

**STAFF REPORT: 5/11/2022 MEETING**

**PREPARED BY: D. RIEDEN**

**APPLICATION NUMBER: #22-7807**

**ADDRESS: 1053 BURNS**

**HISTORIC DISTRICT: INDIAN VILLAGE**

**APPLICANT: CURT CRAMER**

**PROPERTY OWNER: CURT CRAMER**

**DATE OF PROVISIONALLY COMPLETE APPLICATION: 4/13/2022**

**DATES OF STAFF SITE VISIT: 4/21/22**

**SCOPE: ENCLOSE REAR PORCH**

### **EXISTING CONDITIONS**

The property at 1053 Burns is a 2 ½ story, single-family residence facing northeast and sits central to the block. The cross-gabled, steeply pitched, asphalt roof features ornate eaves at the peak of each gable. The front elevation is asymmetrically arranged, with red brick cladding on the first floor and painted stucco on the upper stories. Diagonally and horizontally oriented glazed windows are featured on the top floor, a two-story bay with a double-hung ribbon of windows are featured on the left side, will more modest, first floor bay sits on the right. The centrally placed front entrance sits under an arching pediment at the top of a limestone-capped, brick-walled porch. This house features additional porches at each corner of its floor plan: two visible from the front flanking each side with limestone capped brick walls, brick columns that support a low pitch roof, and two at the rear, not visible from the front, one enclosed in wood-framed glass, the other smaller and is the subject of this application. The front landscape has a central concrete walkway from the front door to the public sidewalk, where an arching hedgerow and garden greets the visitor. A concrete drive leads from the street to the north side of the house.



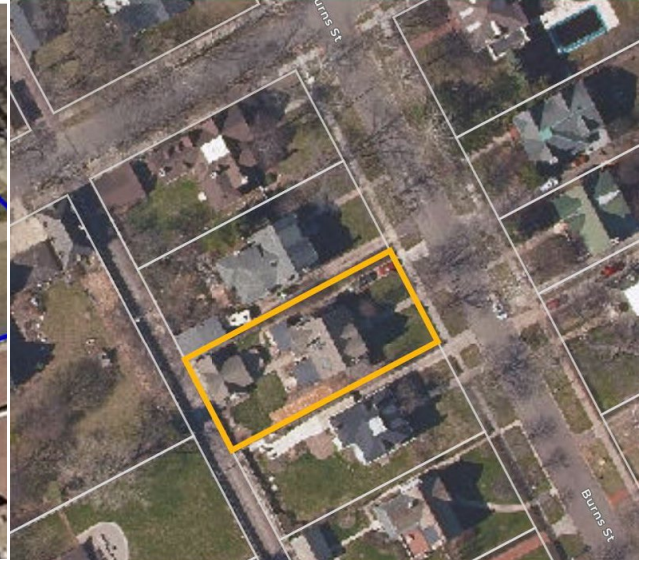
*Site Photo 1, by Staff April 21, 2022: (Northeast) front yard.*



*Site Photo 2, by Applicant April 2022: (Southwest) rear elevation showing proposed porch enclosure location (left).*

This property has the following HDC approvals on Detroit Property Information System (DPI).

- July 2017, Certificate of Appropriateness (COA): Erect pergola
- Feb 2012, Certificate of Appropriateness (COA): Replace three wood windows with matching windows
- Oct 2004, Certificate of Appropriateness (COA): Paint trim, doors and stucco
- July 2004, Certificate of Appropriateness (COA): Construct 2 story, 2 car garage with carport
- Sept 2001, Certificate of Appropriateness (COA): Replace flat roofs, tuckpoint chimney, reconstruct front porch, remove 60s addition, open enclosed front porch
- Aug. 1992, Certificate of Appropriateness (COA): Replace roof with same, paint w/approved colors



Aerial 1, by Pictometry March 2018: (South) rear elevation showing proposed porch enclosure site just north of existing enclosed porch.

Aerial 2 of Parcel # 17006665 by Detroit Parcel Viewer.

**PROPOSAL**

The proposed work is the enclosure of the rear, northwest porch with walls, finished with wood siding, a window and door with a reconstruction of the staircase to widen and extend the existing brick and limestone-capped wingwalls. This would provide a mudroom to the adjacent kitchen. (See attached drawings and product information.)

Enclose Porch

The porch’s footprint would remain the same. The existing limestone capped knee-wall and brick pillar shall remain in place. The enclosure would be completed by building a wall immediately on top of the limestone capped brick wall, which would have a fixed, 47” x 23” window with a 4/2 muntin pattern to match the sunroom windows. The siding would match the existing wood clapboard siding. A door would be installed at the top of the stair, with the same proposed wood clapboard siding to fill in the exterior wall.

Product Data- See attached brochures and cut sheets for additional information:

- Siding: 4 ½” wood beveled clapboard to match existing wood siding’s material and thickness and color, by Detroit Forest Products.
- Window: Pella architect series, fixed 47” x 23” with 4/2 muntins, stain grade pine interior, aluminum clad exterior, painted to match existing house trim
- Door: Wood and double-pane glass, 36”x 80”

Replace stair and wing walls

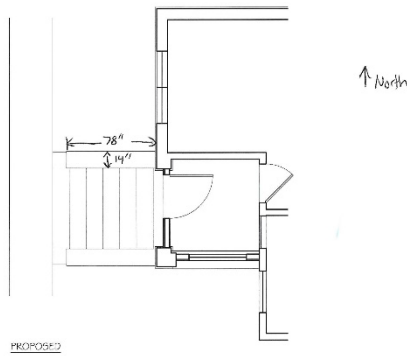
The proposal is to replace the existing concrete and brick paver stair with wider, limestone steps and to expand the existing 2’ limestone capped, brick wingwalls with longer limestone capped, brick wingwalls. The dimensions of the stairs would increase from 48” wide to 63” wide to match the dimensions of the existing sun porch steps more closely. The dimensions of the wing walls would increase from 31” tall and 46” long to 42” tall and 82” long to match the dimensions of the existing sunporch walls more closely.

Product Data- See attached brochures and cut sheets for additional information:

- Brick: Reuse of existing brick, and new bricks (Bowerston #1100, red flash smooth) that the applicant is using to match existing brick.
- Limestone caps and steps

Partial Floor Plan  
SCALE: 1/4" = 1'-0"  
1053 Burns Ave  
3/24/22

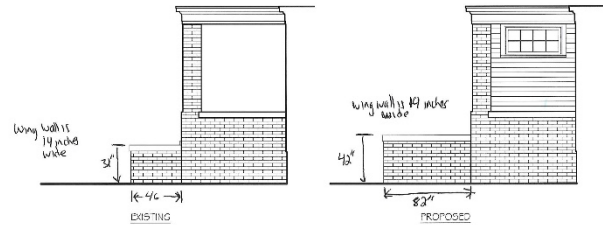
Figure 5 Birds-eye view of new door, wells, and widened staircase



Plan 1, by Applicant, proposed porch enclosure.

Exterior Elevation  
SCALE: 1/4" = 1'-0"  
1053 Burns Ave  
3/24/22

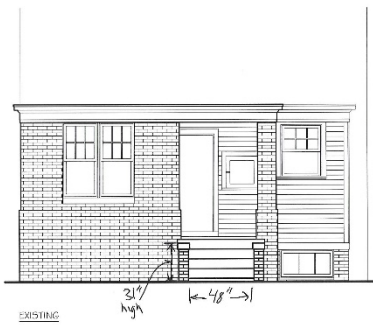
Figure 1 View looking north of back porch



Elevation 1, by Applicant, existing and proposed porch enclosure.

Exterior Elevation  
SCALE: 1/4" = 1'-0"  
1053 Burns Ave  
3/24/22

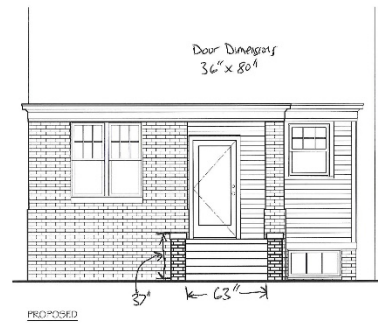
Figure 2 Back Porch; current condition Looking East



Elevation 2, by Applicant, existing porch.

Exterior Elevation  
SCALE: 1/4" = 1'-0"  
1053 Burns Ave  
3/24/22

Figure 3 Back Porch with new door, siding and enlarged staircase



Elevation 3, by Applicant, proposed porch enclosure.

Arabic Sunroom stone

## STAFF OBSERVATIONS AND RESEARCH

- The Indian Village Historic District was established in 1972.
- Staff received confirmation for the following information:
  - The architect's name and company: these drawings were completed by the applicant and not a licensed architect.
  - A confirmation that the following items enclosed by this proposal will remain:
    - the existing icebox entrance
    - doorway to the kitchen
    - the existing wood clapboard siding of the house, and
  - The existing porch brick surface, according to the applicant, was installed in 2002 as a means to cover the uneven concrete floor and steps. The proposal is to keep those on the floor in place and cover with indoor tile.
  - Product information for the proposed door: Architectural Design & Woodwork, custom, double-pane glass door wood door to match, which matches in specifications to the sunroom door.
  - No exterior lights are proposed.

- The location of this proposed work is not publicly visible. While this may be considered a secondary elevation of this historic house, staff considers the materiality of the porch's brick columns with limestone capping, the existing clapboard siding of the house, the icebox and kitchen door trim and framing to be historic character defining features of the house. Staff also considers the design of the porch itself, matching the rhythm of solid and voids of the other porches, is also a distinctive character-defining feature of the house. The National Park Service Guidelines states that



*Site photo 3, by Applicant, rear (west elevation), showing proposed porch for enclosure (left), sunporch (right) and front porch (far right).*

*“alterations/additions to historic buildings should be avoided, if possible, and considered only after it is determined that those needs cannot be met by altering secondary, i.e., non-character-defining interior spaces. If, after a thorough evaluation of interior solutions, an exterior addition is still judged to be the only viable alternative, it should be designed and constructed to be clearly differentiated from the historic building and so that the character-defining features are not radically changed, obscured, damaged, or destroyed.”*

Therefore, it is staff's opinion that an effort to retain the visible features of the exterior character defining features at this secondary elevation could be achieved if these character defining features remain and remain visible. Therefore, the use of solid walls are not appropriate, while the use of full height and width windows to enclose this space would be a more appropriate alteration that connects the proposed enclosed porch to its historic context and match in design to the adjacent sunporch.

- Staff observed that the proposed door location is not centered in the proposed enclosed west wall, nor to the steps, and would not match the symmetry of the centrally located sunporch door in relation to its steps.
- While staff understands the proposal's attempt to match the existing dimensions of the nearby sunporch steps and wingwalls, it is staff's opinion that some of these dimensions exceed relative dimensions to the porch itself: the width of the steps and the position of the interior side of the proposed wingwalls goes outside the plane of the interior porch walls (see proposed elevations 1-3), there appears to be an addition of 2 steps (2 risers) in the proposed stairs that may not be required because both the landscape and the porch heights may be at different elevations, and the length and scale of the wall seems to be disproportionately larger than necessary in relation to this smaller porch. In summary, the dimensions of this wall and stair should be localized to the historic scale of this smaller porch, in staff's opinion, rather than attempting to match the dimensions of the sunporch.
- Staff has no issue with change of the steps materiality from brick inlay concrete steps to limestone steps.

## ISSUES

- Staff offers the opinion that covering or the removal of the existing siding, door, icebox entrance, and the enclosure of the porch with a solid wall obstructs or alters these historic character-defining features that connects this porch with other historic porches of this house and therefore is not appropriate, because it destroys the historic character of the property (Standards 2 and 3), removes distinctive features (Standard 5), does not match the character-defining feature of the original porches in design, texture, and other visual properties (Standard 6).
- While the proposed porch enclosure with a solid wall is not appropriate, staff offers the opinion that, leaving all exterior features in place, the use of windows that matches in material and design to the

sunporch, with its centralized door placement, would be an appropriate use that is not in conflict with the house's historic architecture.

- Staff offers the opinion the proposed width of the stair shall not exceed the width of the existing interior space between the pier and the exterior wall, that the height of the wingwall not exceed the height of the porch, except for the limestone cap.
- Staff has no issue with the proposed replacement of the brick steps with limestone steps.

## **RECOMMENDATION**

### Section 21-2-78, Determination of Historic District Commission

#### Recommendation #1: Installation of solid wall enclosure for the rear porch (and potential removal of exterior features)

Staff finds that the installation of solid wall enclosure for the rear porch (and potential removal of exterior features) destroys the historic character of this property and removes distinctive, character-defining features.

Staff therefore recommends that the Commission issue a Denial for the above work items, as it does not meet the Secretary of the Interior's Standards for Rehabilitation, specifically Standards:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

#### Recommendation #2: Installation of steps and wingwalls:

It is staff's opinion that the proposed installation of the steps and wingwalls retain and preserve the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation.

*Staff recommends the COA be issued with the following conditions:*

- The applicant provide drawings to HDC staff for review and approval that show the proposed width of the stair shall not exceed the width of the existing interior space between the pillar and the exterior wall, that the height of the wingwall not exceed the height of the porch, except for the limestone cap.













THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS: \_\_\_\_\_ AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner

Contractor

Tenant or  
Business Occupant

Architect/Engineer/  
Consultant

NAME: \_\_\_\_\_ COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

# P2 - BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_

## PROPERTY INFORMATION

Address: \_\_\_\_\_ Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_

AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_

Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Are there any existing buildings or structures on this parcel?  Yes  No

## PROJECT INFORMATION

**Permit Type:**  New  Alteration  Addition  Demolition  Correct Violations

Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_

Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

**Description of Work** (Describe in detail proposed work and use of property, attach work list)

MBC use change  No MBC use change

**Included Improvements** (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building

Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

**Estimated Cost of Construction** \$ \_\_\_\_\_ By Contractor \$ \_\_\_\_\_ By Department

### Structure Use

Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_

Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.** (Building Permit Application Continues on Next Page)

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Permit #: \_\_\_\_\_ Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

**Revised Cost** (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_



**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Permit Applicant)

Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.



## **Back Porch Enclosure**

**1053 Burns**

**Indian Village**

### **Overview**

The house was repainted in 2021 and the front, south, and north sides are shown in Photos 1,2 and 3, respectively. There are two first floor entrances to the back of the house; one enters the sunroom and is original to the house with Limestone steps and landing (Photo 4) and the second enters the kitchen. The second entrance is via a small porch that is open on west side, has a 2 foot brick wall with limestone cap on the south side, and existing wood siding on the east and north sides (Photo 5). The stairs used to access the porch and kitchen door are concrete that is covered with brick pavers with limestone caps on the wing walls, consistent with other stairs in the front and back of the house. There are no closets on the first floor of the house and the plan is to covert this small open porch to an enclosed mudroom. This porch is not visible from adjacent houses to the north and south and the carriage house and alley wall limit visibility from Iroquois Street at ground level.

### **Proposed Work**

The porch enclosure will be completed by building a wall immediately on top of limestone cap on the southern side as shown in Photo 6. This wall will contain a single window at the same elevation as the adjacent pantry window but will be wider to match the sunroom windows immediately to the south and include a 4 over 2 muntion pattern. Figure 1 shows the existing and proposed wall with window and Photo 7 shows the existing sunroom construction and windows. The siding will match the existing siding. The existing view of the west side with the entry to the porch and the existing door is shown on Figure 2 and Photo 5. The proposed door and siding and widened staircase are shown on Figure 3. The door will match the existing sunroom entry door (Photo 4).

The existing stair wing walls will be dismantled and the bricks reused along with new matching bricks to create a new wider staircase to match the sunroom stairs. Limestone steps will be used, and new limestone caps will be placed on the longer wingwalls. A birds-eye view of the existing and new stair is shown in Figure 4 and 5. Photo 8 shows both the back porch and sunroom stairs and the current difference in length because the sunroom has a landing as the top step.

### **Materials**

Siding - The wood siding to enclose the porch will be new 4 1/2 inch overlapping siding to match the existing material in thickness and dimension. The materials will be from Detroit Forest Products and a copy of the specification is attached. The new interior walls will be finished with either tongue and groove wood or drywall.

Window -The window is 47 inches by 23 inches to match the dimensions of the sunroom upper sash and simulated divided light with a 4 over 2 muntin pattern to match the sunroom windows. The window will be fixed, ie not opening and a Pella architect series. A copy of the specification is attached.

Door -The door will be constructed of wood with double pane glass with a dimension of 36 inches by 80 inches. A specification is attached.

Stairs – The stair steps and wing wall caps will be constructed of new limestone. The wing walls will be build using a combination of reclaimed bricks from the existing and new Brewerston bricks selected to match. Brewerston bricks were used in 2005 to construct the carriage house and provide a great match to the house. Photo 9 is a sample of the bricks taken adjacent to carriage house showing the match and the specifications on the brick. The width of the wing walls will not change but they will be lengthened and increased in height to match the sunroom stairs more closely. The existing and new dimensions are shown on attached Figures.

Photos 11 and 12 show the back of the house from the rear of the lot to provide additional context for the locations. Photos 13 and 14 are looking toward the porch from the adjacent southern and northern neighbor's driveways and show that the proposed changes are not visible. The proposed changes are also not visible from Iroquois begin blocked by a house and walls on Iroquois and the carriage house.

### **Schedule**

The work is planned to begin as soon as HDC approval is received.

**Photographs**



**Photo 1**  
Front of house from Burns, note limestone steps and Limestone caps on stair walls, and brick porch railings



**Photo 2**  
Side of house from South, sunroom is visible at back





**Photo 3**  
**Side of house from north near**  
**Burns; breakfast room that**  
**forms the north wall of the**  
**back porch is visible at back**



**Photo 4**  
**Original Stair case to sunroom**  
**door, Stairs are limestone and**  
**brick wing walls include**  
**limestone caps**



**Photo 5**

**Back porch proposed to be enclosed and stairs to access. The staircase is not consistent with other stairs on the house and constructed of pavers covering concrete stairs. Bottom step is not consistent because of changes to backyard to improve drainage in 2017 that resulted in sidewalks begin 3 inches higher**

**Original Icebox entrance is visible and was restored in 2021 along with siding.**



**Photo 6**  
Back porch from south showing where wall will be built on top of Limestone cap. Proposed window will be at same elevation as the existing window in pantry. Remaining wall will be clad in matching wood siding.



**Photo 7**  
Sunroom window, new window will match the upper sash muntin pattern and be similar in size



**Photo 8**  
View of two back stairs looking south showing that the sunroom stairs is two feet longer and extends to the sidewalk  
  
Also shows proximity of the sunroom .



**Photo 9**  
Manufacturer board for brick, same brick used to build garage



**Photo 10**  
Brick sample against existing pier on garage



**Photo 11**  
View of the full back of the house from yard looking east. Carriage house is visible at left. Porch to be enclosed is near center of the photo



**Photo 12**  
View of backyard looking northeast from rear of neighboring yard to the south.



**Photo 13**  
View for neighboring house to the south showing the sunroom, porch is not visible except when in the rear of the backyard



**Photo 14**  
**View looking south from**  
**neighbor to the north's**  
**driveway. Breakfast nook**  
**is visible but porch to**  
**enclose is not visible**



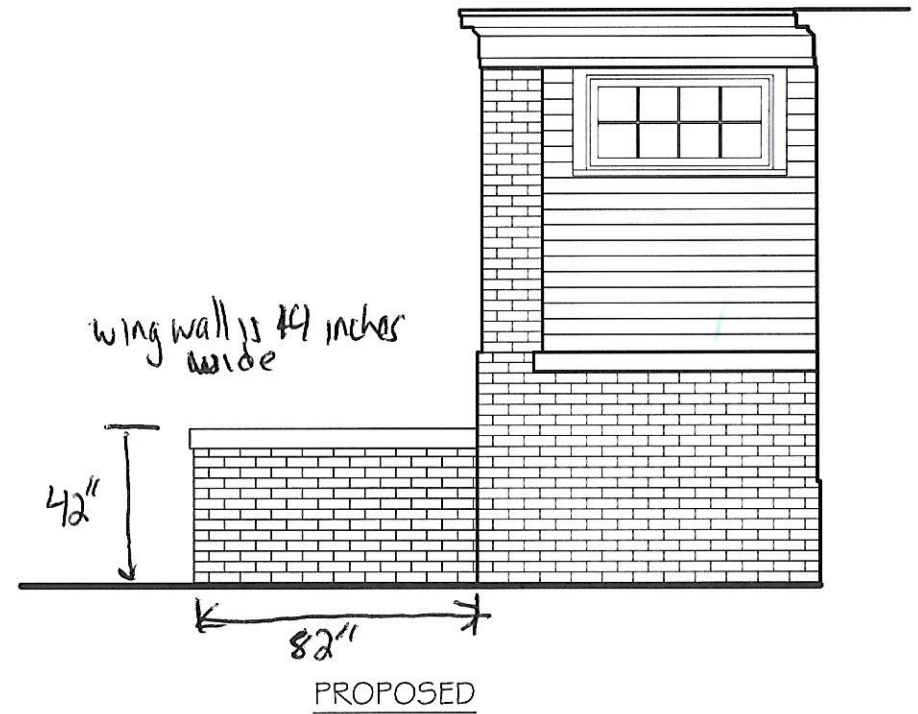
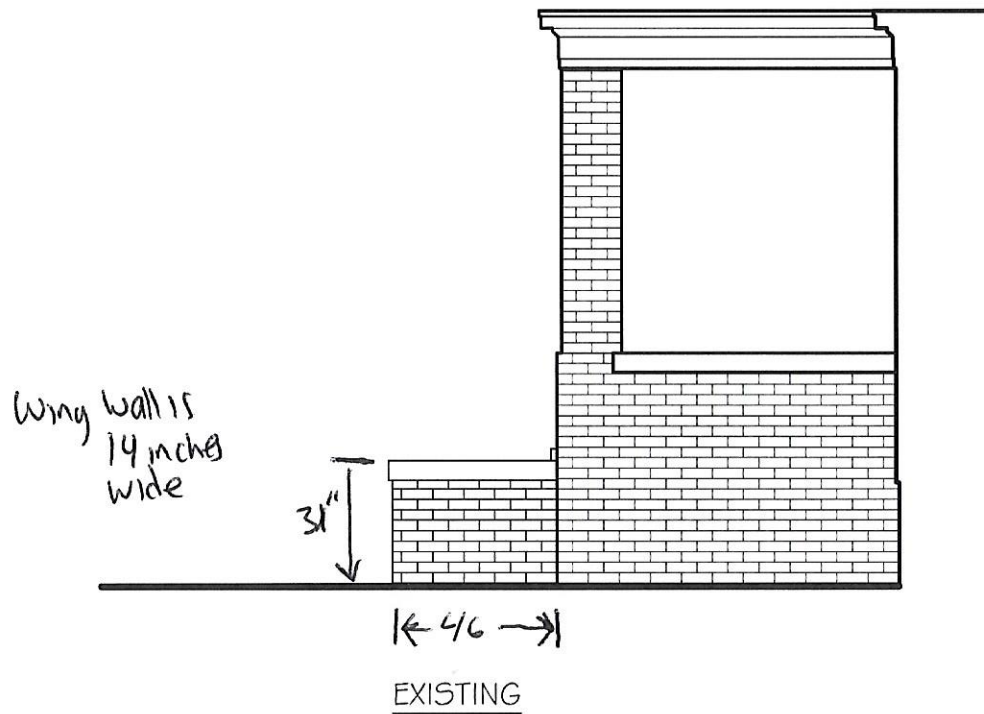
Exterior Elevation

SCALE: 1/4" = 1'-0"

1053 Burns Ave

3/24/22

Figure 1  
View looking north of back porch



← west

East →

Exterior Elevation

SCALE: 1/4" = 1'-0"

1053 Burns Ave

3/24/22

Figure 2 Back Porch; current condition  
Looking East



EXISTING

← north

south →

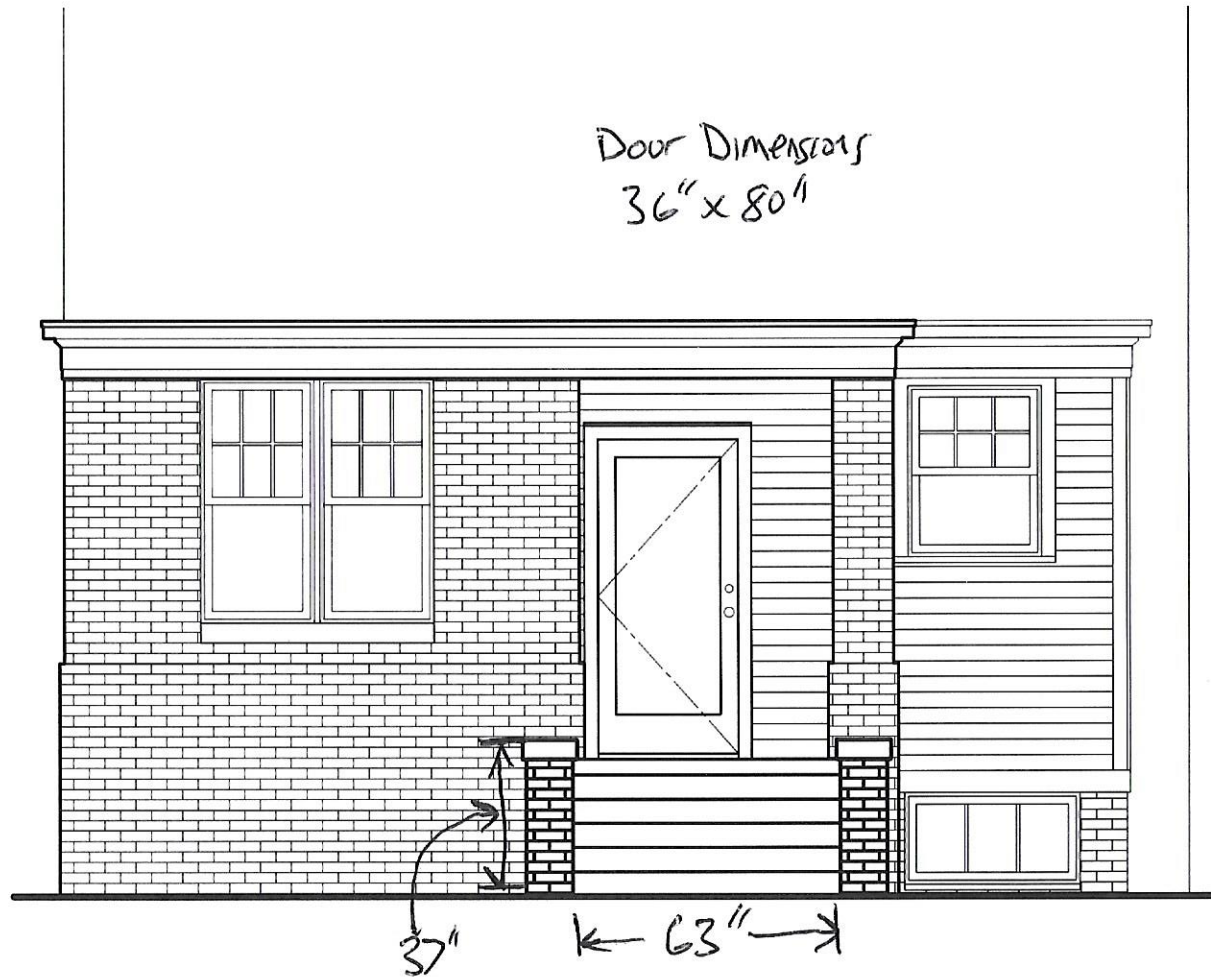
Exterior Elevation

SCALE: 1/4" = 1'-0"

1053 Burns Ave

3/24/22

Figure 3 Back Porch with new door, siding and enlarged staircase



Door Dimensions  
36" x 80"

37"      ← 63" →

PROPOSED

← north

South →

Note: Sunroom stairs  
are 54" wide

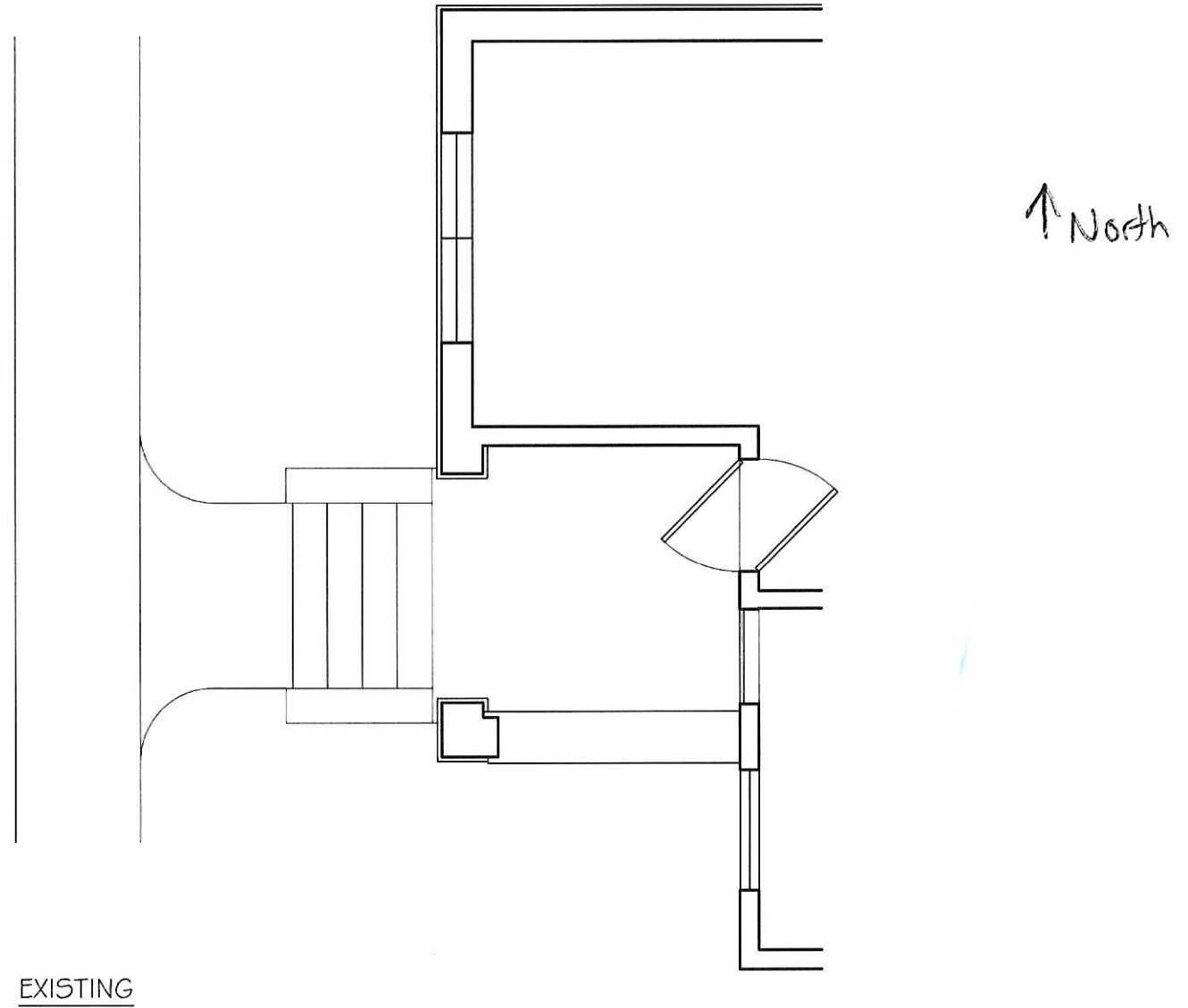
Partial Floor Plan

SCALE: 1/4" = 1'-0"

1053 Burns Ave

3/24/22

Figure 4 Birds eye view of existing stairs and porch



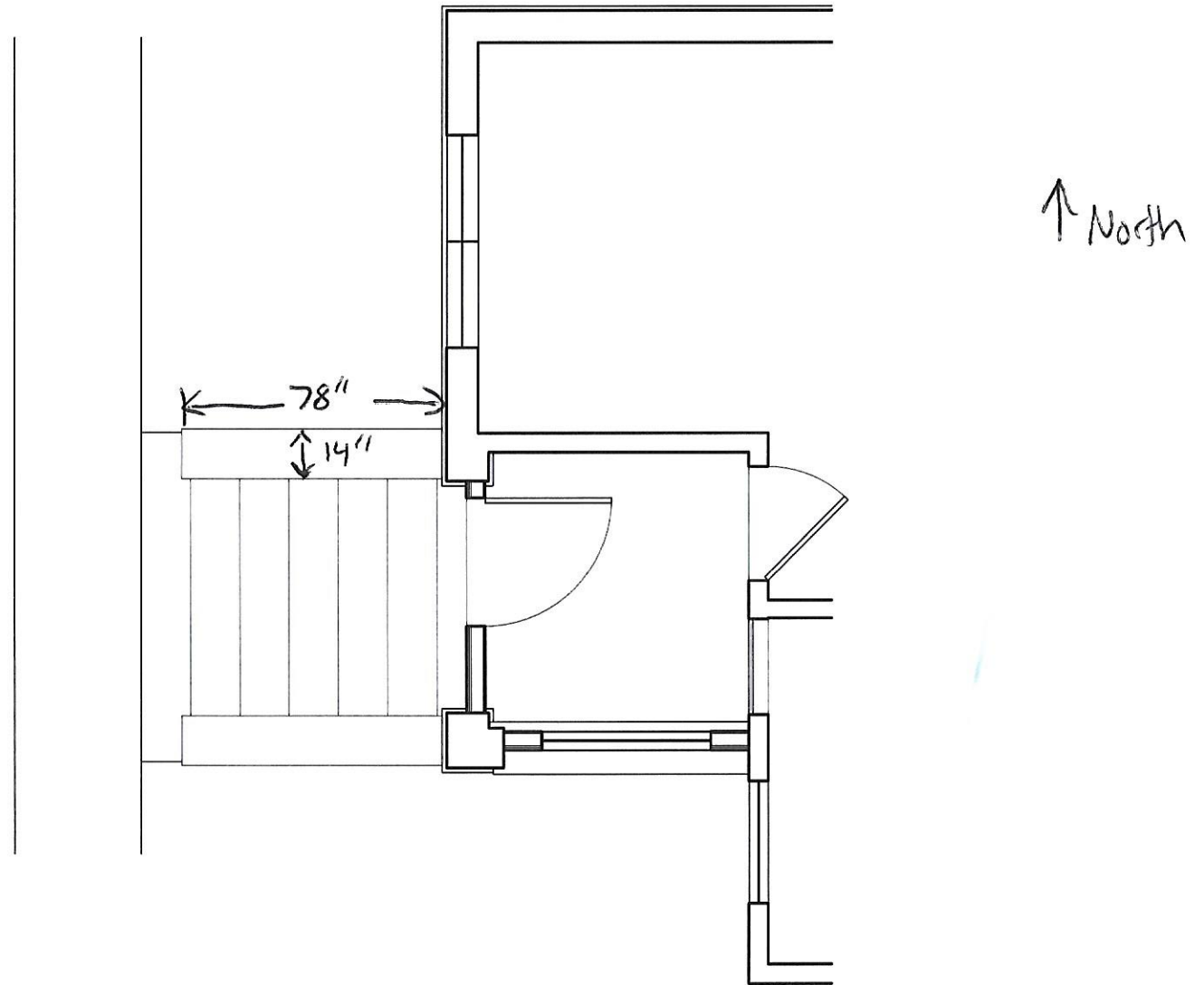
Partial Floor Plan

SCALE: 1/4" = 1'-0"

1053 Burns Ave

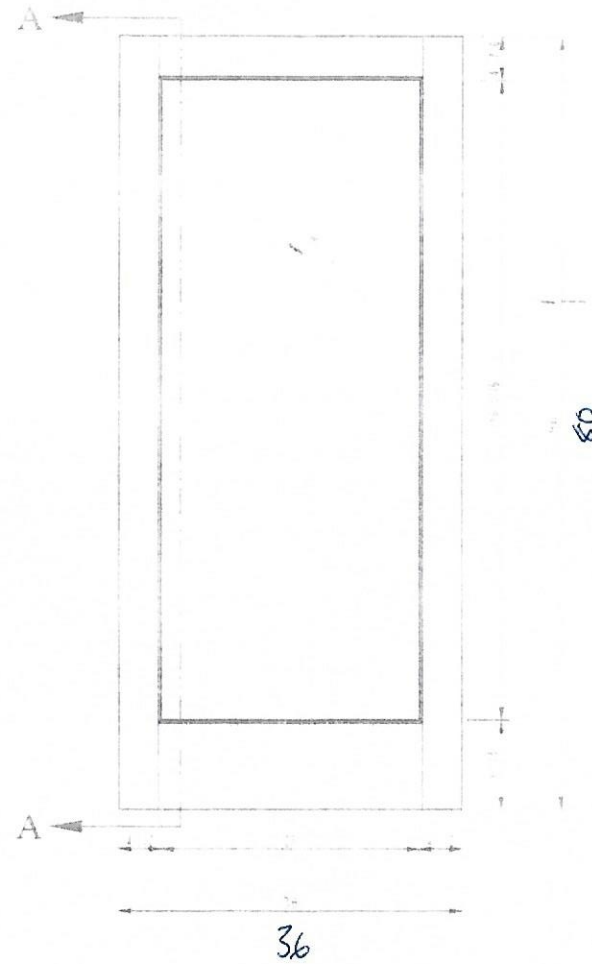
3/24/22

Figure 5 Birds-eye view of new door, walls,  
and widened staircase

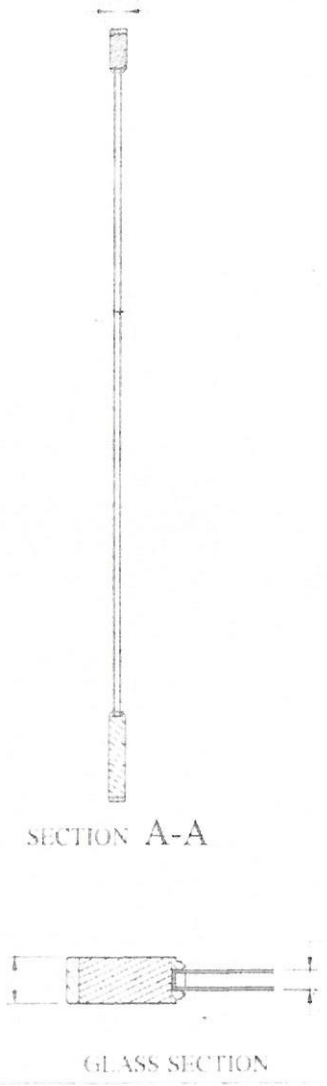


PROPOSED

Document	
Document #	116
Line #	8
Special Comp.	NA
Reference #	1135496
Door	
Product Use	EXT_V2
Model	5001
Specie	PINE
Wood Treatment	NONE
Finish	NATURAL
Woodcore	LVI
Bevel door	NONE
Slat Model	NA
Profit	0.00
Trim	0.00
Certification	
Fire Rated	NONE
Structural	NONE
Molding	
Moulding	OVOLO_EXT
Family	NONE
Model	NONE
Glass	
Glass Model	NONE
Glass Finish	CLEAR
Bevel	NONE
Insulated	INSUL_QSS
Low-E	NONE
Panel	
Wood	NONE
Design	NONE
Type	NONE
Thickness	0.000
Curve Top	
Radius	0.000
Height Curve	0.000



Note: All measurements include sticking





# Proposal - Detailed

Builders FirstSource #8187  
 34151 S Gratlot Ave  
 Clinton Township, MI 48035

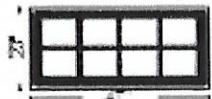
**Sales Rep Name:** BFSCCLINTO, N  
**Sales Rep Phone:** 586-791-1200  
**Sales Rep E-Mail:** dluchtman@johnslumber.com  
**Sales Rep Fax:**

Customer Information	Project/Delivery Address	Order Information
<b>Builders FirstSource - 08187</b> BUILDERS FIRST SOURCE 2001 Bryan Street DALLAS, TX 75201 <b>Primary Phone:</b> (586) 7911200 <b>Mobile Phone:</b> <b>Fax Number:</b> <b>E-Mail:</b> <b>Contact Name:</b>  <b>Great Plains #:</b> 7408187 <b>Customer Number:</b> 1010251330 <b>Customer Account:</b> 7408187	<b>CURT CRAMER</b> 08187 - Builders FirstSource 34151 S Gratlot Ave <b>Lot #</b> CLINTON TOWNSHIP, MI 48035 <b>County:</b> MACOMB <b>Owner Name:</b> Builders FirstSource - 08187 <b>Owner Phone:</b> (586) 7911200	<b>Quote Name:</b> CURT CRAMER  <b>Order Number:</b> P74 <b>Quote Number:</b> <b>15359890</b> <b>Order Type:</b> Non-Installed Sales <b>Wall Depth:</b> <b>Payment Terms:</b> C.O.D. <b>Tax Code:</b> 6.0 <b>Cust Delivery Date:</b> 4/28/2022 <b>Quoted Date:</b> 4/7/2022 <b>Contracted Date:</b> <b>Booked Date:</b> <b>Customer PO #:</b>

Line #	Location:	Attributes
10	None Assigned	

## Architect, Traditional, Sash Set, Fixed, 47 X 23, White

Item Price	Qty	Ext'd Price
\$962.38	1	\$962.38



PK #  
2110

**1: Traditional, 4723 Fixed Sash Set**  
**Frame Size:** 47 X 23  
**General Information:** Standard, Clad, Pine, 5", 3 11/16"  
**Exterior Color / Finish:** Painted, Standard Enduraclad, White  
**Interior Color / Finish:** Unfinished Interior  
**Sash / Panel:** Ogee, Ogee, Standard  
**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude  
**Performance Information:** U-Factor 0.28, SHGC 0.27, VLT 0.50, CPD PEL-N-1-53758-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11  
**Grille:** ILT, No Custom Grille, 7/8", Traditional (4W2H), Ogee, Ogee  
**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 140".

Viewed From Exterior  
**Rough Opening:** 47 - 3/4" X 23 - 3/4"

## Thank You For Your Interest In Pella® Products

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at [www.pella.com](http://www.pella.com)

# Siding

Siding  $\rightarrow$   
4 1/2 inch which  
results in 4 1/8 after  
install

Detroit Forest Products

