearing the work area with both parties  
along with the clearing of the area with the proper license.  
Please let us know if you have any further questions.

Work Order:

Work Order:

Work Order:

Work Order:

Work Order:







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