

STAFF REPORT: APRIL 13, 2021 MEETING

PREPARED BY: A. DYE

APPLICATION NUMBER: 22-7751

ADDRESS: 664 – 676 W. ALEXANDRINE

HISTORIC DISTRICT: WILLIS-SELDEN

APPLICANT: BRIAN ELLISON

PROPERTY OWNER: BIMINI PROPERTIES, II

DATE OF PROVISIONALLY COMPLETE APPLICATION: MARCH 21, 2022

DATE OF STAFF SITE VISIT: MARCH 23, 2022

SCOPE: REVISION TO PREVIOUSLY APPROVED NEW MULTI-FAMILY BUILDING

EXISTING CONDITIONS

The project site encompasses parcels addressed at 664 and 676 W. Alexandrine Street and is situated approximately mid-block on the north side of West Alexandrine Street between Second and Third Avenues. The west (side) property line of the site abuts a public alley running north/south.



View of existing conditions at the development site, view to the north. Staff photo, March 23, 2022

PROPOSAL

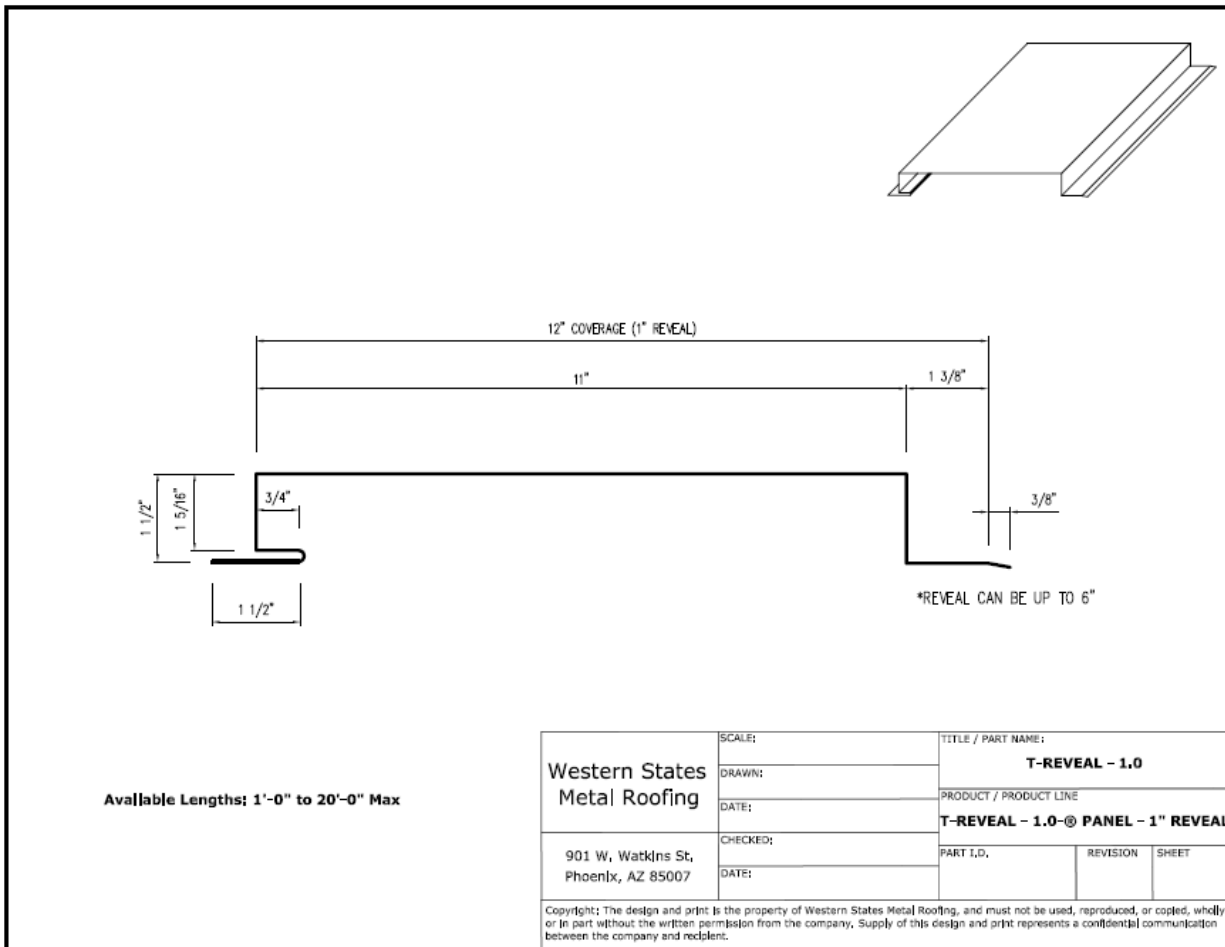
The current proposal is for a revision of the previously approved project. In April 2021, the Commission approved the construction of a new 3-story, multiple-family apartment building (30 units). The exterior material for the second and third level was to be James Hardie Reveal Panel with Recess Trim (Deep Red), a cementitious product. The applicant reports that this product is no longer available. The applicant has now selected Western Reveal 1.0 by Western States Metal Roofing (Colonial Red). The product will be vertically orientated with an 18” face and 1” reveal. The previous staff report for this project is attached and available on the website.

STAFF OBSERVATIONS AND RESEARCH

- The proposed change in materials was viewed by staff for approval under the “minor changes” authority delegated to staff by the Commission. Staff determined that the change in material across the entire façade, combined with a change in joint patterns and finish, was beyond staff’s authority to approve.
- The color of Western States Metal Roofing, Colonial Red (left), is very similar to the James Hardie Reveal Panel, Deep Red (right). Therefore, the palette of colors for the building will remain essentially the same.



- Below is the cross section of the proposed metal panel. The width of coverage is 18”; the reveal is 1” wide and 1-1/2” deep.

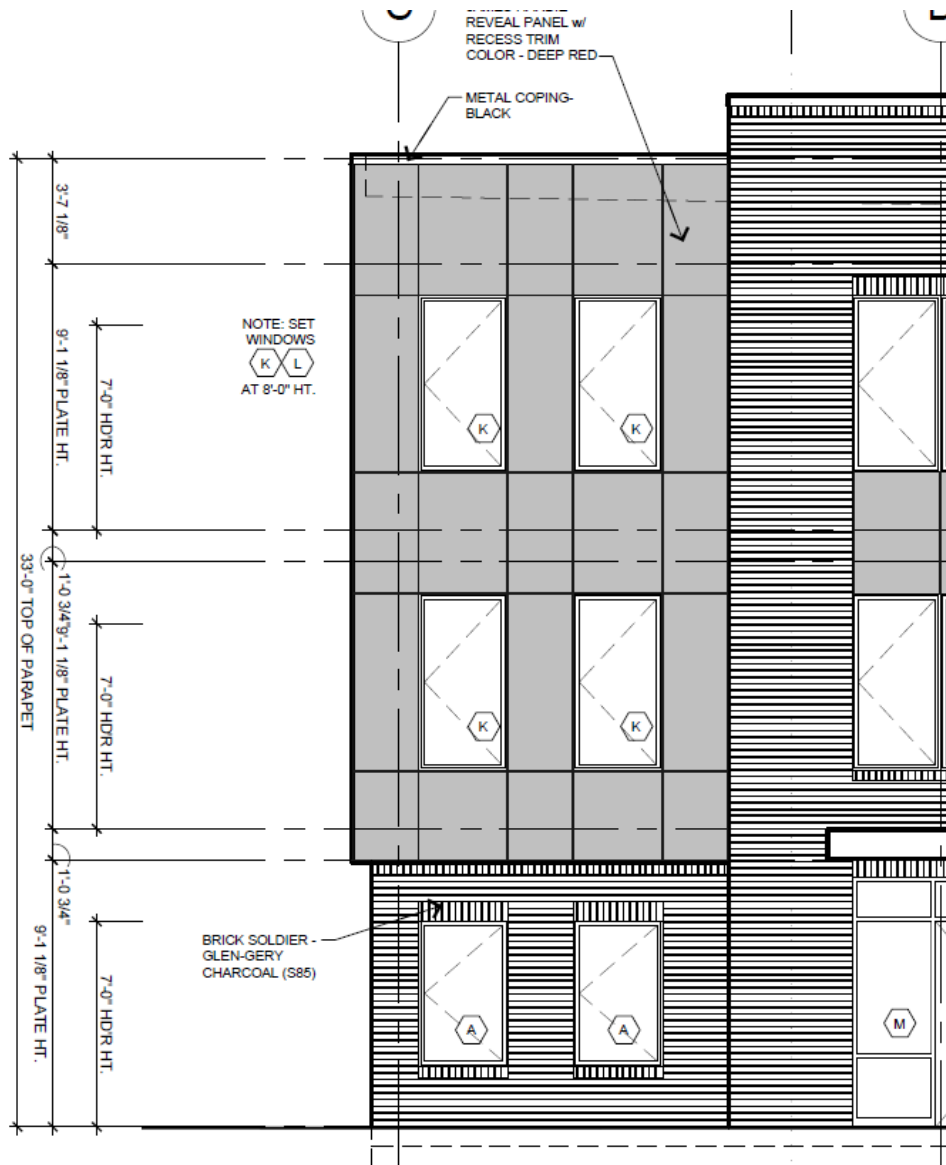


Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|----------|---|----------|-------|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T-REVEAL - 1.0 | | |
| 901 W, Watkins St, Phoenix, AZ 85007 | DATE: | PRODUCT / PRODUCT LINE | | |
| | CHECKED: | T-REVEAL - 1.0-@ PANEL - 1" REVEAL | | |
| | DATE: | PART I.D. | REVISION | SHEET |

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- The dimensioned elevation drawing shown below was copied from the approved drawings (which reflects the James Hardie cementitious panel). The height of the second and third floors is 23-7/8”.



- The manufacturer’s specification package mentions the possibility of the metal product oil canning. Oil canning is a visible, wavy distortion that affects cold-rolled metal products. It's seen in the flat areas of metal panels, and can be characterized as a moderate aesthetic issue. Typically, the rippling, waviness, or buckling is especially seen in the broad area of a metal roof or wall.

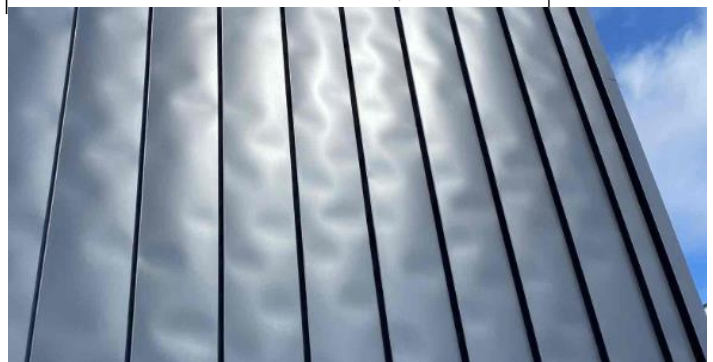


Photo from Western States Metal Roofing website

- Staff contacted the applicant with questions about the product's possibility of oil canning. Listed below is the completed Q and A; answers were provided by David C. Rytlewski, Ferlito Group.

I'm confused by the length allowances. The cut sheet from the specification packet says the available panel lengths are 1' - 20' max, but the product data sheet submitted says 1' – 45'. Can you please explain the difference?

Product is available up to 45' Max length as of November 1 2021, they have not updated all the information on the site as of yet, so yes, the rendering is correct as we are planning to install 1 piece from lower 2nd level to upper 3rd level.

I found the reflectivity chart on the Western's website. Kynar/PVDF Standard Colonial Red rates 29% reflectivity, while the Kynar/PVDF special order Colonial Red Matte rates 25.9%. Does a darker color show oil canning more or less than a lighter color? Also, would the matte finish help minimize how well oil canning can be seen?

Colors and reflectivity, yes Matte is less reflective to the testing results but would not be any more noticeable in oil canning or preventing this from happening... The minor in testing numbers would not be noticeable in this application from speaking to western metal previously since we have lower amount of direct sun light to the building as it is positioned and the surrounding areas of buildings and trees.

As mentioned above, there is no sound data that shows matte color will show less oil canning, in theory yes, a duller color to say would show less, but this is also with some other tradeoffs with Matte finish, such as marring easily, staining of bird droppings and outdoor fall out such as sap etc., it much harder to keep clean, and look great. We looked at the Matte color in depth and after research we choose the standard color, it is to no additional cost for us either way as we meet the minimum requirements for the product to be produced for the project. I would agree a darker color, very high gloss would show more imperfections and oil canning, I do not feel where are in this category of selected color to be a concern.

Might such long singular lengths contribute to greater chance of oil canning?

We have added the relief clips, which install on the backside of the panel during installation and allow the panels to expand and contract (much like a floating floor), when needed from temperatures and excessive direct sun light, they are not visible once installed, this helps with preventing oil canning. Oil canning can be a result of many things, extreme lengths over 30 feet, light gauge material used, poor installing of over tightening and not using the relief clips and extreme direct sunlight as mentioned above

With the T reveal, it has a reversed striation that helps out tremendously with the oil canning, with this part of the product it helps eliminate oil canning to a great degree

I have attached some photos that additional striations can be made into the panel, this can also help with oil canning, but it does bring a different element of look to the finish product, again no cost difference to the project if you would like to incorporate this, it's more a preference and yes it can help slightly, but we also have the relief clips, and 1" reveal in place to help prevent oil canning.

We choose this product with the T reveal to make certain we can do all we could to prevent oil canning, some like to use standard metal panels and make a Rib Striation to try and prevent oil canning, as it does help, it does not allow the panel to float up and down, side to side which ultimately

causes the oil canning. The T Reveal and the relief clips certainly do, it's more costly and labor intensive but in the end produces a superior job and superior install to last years to come/



CLIP RELIEF
Standard on all profiles
except FWQ100/150



**BEAD RIBS
(STANDARD
OR WIDE)**



**PENCIL RIBS
(SMALL OR
LARGE)**



**V-RIBS (SMALL
OR LARGE)**



STRIATION RIBS



Previous design for the west elevation. (Hardie cementitious panels)



Building with proposed Western Reveal 1.0 metal panel

ISSUES

- None. The applicant answered the concerns raised about the product's ability to oil can, and staff doesn't feel it is necessary to add additional striations.

RECOMMENDATIONSection 21-2-78, Determination of Historic District Commission

It is staff's opinion proposal should qualify for a Certificate of Appropriateness. Staff recommends the Commission issue a COA for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation and the Elements of Design for the district.



Staff photo, March 23, 2022



Staff photo, March 23, 2022



Staff photo, March 23, 2022



Staff photo, March 23, 2022

The building was originally submitted to HDC with the second and third level exterior material consisting of a James Hardie Reveal Panel with Recessed Trim. This created a horizontal and vertical grid pattern. The window heads and sills provided the horizontal element while the window edges provided the vertical element. This exterior system, however, is not being manufactured by James Hardie until further notice. They are only able to produce their more popular, basic lap siding products currently.

We have selected a new material for HDC review and consideration. The product Western Reveal 1.0 by Western States Metal Roofing. The metal siding will be orientated vertically with a an 18" face and 1" reveal. The attachment type is concealed fastening. The color selected, Colonial Red, matches very closely the original submittal. Drawings, product cut sheets and revised renderings have been provided as requested.















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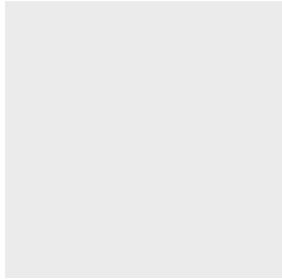
COLOR SELECTION GUIDE

STANDARD COLORS (PVDF)

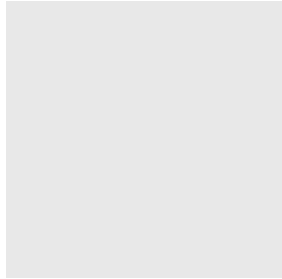
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Colors represented on this chart may not exactly match actual material. All colors should be verified using actual metal samples.

STANDARD COLORS:



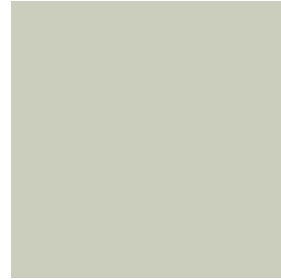
Regal White



Bone White



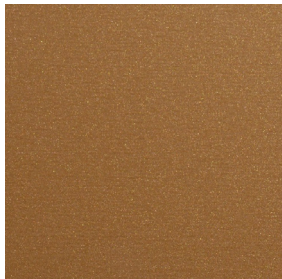
Almond



Sandstone



Desert Tan



Copper Penny



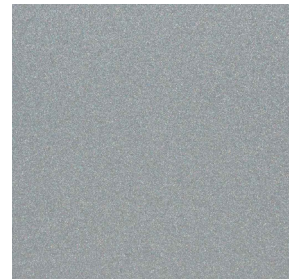
Ash Gray



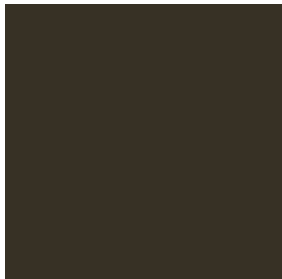
Slate Gray



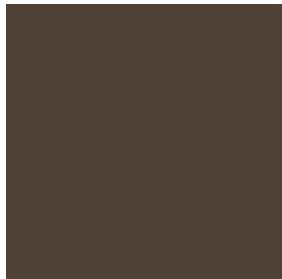
Charcoal Gray®



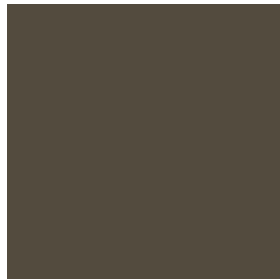
Zinc Metallic



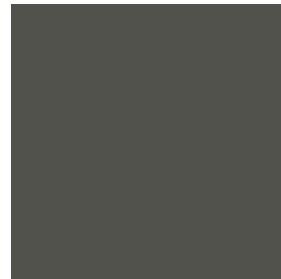
Burnished Slate®



Mansard Brown



Medium Bronze



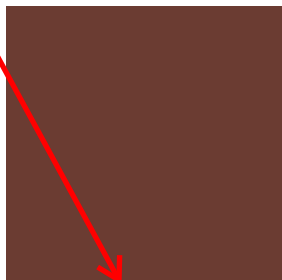
Dark Bronze



Classic Green



Terra Cotta



Colonial Red



Regal Red



Slate Blue



Regal Blue

4111-22





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COLOR SELECTION GUIDE

STANDARD COLORS (PVDF)

Product Availability Chart

Inquire about sizes and gauges that are not shown.

| Color Name | Coil Width | Flat Stock | Gauge | Substrate | Paint Finish | Cool Ratings | | |
|-----------------|------------|------------|-------|-----------|--------------|--------------|-------|-----|
| | | | | | | Reflect | Emiss | SRI |
| Almond | 24"/48" | 48" | 24 | ■ | ● | 69.9% | 0.85 | 85 |
| Ash Gray | 24"/48" | 48" | 24 | ■ | ● | 39.0% | 0.84 | 41 |
| Bone White | 24"/48" | 48" | 24 | ■ | ● | 75.9% | 0.85 | 93 |
| Burnished Slate | 24"/48" | 48" | 24 | ■ | ● | 29.0% | 0.84 | 28 |
| Charcoal Gray | 24"/48" | 48" | 24 | ■ | ● | 26.0% | 0.84 | 24 |
| Classic Green | 24"/48" | 48" | 24 | ■ | ● | 29.0% | 0.85 | 29 |
| Colonial Red | 24"/48" | 48" | 24 | ■ | ● | 29.0% | 0.85 | 29 |
| Copper Penny | 24"/48" | 48" | 24 | ■ | ● | 44.0% | 0.85 | 49 |
| Dark Bronze | 24"/48" | 48" | 24 | ■ | ● | 26.0% | 0.85 | 25 |
| Desert Tan | 24"/48" | 48" | 24 | ■ | ● | 47.0% | 0.85 | 53 |
| Mansard Brown | 24"/48" | 48" | 24 | ■ | ● | 27.0% | 0.85 | 26 |
| Medium Bronze | 24"/48" | 48" | 24 | ■ | ● | 31.0% | 0.85 | 31 |
| Regal Blue | 24"/48" | 48" | 24 | ■ | ● | 26.0% | 0.85 | 24 |
| Regal Red | 24"/48" | 48" | 24 | ■ | ● | 42.0% | 0.83 | 45 |
| Regal White | 24"/48" | 48" | 24 | ■ | ● | 73.0% | 0.85 | 89 |
| Sandstone | 24"/48" | 48" | 24 | ■ | ● | 60.0% | 0.85 | 71 |
| Slate Blue | 24"/48" | 48" | 24 | ■ | ● | 29.0% | 0.85 | 28 |
| Slate Gray | 24"/48" | 48" | 24 | ■ | ● | 38.0% | 0.85 | 41 |
| Terra Cotta | 24"/48" | 48" | 24 | ■ | ● | 44.2% | 0.83 | 48 |
| Zinc Metallic® | 24"/48" | 48" | 24 | ■ | ● | 31.0% | 0.85 | 31 |

● PVDF

■ AZ50/Galvalume

All information stated in the color chart is correct at time of printing and subject to change without notice. **Check our website for latest version 11/2021**

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Affordable delivery throughout USA, Canada, and Mexico

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Phoenix: 901 W Watkins St., Phoenix, AZ 85007
 ✉ sales@westernstatesmetalroofing.com

Tucson: 4975 E. Drexel Rd., Tucson, AZ 85706
 ✉ tucsonsales@westernstatesmetalroofing.com

Call Us Toll Free:
 (877) 787-5467



Product Data

Material Type:

T-Groove® Metal Soffit and Flush Wall Panel

Rib Height: 1"

Available Gauges: 22, 24

Substrate:

AZ50 Minimum (AKA Galvalume®/Zincalume®)

Fasteners: Concealed Fasteners

Stiffening Ribs or Pencil Ribs:

Available Upon Request

Single or Double Vent Strips:

Available Upon Request

Panel Length: 1' to 45' max

Installation:

Installation Over A Solid Substrate

Vertical or Horizontal

Overall Width:

Standard: 8", 10", 12", 14", 16", 18", and 20"

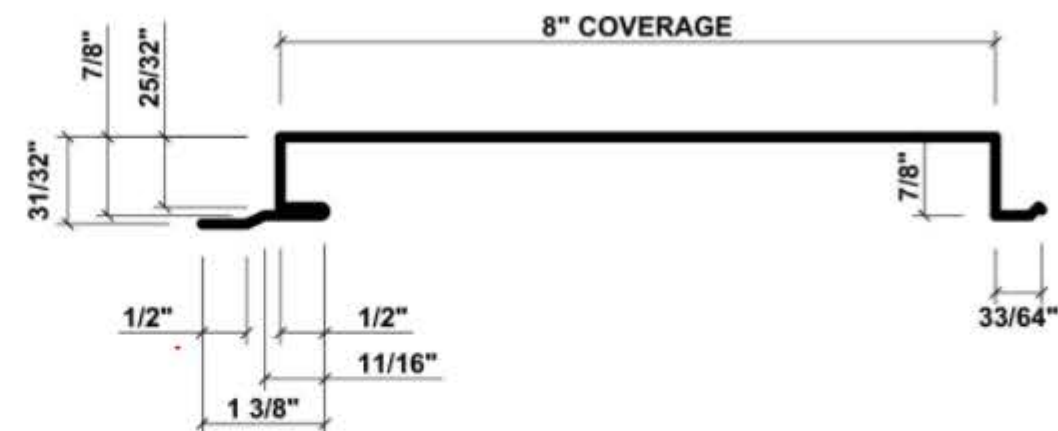
Custom Widths Available Upon Special Request: 8"-20" Wide

Applications:

Residential

Commercial

Interior



8", 10", 12", 14", 16", 18", 20" AND CUSTOM WIDTHS AVAILABLE

PRODUCT DOCUMENTS

↓ [INSTALLATION GUIDE](#)

↓ [PRODUCT DATA SHEETS](#)

↓ [CLASS A FIRE RATING](#)

↓ [PRODUCT SPECIFICATIONS](#)

↓ [SOLAR REFLECTIVITY INDEX](#)

↓ [PAINT WARRANTIES](#)

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T-REVEAL® PANEL

INSTALLATION GUIDE WITH TRIM, FLASHINGS AND DETAILS

Phoenix: 901 W Watkins St., Phoenix, AZ 85007
☎ (602) 495-0048
✉ sales@westernstatesmetalroofing.com

Tucson: 4975 E. Drexel Rd., Tucson, AZ 85706
☎ (520) 574-4247
✉ tucsonsales@westernstatesmetalroofing.com



Western States “T-Reveal ®” Wall and Soffit Panels

Installation, Flashings & Shop Drawing Detail Guide

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Western States “T-Reveal ®” Panel

Installation, Flashings & Shop Drawing Detail Guide

Notes to Designer and Installers

The details contained in this guide are proven industry details and are intended to be used as a design aid and installation guide. It does not depict all situations that may be encountered on all projects. Modifications are the responsibility of the designer/ owner/ installer. Consideration should be given for Fit for Purpose, Building use, Climate conditions such as temperature, snow, wind, and moisture, Governing Building Codes, and Maintenance. It is highly recommended that all trims and flashings be of the same material as the panels (metal, gauge, finish) to ensure long term performance and durability. Where possible, flashing edges should be hemmed to strengthen the edge and protect the cut edge from exposure.

Framing and Substrates

“T-Reveal ®” panels are used over all type of substrates like Steel Framing, girts, spaced sheathing, and wood surface such as plywood. Most details in this guide are shown with panels attached to Solid Wood Decking.

Note on Underlayment

Not all conditions require an underlayment, However metal siding is susceptible to Condensation and it is recommended that an appropriate underlayment be use on all wood substrates to protect the structure during installation. For added protection from rain and snow, it is recommended to use rubberized Ice and water shield.

Technical Assistance

Contact your WSDI sales or technical representative for any additional information or assistance.

Oil Canning

Oil canning is a condition common with flat metal surfaces. This waviness is caused by steel mill tolerances, forming, variations in the structures surfaces, and hardness of the steel. Measures are taken at the roll forming process, like profile design, steel gauge, corrective leveling, to minimize the effects of oil canning. Oil Canning is a Characteristic of steel and can not be eliminated totally and therefore is not reason for rejection of the panels.

Job Site Storage

While waiting to be installed on the job site, Storage of panels, trim crates, and flat sheet should be sloped in order to allow for proper moisture run off. One end should be elevated so as not to allow ponding of water on the metal surface. When using tarps for protection, proper ventilation should be provided to prevent condensation. Moisture or condensation that is trapped inside a bundle can lead to white rust on sheeting.

References

For other installation techniques and details, The Sheet Metal and Air Conditioning Contractors National Association Inc. (SMACNA) and NRCA manuals are great resource for working with sheet metal.

Western States Metal Siding "T-Reveal" ® Panel

Installation, Flashings & Shop Drawing Detail Guide

Fastener Selection

Notes to Installers:

Fastener Selection will vary depending on type and thickness of substrate.

Design Calculations for fastener spacing should be completed by the design engineer.

The use of Butyl tape mastic, Butyl sealants and Curing Sealants is always recommended to insure weather tight installation.

Panels and flashings should never be installed in contact with dissimilar metals.

Use only those flashings and accessories designed for use with this panel.

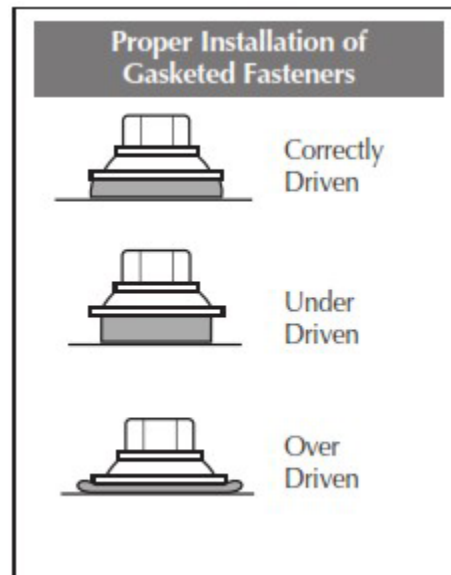
Attachment screws must be long enough to fully penetrate through roof deck substrate or penetrate solid lumber at least one inch.

Exposed Trim Fasteners should have sealing washers and be coated to provide protection against corrosion.

Screws must be properly driven to ensure holding strength and proper seal. (see diagram)

Recommended drill speed is 2000rpm. Improper setting of drill speed can lead to snapping of screw heads.

Pre drilling of screw holes may be necessary with heavy gauge metals.



Western States Metal Siding "T-Reveal" ® Panel

Installation, Flashings & Shop Drawing Detail Guide

Fastener Selection

Description

Application

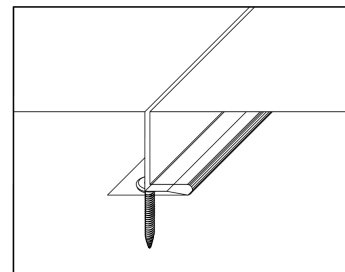
14 x 7/8" Lap Self tap
14 x 7/8 Lap Stainless

Used to attach Trims .
Stainless to be used with
A606-4 Steel



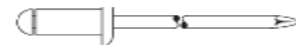
#10-12 x1" Pancake head
Wood
#10-12 x 1" SD PH Self Driller
Steel

Used to attach Panel.
Used to secure trims to
substrates. Also available in
Stainless Steel.

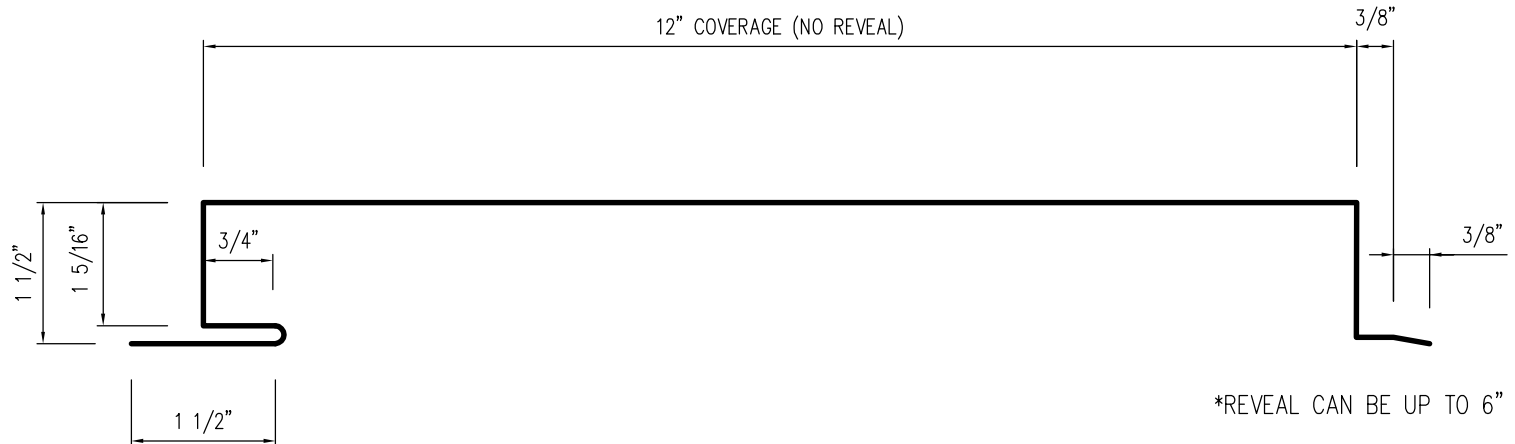
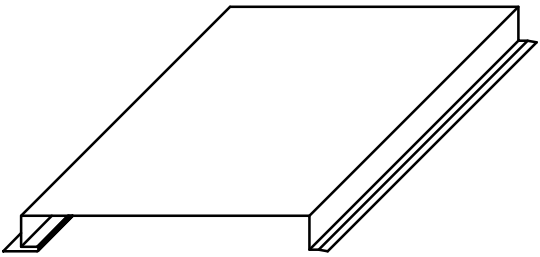


1/8" Stainless Rivets

Used for Trim to Trim
attachment or trim to wall
panels.



The table above shows the panel Fasteners provided by WSD. Special order screws are available.

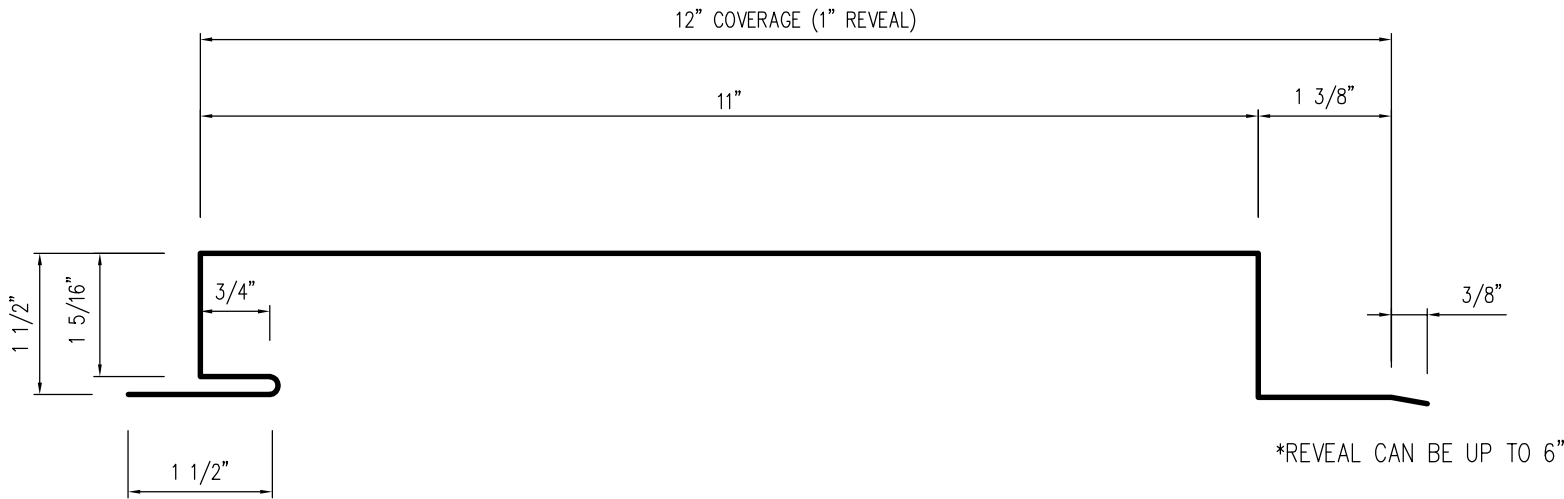
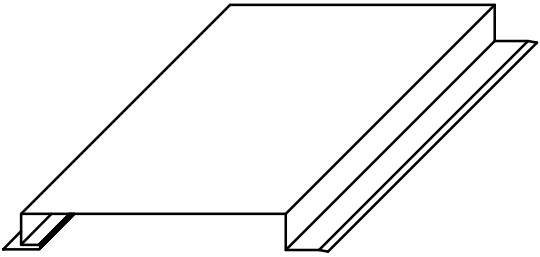


*REVEAL CAN BE UP TO 6"

Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|-----------|---|-------|--|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T - REVEAL - NR | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | DATE: | PRODUCT / PRODUCT LINE | | |
| | CHECKED: | T-REVEAL -NR-® PANEL - NO REVEAL | | |
| DATE: | PART I.D. | REVISION | SHEET | |

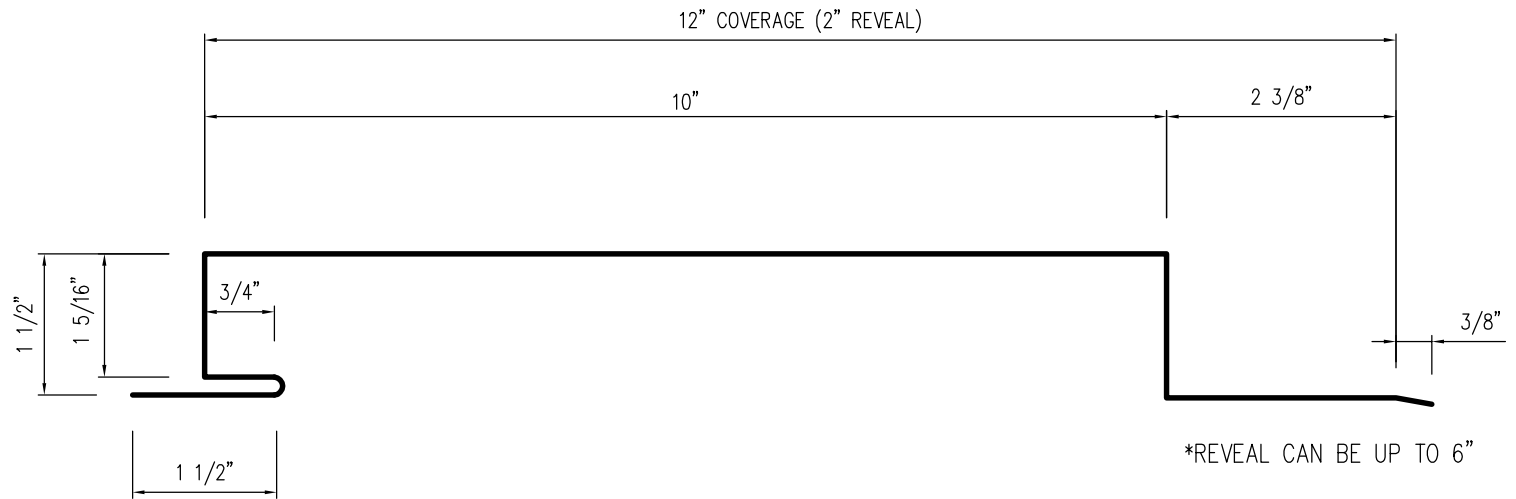
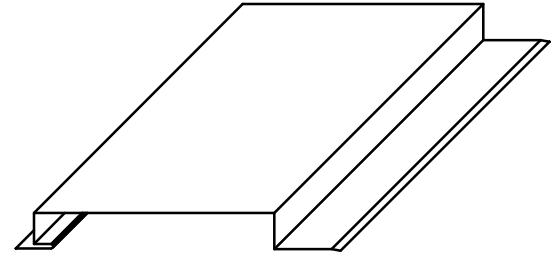
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Available Lengths: 1'-0" to 20'-0" Max

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|---|----------|--|---|----------|-------|
| Western States Metal Roofing | SCALE: | | TITLE / PART NAME: | | |
| | DRAWN: | | T-REVEAL - 1.0 | | |
| | DATE: | | PRODUCT / PRODUCT LINE | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | CHECKED: | | T-REVEAL - 1.0-® PANEL - 1" REVEAL | | |
| | DATE: | | PART I.D. | REVISION | SHEET |
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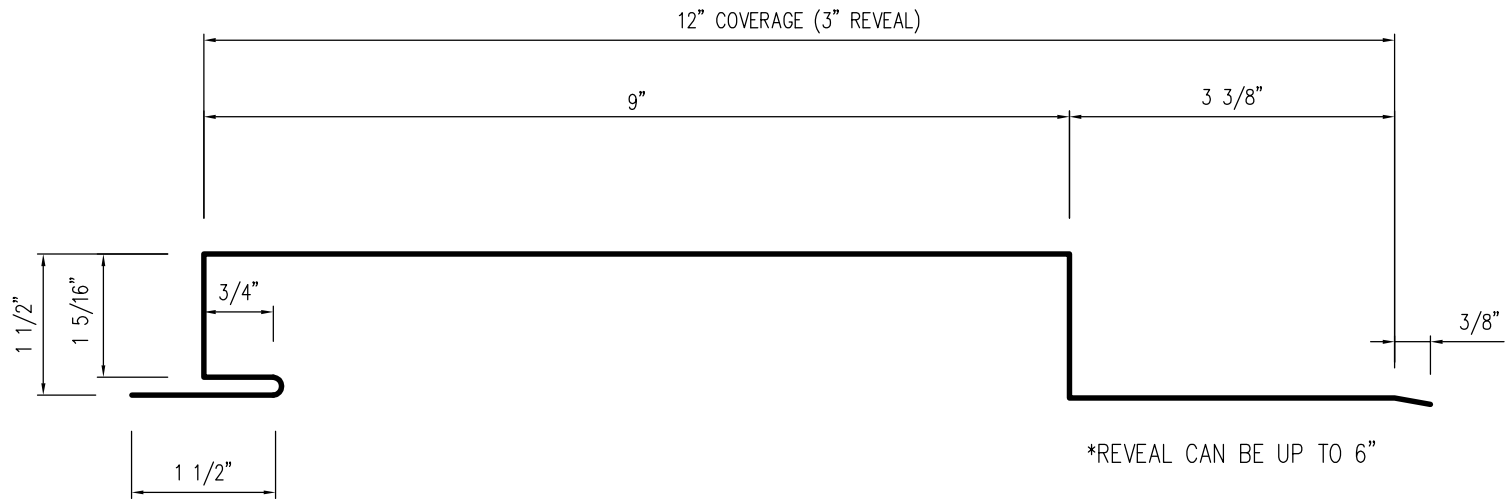
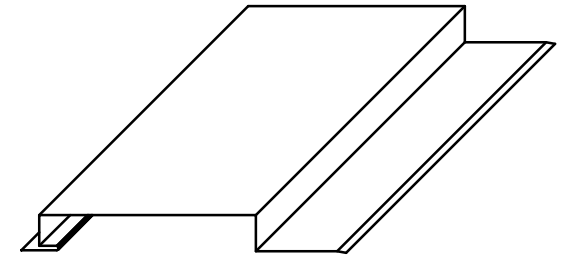
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Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|----------|---|----------|-------|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T - REVEAL - 2.0 | | |
| | DATE: | PRODUCT / PRODUCT LINE | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | CHECKED: | T-REVEAL - 2.0-® PANEL - 2" REVEAL | | |
| | DATE: | PART I.D. | REVISION | SHEET |
| | | | | |

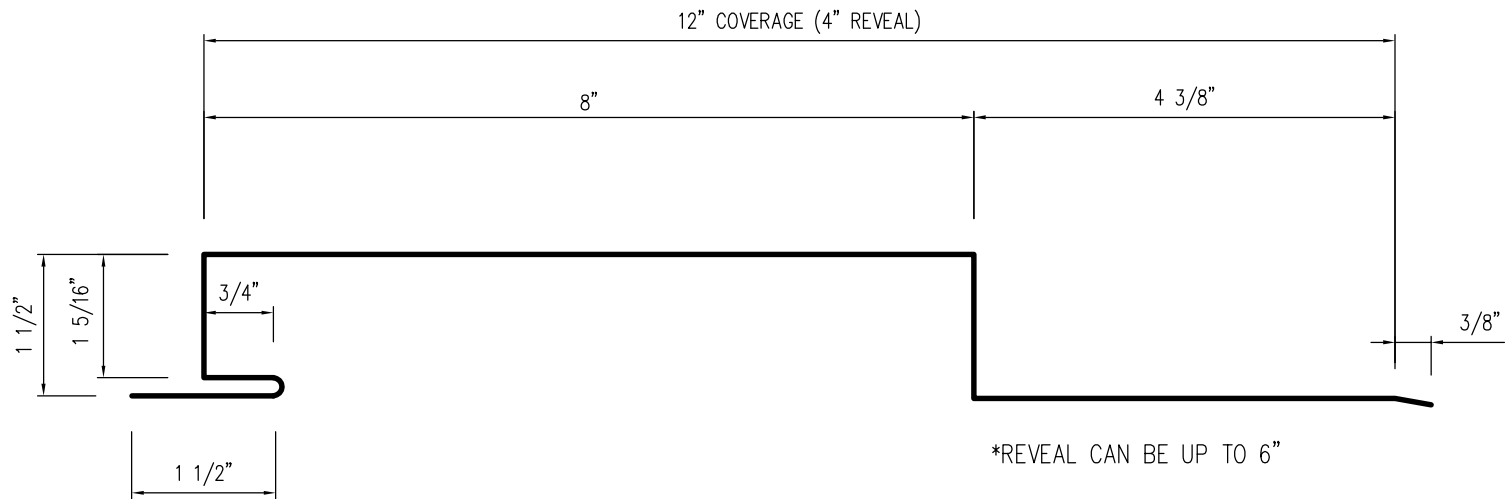
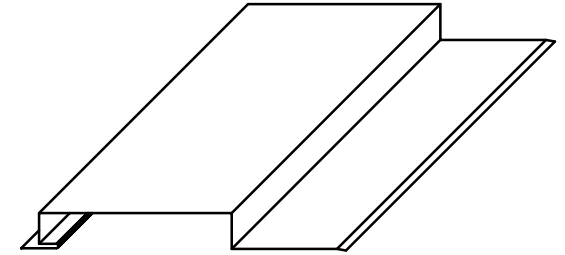
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Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|-----------|---|-------|--|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T - REVEAL - 3.0 | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | DATE: | PRODUCT / PRODUCT LINE | | |
| | CHECKED: | T-REVEAL - 3.0-® PANEL - 3" REVEAL | | |
| DATE: | PART I.D. | REVISION | SHEET | |

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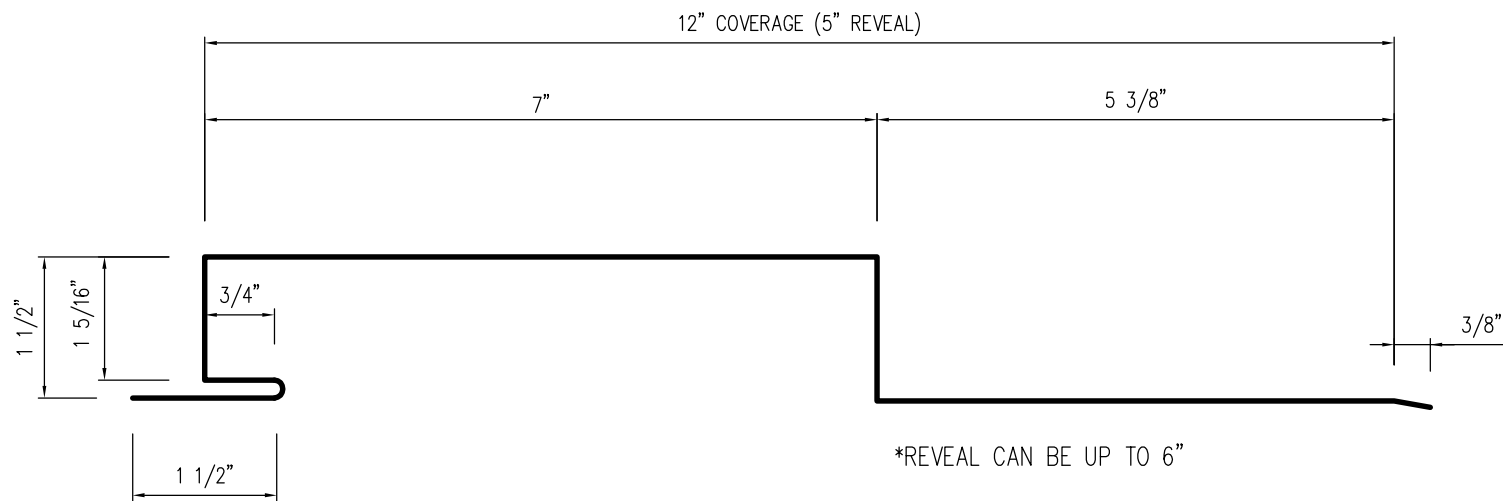
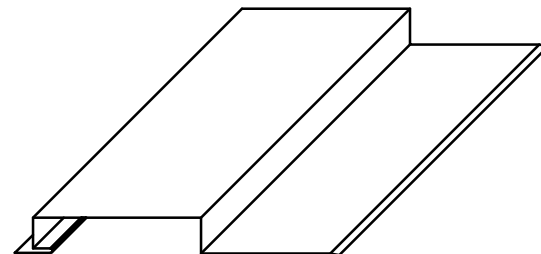


*REVEAL CAN BE UP TO 6"

Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|----------|---|----------|-------|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T - REVEAL - 4.0 | | |
| | DATE: | PRODUCT / PRODUCT LINE | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | CHECKED: | T-REVEAL - 4.0-® PANEL - 4" REVEAL | | |
| | DATE: | PART I.D. | REVISION | SHEET |
| | | | | |

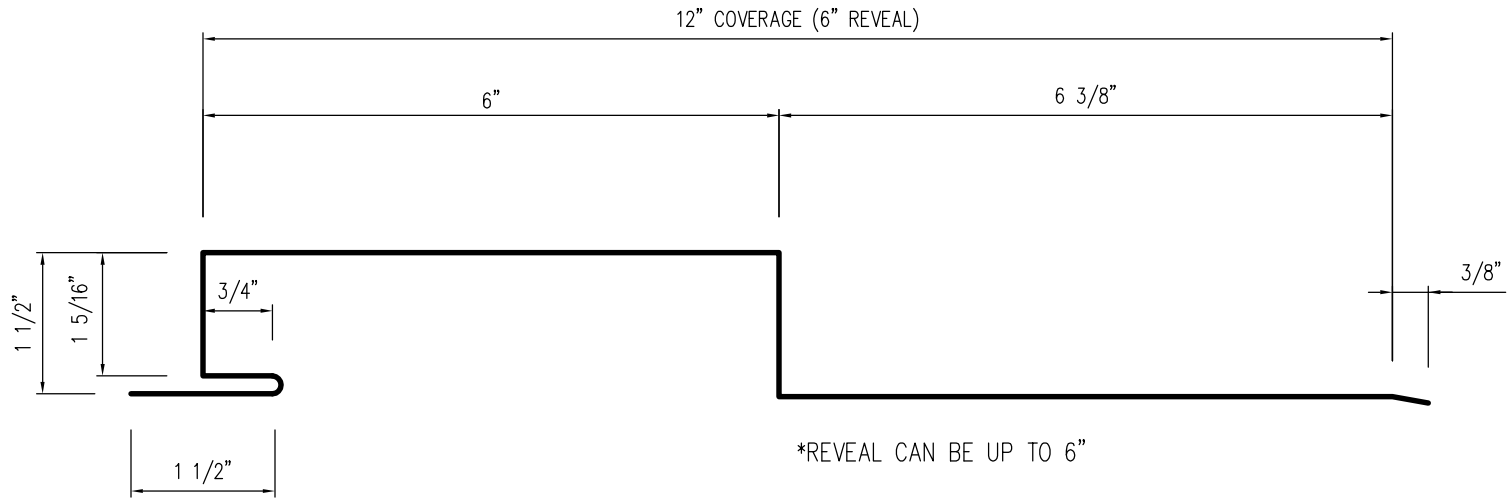
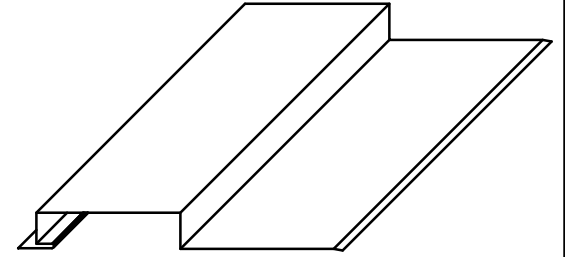
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Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|----------|---|----------|-------|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T - REVEAL - 5.0 | | |
| | DATE: | PRODUCT / PRODUCT LINE | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | CHECKED: | T-REVEAL - 5.0-® PANEL - 5" REVEAL | | |
| | DATE: | PART I.D. | REVISION | SHEET |
| | | | | |

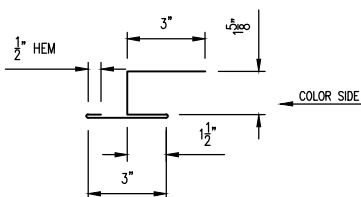
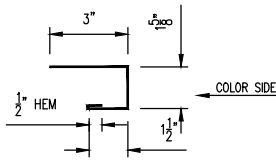
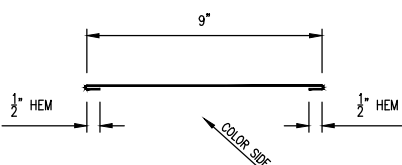
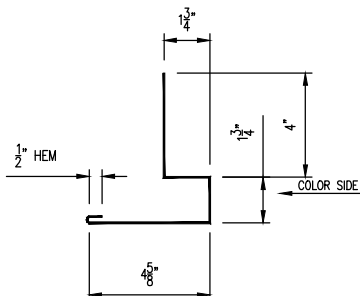
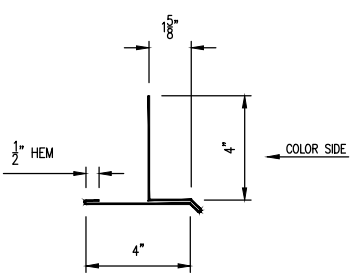
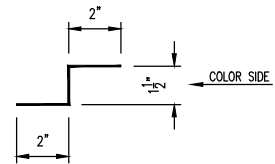
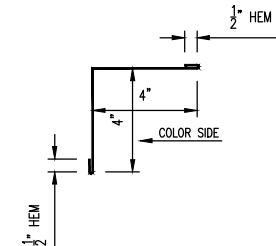
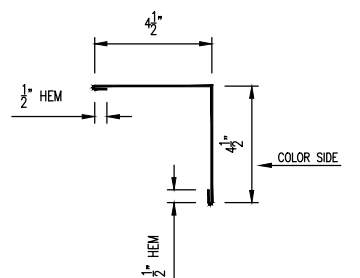
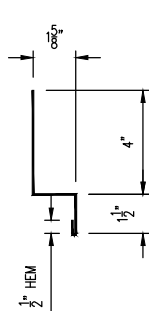
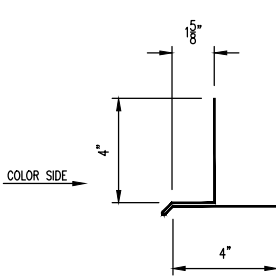
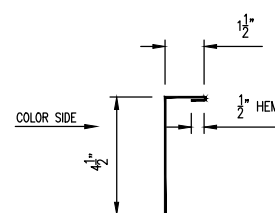
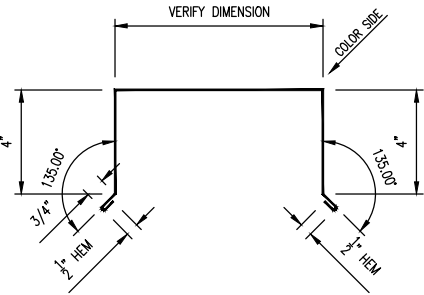
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Available Lengths: 1'-0" to 20'-0" Max

| | | | | |
|---|----------|---|----------|-------|
| Western States Metal Roofing | SCALE: | TITLE / PART NAME: | | |
| | DRAWN: | T - REVEAL - 6.0 | | |
| | DATE: | PRODUCT / PRODUCT LINE | | |
| 901 W. Watkins St. Phoenix, AZ 85007 | CHECKED: | T-REVEAL - 6.0-® PANEL - 6" REVEAL | | |
| | DATE: | PART I.D. | REVISION | SHEET |
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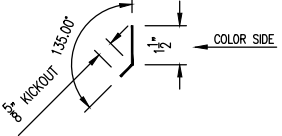
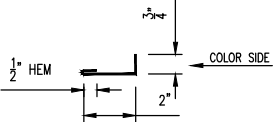
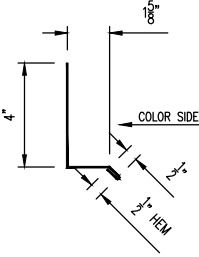
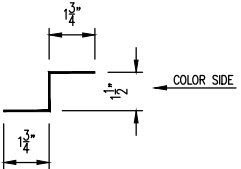
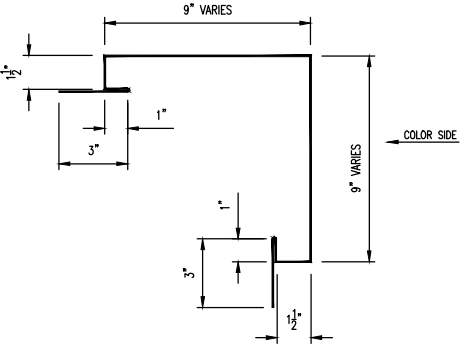
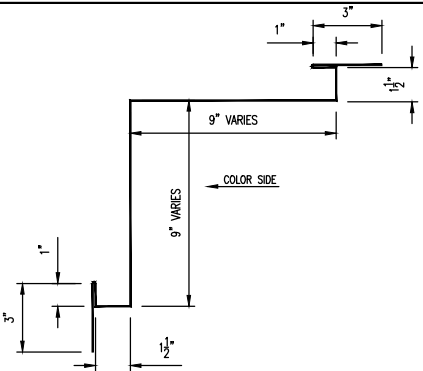
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|--|---|---|---|
| <p>END SPLICE WS-700</p>  | <p>C METAL (J-TRIM) WS-701</p>  | <p>REVEAL FLASHING WS-702</p>  | <p>SILL DRIP TRIM WS-704</p>  |
| <p>ALTERNATE SILL DRIP TRIM WS-705</p>  | <p>Z METAL TRIM WS-706</p>  | <p>INSIDE CORNER TRIM WS-707</p>  | <p>OUTSIDE CORNER TRIM WS-708</p>  |
| <p>TRANSITION/SILL TRIM WS-709</p>  | <p>DOOR/WINDOW HEAD TRIM WS-710</p>  | <p>DOOR/WINDOW JAMB TRIM WS-711</p>  | <p>PARAPET CAP WS-712</p>  |

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| | | | | | | | | |
|----------------------------------|------------|--|---|------------|------|-------|-------------------------|--|
| STANDARD TRIMS | | | | | | | | |
| PANEL TYPE: T- REVEAL ® PANEL | | <table border="1"> <tr> <td data-bbox="1780 1437 1869 1469">A</td> <td data-bbox="1869 1437 2007 1469">07-20-2017</td> </tr> <tr> <td data-bbox="1780 1469 1869 1502">REV:</td> <td data-bbox="1869 1469 2007 1502">DATE:</td> </tr> <tr> <td colspan="2" data-bbox="1780 1502 2007 1572">DETAIL #: TR-WSD-ST1</td> </tr> </table> | A | 07-20-2017 | REV: | DATE: | DETAIL #: TR-WSD-ST1 | |
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| REV: | DATE: | | | | | | | |
| DETAIL #: TR-WSD-ST1 | | | | | | | | |

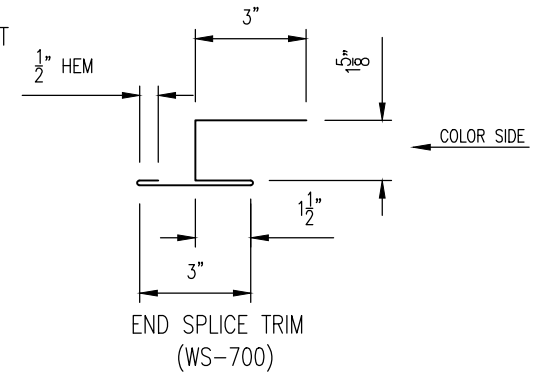
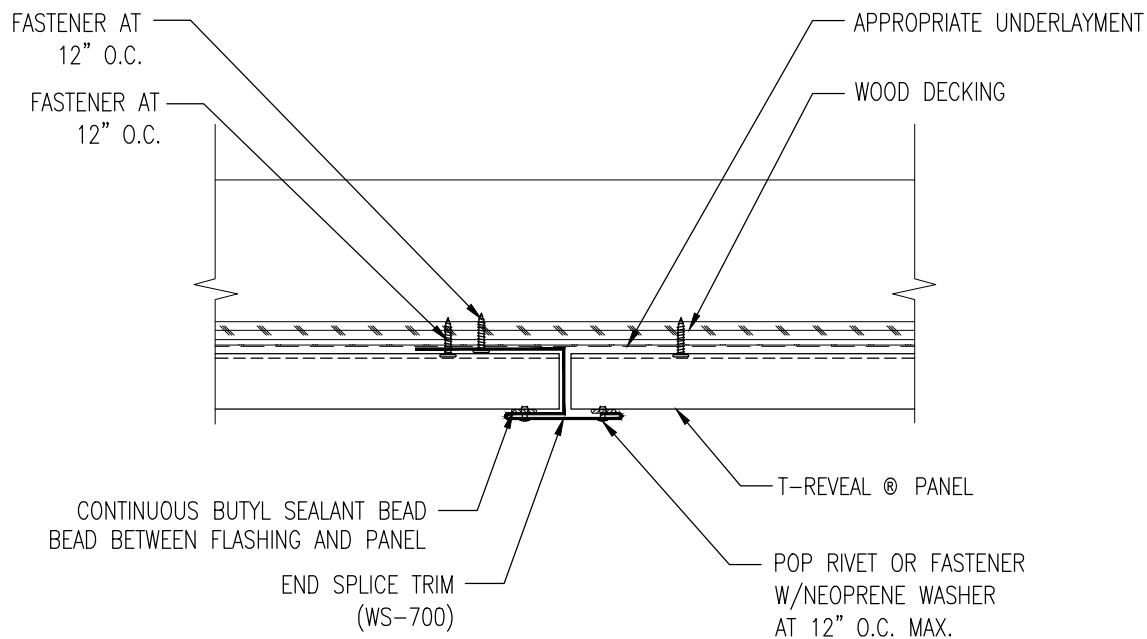
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|---|---|---|--|
| <p>TRIM CLEAT WS-713</p>  | <p>ALTERNATE WALL TRIM WS-714</p>  | <p>BASE TRIM WS-715</p>  | <p>Z METAL TRIM (SMALL) WS-716</p>  |
| <p>CUSTOM OUTSIDE CORNER WS-717</p>  | <p>CUSTOM INSIDE CORNER WS-718</p>  | | |
| | | | |

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|----------------------------------|--|-------------------------|------------|
| STANDARD TRIMS | | | |
| PANEL TYPE: T- REVEAL ® PANEL | | A | 07-20-2017 |
| | | REV: | DATE: |
| | | DETAIL #: TR-WSD-ST2 | |

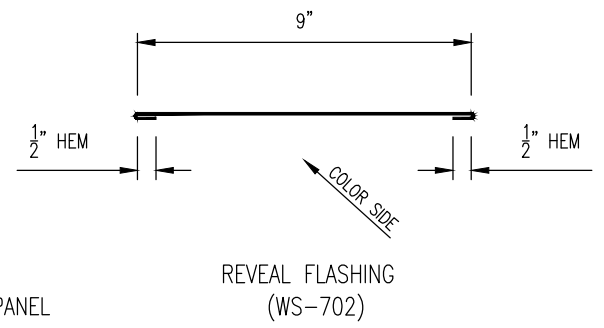
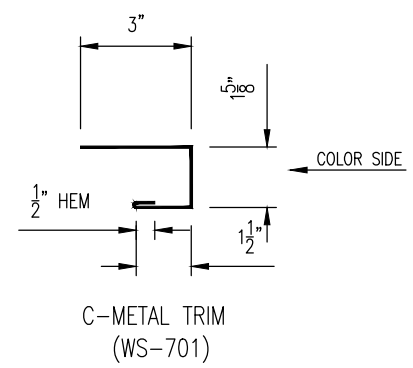
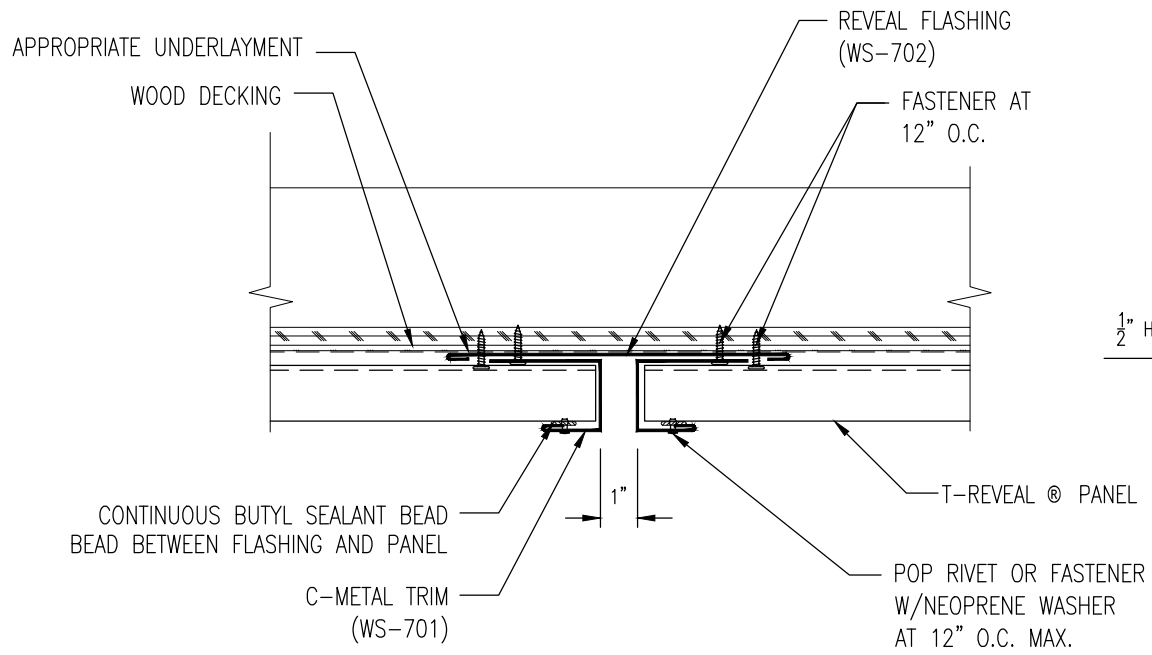


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|----------------------------------|---------------|------------------------|------------|
| GAUGE: _____ | COLOR: _____ | | |
| LENGTH: _____ | FINISH: _____ | | |
| MATERIAL: _____ | | | |
| SOFFIT END SPLICE DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-S1 | |

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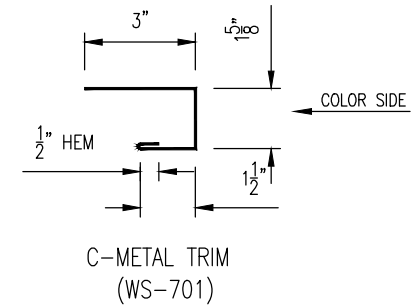
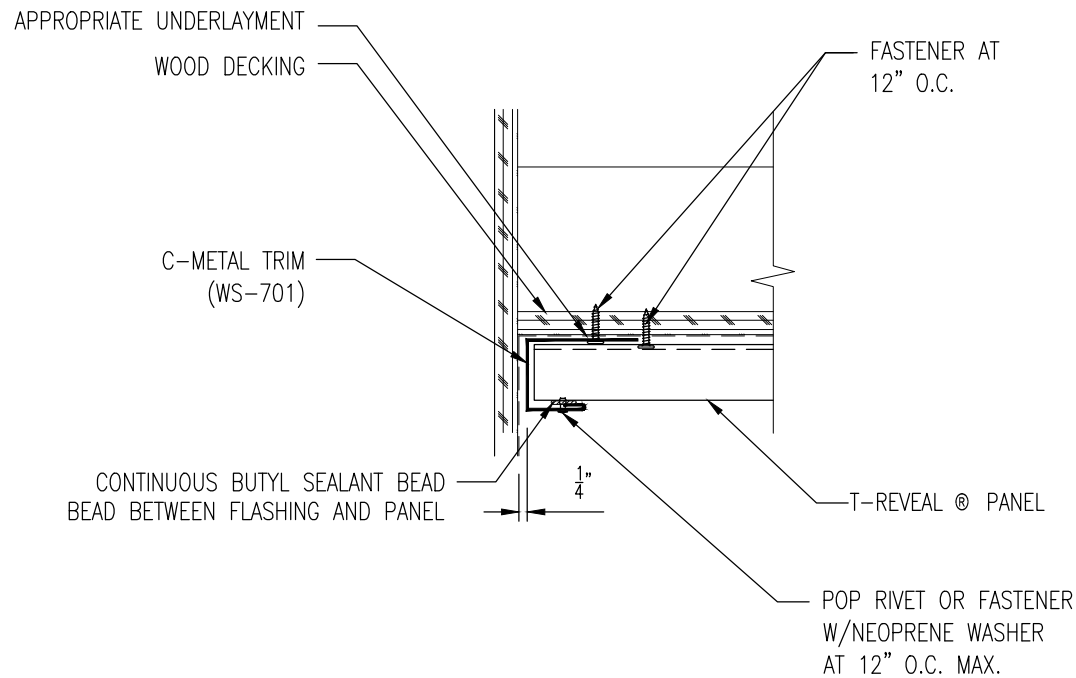


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|----------------------------------|--|-------------------------|------------|
| GAUGE: _____ | | COLOR: _____ | |
| LENGTH: _____ | | FINISH: _____ | |
| MATERIAL: _____ | | | |
| WALL/SOFFIT END SPLICE DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-SW2 | |



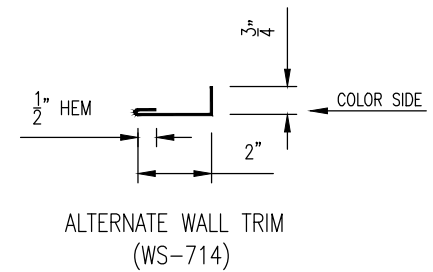
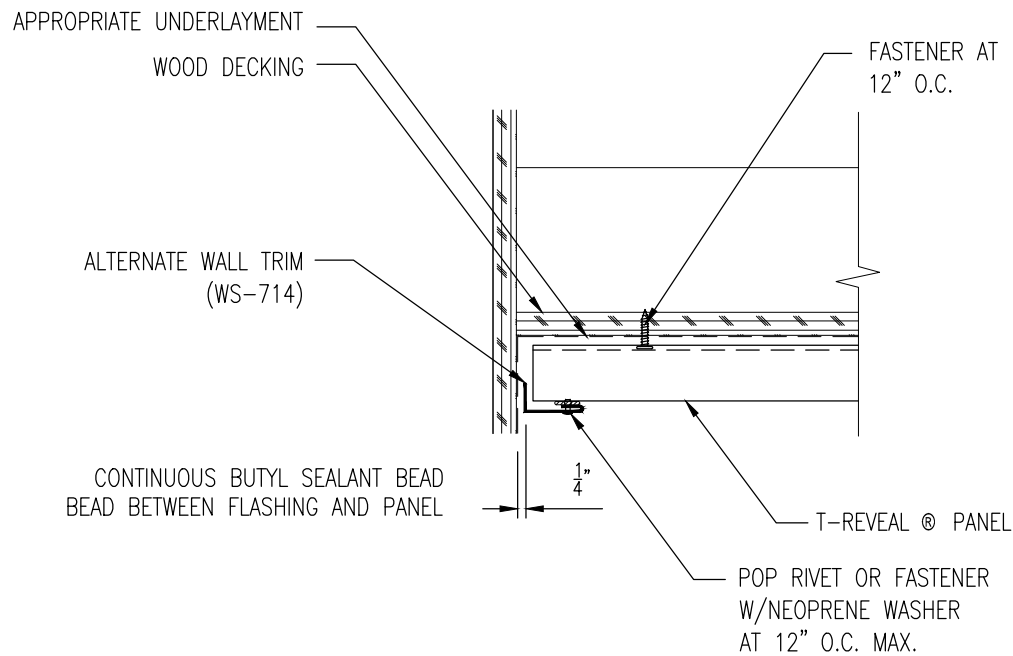
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| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|----------------------------------|------------------------|------------|
| SOFFIT END WALL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
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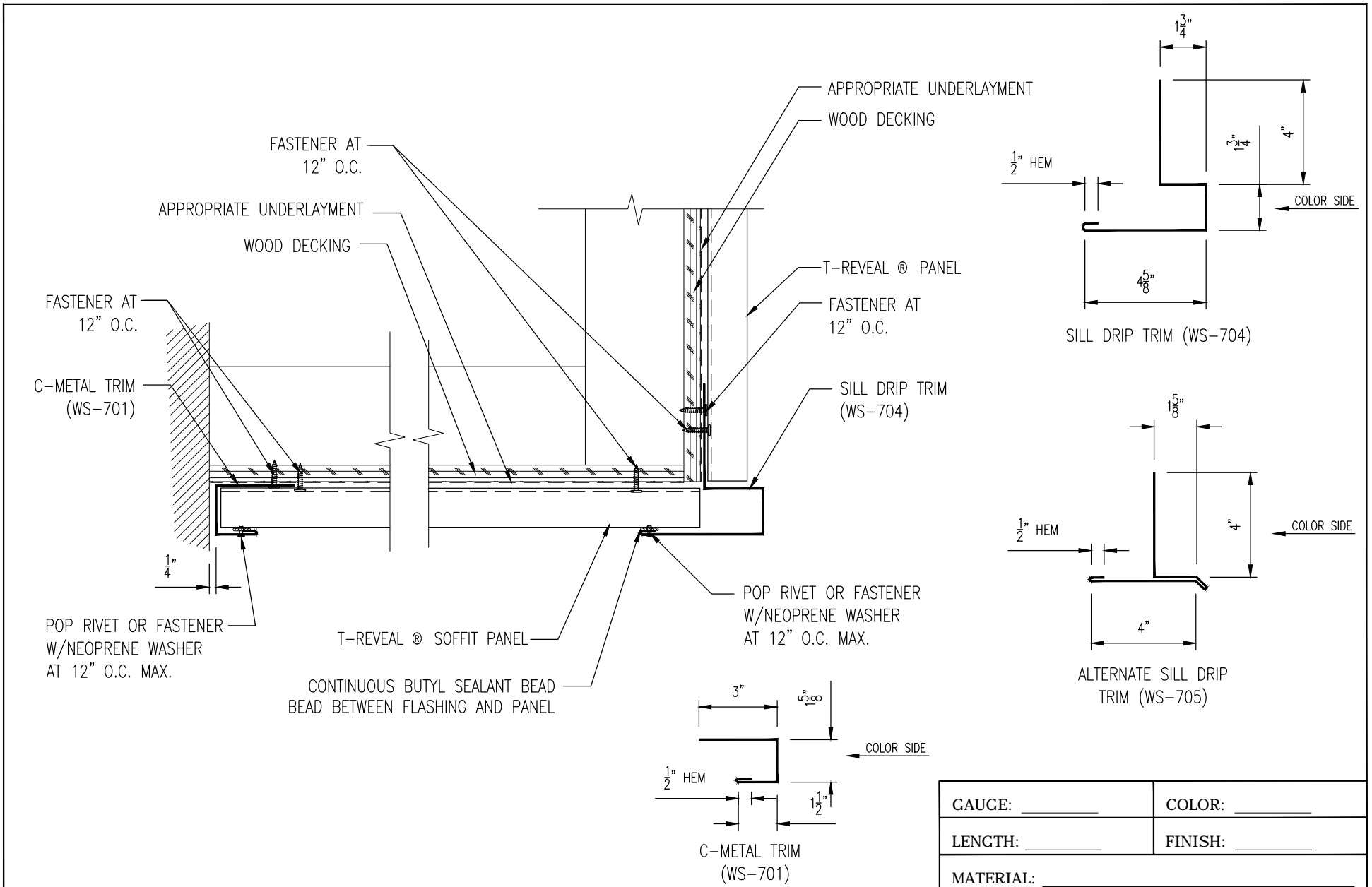


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|-------------------------------------|---------------|-------------------------|------------|
| GAUGE: _____ | COLOR: _____ | | |
| LENGTH: _____ | FINISH: _____ | | |
| MATERIAL: _____ | | | |
| ALTERNATE SOFFIT END WALL DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-SW4 | |



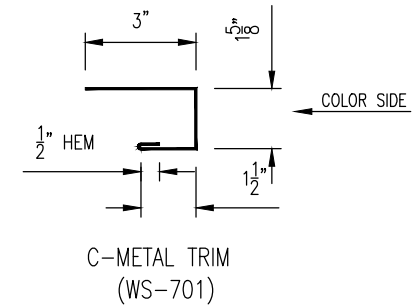
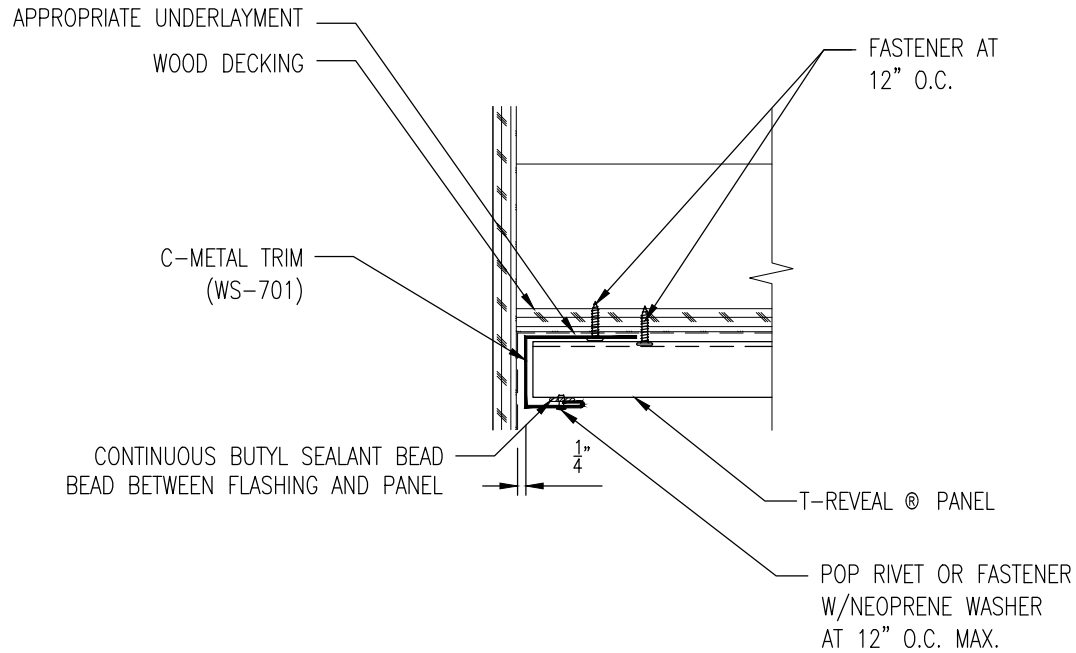
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|-----------------|---------------|
| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|----------------------------------|-------------------------|------------|
| SOFFIT TO WALL DRIP DETAIL | A | 08-11-2017 |
| | REV: | DATE: |
| PANEL TYPE: T- REVEAL @ PANEL | DETAIL #: TR-WSD-SW5 | |

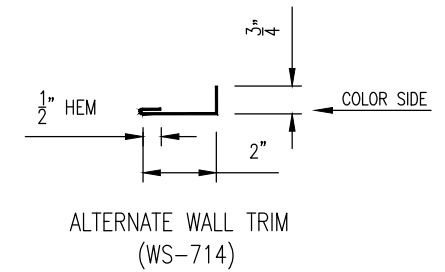
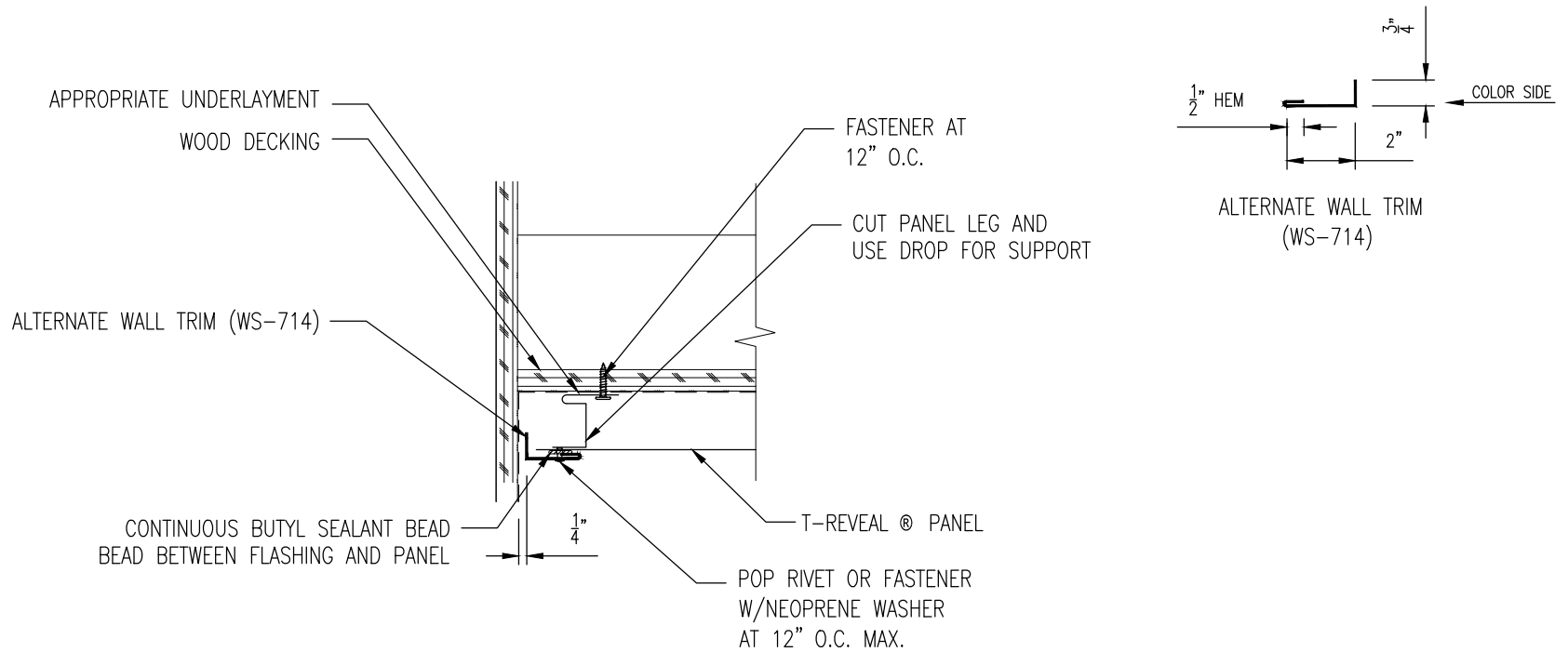


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| GAUGE: _____ | | COLOR: _____ | |
| LENGTH: _____ | | FINISH: _____ | |
| MATERIAL: _____ | | | |
| HORIZONTAL SIDING END WALL DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-W6 | |



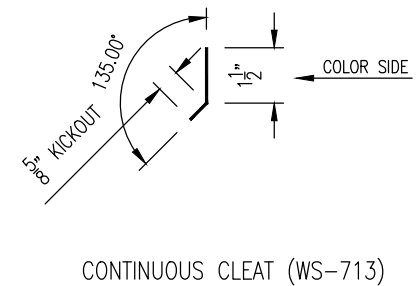
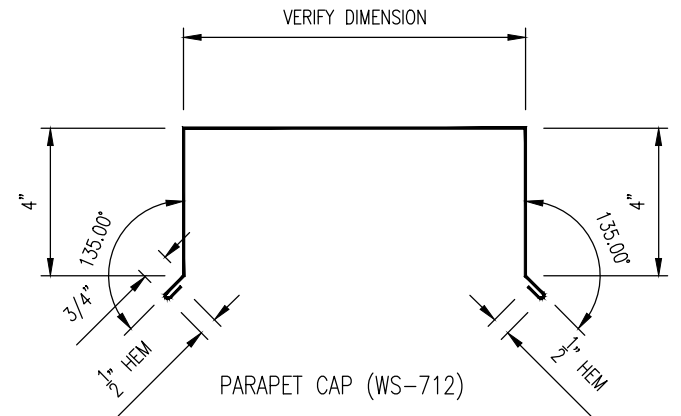
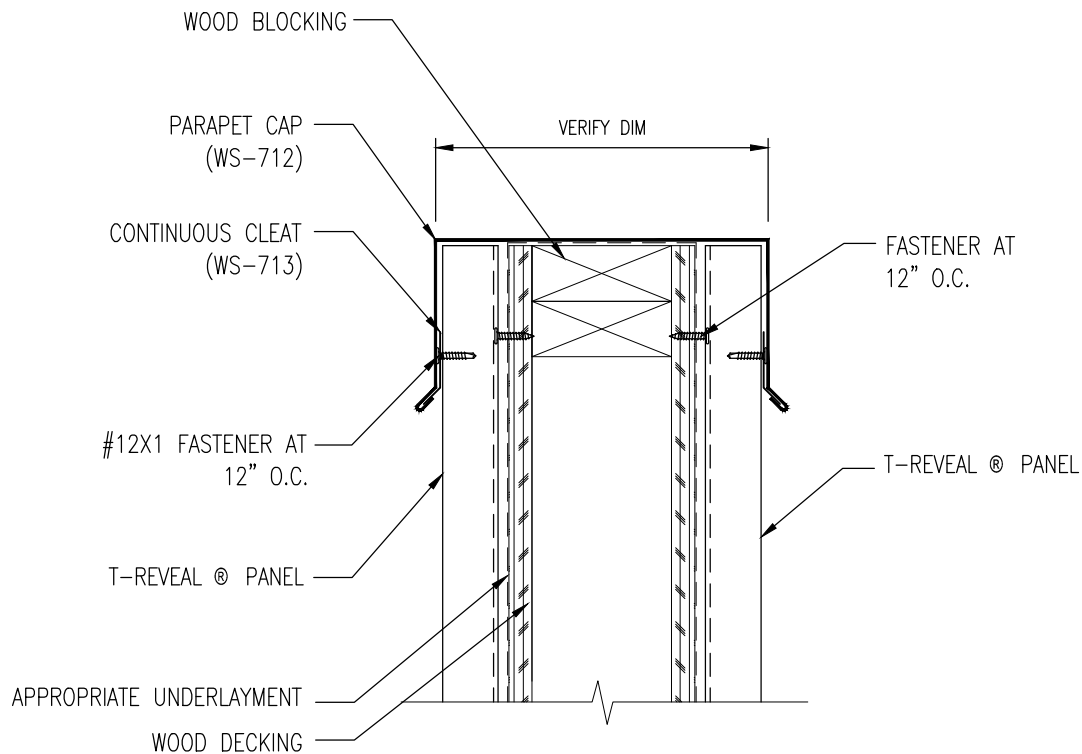
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|------------------------------------|-------------------------|------------|
| VERTICAL SIDING END WALL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-SW7 | |



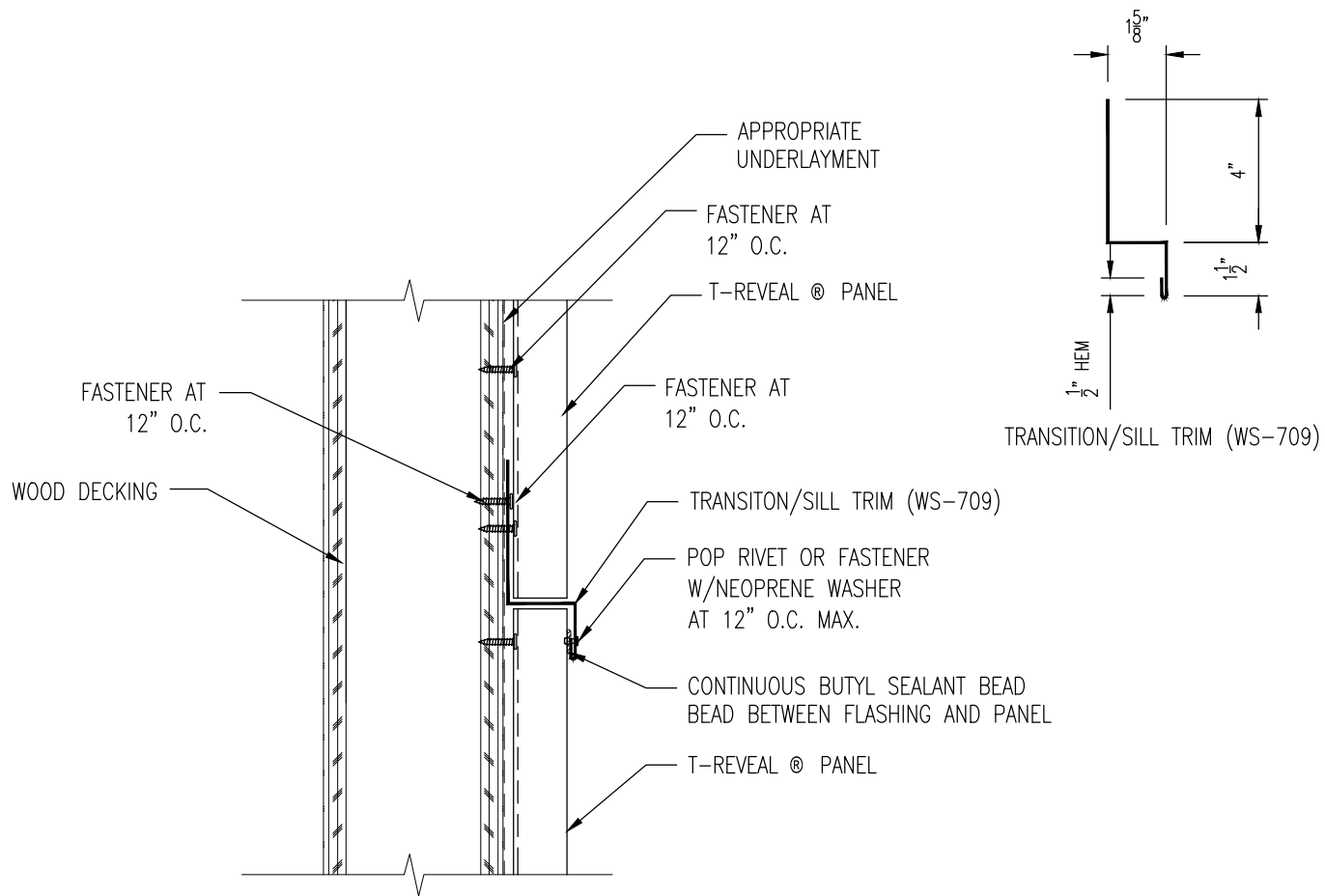
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|-----------------|---------------|
| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|---------------------|--|-------------------------|------------|
| PARAPET WALL DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: | | REV: | DATE: |
| T- REVEAL @ PANEL | | DETAIL #: TR-WSD-SW8 | |



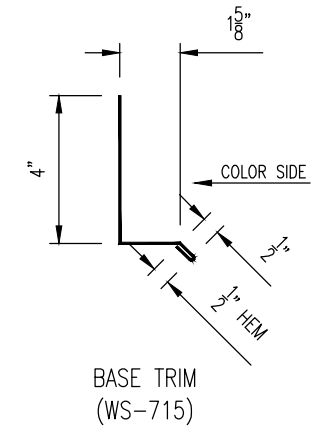
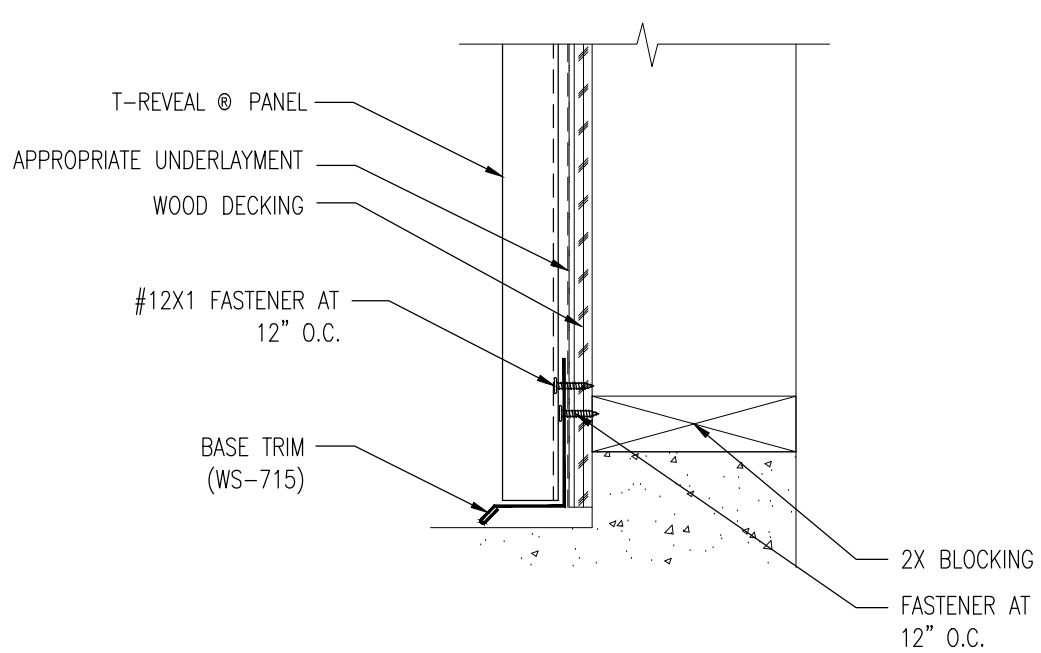
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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| | | |
|----------------------------------|------------------------|------------|
| SPLICE / SILL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W9 | |



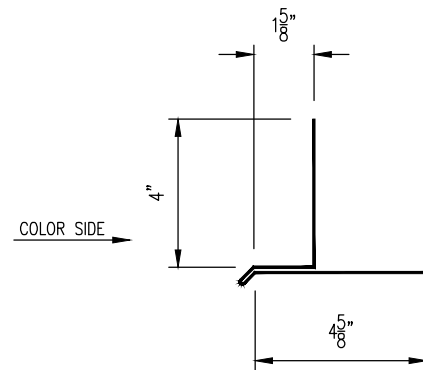
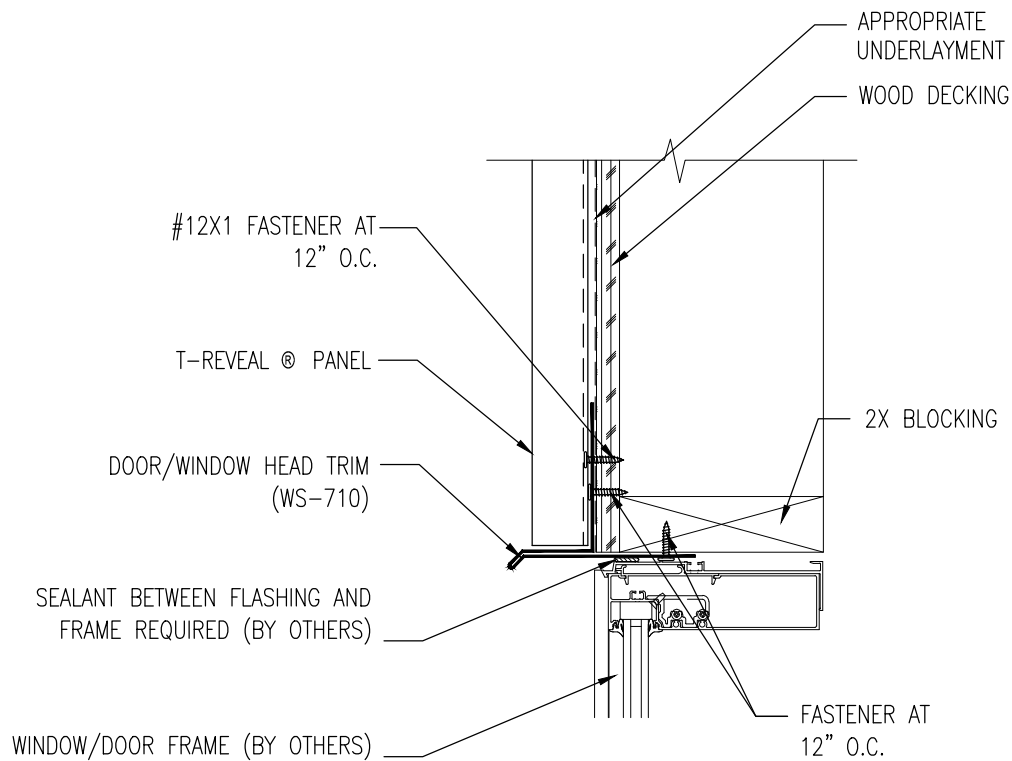
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|----------------------------------|-------------------------|------------|
| BASE DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W10 | |



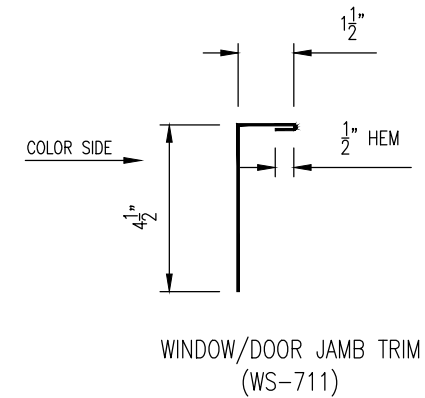
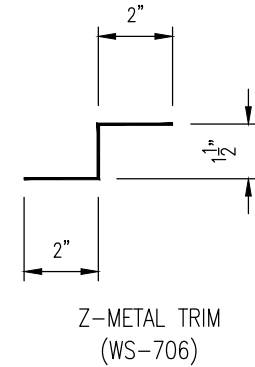
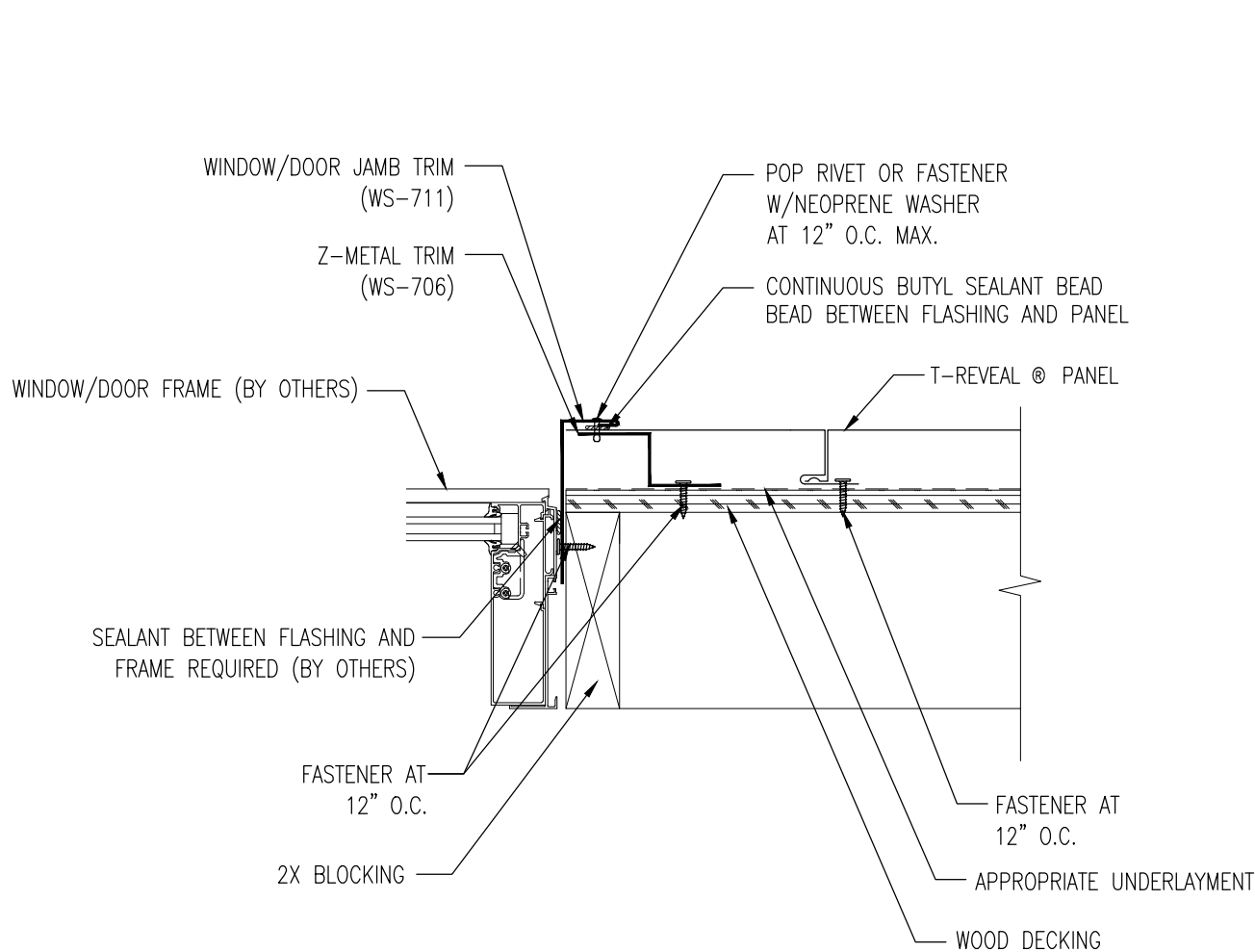
DOOR/WINDOW HEAD TRIM (WS-710)

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| GAUGE: _____ | | COLOR: _____ | |
| LENGTH: _____ | | FINISH: _____ | |
| MATERIAL: _____ | | | |
| DOOR / WINDOW SILL AND HEAD DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-W11 | |

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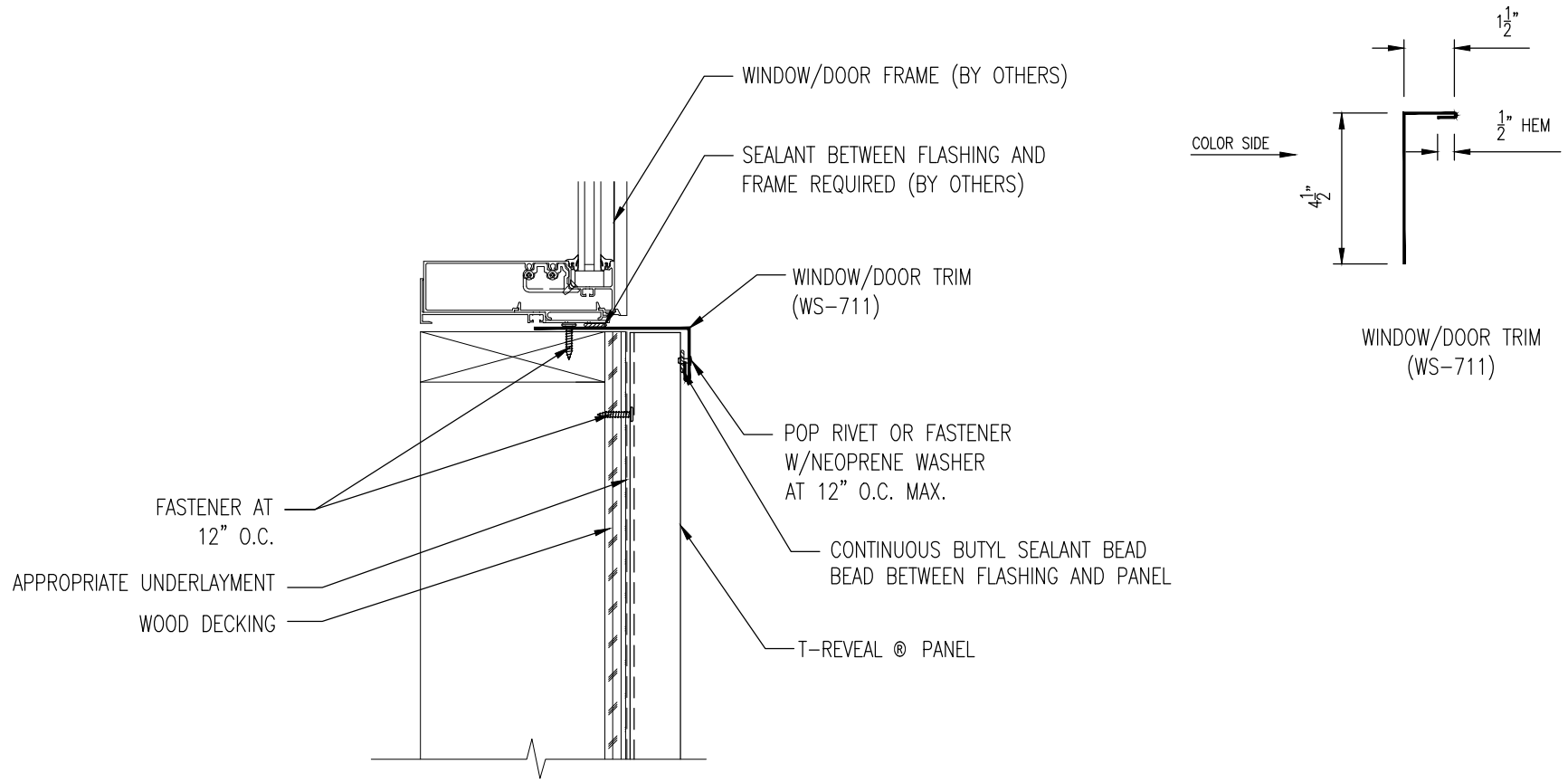
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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| WINDOW / DOOR JAMB DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W12 | |



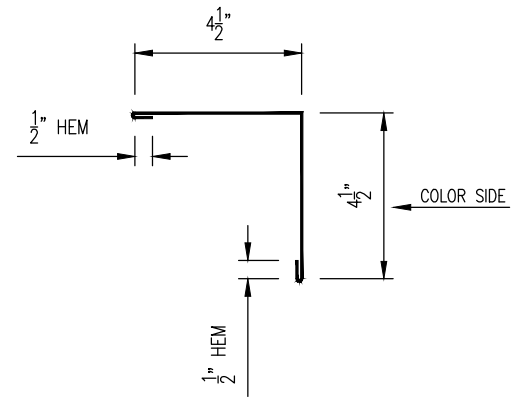
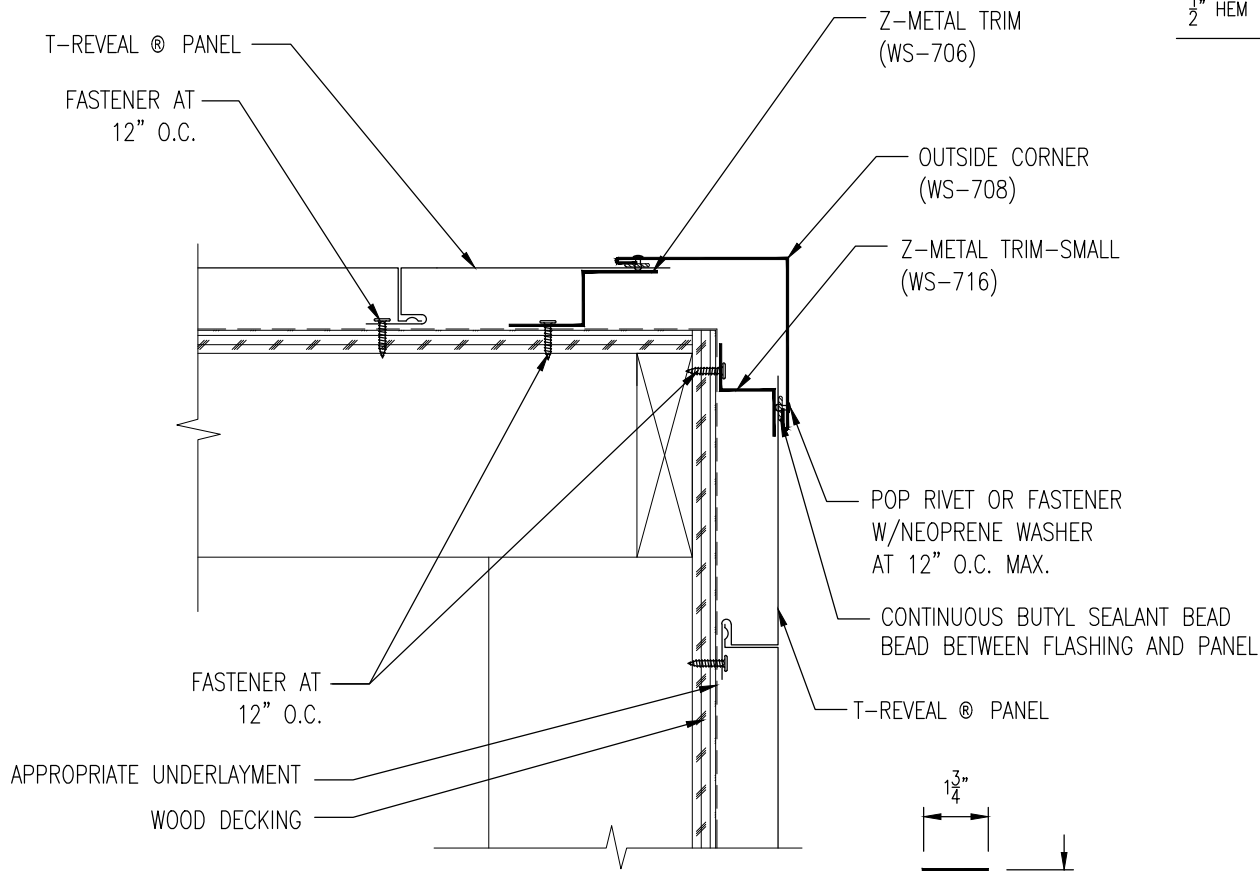
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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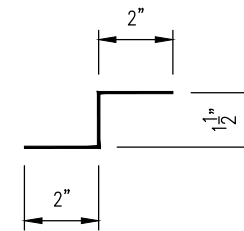
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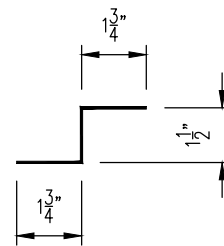
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|---------------------------------|-------------------------|------------|
| DOOR / WINDOW SILL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W13 | |



OUTSIDE CORNER (WS-708)



Z-METAL TRIM (WS-706)



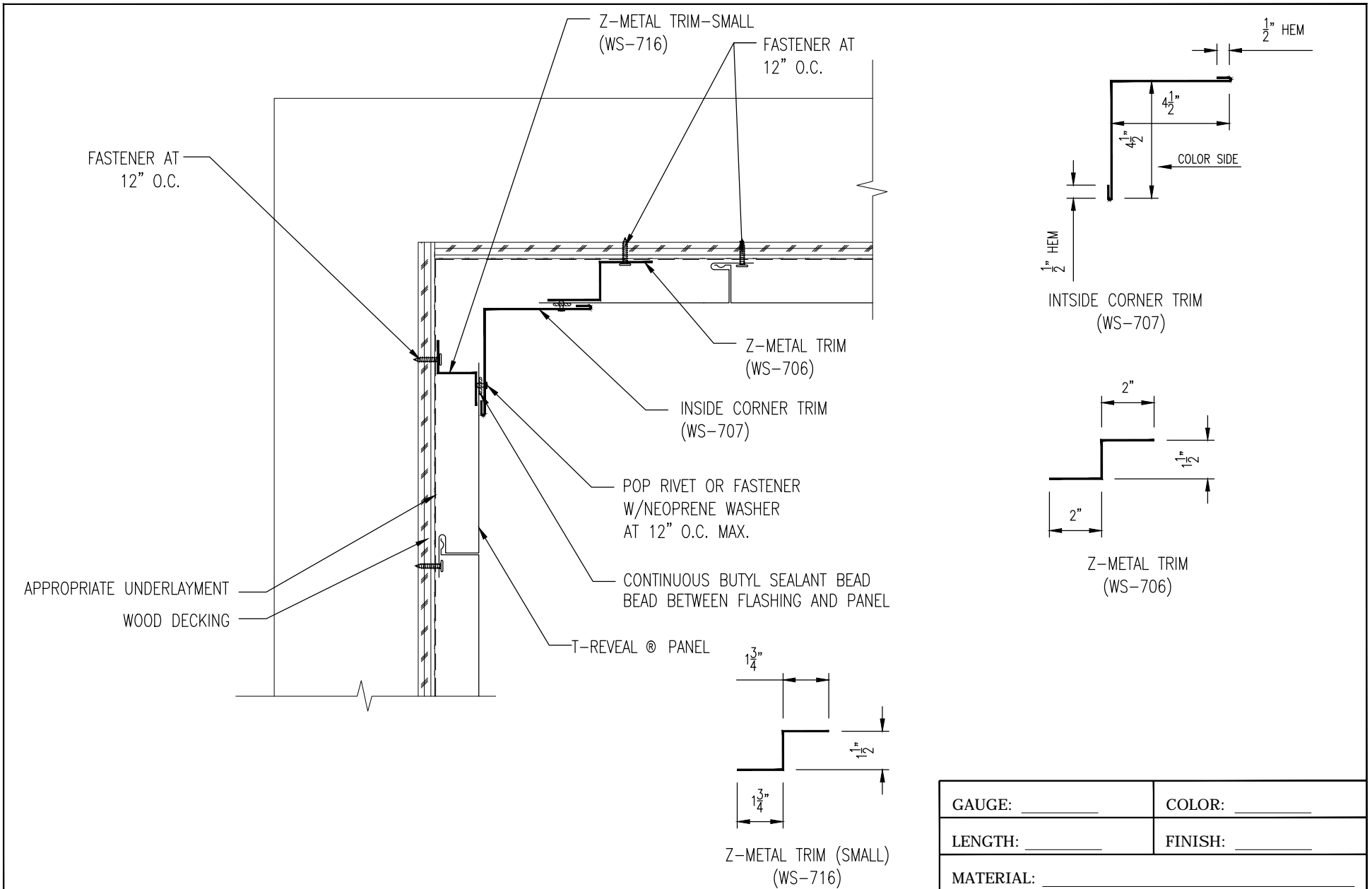
Z-METAL TRIM (SMALL) (WS-716)

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| GAUGE: _____ | | COLOR: _____ | |
| LENGTH: _____ | | FINISH: _____ | |
| MATERIAL: _____ | | | |
| OUTSIDE CORNER DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-W14 | |

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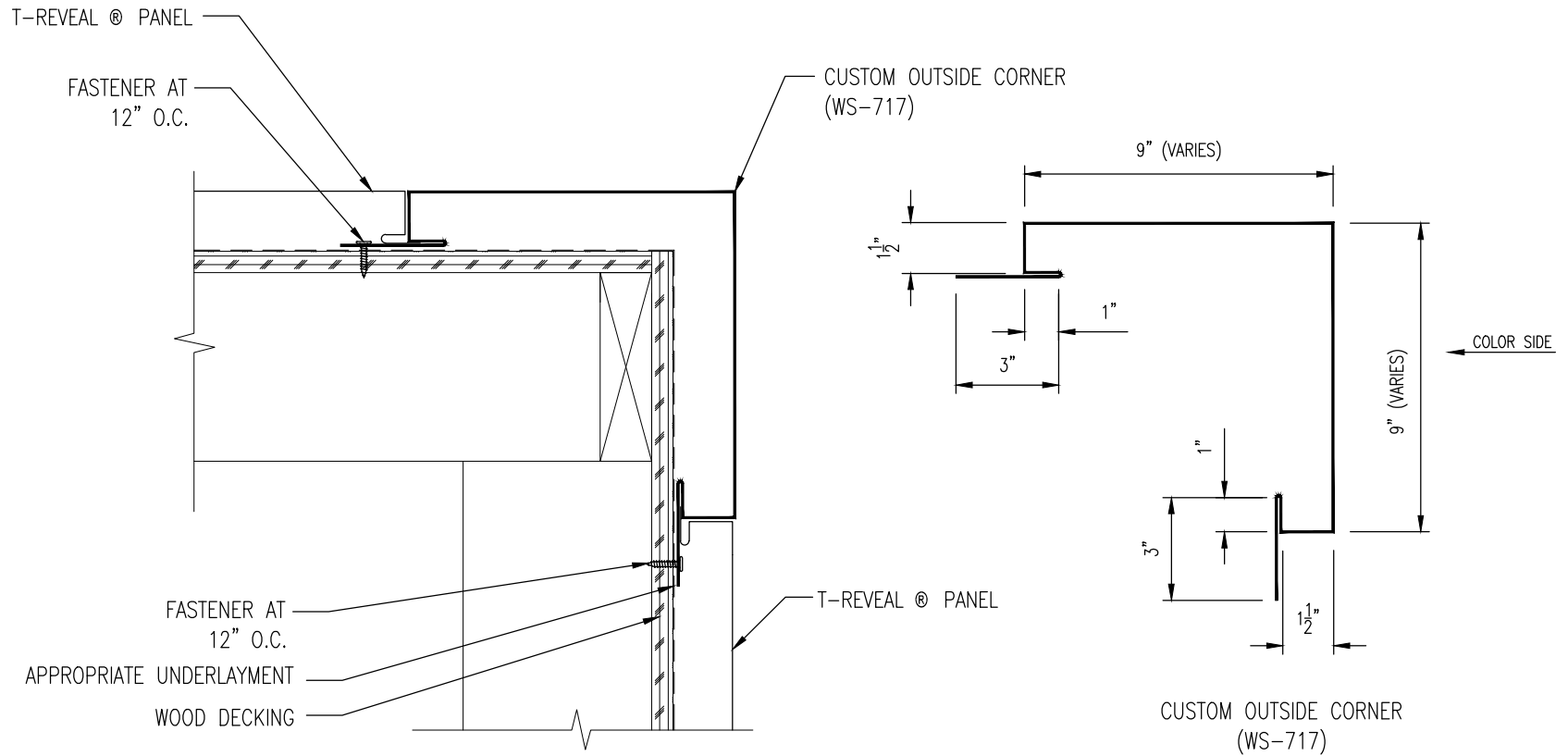


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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |
| INSIDE CORNER DETAIL | |
| | A 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: _____ DATE: _____ |
| | DETAIL #: TR-WSD-W15 |

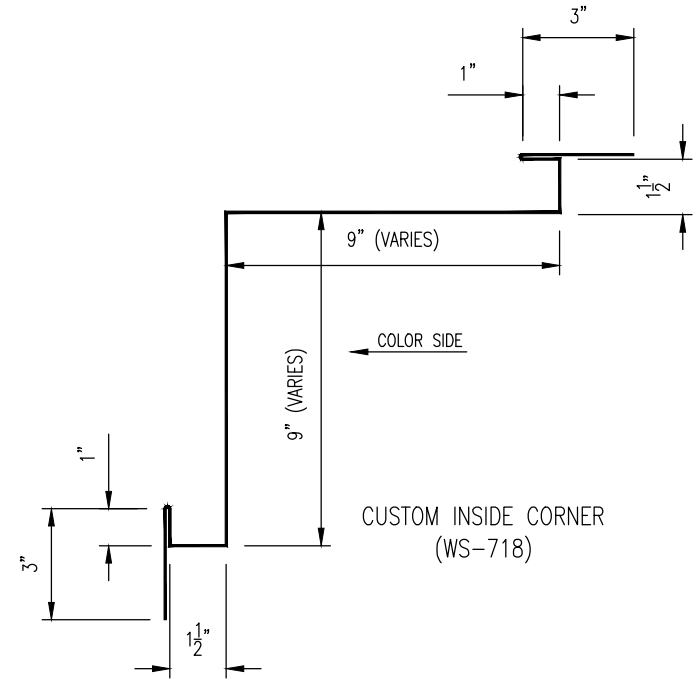
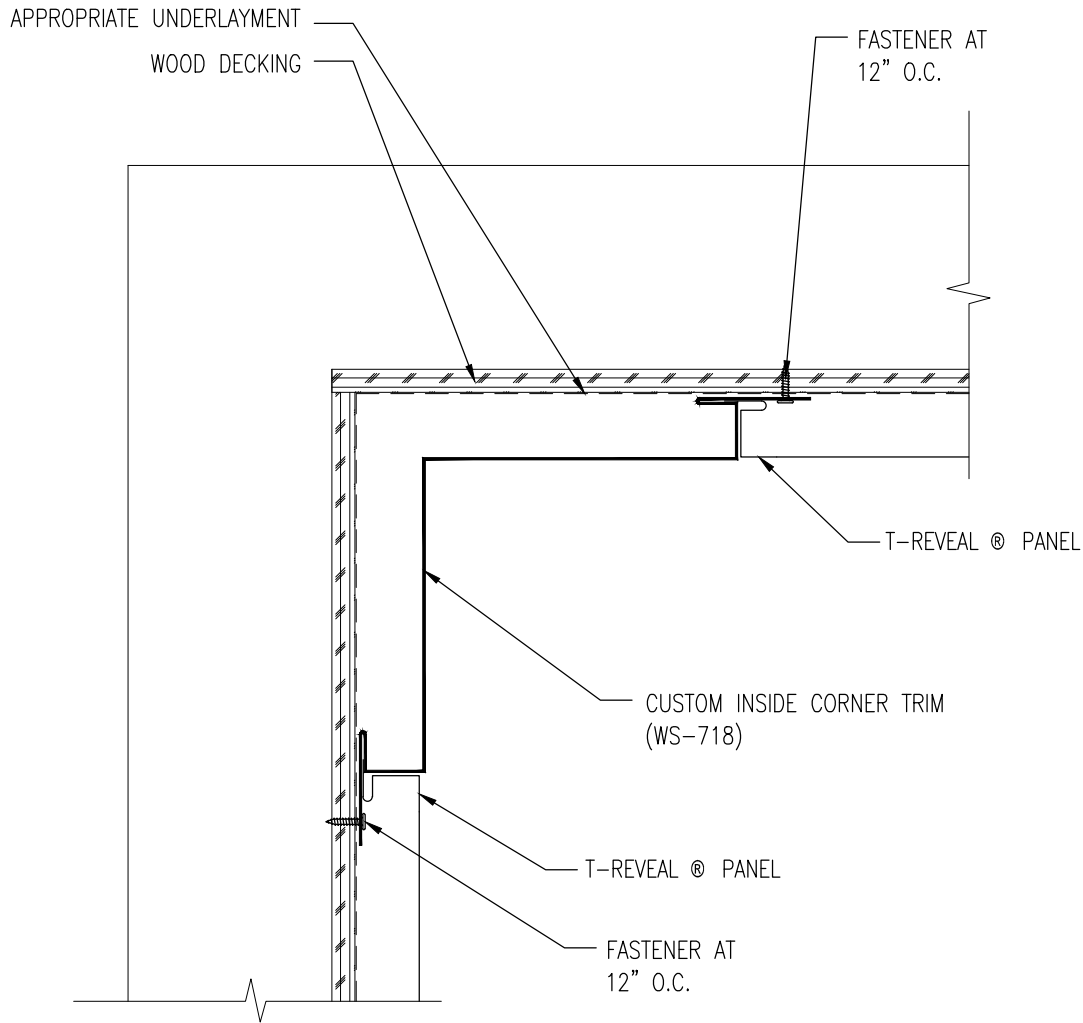


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| GAUGE: _____ | COLOR: _____ | | |
| LENGTH: _____ | FINISH: _____ | | |
| MATERIAL: _____ | | | |
| CUSTOM OUTSIDE CORNER DETAIL | | A | 08-11-2017 |
| | | REV: | DATE: |
| PANEL TYPE: T- REVEAL ® PANEL | | DETAIL #: TR-WSD-W16 | |

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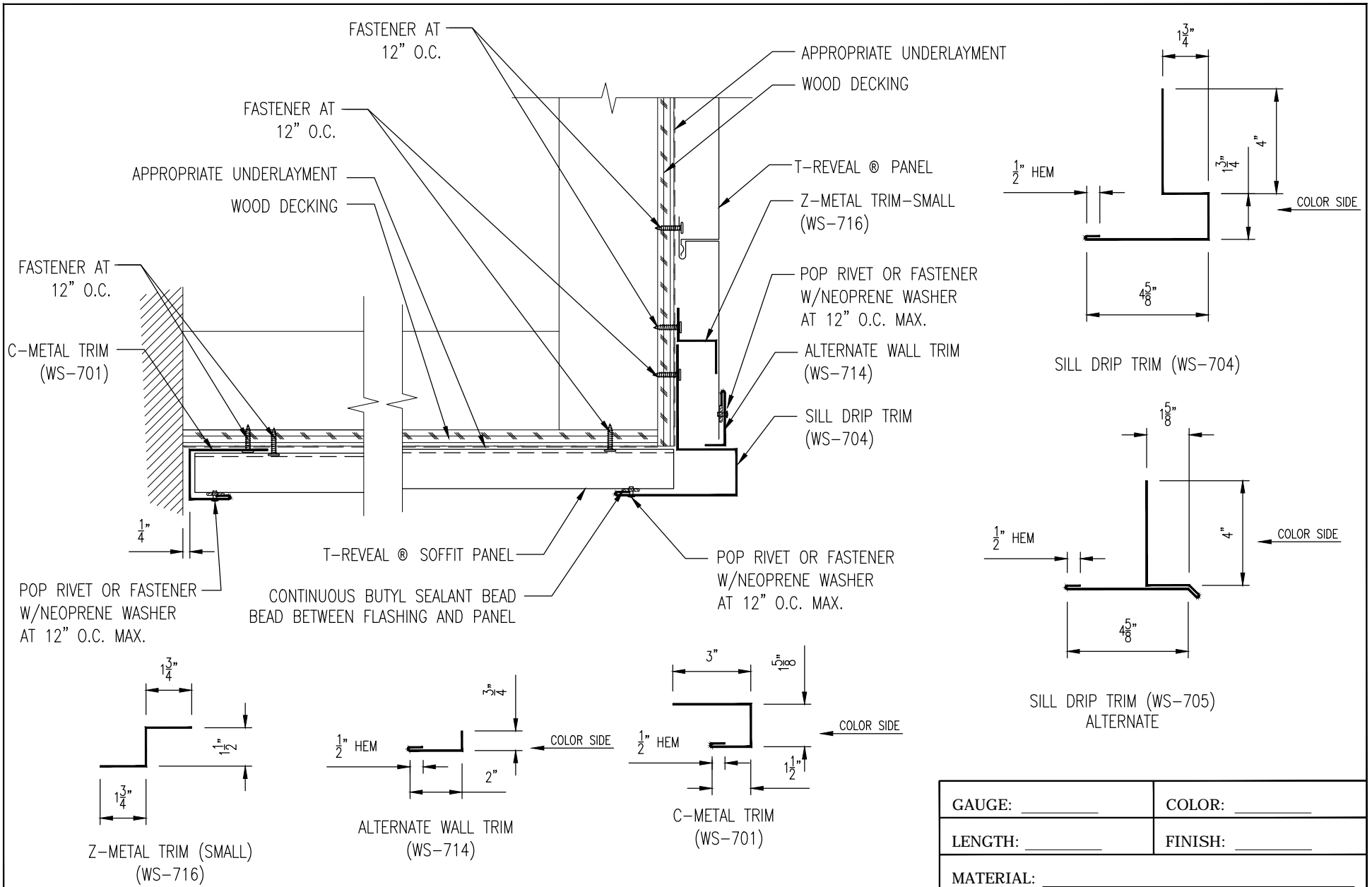
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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| CUSTOM INSIDE CORNER DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W17 | |

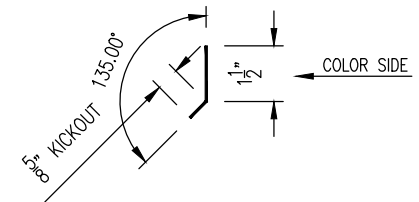
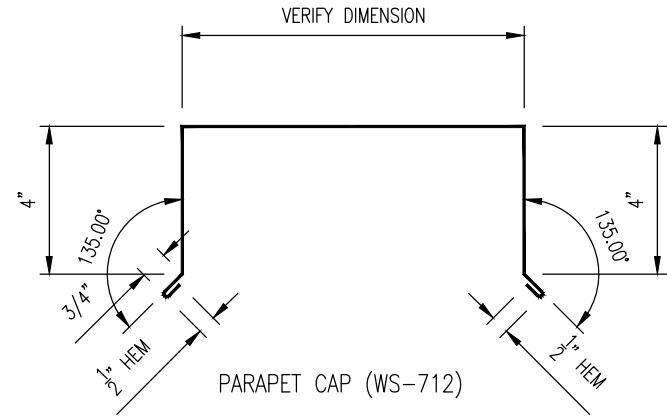
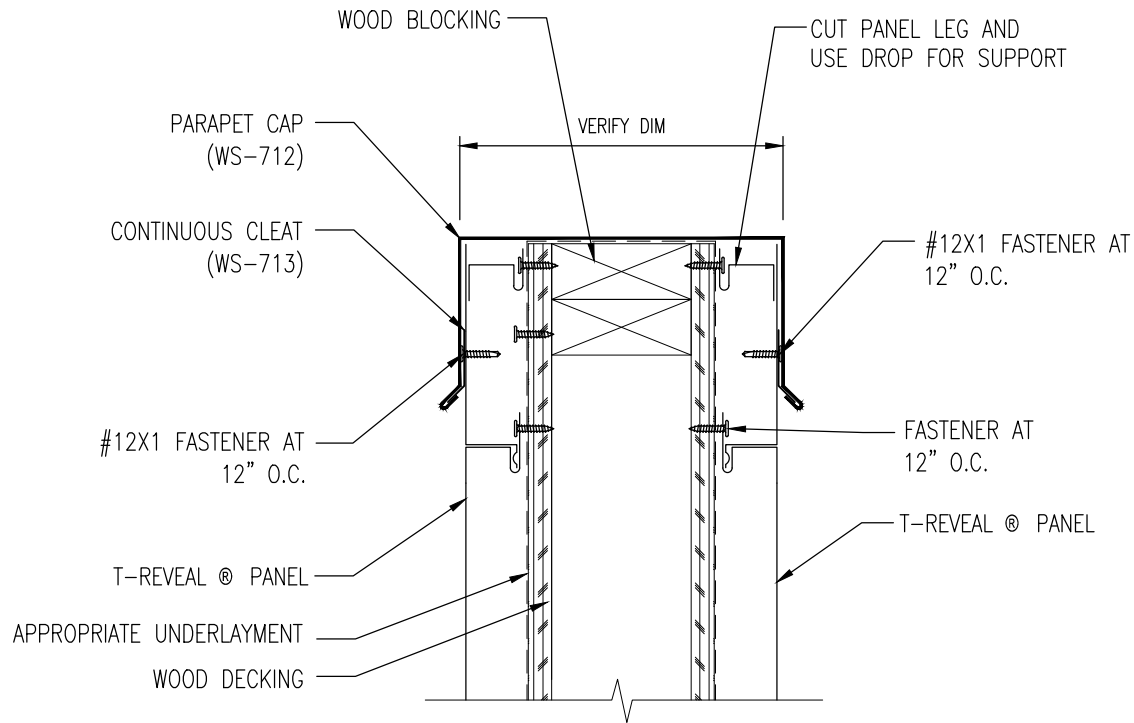


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| SOFFIT TO WALL HORIZONTAL DETAIL | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL® PANEL | | REV: | DATE: |
| | | DETAIL #: | TR-WSD-W18 |



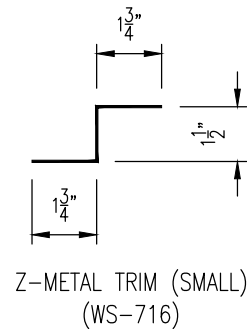
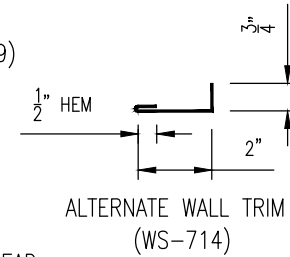
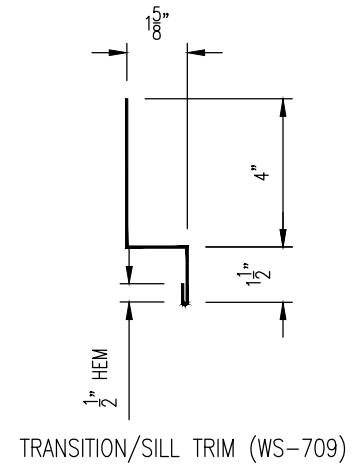
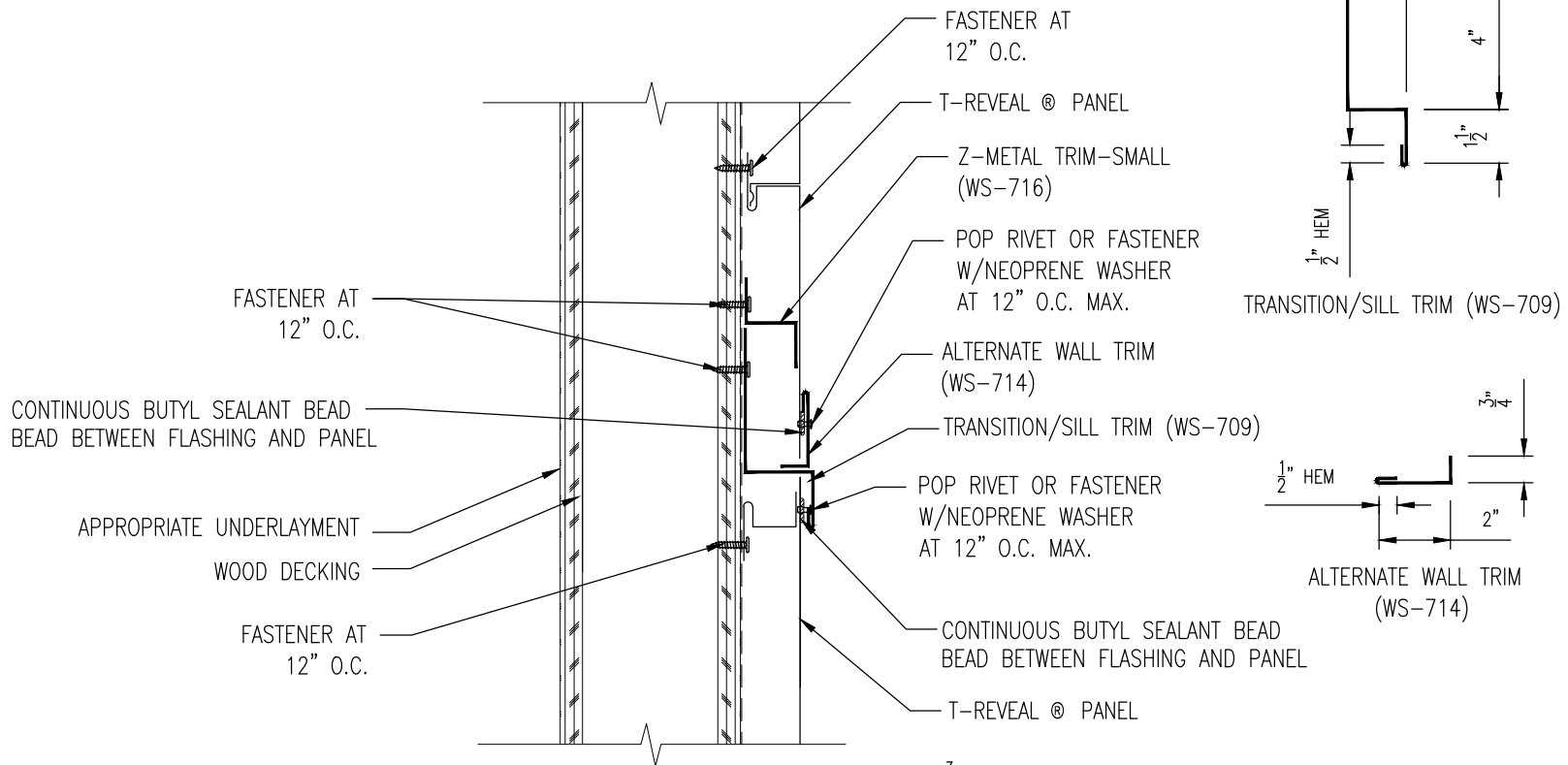
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|-----------------------------------|-------------------------|------------|
| PARAPET WALL HORIZONTAL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W19 | |

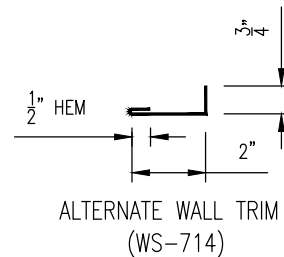
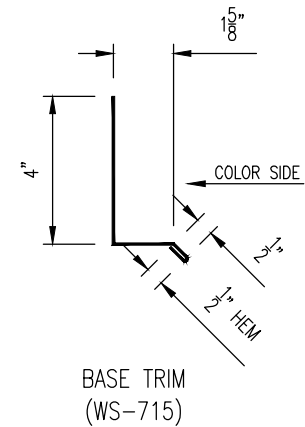
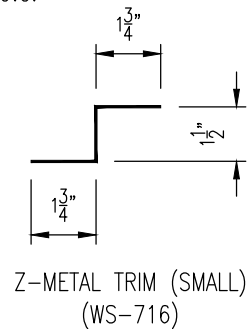
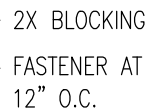
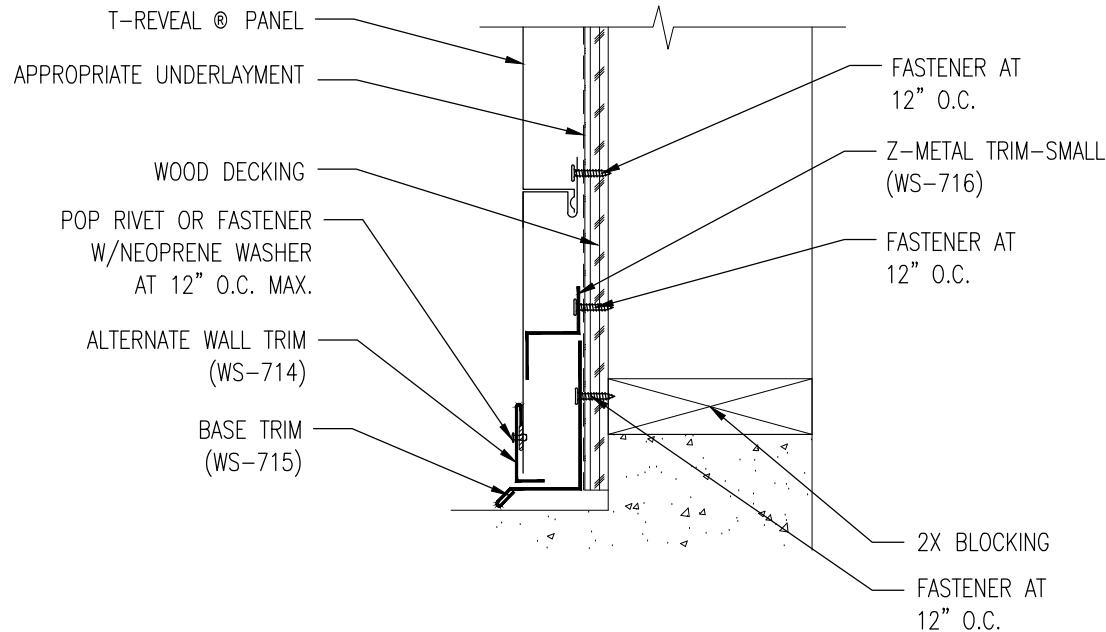


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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |
| SPLICE / SILL HORIZONTAL DETAIL | |
| A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: _____ DATE: _____ |
| | DETAIL #: TR-WSD-W20 |

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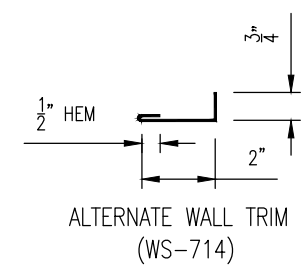
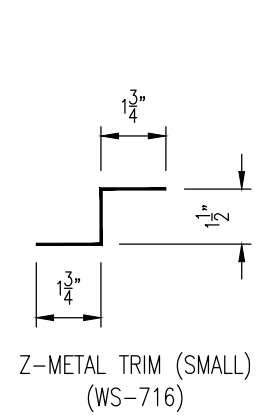
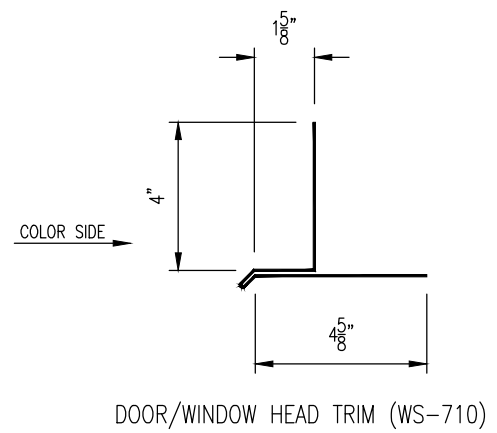
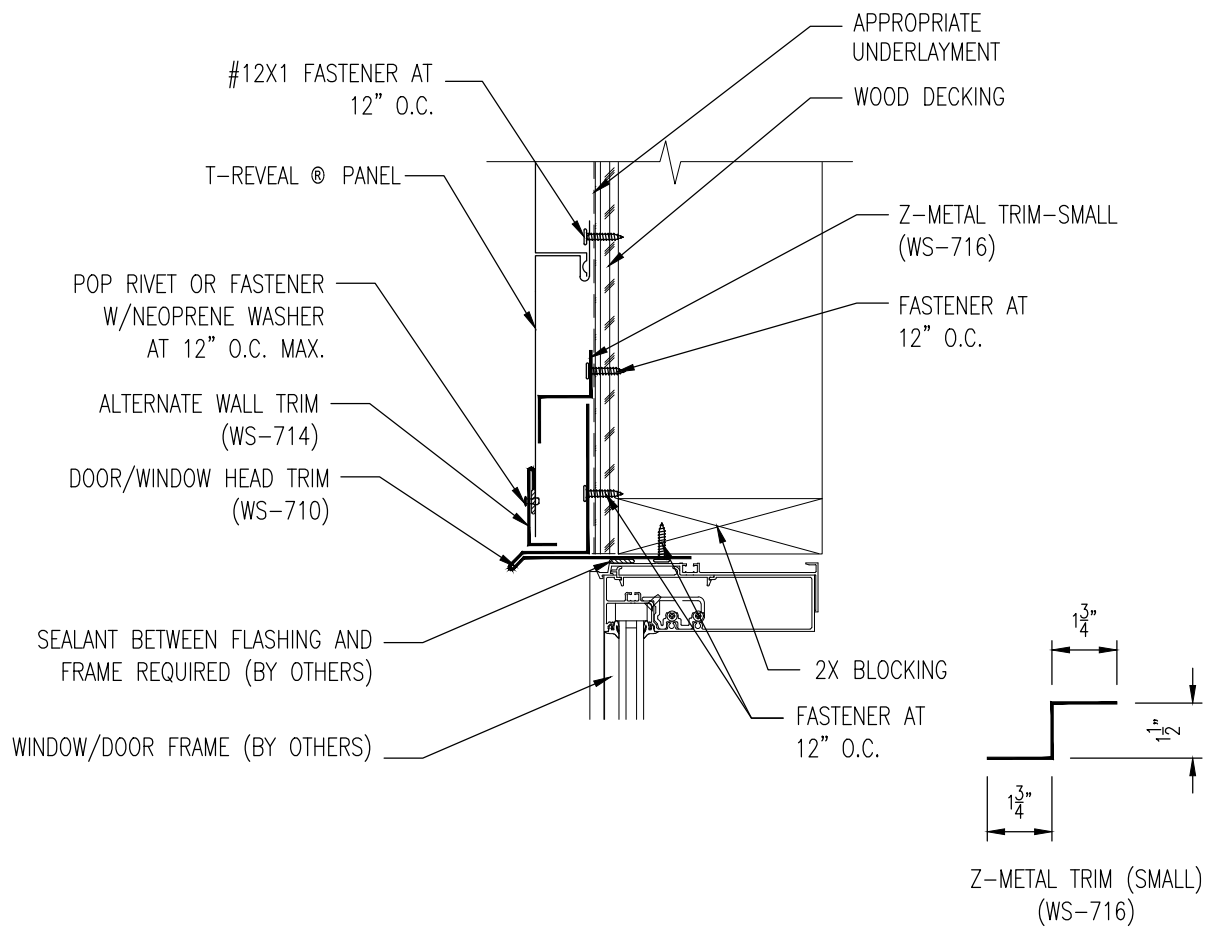
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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| BASE HORIZONTAL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W21 | |

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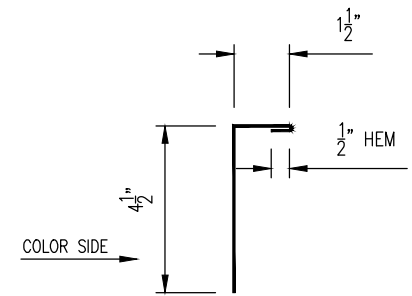
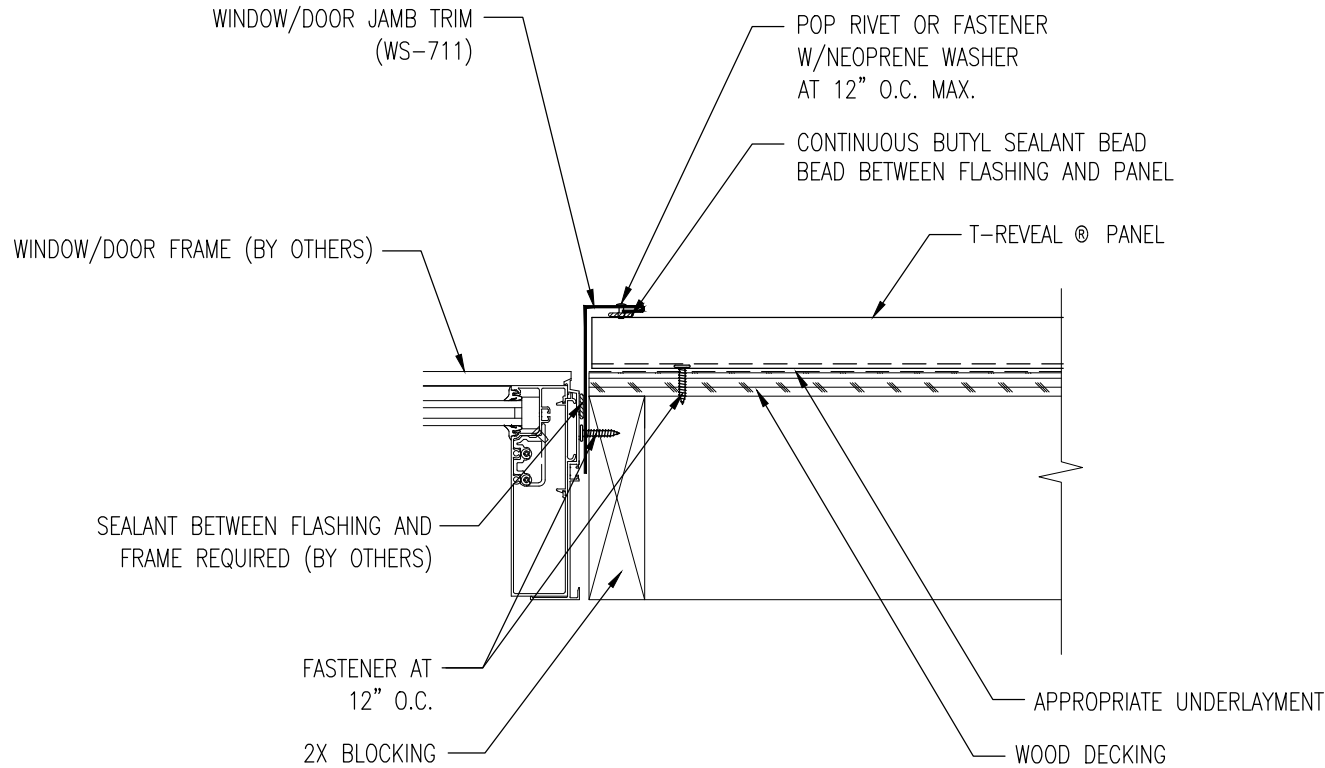
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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| WINDOW / DOOR HEAD HORIZONTAL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W22 | |



WINDOW/DOOR JAMB TRIM (WS-711)

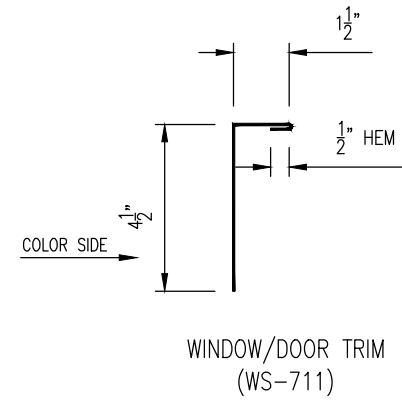
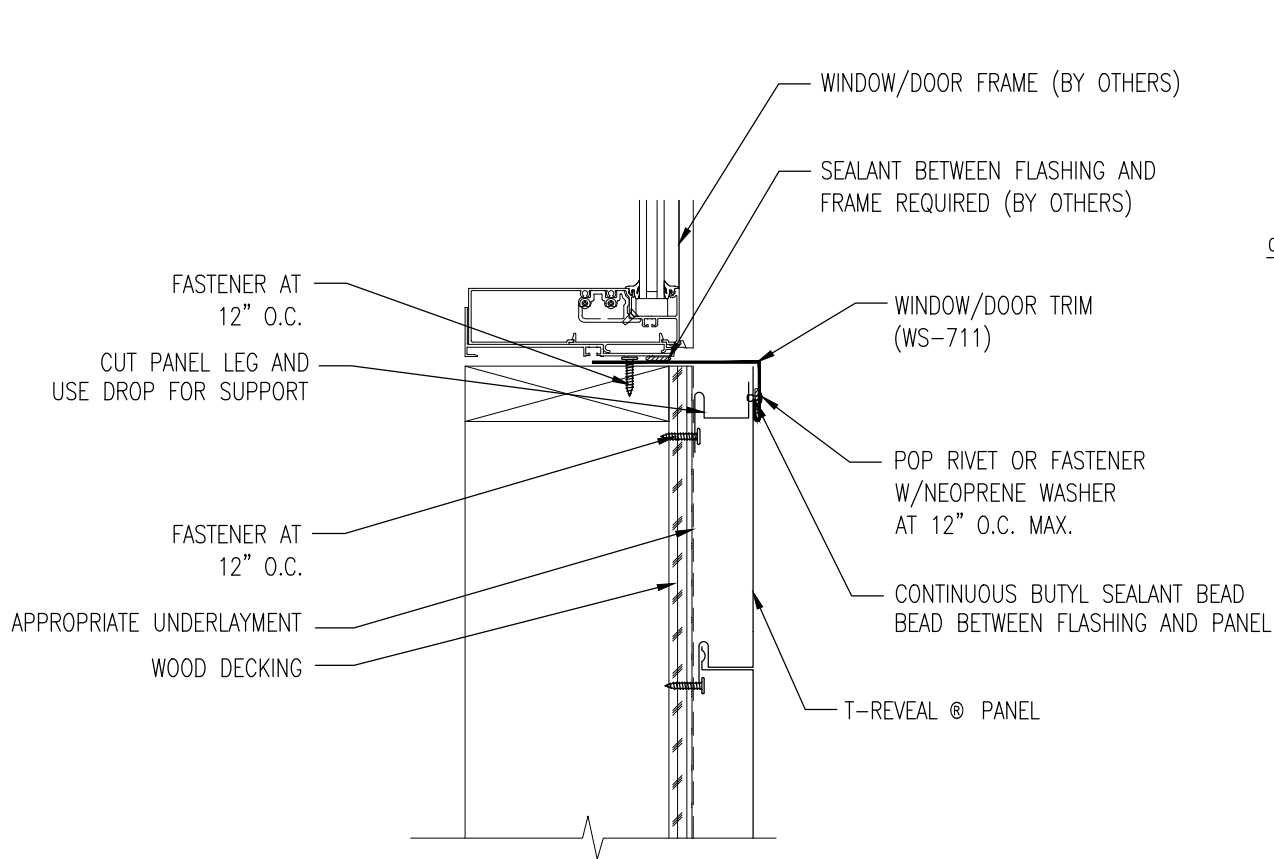
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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| WINDOW / DOOR JAMB HORIZONTAL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W23 | |



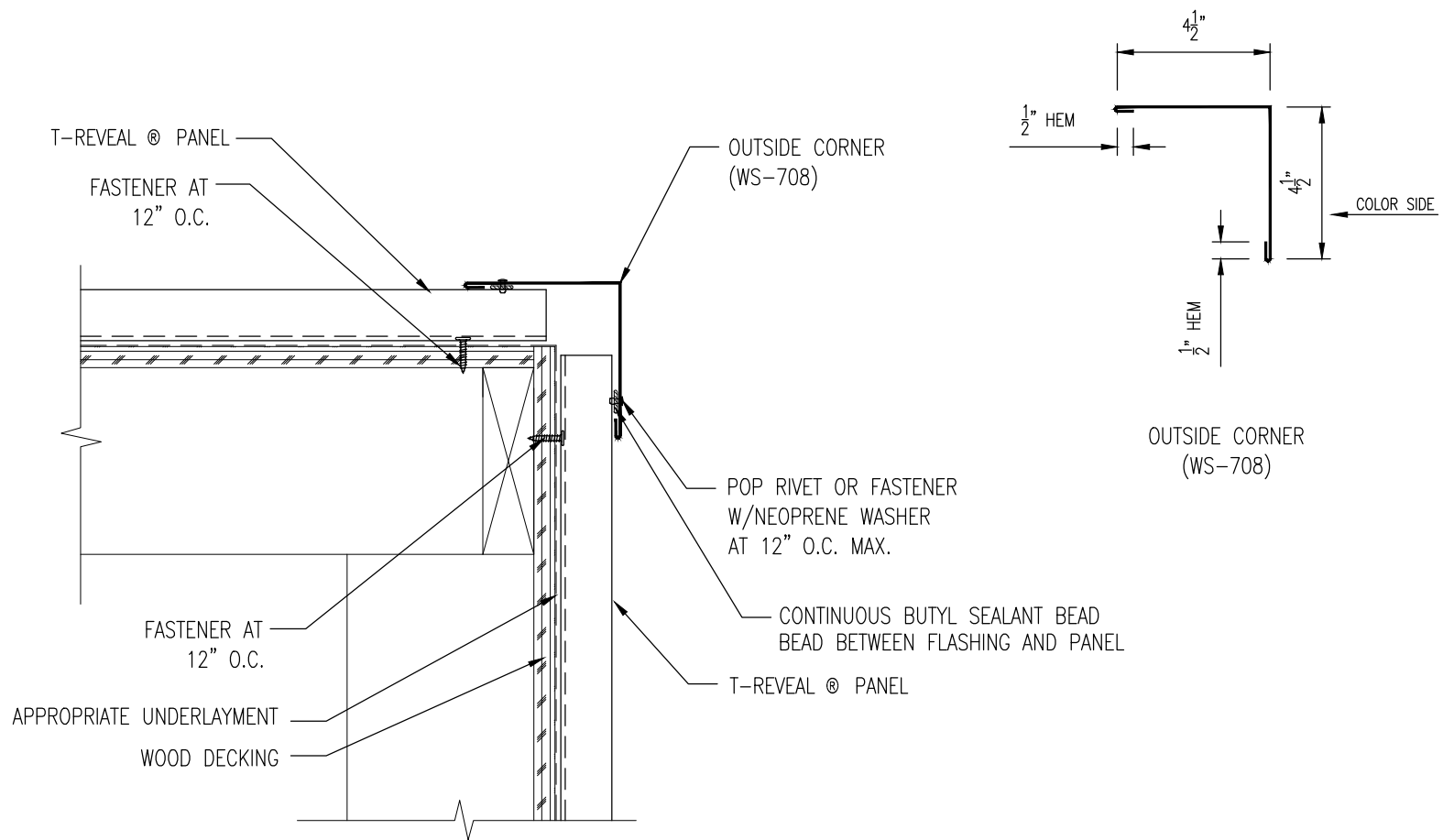
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| GAUGE: _____ | COLOR: _____ |
| LENGTH: _____ | FINISH: _____ |
| MATERIAL: _____ | |

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|---|-------------------------|------------|
| WINDOW / DOOR SILL HORIZONTAL DETAIL | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-W24 | |

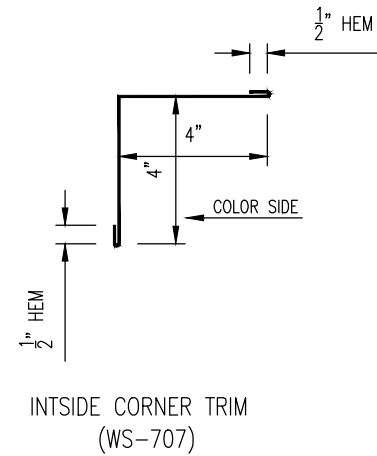
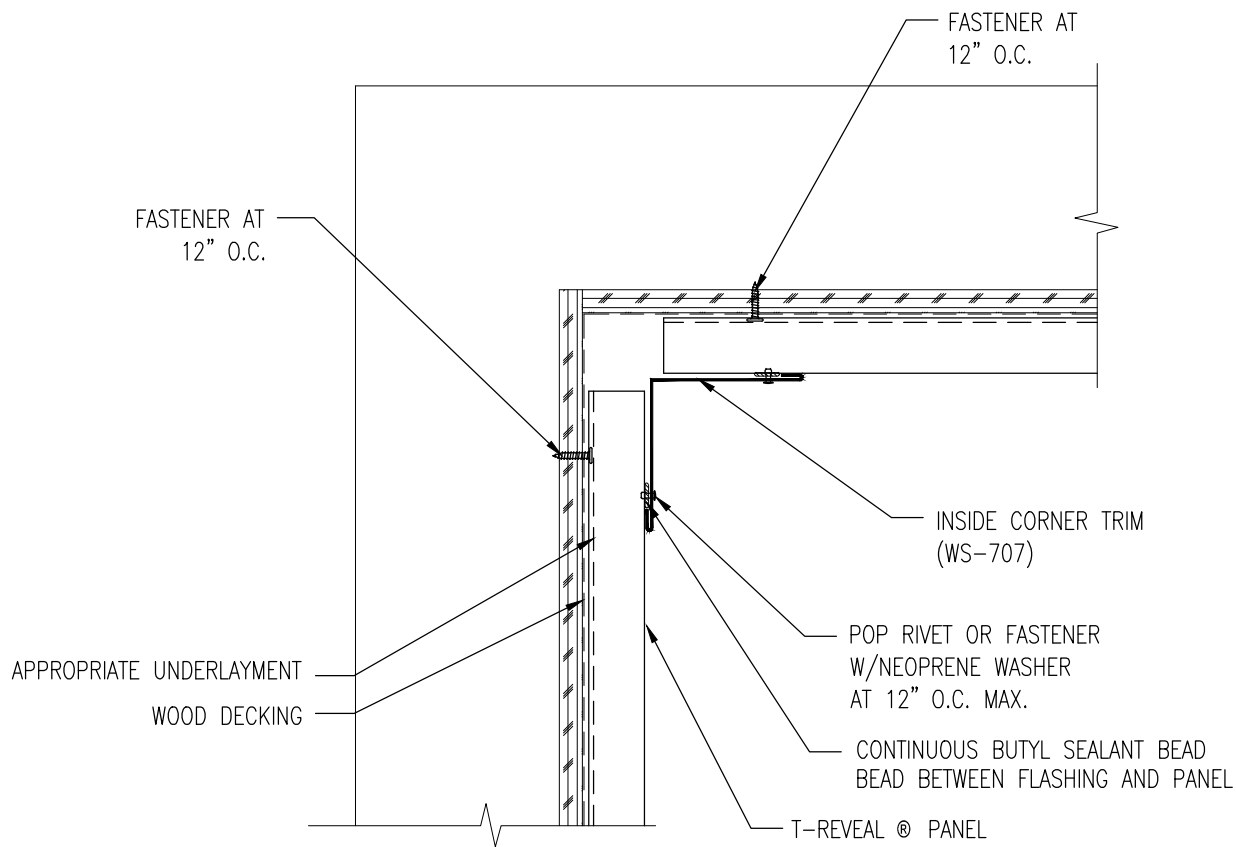


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| GAUGE: _____ | | COLOR: _____ | |
| LENGTH: _____ | | FINISH: _____ | |
| MATERIAL: _____ | | | |
| OUTSIDE CORNER HORIZONTAL DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-W25 | |

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| GAUGE: _____ | | COLOR: _____ | |
| LENGTH: _____ | | FINISH: _____ | |
| MATERIAL: _____ | | | |
| INSIDE CORNER HORIZONTAL DETAIL | | | |
| | | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | | REV: | DATE: |
| | | DETAIL #: TR-WSD-W26 | |

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CUSTOM TRIM

| | | |
|----------------------------------|------------------------|------------|
| GAUGE: _____ | COLOR: _____ | |
| BREAKS: _____ | FINISH: _____ | |
| LENGTH: _____ | STRETCH OUT: _____ | |
| MATERIAL: _____ | | |
| CUSTOM TRIM NAME: _____ | | |
| | A | 08-11-2017 |
| PANEL TYPE: T- REVEAL ® PANEL | REV: | DATE: |
| | DETAIL #: TR-WSD-CT | |

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Western States "T-Reveal" ® Panel

Installation, Flashings & Shop Drawing Detail Guide

Special Design Considerations

The details contained in this guide are proven industry details and are intended to be used as a design aid and installation guide. It does not depict all situations that may be encountered on all projects. Modifications are the responsibility of the designer/ owner/ installer.

Consideration should be given for Fit for Purpose, Building use, Climate conditions such as temperature, snow, wind, and moisture, Governing Building Codes, and Maintenance.

It is highly recommended that all trims and flashings be of the same material as the panels (metal, gauge, finish) to ensure long term performance and durability. Where possible, flashing edges should be hemmed to strengthen the edge and protect the cut edge from exposure.

Acceptance

Use of this manual is strictly voluntary. Details that are provided are to be used as a guide only. Details may not be applicable for all situations. This guide provides one standard detail and WSDI accepts that other installation details may be needed and other details may exist. WSDI makes no guarantee as to the Weather Tightness of the system or details found with in this guide. The information in this manual is believed to be correct and accurate at the time of printing. WSDI reserves the right to change details, discontinue products, change designs at any time without incurring obligation. It is best to consult your Design Engineer for recommendations.

Underlayment

There are many types of underlayment's on the market today. All designed with a special purpose depending on the type of Metal and profile. Many different types of metal will require a different type of underlayment, such as A606-4 (Corten) which requires a High Temperature underlayment. It is best to consult your Design Engineer for recommendations.

Snow Design

Design and dimension must be the proper width to accommodate high snow, rain, ice, and slope conditions. If possible, splices, penetrations, should be minimized in areas of high snow and ice accumulations. Details found in this manual may not pertain in areas of high snow and ice accumulations.

Panel coverage and fastening

Normal panel width of T-Reveal panels are 12". Please consult with your WSDI representative for details and fastening recommendations.

Safety and Maintenance

Extreme care should always be used when working with metals. Safety should always be a top priority and approved fall protection and equipment as approved by OSHA should always be used. No Structure is immune to severe weather or is completely maintenance free. To keep your Siding performing as it was designed; an inspection and comprehensive maintenance program should be implemented.

References

For other installation techniques and details, The Sheet Metal and Air Conditioning Contractors National Association Inc. (SMACNA) and NRCA manuals are great resource for working with sheet metal.

Technical Assistance

Contact your WSDI sales or technical representative for any additional information or assistance. To insure you have the latest information available, please inquire or visit our web sites at WWW.Metalforroofing.com



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STAFF REPORT 4-14-2021 REGULAR MEETING

PREPARED BY: A. PHILLIPS

APPLICATION NUMBERS: 21-7189

ADDRESSES: 664-676 W. ALEXANDRINE STREET

HISTORIC DISTRICT: WILLIS - SELDEN

APPLICANT: BRIAN ELLISON

PROPERTY OWNER: MICHAEL FERLITO, FERLITO GROUP

DATE OF PROVISIONALLY COMPLETE APPLICATION: 3-22-2021

DATE OF STAFF SITE VISIT: 3-30-2021

SCOPE: ERECT NEW MULTIPLE-FAMILY BUILDING/30-UNIT APARTMENT BUILDING

EXISTING CONDITIONS

The project site encompasses parcels addressed at 664 and 676 W. Alexandrine Street and is situated approximately mid-block on the north side of West Alexandrine Street between Second and Third Avenues. The west (side) property line of the site abuts a public alley running north/south. The site currently includes multiple trees around the perimeter and within the site, a length of hedges at the east half of the site running east/west, and a concrete parking pad and bollards. A 6'-0" chain link fence surrounds the site. The majority of the site was most recently used as a parking lot.



664-676 W. Alexandrine. View from W. Alexandrine Street looking northwest. Photo taken by HDC staff, March 30, 2021

PROPOSAL

With the current proposal, the applicant is seeking the Commission's approval **to erect a new multiple-family, 30-unit, apartment building per the attached drawings and application.** Included in the proposal are the following scope items:

• **Sitework**

○ **Demolition**

- Demolish existing curb cut and concrete driveway.
- Demolish all existing concrete on the site in its entirety, including the sidewalk at the front (south) edge of the site
- Remove all existing trees on the site

○ **New Sitework**

- Renovate and repave alleys located adjacent to the site along the north and west property lines to City specifications.
- New curb cut and concrete approach/driveway near the east property line (new location)
- New asphalt-paved drive aisle and parking area
- New 6' wide concrete sidewalk at the front (south) property line
- New concrete pedestrian path along the east side of the building
- Creation of new recreational space at the front (south) end of the building consisting of a 2'-6" high wall running east/west, raised planters, landscape beds, wall-mounted douglas fir benches and paved with exposed aggregate concrete paving. Wall-mounted benches are to be "Timberform Greenway" model no. 2144-6 – finish: Douglas Fir (untreated)
- Creation of a new bike parking area located near the southeast corner of the proposed new building including four bike racks and paved with brick pavers. Bike racks are to be "Landscape Forms: FGP Bike Rack" – finish: light gray aluminum
- Creation of a new 10' x 25' recreational area at the rear (north) of the proposed building consisting of a dog run area (artificial turf) which is proposed to be enclosed with a 6' high vinyl fence
- Trash enclosure to be located adjacent to the dog run area at the northeast corner of the building.
- Install new 6'-0" high composite fence along the length of the east property line from alley to the front façade of existing house to the east. The fence will drop from 6' high to 3' high at the front façade of the house and continue out to meet the 2'-6" high garden wall proposed at the southeast corner of the site.
- Grass pavers at some of the parking spaces – see drawings for locations.
- Planting areas with ornamental grasses and small shrubs at various locations throughout the site
- New trees as shown on landscape plan

● **New Construction**

Construct a new 3-story, multiple-family apartment building (30 units)

- Proposed building is rectangular in form with a footprint that measures approximately 40'W x 153'D and situated at the far west edge of the property, adjacent to the alley.
- Uncovered surface parking is proposed to be located on the east side of the building. The east parking area is accessed via a new driveway off of Alexandrine.
- Building set back approximately 12' from the front (south) property line and 10' from the rear (north) property line.
- All units are to be accessed either from grade or from exterior staircases and covered balconies. No interior circulation is proposed.
- Building materials include:
 - James Hardie Reveal Panel with Recess Trim (color: Deep Red)
 - Vesta Steel Plank Siding at unit entry alcoves (color: Ironstone)
 - Dark gray brick veneer at the base of the building
 - Perforated metal screen at exterior stair enclosures (color: Black)
- All windows are proposed to be aluminum – color: black
- Entry doors at all dwelling units are proposed to be fiberglass Therma Tru Smooth-Star doors – door and frame finish: black
- Exterior light fixtures at dwelling units are proposed to be Glacier Integrated LED wall-mounted lights by Artika – material/finish: dark gray aluminum with glass lens, size: 5.1" x 3.2" x 11.8"
- Exterior balcony railings are to be a cable rail system with steel posts – frame finish: black

STAFF OBSERVATIONS & RESEARCH

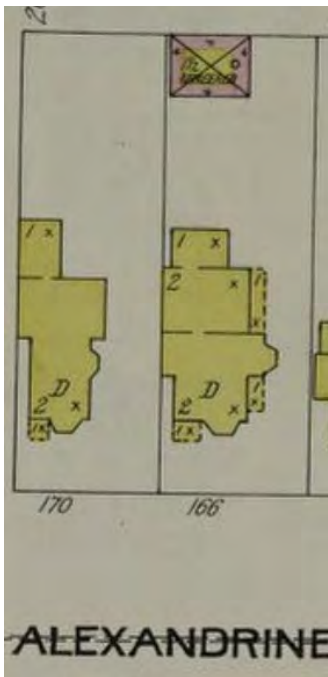
- Willis – Selden Historic District was designated in 2011.
- This new application is a successor to a previously submitted application (#21-7108) which was denied by the Commission at the regularly scheduled meeting held on March 10, 2021. See attached Notice of Denial for the previous application for reference.
- The applicant met with HDC and PDD design staff prior to submission of this application. During this consultation, various recommendations were made, some of which the current proposal reflects such as the emphasized front

entrance, situating the building to one side of the lot rather than in the middle of the lot, and diminishing the appearance of the exterior circulation through screened stairways.

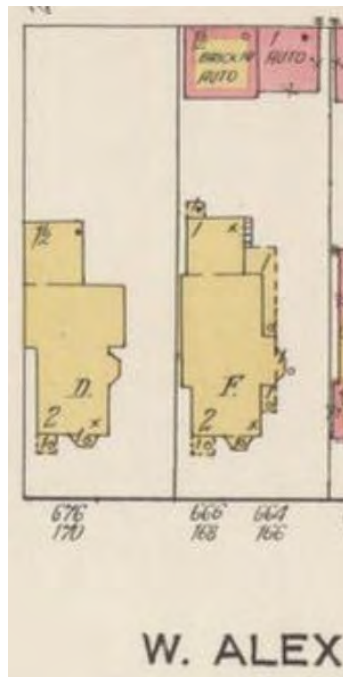
- As a guide to new construction of multi-family apartment buildings, the **Elements of Design** for this district does offer the following (excerpted) relevant points. Additional staff comment is added where appropriate.
 - **Element 1, Height:** *Apartment buildings typically range in height from two stories to four stories, often on high basements; a majority of these buildings are three stories in height with high basements.*
 - **Element 2, Proportion of buildings' front facades:** *Front facades of apartment buildings are commonly as tall as wide or slightly taller than wide... Buildings often occupy most or all of deep lots, resulting in side elevations of buildings that are often substantially wider than tall.*
 - **Element 3, Proportion of openings within the facades:** *Openings typically amount to between 20 percent and 35 percent of the front façade. Sash windows, taller than wide, predominate on all building types. On apartment buildings, sash windows are sometimes arranged in groupings which, together, are square or wider than tall. Door openings are typically slightly larger in scale than window openings. Primary entrance openings are usually centered on the facades of commercial and apartment buildings...*
 - **Element 4, Rhythm of solids to voids in front facades:** *...the overall impression is one of regular, repetitive openings arranged horizontally within facades.*
 - **Element 5, Rhythm of spacing of buildings on streets:** *The overall character of the district is one of densely clustered, yet visually distinct, structures separated by narrow setbacks.*
 - Staff finds that the proposal to situate the building along the west (alley side) property line, with no setback conforms to the Elements of Design. The building footprint takes up slightly less than 50% of the total site making the east “side yard”/parking lot seem very large in, however, this proposal allows for an addition to the building in the future or for a completely separate building in the space currently proposed for parking – a more flexible solution for increased density than what was previously proposed.
 - **Element 6, Rhythm of entrance and/or porch projections:** *On residential buildings only, entrances are often located several steps above grade to accommodate high basements. ...doorways on other buildings are typically centered on their facades.*
 - “Residential buildings” in this Element of Design are referencing single-family housing or small multi-family (2-4 units), not apartment buildings, therefore this Element of Design is met as the proposal incorporates doorway centered on the front façade.
 - **Element 7, Relationship of materials:** *A majority of buildings are faced with brick and feature stone or cast stone trim. Sash windows are historically wood but, in many cases, have been replaced with windows of modern materials. Stone is used for window sills on a majority of buildings within the district...roofs within the district are generally flat and not visible...*
 - Due to cost, innovations in design, and material availability, new construction is built with a wide range of materials. Staff finds that the proposed brick, hardie reveal panel, and steel plank siding is appropriate.
 - **Element 8, Relationship of textures:** *On a majority of buildings within the district, the major textural effect is that of brick with mortar joints juxtaposed with cast stone or limestone trim. Patterned brickwork is used to create subtle detail on apartment buildings, such as spandrels and rectangular panels...*
 - **Element 9, Relationship of colors:** *Natural brick colors in shades of brown, red, and buff predominate on wall surfaces, while natural stone colors in shades of gray, red, and brown also exist.*
 - **Element 10, Relationship of architectural details:** *Buildings in the district exemplify a broad range of architectural styles, and their architectural details relate to their style. Buildings range from vernacular to high style in appearance, with the level of architectural detail varying greatly from one building to the next.*
 - **Element 11, Relationship of roof shapes:** *Most apartment buildings have flat roofs that cannot be seen from the ground. Flat-roofed apartment buildings often feature stepped or triangular parapet walls, occasionally with crenellation or balustrades, which add interest to the building's roofline.*
 - **Element 12, Walls of continuity:** *Setbacks of residential buildings tend to vary slightly from one building to the next, but generally create a wall of continuity on all streets in the district, except where building demolition has created vacant lots. Fencing, often modern steel units that resemble historic cast or wrought iron fencing, exists at the front line of many properties and suggests an additional wall of continuity. Mature trees and public lighting fixtures do not contribute to a wall of continuity due to their irregular placement throughout the district.*

- The proposed parking lot at the east side of the lot does not create a wall of continuity, however, the current condition is that of a vacant lot which is not creating wall of continuity. Additionally, the proposal includes a low garden wall at the corner which helps to establish a wall of continuity.
 - **Element 13, Relationship of significant landscape features and surface treatments:** *The overall impression is that east-west streetscapes are abundantly planted whereas north-south streetscapes are not. Most commercial buildings, and a smaller number of apartment buildings, are built up to the front lot line. Curbs, while historically stone, have been replaced with concrete in a majority of the district.*
 - **Element 14, Relationship of open space to structures:** *Front and side yards range from shallow to non-existent. Other than public rights-of-way, large areas of open space exist only where they have been created by building demolition; sometimes these spaces serve as parking lots or are maintained as open lawns.*
 - See staff comment at Element 5.
 - **Element 15, Scale of facades and façade elements:** *Apartment buildings range from small to large in scale...elements within the facades are generally small to medium in scale.*
 - **Element 16, Directional expression of front elevations:** *Apartment buildings generally range from neutral to slightly vertical in directional expression, though a smaller number are horizontal in directional expression.*
 - **Element 17, Rhythm of building setbacks:** *A degree of irregularity is introduced by varying setbacks of front facades...larger apartment buildings and other buildings often occupy their entire lots...the overall impression is one of a consistent rhythm of building setbacks. Where building demolition has occurred, the original rhythmic progression of buildings has been disrupted.*
 - **Element 18, Relationship of lot coverage:** *Lot coverage within the district are generally high, but vary based on building type...other building types range from 50 percent to 100 percent lot coverage. Large buildings may have light courts or central courtyard spaces.*
 - See staff comment at Element 5.
 - **Element 19, Degree of complexity within the façade:** *The facades within the district range from simple to complex, depending upon style. Overall, front facades tend to be simple in their massing and mostly regular in their fenestration, though a variety of window and door shapes, materials, architectural elements, and details of individual buildings increase the overall level of complexity of the district.*
 - **Element 20, Orientation, vistas, overviews:** *Buildings generally face the streets and are entered from the front facades by a single or double doorway.*
 - A central entrance is proposed at the front façade, however, that is not the entry to the building but an entry to a private live/work unit. A single building entrance does not exist in this proposal as all circulation is exterior, making unit entries occur individually at the east and west sides of the building. Given the overall design, staff does not feel this condition moves the proposal out of conformance.
 - **Element 21, Symmetric or asymmetric appearance:** *The appearance of front facades in the district, for the most part, is symmetrical.*
 - **Element 22, General environmental character:** *The general character of the district is that of a medium-density, mixed-use, urban neighborhood of small to large apartment buildings interspersed with other building types. The district maintains a sense of vitality as a result of its mixture of uses and the correspondingly diverse physical appearance of its buildings.*
- The proposed new apartment building, although modest in size, is reasonably scaled and sited in a manner similar to historic structures in the vicinity. The design and materials proposed are of our own time and contribute to the diverse physical appearance of the district's buildings.
- It is staff's opinion that the proposed new construction retains the historic character of the property and district, generally conforms with the district's Elements of Design, and protects and preserves the integrity of the property and the surrounding district.

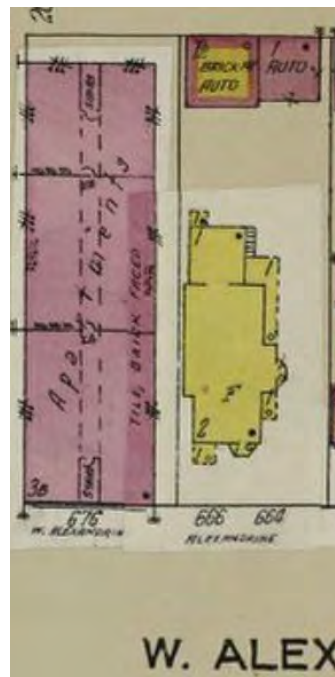
- See Sanborn Maps and historic photos below of the property below for a history of the site development:



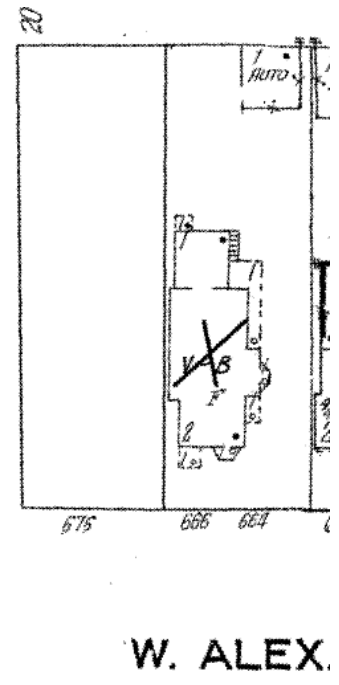
1897 Sanborn Map



1921 Sanborn Map



1921-1950 Sanborn Map



Post-1950 Sanborn Map

ISSUES

- Regarding the proposed vinyl fence at the dog run – Vinyl is an inappropriate material within the historic district due to its appearance and durability over time. It is staff's opinion the fence should not be vinyl.

RECOMMENDATION

Section 21-2-78, Certificate of Appropriateness

It is staff's opinion that the proposal should qualify for a Certificate of Appropriateness. Staff recommends that the Commission approve a COA for the proposed application, as it meets the Secretary of the Interior's Standards and the Willis – Selden Historic District's Elements of Design, with the conditions that:

- The 6'-0" high vinyl fence proposed at the dog run is to be a material other than vinyl.
- Applicant to submit revised cut sheets for the items listed above to HDC staff for review and approval prior to pulling the permit.

WILLIS AV. W. 6' W.P.



664-676 W. ALEXANDRINE

ALEXANDRINE AV. W. 4' W.P.

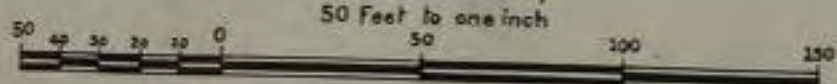
3RD ST. W.P.

2ND ST. W.P.



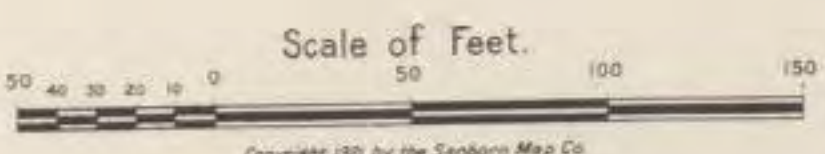
SELDEN AV. 4' W.P.

Scale of Map:
50 Feet to one inch





664-676 W. ALEXANDRINE



The Sanborn Map Collection
Origination and Map Division
Library of Congress

75
(74)

94

W. WILLIS AV.

W. WILLIS AV.



W. ALEXANDRINE AV.

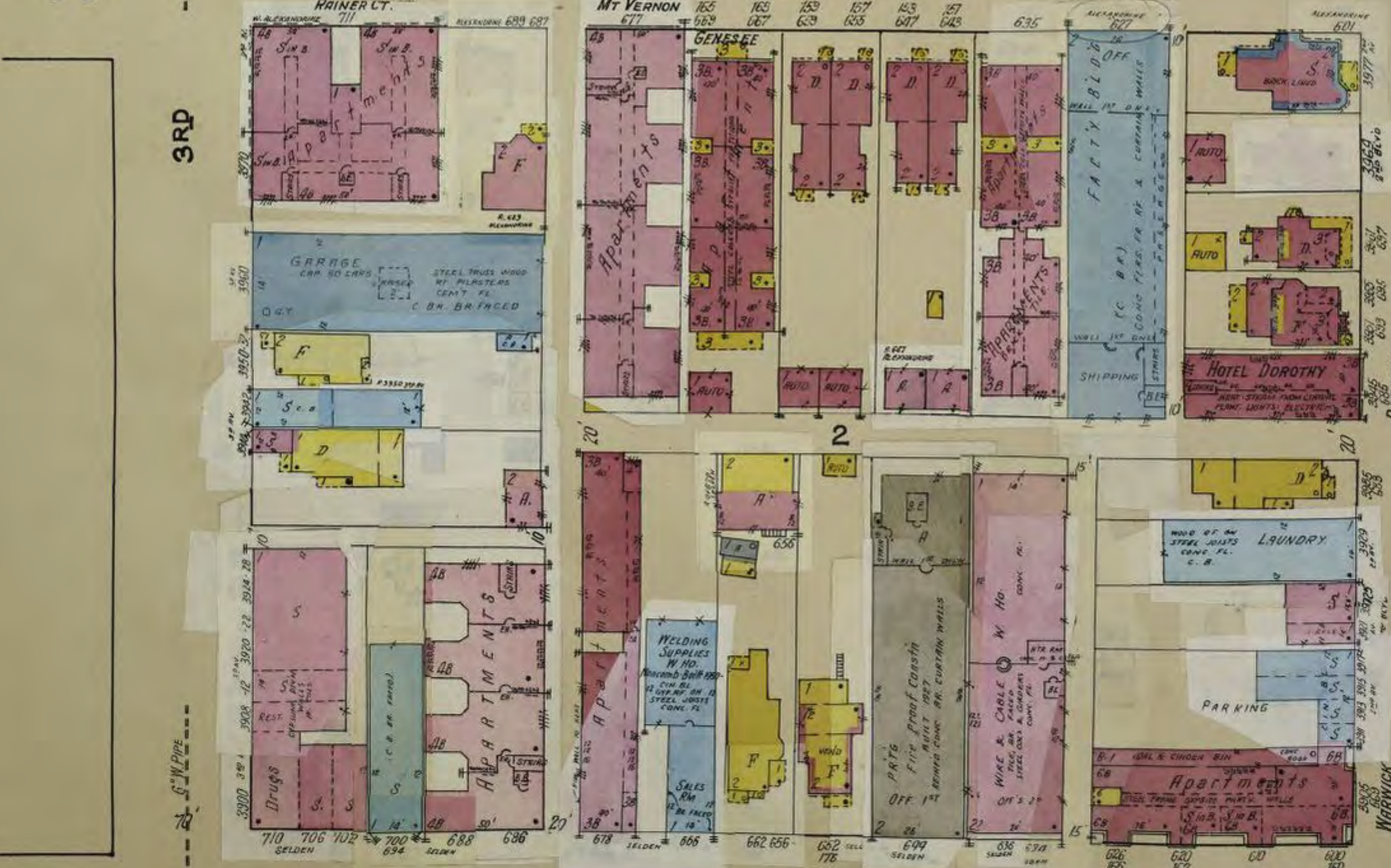
664-676 W. ALEXANDRINE

88

76

3RD

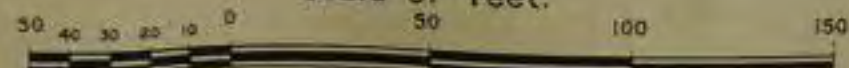
2ND



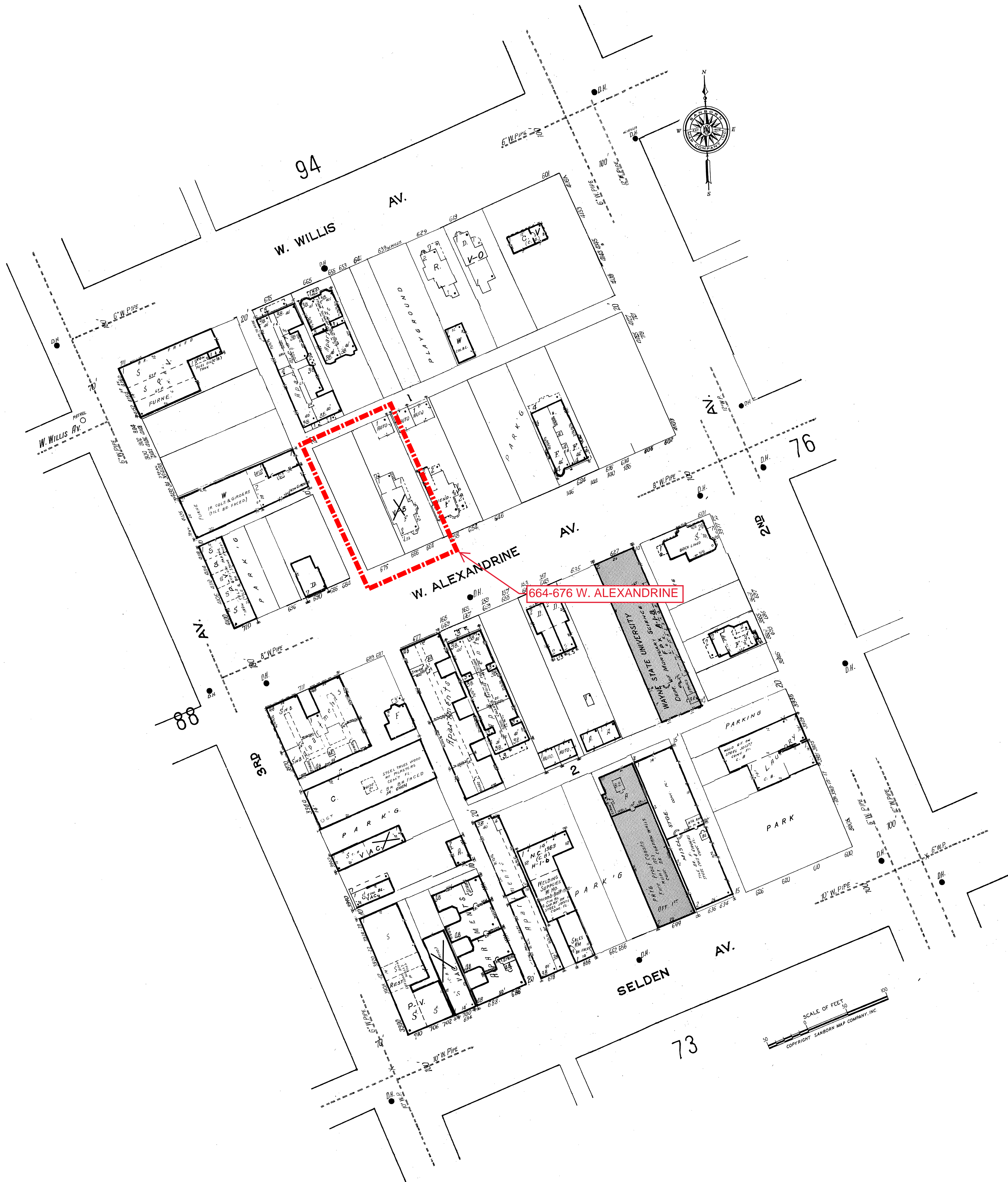
SELDEN AV.

73

Scale of Feet.



Copyright 1950 by the Sanborn Map Co.



664-676 W. ALEXANDRINE

SCALE OF FEET
0 50 100
COPYRIGHT SANBORN MAP COMPANY, INC.













THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

| | | | | |
|--|---|---|--|---|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/ Deck | <input type="checkbox"/> Landscape/Fence/ Tree/Park | <input type="checkbox"/> General Rehab |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Addition | <input type="checkbox"/> Other: _____ | |

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



664 Alexandrine Project Scope

Sitework

○ Demolition

- Demolish existing curb cut and concrete driveway.
- Demolish all existing concrete on the site in its entirety, including the sidewalk at the front (south) edge of the site.
- Remove all existing trees on the site.

○ New Sitework

- Renovate and repave alleys located adjacent to the site along the north and west property lines to City specifications.
- New curb cut and concrete approach/driveway near the east property line (new location).
- New asphalt-paved parking area
- New 6' wide concrete sidewalk at the front (south) property line
- New concrete pedestrian paths around the building
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- Creation of a new 10'W x 5'D bike parking area located near the southeast corner of the proposed new building including three bike racks and paved with brick pavers. Bike racks are to be "Landscape Forms: FGP Bike Rack" – finish: light gray aluminum
- Creation of a new recreational area at the rear (north) of the proposed building consisting of a dog run (artificial turn).
- Trash enclosure to be located near the northwest corner of the building
- Planting areas with ornamental grasses and small shrubs at various locations throughout the site

- New trees as shown on landscape plan

- **New Construction**

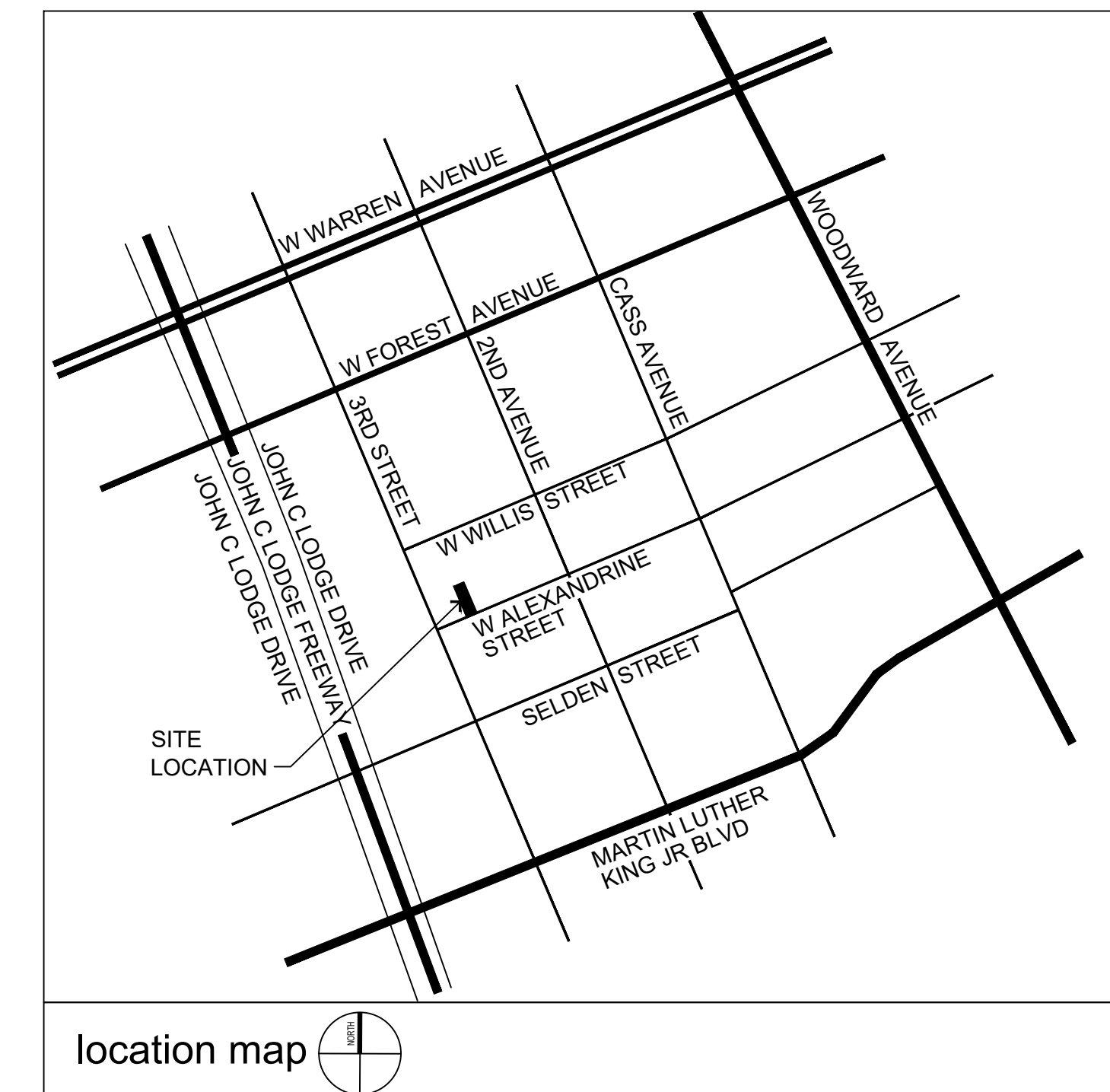
Construct a new 3-story, multiple-family apartment building (30 units)

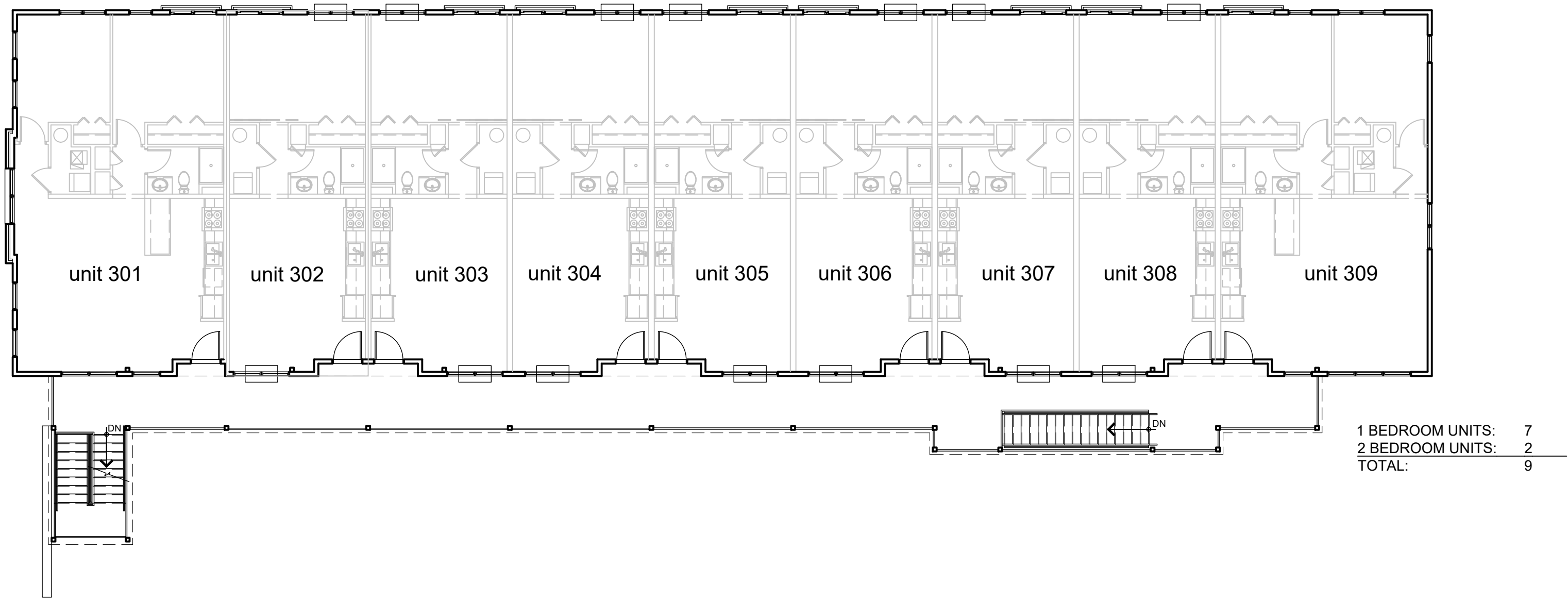
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 - Dark Red Tone Hardie Board to match surrounding buildings
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- All windows are proposed to be aluminum – color: black
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- Exterior balcony railings are to be a cable rail system with steel posts – frame finish: black

The Alexandrine Apartments

Proposed Apartment Building

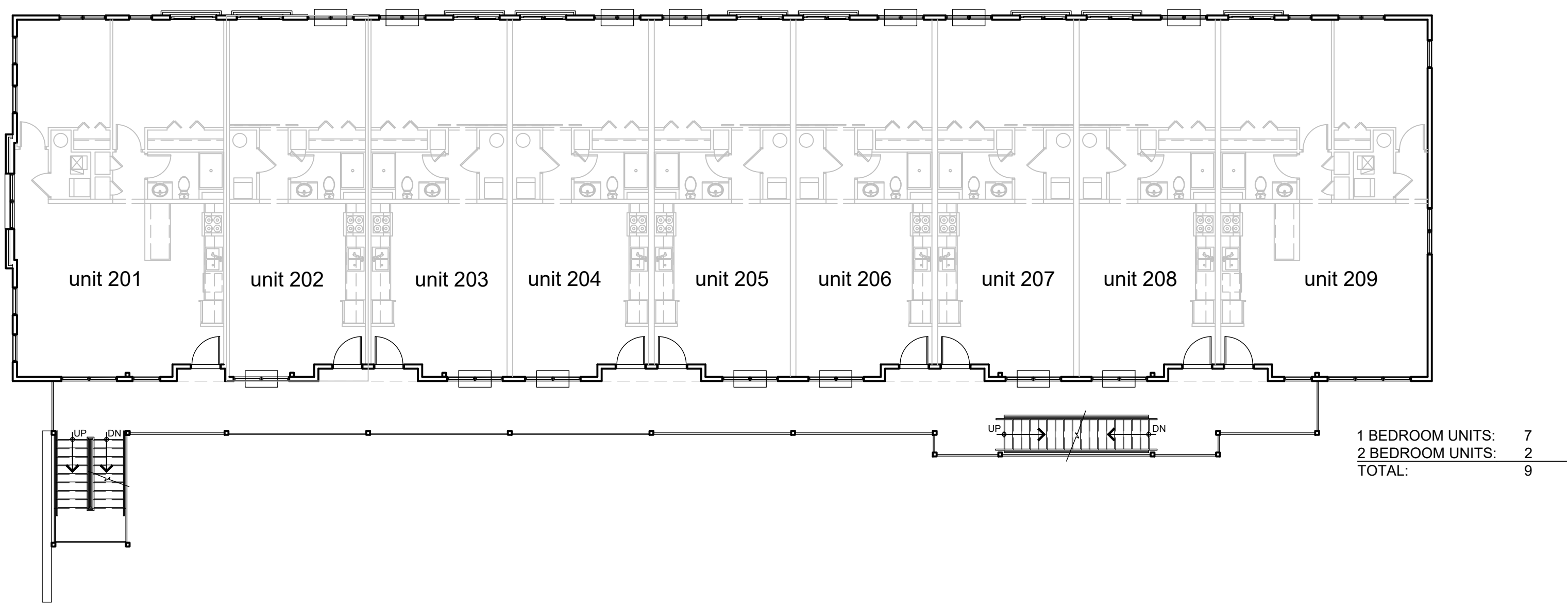
664-676 W. Alexandrine Street Detroit, Michigan 48201





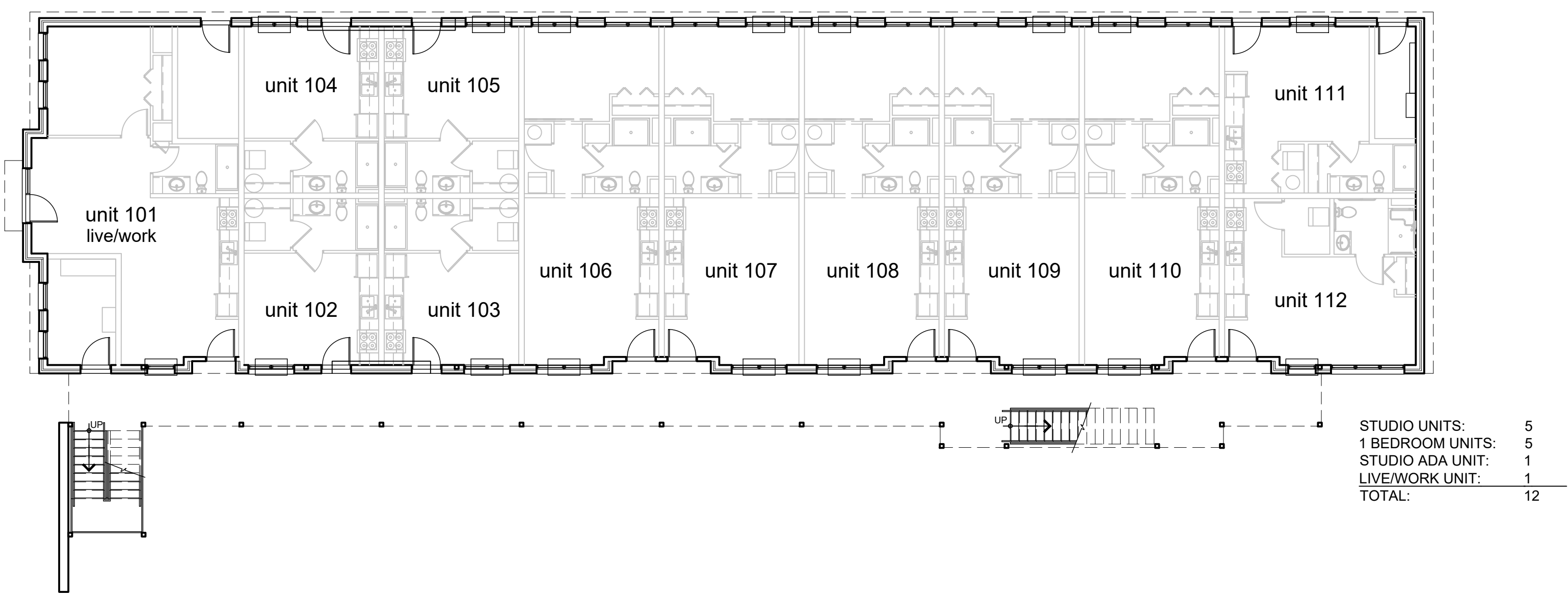
3/A100 level 3 floor plan

SCALE: 3/32" = 1'-0"



2/A100 level 2 floor plan

SCALE: 3/32" = 1'-0"



1/A100 level 1 floor plan

SCALE: 3/32" = 1'-0"

PROJECT:

The Alexandrine Apartment
 664-676 W. Alexandrine St.
 Detroit, MI 48201

CLIENT:

The Ferlito Group
 440 Selden Street
 Detroit, MI 48201

| HDC SUBMITTAL | DATE |
|---------------|----------|
| DESCRIPTION | 03/22/21 |

SHEET TITLE:

ARCHITECTURAL FLOOR PLANS

PROJECT NUMBER:
2019-130

DRAWN BY:
KMB

CHECKED BY:
--

SHEET NUMBER:

A100

Permit No.:

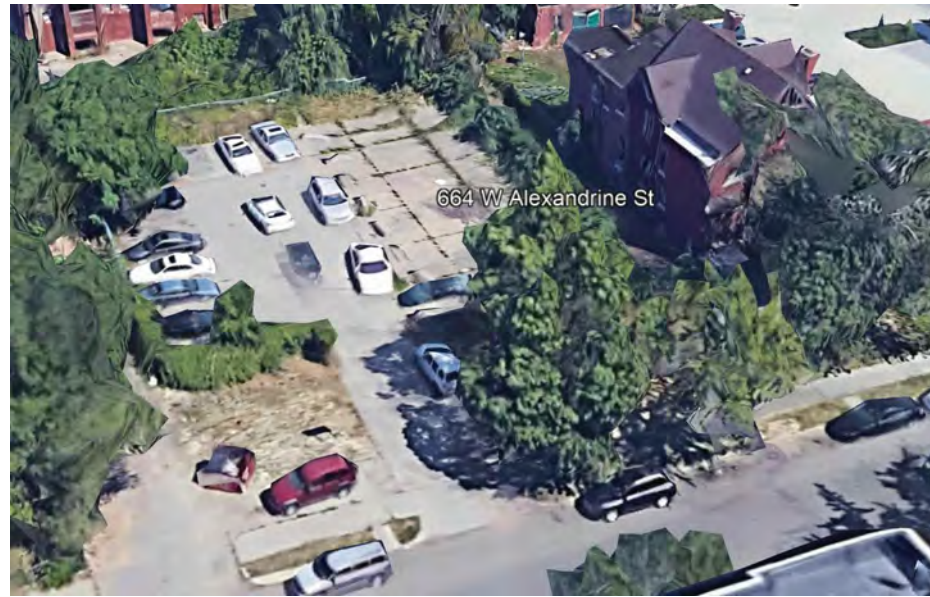
The Alexandrine Apartments

The Ferlito Group

664-676 W. Alexandrine Street Detroit, Michigan 48201

April 2021

Historic District Commission Submission



664-676 W Alexandrine St
Existing Site Aerial



ZONING MAP



4100 3rd St



690 W Alexandrine St



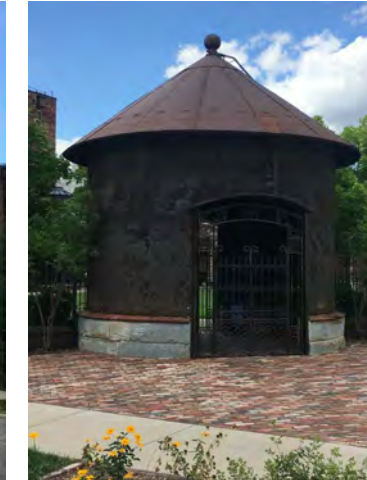
654 W Alexandrine St



640 W Alexandrine St



624 W Alexandrine St



4125 2nd Ave

STREET NORTH SIDE



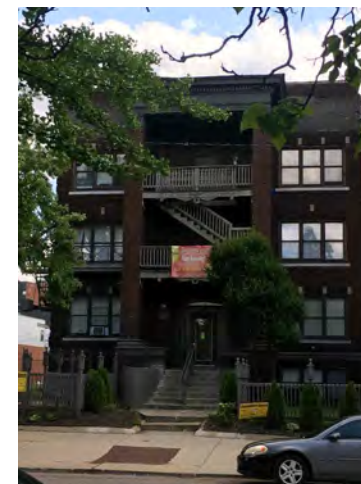
3977 2nd Ave (Alexandrine side)



627 W Alexandrine St



643 W Alexandrine St



667 W Alexandrine St

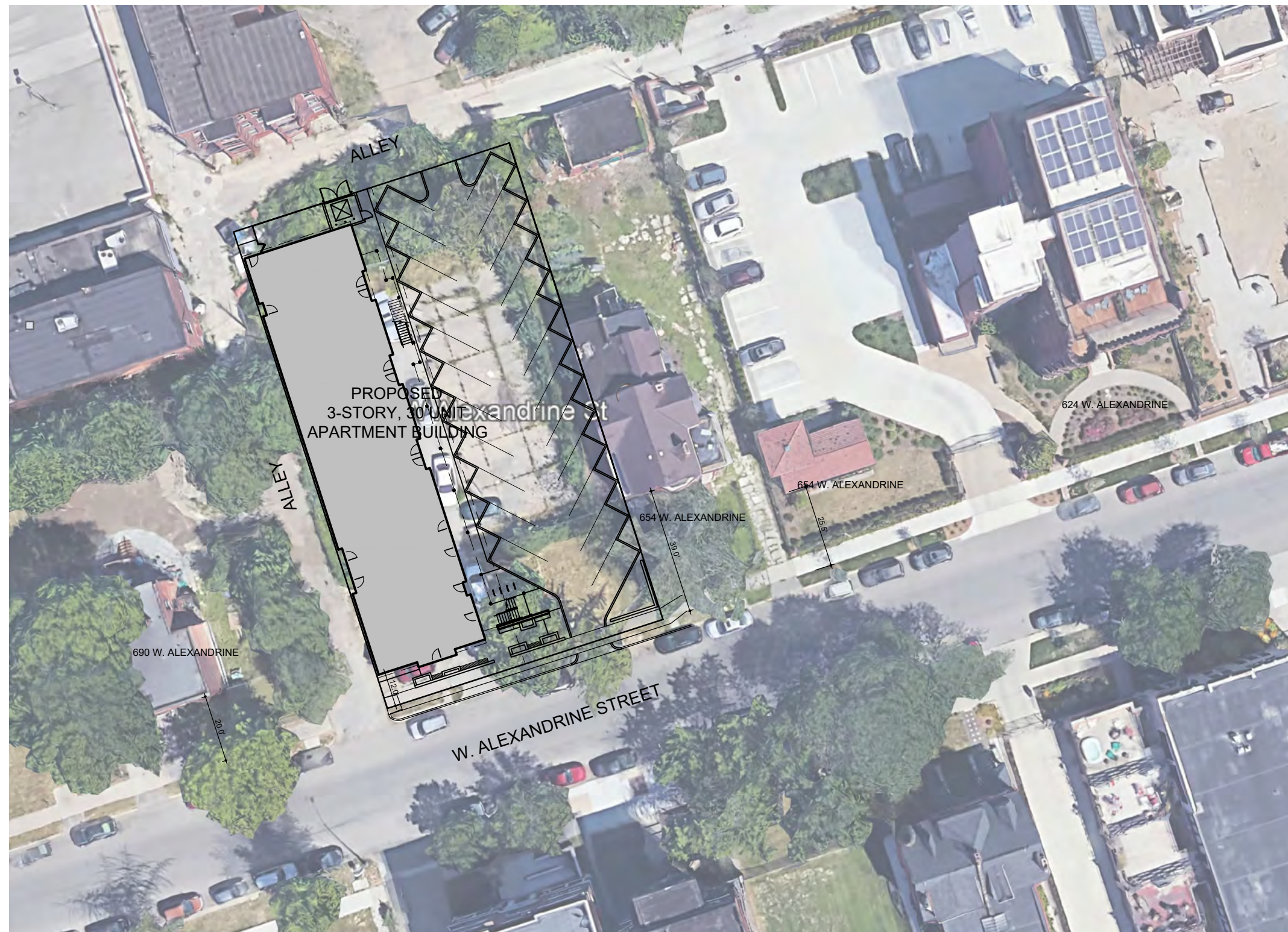


677 W Alexandrine St



711 W Alexandrine St

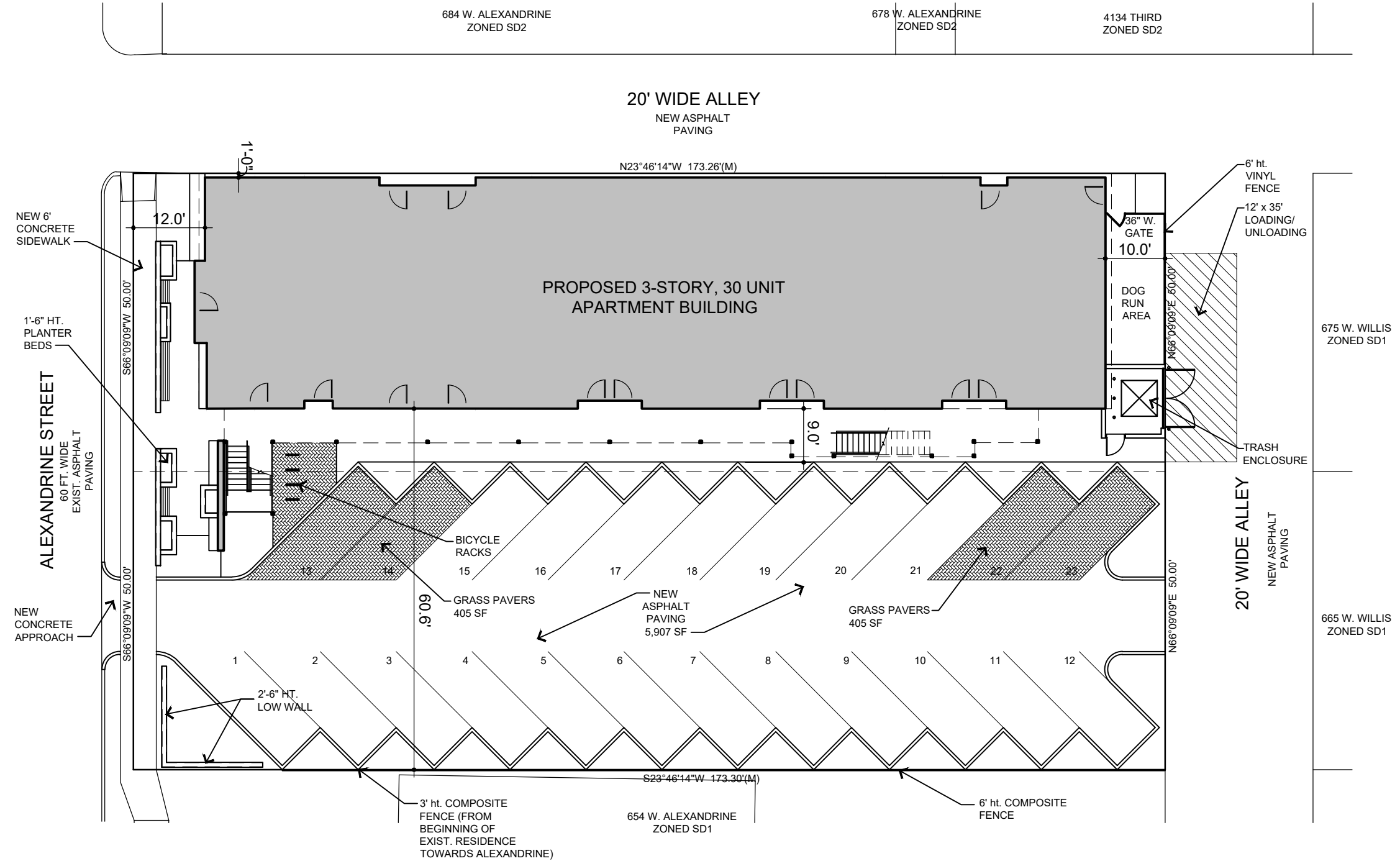
STREET SOUTH SIDE



site context plan

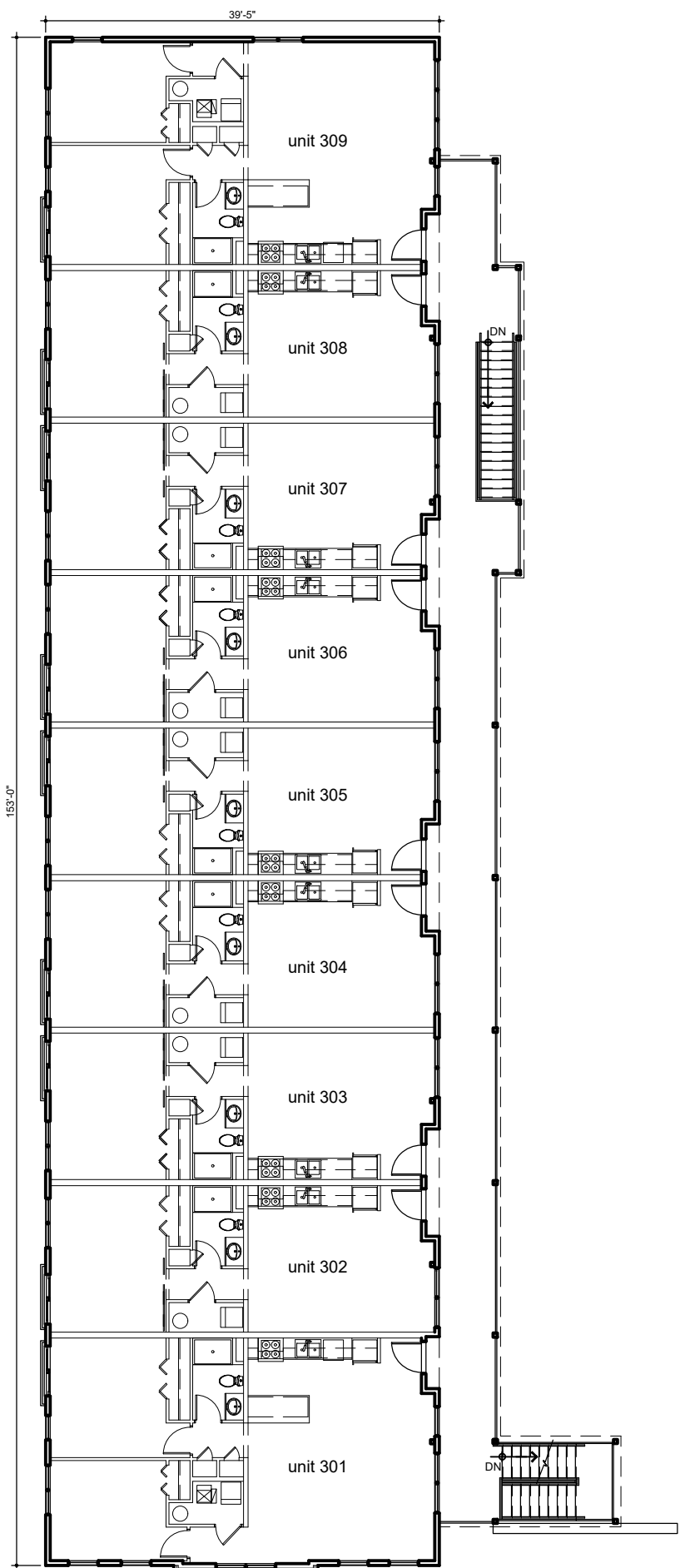
SITE CRITERIA:

| | | |
|--|--|---|
| <p>PARCEL SIZE: 0.39 ACRES (17,300 SQUARE FEET) COMBINED PROPERTIES</p> <p>ZONING: SD1(SPECIAL DEVELOPMENT DISTRICT, SMALL-SCALE) WILLIS-SELDEN LOCAL HISTORIC DISTRICT</p> <p>PROJECT: 30 UNIT, 3-STORY APARTMENT BUILDING</p> <p>BUILDING HEIGHT MAXIMUM- 35' HT. PROVIDED - 3 STORIES, 33.0' HT.</p> <p>FRONT SETBACK REQUIRED - 0' MINIMUM FROM R.O.W. LINE PROVIDED - 20' FROM R.O.W. LINE</p> <p>REAR SETBACK REQUIRED - 10' MINIMUM PROVIDED - 10.0'</p> <p>WEST SIDE SETBACK REQUIRED - 0' MINIMUM PROVIDED - 1.0'</p> <p>EAST SIDE SETBACK REQUIRED - 0' MINIMUM PROVIDED - 60.5'</p> | <p>REQUIRED PARKING REQUIREMENTS: MULTIPLE-FAMILY DWELLING, WHERE LOCATED WITHIN 0.50 MILES OF A HIGH-FREQUENCY TRANSIT CORRIDOR 0.75 SPACES PER DWELLING UNIT (30 x 0.75 = 22.5 SPACES) TOTAL SPACES REQUIRED = 23 SPACES</p> <p>PROPOSED PARKING PROVIDED: 23 SPACES INCLUDING (1) ADA SPACE</p> <p>RECREATIONAL SPACE REQUIREMENTS REQUIRED: MINIMUM RECREATIONAL SPACE= GSF x REC. SPACE RATIO 17,744 GSF x 0.07 = 1,240.0 SF</p> <p>PROVIDED: FRONT: 1,033 SF REAR : 222 SF TOTAL: 1,255 SF</p> | <p>STUDIO UNITS: 5 STUDIO ADA UNIT: 1 1 BEDROOM UNITS: 19 2 BEDROOM UNITS: 4 LIVE/WORK UNIT: 1 TOTAL UNITS: 30</p> <p>BUILDING SQUARE FOOTAGE LEVEL 1: 5,794 GSF LEVEL 2: 5,975 GSF LEVEL 3: 5,975 GSF TOTAL : 17,744 GSF</p> |
|--|--|---|



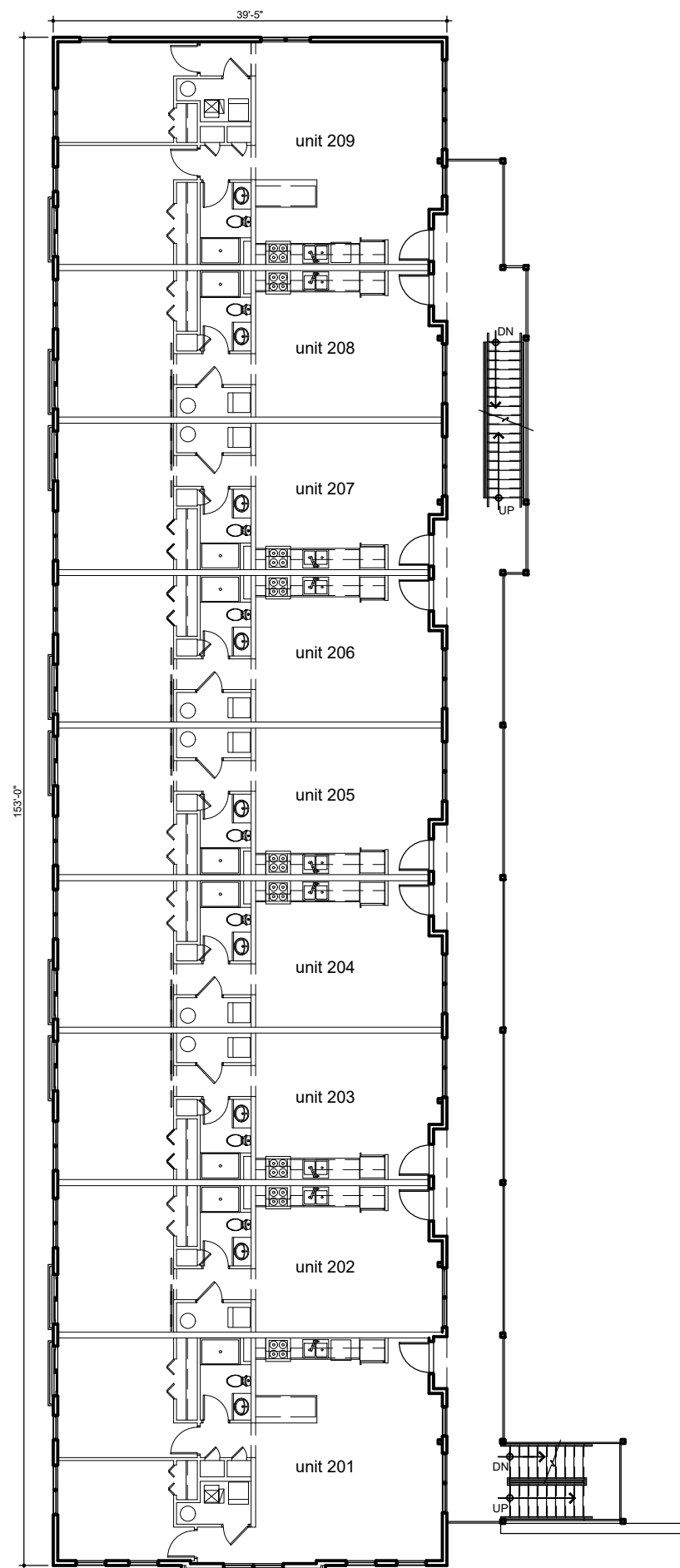
architectural site plan





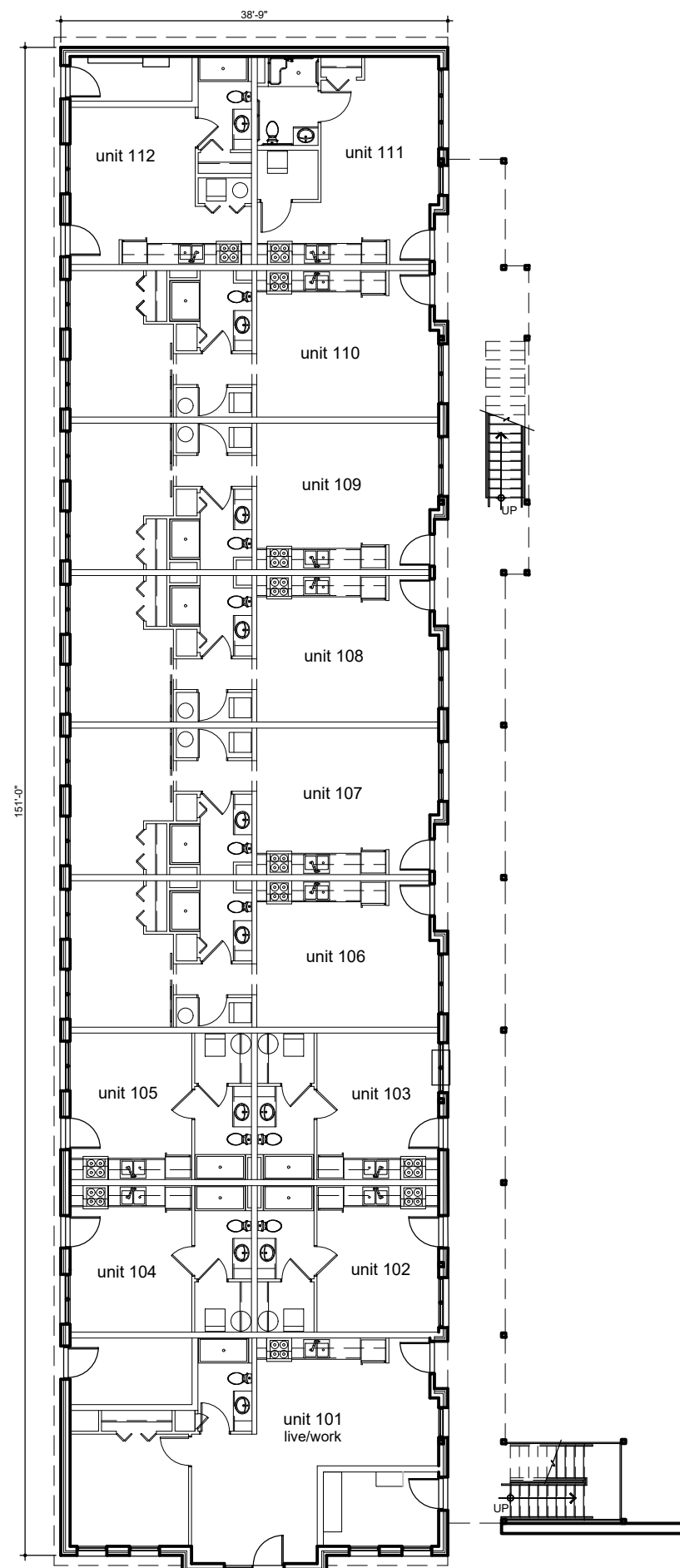
1 BEDROOM UNITS: 7
 2 BEDROOM UNITS: 2
 TOTAL: 9

level 3 floor plan



1 BEDROOM UNITS: 7
 2 BEDROOM UNITS: 2
 TOTAL: 9

level 2 floor plan



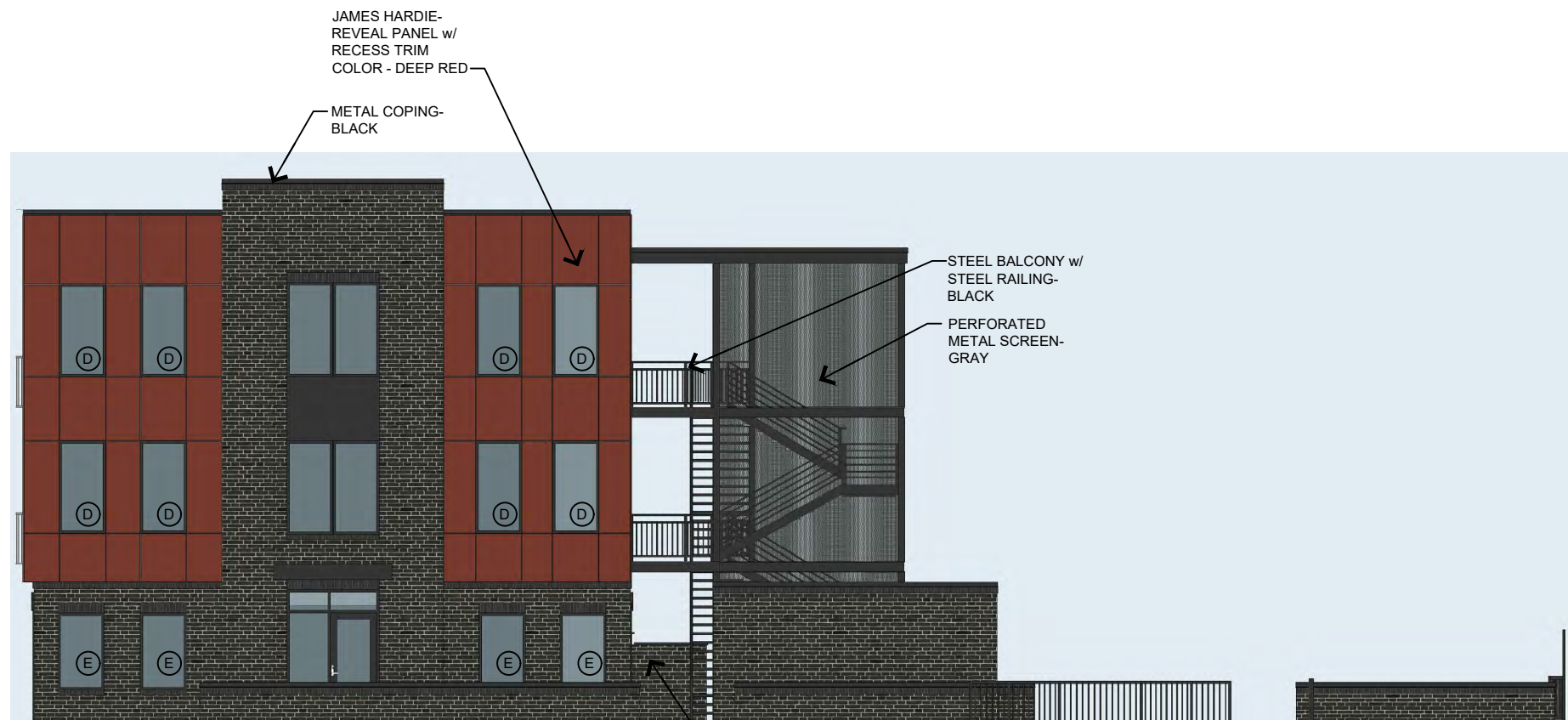
STUDIO UNITS: 5
 1 BEDROOM UNITS: 5
 STUDIO ADA UNIT: 1
 LIVE/WORK UNIT: 1
 TOTAL: 12

level 1 floor plan



EXTERIOR ELEVATIONS

3/32" = 1'-0"



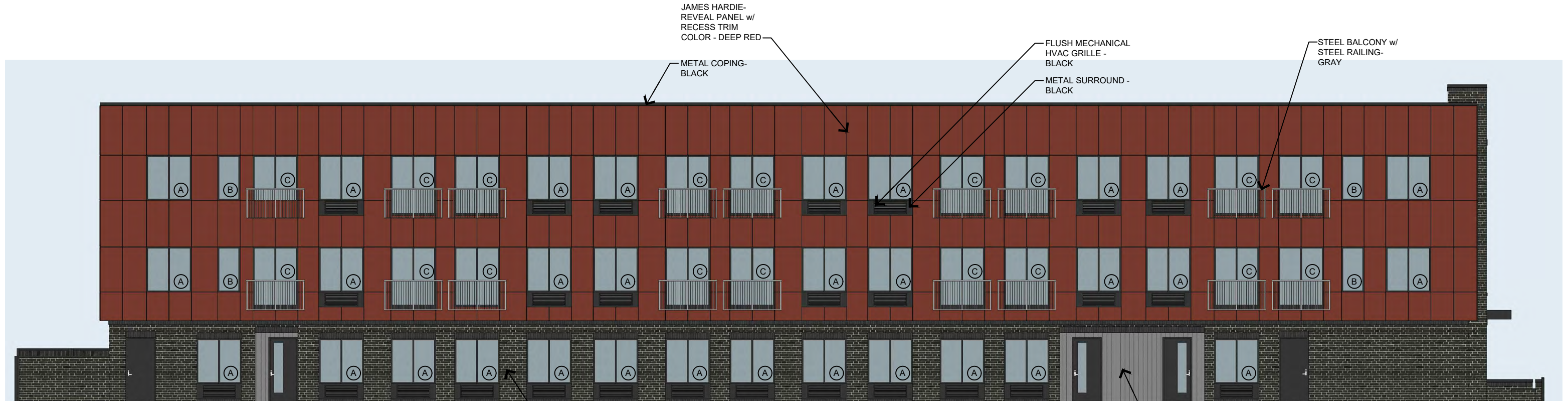
southeast (front) elevation

WINDOW TYPES

| TAG | SIZE | TYPE |
|-----|-------------|------------------|
| A | 5'-0"x5'-0" | SLIDER |
| B | 2'-6"x5'-0" | CASEMENT |
| C | 5'-0"x6'-8" | SLIDING DOORWALL |
| D | 3'-0"x6'-0" | CASEMENT |
| E | 3'-0"x5'-0" | FIXED |
| F | 6'-0"x6'-0" | SLIDER |
| G | 6'-0"x6'-6" | FIXED/AWNING |
| H | 3'-0"x6'-6" | FIXED/AWNING |
| I | 6'-0"x5'-0" | SLIDER |
| J | 9'-0"x6'-6" | FIXED/AWNING |
| K | 9'-0"x5'-0" | TRIPLE SLIDER |



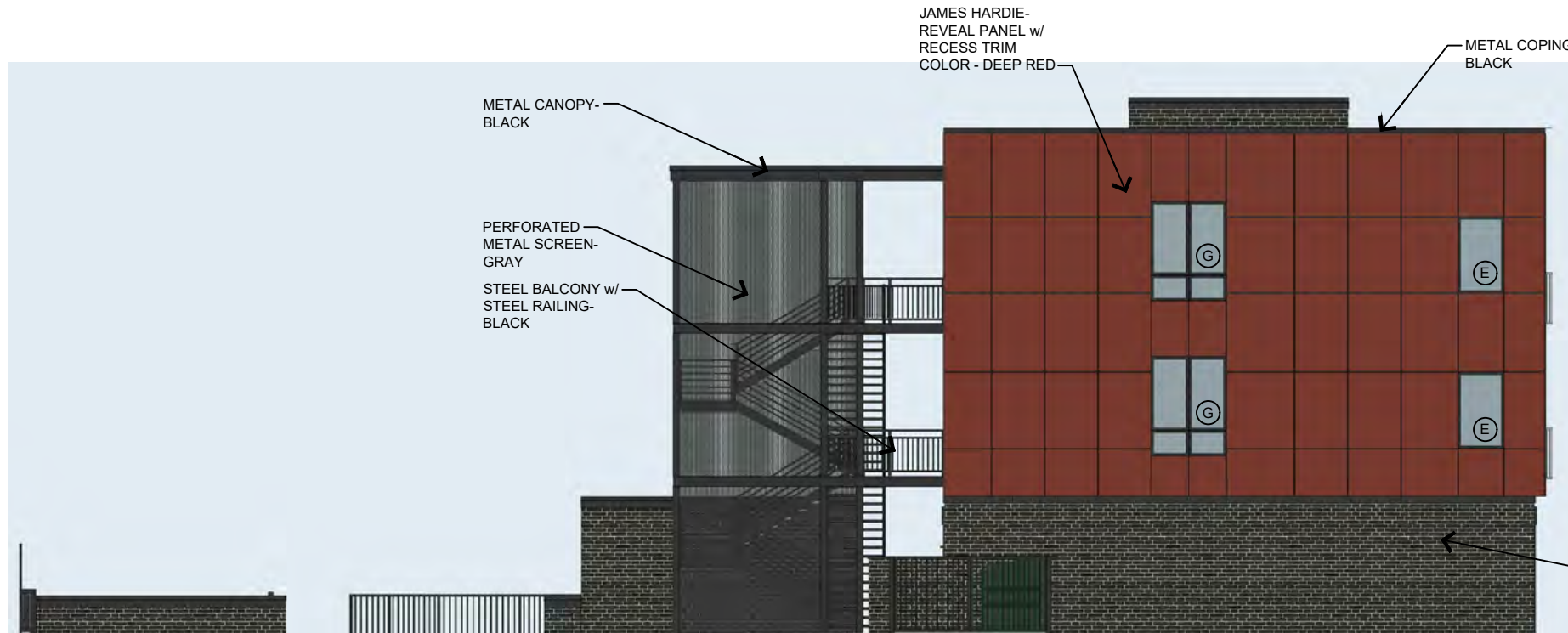
hvac ventilation louver at window
FLUSH (NON-PROJECTING) ALUMINUM - BLACK



southwest (side alley) elevation

EXTERIOR ELEVATIONS

3/32" = 1'-0"



northwest (rear alley) elevation

WINDOW TYPES

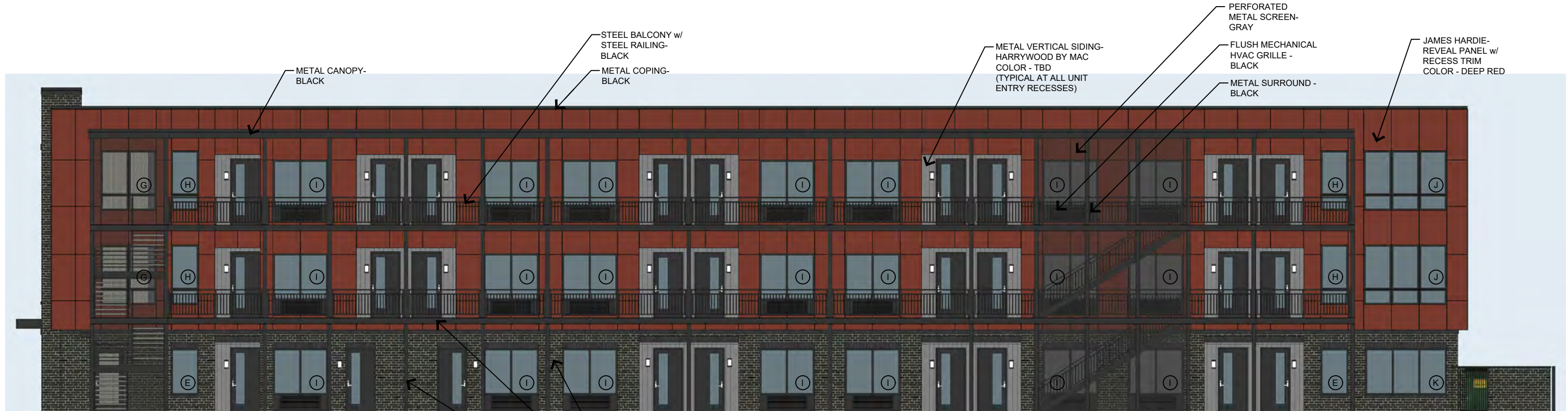
| TAG | SIZE | TYPE |
|-----|-------------|------------------|
| A | 5'-0"x5'-0" | SLIDER |
| B | 2'-6"x5'-0" | CASEMENT |
| C | 5'-0"x6'-8" | SLIDING DOORWALL |
| D | 3'-0"x6'-0" | CASEMENT |
| E | 3'-0"x5'-0" | FIXED |
| F | 6'-0"x6'-0" | SLIDER |
| G | 6'-0"x6'-6" | FIXED/AWNING |
| H | 3'-0"x6'-6" | FIXED/AWNING |
| I | 6'-0"x5'-0" | SLIDER |
| J | 9'-0"x6'-6" | FIXED/AWNING |
| K | 9'-0"x5'-0" | TRIPLE SLIDER |



dwelling unit entry light fixture
GLACIER INTEGRATED LED WALL
LIGHT BY ARTIKA



hvac ventilation louver at window
FLUSH (NON-PROJECTING) ALUMINUM - BLACK



northeast (right) elevation



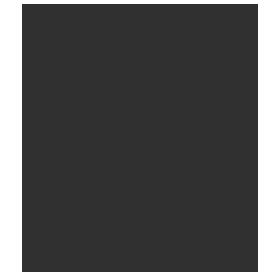
VESTA STEEL
PLANK SIDING-
IRONSTONE
AT UNIT ENTRY
ALCOVES



MCNICHOLS
EXPANDED METAL
MESH FOR STAIRWELL
SCREENING



JAMES HARDIE-
REVEAL PANEL w/
RECESS TRIM
COLOR - DEEP RED



steel egress balcony /
roof coping / windows /
doors



dwelling unit entries
THERMA TRU
FIBERGLASS DOOR PANEL



BRICK VENEER FACING -
GLEN-GERY CHARCOAL



juliet balcony

accent color palette
All materials to be of a non-reflective, matte
finish

dwelling unit windows
QUAKER WINDOWS
ALUMINUM CLAD

main building color palette

All materials to be of a non-reflective, matte
finish



684 W. Alexandrine

Ferlito Group - Alexandrine Apartments
664-676 W. Alexandrine

654 W. Alexandrine

640 W. Alexandrine

street south elevation



view from the southeast

Alexandrine Apartments
664-676 W. Alexandrine Street
Historic District Commission Submittal



view from the southwest

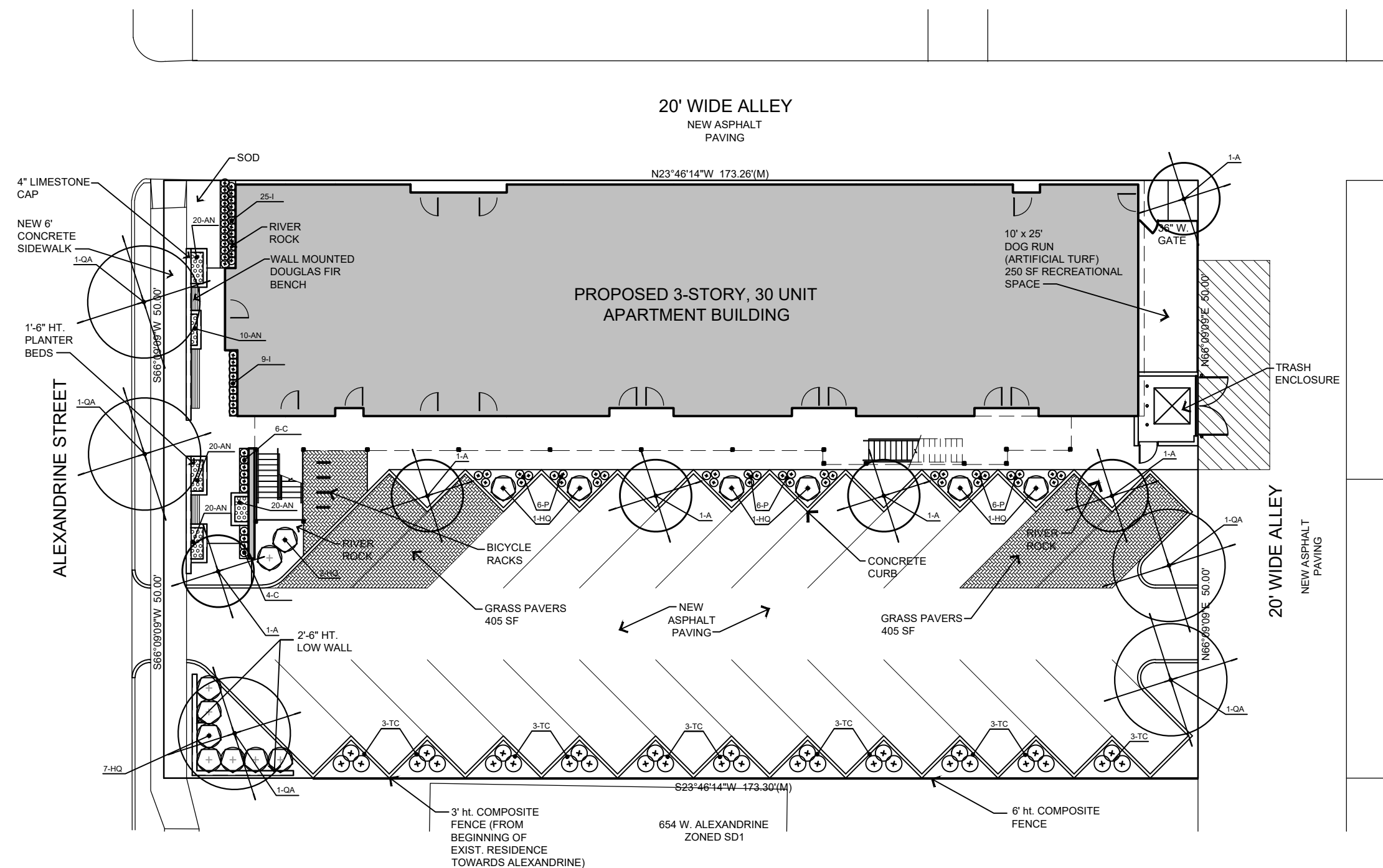
Alexandrine Apartments
664-676 W. Alexandrine Street
Historic District Commission Submittal

| PLANT LIST | | | | | | |
|------------|-----|-----------------------------|--------------------------------|---------|-----------|----------------|
| SYM. | QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOTS | COMMENTS |
| A | 6 | Amelanchier laevis | Allegheny Serviceberry | 10' Ht. | B&B | Multistem |
| AN | 90 | Annuals | Annuals | 24 Cell | Flat | Plant 6" O.C. |
| C | 10 | Calamagrostis 'Cheju-Do' | Dwarf Feather Reed Grass | 1 Gal. | Container | Plant 36" O.C. |
| HQ | 15 | Hydrangea quercifolia | Oakleaf Hydrangea | 24"-30" | Container | Plant 48" O.C. |
| I | 34 | Imperata Cylindrica 'Rubra' | Japanese Red Baron Blood Grass | 1 Gal. | Container | Plant 18" O.C. |
| P | 30 | Panicum Virgatum | Switch Grass | 1 Gal. | Container | Plant As Shown |
| QA | 5 | Quercus alba | White Oak | 3" Cal | B&B | Plant As Shown |
| TC | 33 | Taxus cuspidata 'Monloo' | Emerald Spreader Japanese Yew | 24"-30" | B&B | Plant 36" O.C. |

IRRIGATION:
ALL LANDSCAPED, ROW AND SODDED AREAS TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

INTERIOR LANDSCAPESPACE REQUIREMENTS
REQUIRED:
(25-100 SPACES) 18 SF PER PARKING SPACE
23 PARKING SPACES x 18 SF = 414 SF
AND 2 SHADE TREES

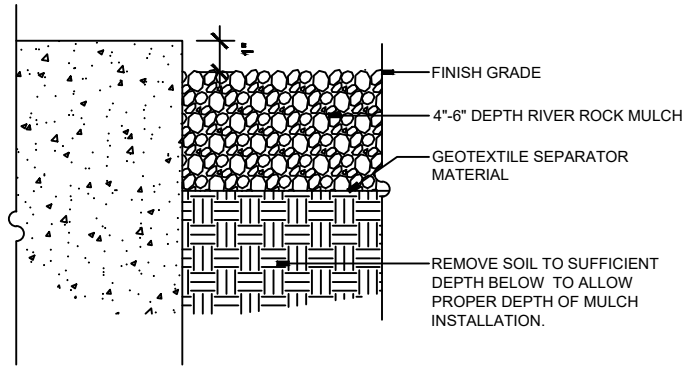
560.1 SF PROVIDED WITH 3 SHADE TREES



landscape plan



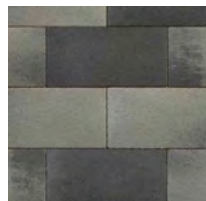
SAMPLE IMAGE



3/LS101 river rock mulch detail



SAMPLE PATTERN



SWATCH

2/LS101 brick paver material and detail

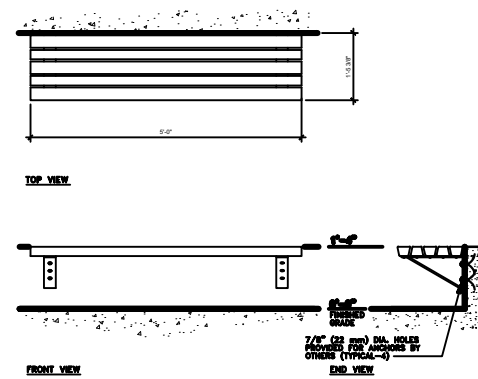
UNILOCK: NUVOLA



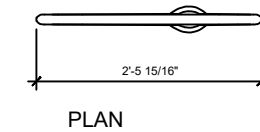
PRODUCT IMAGE

wall mounted bench detail

TIMBERFORM GREENWAY
MODEL NO. 2144-6
WALL-MOUNT SEAT



AVAILABLE IN 6' (SHOWN) NOMINAL LENGTHS.
OTHER LENGTHS AVAILABLE UPON REQUEST.



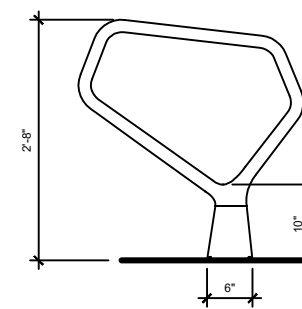
PLAN



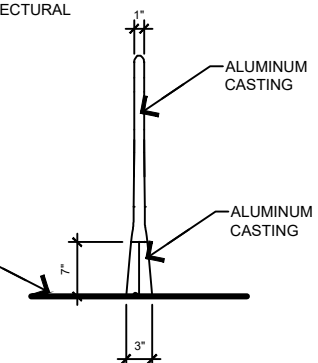
PRODUCT IMAGE

EMBEDDED OPTION INCLUDES TWO EACH:
M12 x 1.75 THREADED RODS, 120 MM LENGTH
M12 x 1.75 HEAVY HEX NUTS
M12 FLAT WASHERS
ALL CARBON STEEL WITH MAGNI-COAT

INSTALL BIKE RACKS
AT 30' O.C.
REFER ARCHITECTURAL
SITE PLAN
FOR LOCATION



SIDE
ELEVATION



FRONT
ELEVATION

bicycle rack
LANDSCAPE FORMS: FGP BIKE RACK



ASPYRE
COLLECTION
by **JamesHardie** ®

Distinctive design engineered to last

Product Catalog



INTRODUCING THE
ASPYRE COLLECTION
BY JAMES HARDIE®

Artisan Shiplap Siding and
Reveal Panel with Reveal Surround Trim

REVEAL

Panel System™



SHAPE

WHAT'S NEXT

The Reveal® Panel System

expands modern design options with smooth, thick panels plus multiple trim and fastener products.



REVEAL® RECESS TRIM

- Provides clean, sharp shadow lines for a simple aesthetic
- Gives a sense of lightness to modern architecture



Reveal Recess Trim
Available primed



Reveal™ Countersunk Fasteners*
Compatible with primed panels

REVEAL® SURROUND TRIM

- Boldly frames the smooth, flat Reveal Panel
- Accentuates the modern industrial look



Reveal Surround Trim
Available in primed, clear anodized finish or with ColorPlus® Technology finishes**



Reveal™ Exposed Fasteners*
Stainless steel
Available in primed, clear anodized finish or with ColorPlus® Technology finishes**

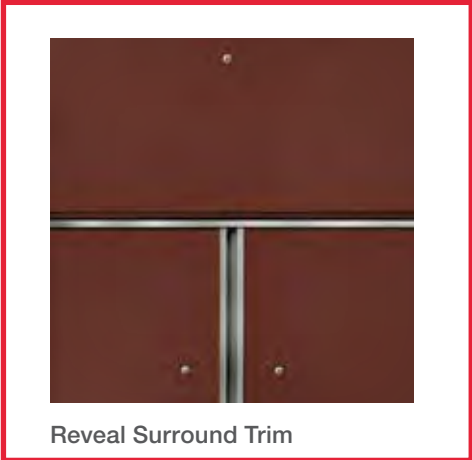
*Can be used with either Reveal Recess Trim or Reveal Surround Trim.

**Talk to your local rep about ColorPlus Technology availability in your market.

CREATIVITY IS IN THE DETAILS



Reveal Recess Trim



Reveal Surround Trim



Reveal Surround Trim



Reveal Exposed Fasteners



Reveal Countersunk Fasteners

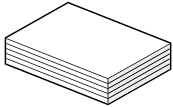

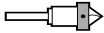
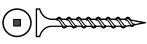
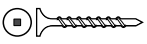

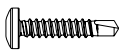
Customizable system allows you to mix and match compatible components.





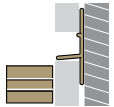
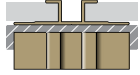
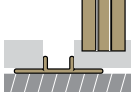
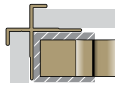

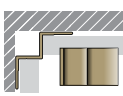

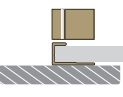
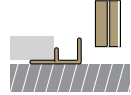
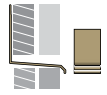
Reveal Panel and Reveal Recess Trim



Reveal Panel and Reveal Surround Trim

| Reveal® Panel | |
|---|---|
|  | <p>Thickness 7/16 in Width 47.5 in Length 95.5 in</p> <p>Available with ColorPlus® Technology finishes*</p> |
| Reveal Fastening Products | |
|  | <p>Countersunk Filler Filler usage rate for countersunk fastening application, 1 box of filler per 1 pallet (40 sheets) of Reveal Panels</p> |
|  | <p>Countersinking Bit Usage rate for countersunk fastening application, 1 unit per 1 pallet (40 sheets) of Reveal Panels</p> |
|  | <p>Countersunk Fasteners for Wood 1 5/8 in length x 0.39 in HD, 316 SS, Bugle Head Square Drive</p> |
|  | <p>Countersunk Fasteners for Steel 1 5/8 in length x 0.39 in HD, 410 SS, Bugle Head #2 Square Drive</p> |
|  | <p>Exposed Fasteners for Wood 1.5 in length x 0.189 in x 0.472 in HD, 10-12 SS, T20W Torx Pan Head</p> |
|  | <p>Exposed Fasteners for Steel 1.125 in length x 0.169 in x 0.472 in HD, T20W Torx Pan Head Self-Drilling</p> |

ADD DEFINITION TO YOUR DESIGN

| Reveal® Recess Trim Length 8 ft | Reveal® Surround Trim Length 8 ft |
|--|---|
|  |  |
| Outside Corner Trim | Horizontal Trim |
|  |  |
| Horizontal Trim | Vertical Trim |
|  |  |
| Vertical Trim | Outside Corner Trim |
|  |  |
| Drainage Flashing Trim | Inside Corner Trim |
|  |  |
| Horizontal Edge Trim | J Channel Trim |
|  |  |
| Vertical F Trim | Drainage Flashing Trim |

*Talk to your local rep about ColorPlus Technology availability in your market.

The Aspyre Collection by James Hardie™
expands your creative possibilities



ASPYRE
COLLECTION
by JamesHardie®

aspyredesign.com

Artisan V-Groove Siding

VĚSTĀ™
SPACE REDEFINED





SHIPLAP LOVE



VESTA EMBRACES THE DEPENDABLE, LONG- STANDING CONFIGURATION OF SHIPLAP WITH ITS COMMITMENT TO SMART, ENDURING DESIGN, CLEAN PROFILE, AND RELENTLESS PERFORMANCE AGAINST THE ELEMENTS.

For the past few years, our team at Quality Edge (QE) has been inspired and challenged by shiplap. Vesta embraces the dependable, long-standing configuration of shiplap with its commitment to smart, enduring design, clean profile, and relentless performance against the elements.

For hundreds of years, shiplap has brilliantly defended Nordic ships from the seas, coastal structures from the salty winds, and family

homes from ruthless weather environments. The typically wide, wooden shiplap is created by tightly fitting each timber together to make a continuous plank. These strong joints create a seal that stands up to all climate and weather conditions. The same joint that makes true shiplap weather-tight is what makes the style perfect for protecting a home.

With precision, Vesta reinvents the smooth, impervious joint of shiplap using modern metal—exchanging wood decay with eternal, indelible steel and giving architectural design a new classic silhouette. Building on the industry desire for a sleek, plank design with the performance of steel siding, Vesta has arrived to give your home a fresh new look.

Mark Bredewig is known for his engineering innovation and design savvy, and his craftsmanship and artistry have matured over the past 15+ years. The balance of innovation, engineering and design for which he is known came to life with Vesta.

THE ARTFUL EXTERIOR



MARK BREDEWEG
Industrial Design Engineer

“STAY CURIOUS.
WHAT CHALLENGES YOU
DEFINES YOUR PROCESS
AND INSPIRES SOLUTIONS.”

Q What was your inspiration in creating and developing Vesta?

A I was looking for something different from common siding profiles, but I also did not want to compromise on performance. That's when I started researching shiplap.

The distinguishing patterns (known as variegation) of real wood shiplap were what inspired me. My goal was to find a hand-drawn pattern that could mimic the real wood effect paired with a much stronger material—steel.

Q Knowing the challenges designers face when creating a new product, what kind of obstacles did you encounter?

A Just like fingerprints, each natural wood-cut panel is original in tone and grain variances, and can be even more particular in structure per species of wood. That uniqueness is a hard thing to recreate. After examining countless woodgrains, I decided we would need to draw and engineer our own design to capture the beauty of natural woodgrain.

Tricolor paint application was where we landed. Real woodgrains have highlights, mid-tones and dark grain structures. In order to achieve a similar grain effect, we implemented a new HD3 painting process, something never done before, which gave the realistic look I wanted up close and at long distances.

Q Was that enough to get the look the way you wanted it, or did the process evolve further from there?

A I knew pretty early on that one hand-drawn woodgrain would not be enough to save the design from predictable repeats and muddled striping. I began thinking through what it would be like to include a group of unique wood planks for each color to achieve the seemingly random, variegated look I was inspired by.

I started drawing and didn't stop. I ended up hand-drafting six individual woodgrain prints per color. Each is tonally and structurally unique, but similar enough that they harmonize when stacked together. Between design, testing product parts and fine-tuning woodgrain prints on the paint lines, the final product with its six variegated planks staggered up on a wall is stunning.

The whole process taught me to stay curious. What challenges you defines your process and inspires solutions. Keep asking questions, and you'll find the answers.



Air circulation is vital to structural fitness. Vesta engineering allows precise, healthy airflow without compromising needed defense from weather assaults, while providing nonstop underlayment defense where you need it most. You can breathe easier knowing your siding is too.



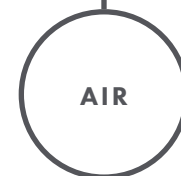
Vesta is uncompromising against moisture. Long, narrow stacking seams form a flat, element-resistant surface. Interlocking channels divert moisture away from seams, warding off any threat from water.



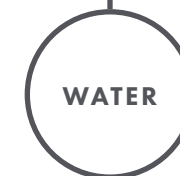
SUSTAINABLE DESIGN



Vesta steel is the fusion of iron and carbon, natural elements at home in our earth. It is planet-loving and 100% recyclable, and throughout the recycling process, Vesta steel enjoys strength beyond that of all other metals.



From the fires of the forge, steel is born to defend your home against anything Mother Nature can throw at it. With its Class A fire rating, Vesta is noncombustible and fire-resistant. Because of Vesta's rigorous testing, you can feel safe and at ease, knowing your home is protected.



VARIEGATED PANELS



HD3 WOODGRAIN

SUNMASTER PAINT SYSTEM

THE PROFILE

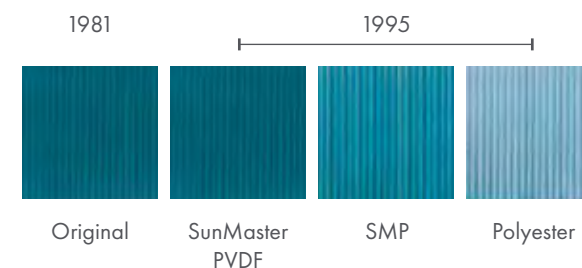


ENDURING BEAUTY

WHY NOT JUST ONE

Each color consists of six unique grain configurations designed to resemble the natural variation of stained woods that results when several features interact, including irregular grain, rays and color deposits on the surface of wood. And like real wood, it looks great up-close and at a distance.

BEAUTIFUL FOR GENERATIONS



STYLE IN EVERY DIRECTION

Vesta's patent-pending profile supports vertical and horizontal installation to accentuate any home—from siding to underdecking to porch ceiling and soffit. Staggered or structured seaming for varied texture and mix-and-match woodgrains offer limitless applications.

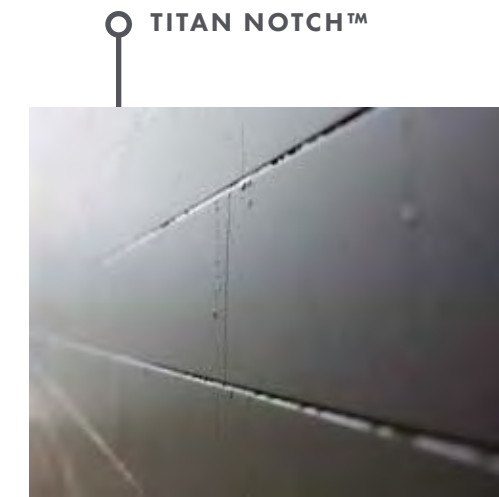
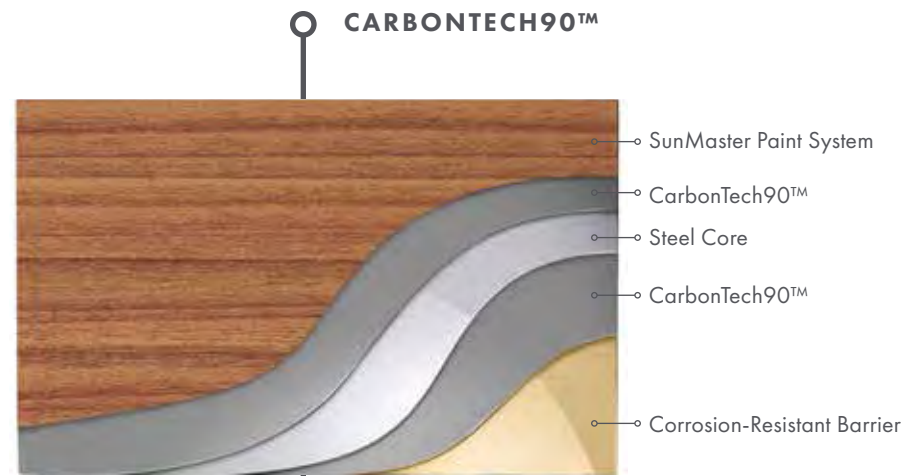
THREE WAS THE MAGIC NUMBER

HD3 is our patent-pending, high-definition, tricolor paint application that captures light, medium and dark woodgrain details, creating a multidimensional and naturally accurate look. Touching it is the only way to know it is steel.

SunMaster PVDF coating is a thermally set paint system that creates a thick film barrier, providing excellent resistance against wear, fade and chalking. After a 14-year outdoor exposure study,* the PVDF paint system looked virtually new. With our lifetime warranty, you are assured Vesta will always look as good as the day it was installed.

Note: Woodgrain colors have a SunMaster70™ coating, and solid colors have a SunMaster50® coating.

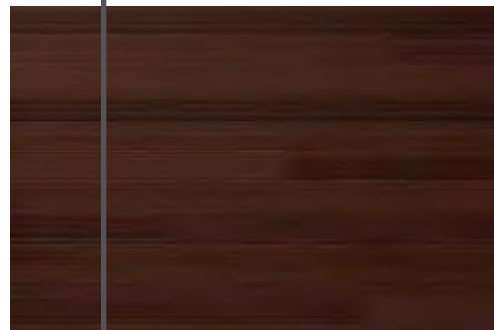
*Image source: Valspar PVDF Paint vs. SMP and other coatings.



SUNMASTER PAINT SYSTEM

STACK-LOCK™ INSTALL

FEEL-GOOD PERFORMANCE



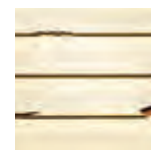
- VESTA**
- Wear-Resistant
 - Mold-Resistant
 - Low Thermal Conductivity
 - No Off-Gassing
 - Fire-Rated

LAYERING IS IN

Every square inch of Vesta is protected by CarbonTech90™, a metallurgically bonded zinc barrier that permanently and sacrificially seals it from the environment which prevents corrosion, galvanization and rusting.



REAL WOOD
Peeling, Rotting, Pests, Mold



VINYL
Cracking, Fading, Mold, Melting, Off-Gassing



FIBER CEMENT
Cracking, Fading, Off-Gassing

LOOKS COOL, KEEPS YOU COOL

Not only does SunMaster keep your home looking good, it also provides excellent resistance against wear, abrasion and mold. SunMaster possesses low thermal conductivity, saving you from spiking seasonal energy bill costs and the desaturating effects of UV damage. With zero off-gassing properties and the ability to self-extinguish from fire, Vesta is technologically engineered to weather the most unpredictable situations life can invent. Vesta is peace of mind.



EASY DOES IT

Vesta's stacking panels provide a consistent reveal whether installed vertically or horizontally. Stacking panels are specially contoured to provide swift and gap-free assembly.

COME RAIN OR SHINE

Vesta is engineered to provide a triple-threat weather defense. First, long, narrow stacking seams form a flat, element-resistant surface. Second, built-in breathing ducts promote air circulation between joint seams and behind the building surface. And finally, interlocking pieces form element-tested channels designed to divert moisture out of and away from the surface seams.



IRONSTONE



THE LOOK

- Vesta Plank in Ironstone
- Vesta Plank as porch ceiling and siding in Gilded Grain
- Fascia, drip edge and window trim in Black



THE PERFECT COMBINATION

CITYLINE



- Structural Performance
- Thermal Performance
- Sound Performance
- IDEA Essentials

OPTICORE TECHNOLOGY DESIGN

OptiCore Technology™ is Quaker's Patent Pending design technology that allows a single framing system to offer both a wood or aluminum interior and generate performance, thermal and STC that set it apart from other wood, aluminum and even vinyl windows thermally.

AMBERLINE

YOUR CHOICE



WOOD

Wood Windows That Endure

The TimberLine Wood Window Series truly is the evolution of wood windows. Specially designed and engineered to create a long-lasting, window that offers the beauty of wood in combination with advanced OptiCore Technology that ensures superior thermal and structural performance while offering a myriad of IDEA options for your home.



*Wood Interior
Architectural Grade Aluminum Exterior*

ALUMINUM

The Evolution Continues

The CityLine Series of windows provides a unique balance of strength, energy efficiency, innovative design and performance. By leveraging our 100+ years of advanced architectural design, engineering expertise and manufacturing capabilities we are able to deliver the next generation of thermally enhanced residential architectural grade aluminum windows featuring OptiCore technology.



*Architectural Grade Aluminum Interior
Architectural Grade Aluminum Exterior*

STRONG. BEAUTIFUL. ENERGY EFFICIENT.

CityLine and TimberLine Windows

All this and more can be yours with the CityLine and TimberLine Series of Windows featuring OptiCore Technology from Quaker. So many options with so many different design possibilities.

Superior Structural Performance

Quaker CityLine and TimberLine windows offer superior structural performance. For homeowners,

challenge in the past was that they had to compro-

that offered strength and durability. The same was

selecting windows. Now, compromise is eliminated with OptiCore Technology enhanced windows.



Advanced Thermal Performance

than it has ever been. Lower fuel bills, healthier environment with the reduction in greenhouse gas emissions, better home insulation, tax credits and

TimberLine windows provide superior thermal performance,

Excellent STC-Sound Performance

fect your comfort levels and even your sleep patterns. One of the easiest ways to reduce outside noise pollution and afford you more inside sound privacy is with Quaker windows featuring OptiCore technology. Our windows help to create a more comfortable and healthier environment for you and your family by offering a variety of glass packages designed to reduce sound transmitted through your windows.





IDEA ESSENTIALS

Innovative Design Enhanced Adaptability

CityLine and TimberLine Windows

The Quaker IDEA Essentials offer you

without compromising strength, durability or . Wood or Aluminum Interior. Aluminum exterior. Different colors. Imagine large beautiful rich looking wood windows on the interior of your home and sleek Agate Grey aluminum windows for the exterior. Or you may prefer New Bone White Aluminum windows on the interior and Moss Green Aluminum windows on the exterior. Whatever you envision, Quaker has the IDEA Essentials to turn it into reality.



Interior and Exterior Features

Select a modern square or more traditional beveled glazing system with internal grids, or SDL "Simulated

style. For larger windows, OptiCore windows feature contemporary low

designed for maximum ease of operation.

Size and Combination Flexibility

Assorted combinations and sizes offer you expansive views, more natural daylight and the ability to enjoy your outside environment year round from the comfort of your home. Quaker OptiCore windows feature larger size and combination options while maintaining the performance levels of a commercial rated architectural product.

Installation Options

CityLine and Timberline windows offer a variety of labor saving installation options that can save you money, installation time and enhance the long lasting performance of your windows.

**Patent Pending*



THE QUAKER DIFFERENCE FOR 70 YEARS

The Quaker Difference seal and promise is a standard of quality, engineering, craftsmanship and innovation that Quaker builds into every window and door. It is that attention to detail and manufacturing excellence that distinguishes Quaker from all other window and door companies in America. It is providing more than windows, it's providing the "Right Solution" for our customers.



Aluminum Colors
34 Quick Pick Colors —
11 Popular Colors, 16 Impressive
Colors, 7 Resembles Colors and
unlimited custom colors

Wood Colors
Colors

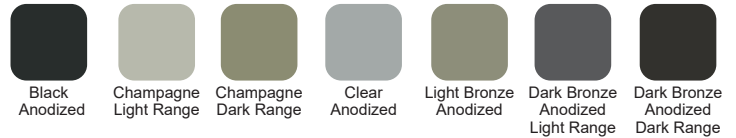
POPULARS



IMPRESSIVES



RESEMBLES



* Note: Although every effort is made, printed colors may not accurately reflect the actual paint color. For an exact color match, please contact your Quaker dealer for an actual color sample. Quaker does not assume any responsibility for any misrepresentations of our colors.



An American Company
founded in 1949.



Learn more about
Quaker Windows

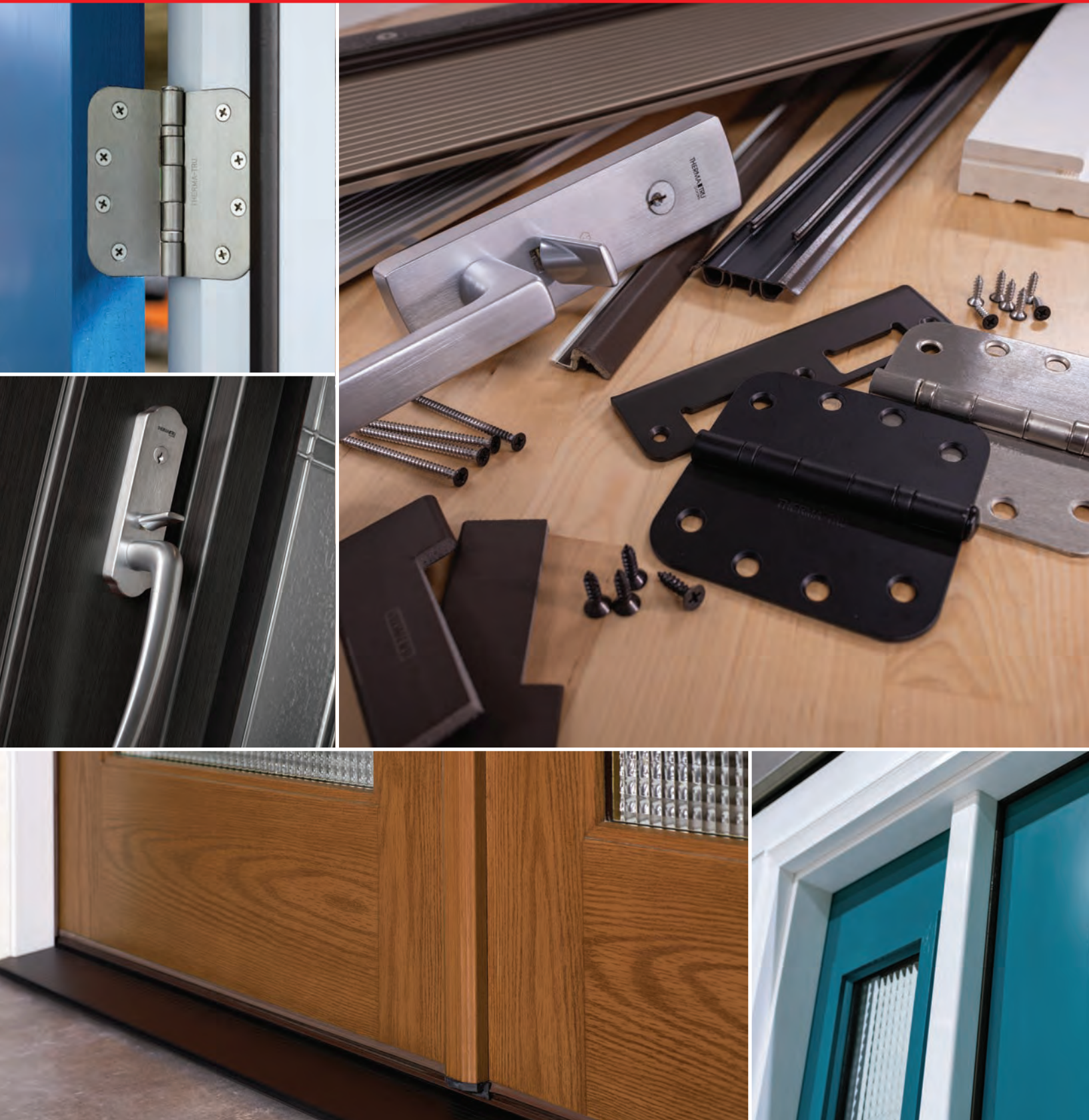


QUAKER
RESIDENTIAL WINDOWS & DOORS

www.QuakerResidentialWindows.com
www.QuakerWindows.com
1-800-347-0438

A Complete Door System

THERMA TRU
DOORS

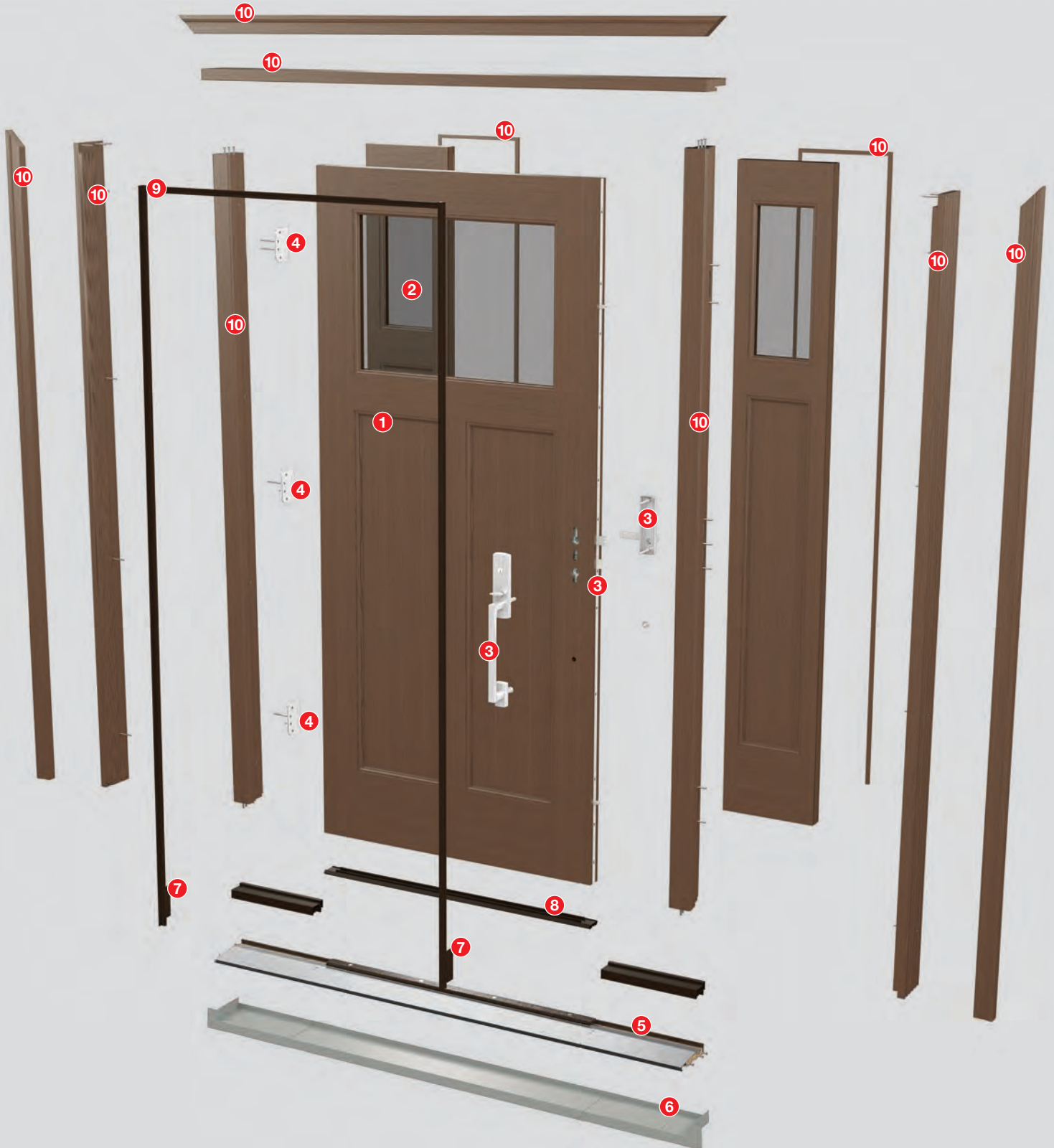


Uncompromising quality, inside and out.

Engineered to work together.

A Therma-Tru® door system with genuine Therma-Tru components is engineered with craftsman precision to help provide weather resistance and energy efficiency. So when a homeowner chooses a complete Therma-Tru door system, you can be confident it will perform as exceptionally as it looks.

Therma-Tru specifies all of the components to work together at the most critical points where an ordinary door system's performance can fail, letting in air and moisture.



A Complete Door System



- 1 Fiberglass Door Panel**
Delivers years of low-maintenance durability. Unlike wood, fiberglass will not warp or rot. Unlike steel, it will not dent or rust.



- 7 Corner Seal Pads (Inswing Only)**
Fit securely behind the weatherstrip to help block wind-driven moisture infiltration at the bottom corner of the door system.
More on page 20.



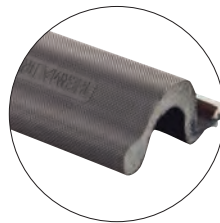
- 2 Glass**
Welcomes natural light into the home and is available in a variety of styles, many featuring triple-pane construction.



- 8 Bottom Sweeps (Inswing Only)**
A dual-bulb, dual-fin design helps maintain tight contact with adjustable sill caps and creates added barriers against moisture.
More on pages 15–17.



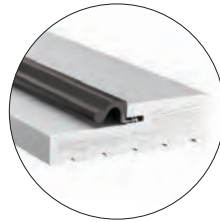
- 3 Multi-Point Locking System (Recommended)**
Engages the door and frame at three points from top to bottom for enhanced sealing and security.
More on pages 22–24.



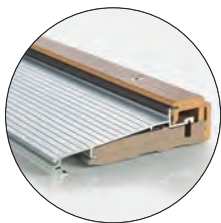
- 9 Weatherstrip**
Features a resilient design to help deliver a precise seal between the door and frame.
More on page 21.



- 4 Hinges**
Ensure smooth operation and position the door so it creates a tight seal with the weatherstrip when closed.
More on page 19.



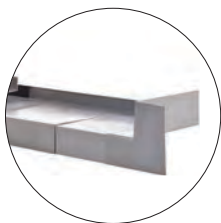
- 10 Composite Door Frame***
Provides a rot-free solution that delivers extra protection from the damaging effects of moisture.
More on pages 10–13.



- 5 Sills**
Provides a solid stepping surface and forms a tight seal at the bottom of the door system to help channel moisture away from the home.
More on pages 14–18.



- Astragals**
Cover the margin between double doors to help complete the seal against air and moisture infiltration, with aluminum construction for stability, holding power and durability.
More on page 25.



- 6 Sill Pan**
Adds an extra layer of protection to help keep moisture away from the subfloor.
More on page 15.

Need help determining which parts you need for your Therma-Tru door system?
See pages 26–27 for more information.

Backed by our lifetime limited warranty.

We can stand behind more parts and for longer than most other door companies because we make or specify everything that goes into our door systems. The homeowner has one source, Therma-Tru, to turn to if an issue arises with the door system.¹ Other companies either don't warrant as many parts of the door system or warrant them for a shorter period of time. That could leave the homeowner without coverage and confused about who to turn to if issues arise.





Warranty Coverage



| | Door Panel | Glass & Lite Frame | Multi-Point Locking Mechanism ² | Sill & Hinges ² | Corner Seal Pads ³ | Bottom Sweep ³ & Weatherstrip ³ | Composite Door Frame* |
|---|------------------------------------|------------------------------------|--|------------------------------------|------------------------------------|---|--|
| Therma-Tru. Classic Craft. 1x Transferable Lifetime Limited Warranty | LIFETIME 1x Transferable | LIFETIME 1x Transferable | LIFETIME 1x Transferable | LIFETIME 1x Transferable | LIFETIME 1x Transferable | LIFETIME 1x Transferable | LIFETIME 1x Transferable |
| Therma-Tru. Fiberglass Doors Lifetime Limited Warranty | LIFETIME | LIFETIME | LIFETIME | LIFETIME | LIFETIME | LIFETIME | LIFETIME + 10 Year Transferable Warranty Rider |
| Other Fiberglass & Wood Door Companies' Warranties | 1 Year–Lifetime | 0–20 Years | 0 Years | 0 Years | 0 Years | 0 Years | 0 Years–Lifetime |

Note: See your Therma-Tru seller or visit www.thermatru.com for details on ENERGY STAR qualified products and for details on limited warranties and exclusions.

*See your Therma-Tru seller for details on product availability.

¹Excluding improper assembly of components into a door system by the distributor, dealer, builder or remodeler, and the installation of the door system.

²Excluding installations within 5 miles of a body of salt water and the finish.

³Excluding normal wear and tear.



Contributing to an energy-efficient home.



More than 80% of Therma-Tru® door and glass options are ENERGY STAR® qualified, contributing to an energy-efficient home. By helping to keep heating and air conditioning sealed in the house, a complete door system can provide a boost to home energy efficiency.

*Manufacturer's Test Facility Quality Assurance Validation Program, Architectural Testing, Inc.
Note: See your Therma-Tru seller or visit www.thermatru.com for details on ENERGY STAR qualified products.

Quality tested to meet tough expectations.

Genuine Therma-Tru® components are put through multiple rigorous tests to help ensure that they will live up to a homeowner's toughest quality and performance expectations. We even have our own engineering lab – approved to perform specific test methods with a third-party witness* – as part of our ongoing commitment to ensuring that our products live up to our high standards for durability and reliability.

Tested for endurance.



The door is opened and closed repeatedly. The slam test is performed to commercial standards (AAMA 920), which are stricter than residential requirements, to help ensure long-lasting durability and reliability.

Confidence on the coast.



Components are immersed in a simulated salt water fog. The salt fog immersion test (ASTM B117) simulates a highly corrosive atmosphere to help ensure that components with metal finishes resist corrosion.

Ready for winter weather.



Exposing our glass to weather-like conditions helps verify that moisture and condensation will not get trapped inside.

Resists deterioration and color fading.



Components are subjected to accelerated amounts of UV (ultraviolet) light. Our QUV test helps ensure that weathersealing components and components with a colored finish resist deterioration and color fading with exposure to direct sunlight.

Tough when you need it.



A heavy object is repeatedly rolled back and forth over the sill. Our barrel roll test simulates moving household appliances in and out of the house on a dolly. This test helps ensure the long-lasting durability and reliability of our sills.

Strength in a hurricane.



Our Impact-rated doors pass a large missile impact test. We blast a 9 lb. 2" x 4" stud into the doors at 34 mph to prove they're the better choice for strength and stability.

Superior sound dampening.



Therma-Tru Sound Transmission Class- (STC) rated Noise Reduction doors deliver aesthetics with a commercial level of performance for residential projects.

High power testing.



Design Pressure (DP) ratings are based on a Therma-Tru door system's performance in Structural Wind Load. As an example: A DP-50 structural performance rating indicates that the door system has passed a structural test pressure of 75 lbs. per sq. ft. which is equal to a 165 mph wind.



Tru-Defense® Warranty Rider


A Therma-Tru® door system with Tru-Defense system components is a high-performing door system backed by a lifetime limited warranty and a comprehensive Tru-Defense Warranty Rider.



Tru-Defense: The Ultimate Protection

More than beautiful doors and glass; a complete door system includes the components used to assemble it. We manufacture or specify every aspect of a complete door system. The Therma-Tru® genuine components in a Tru-Defense door system are our premium options for long-lasting durability.

Double Your Peace of Mind

When it comes to door systems, we believe that proper installation is just as important as having the best components. A Tru-Defense door system installed by a Therma-Tru Certified Door System Installer doubles your reimbursement eligibility should an issue arise.* Look for the  icon.

CERTIFIED
DOOR SYSTEM
INSTALLER



*The Rider does not warrant workmanship of anyone who assembles or installs a Tru-Defense door system, including Therma-Tru Certified Door System Installers, nor any damages caused by improper handling, assembly or installation.

**See the Tru-Defense warranty rider for complete details on qualifying components.

***Latch and deadbolt must meet Therma-Tru specifications.

Note: See your Therma-Tru seller or visit www.thermatru.com for details on limited warranties and exclusions.

Required Components for Tru-Defense Door System** with Therma-Tru Fiberglass Door Slab & Components



Door Frame ✚
Provides a solid structure for the door slab and components.
Recommended: Therma-Tru Composite Door Frame



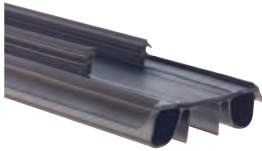
Corner Seal Pads ✚
(Inswing Only)
Fit securely behind the weatherstrip to help block wind-driven moisture infiltration at the bottom corner of the door system.



Composite Adjustable Sill ✚
Provides a solid stepping surface and forms a tight seal at the bottom of the door system to help channel moisture away from the home.



Weatherstrip ✚
Features a resilient design to help deliver a precise seal between the door and frame.



Bottom Sweep ✚ (Inswing Only)
A dual-bulb, dual-fin design helps maintain tight contact with adjustable sill caps and creates added barriers against moisture.



Astragal ✚ (Double Doors)
Cover the margin between double doors to help complete the seal against air and moisture infiltration, with aluminum construction for stability, holding power and durability.



Hinges ✚
Ensure smooth operation and position the door so it creates a tight seal with the weatherstrip when closed.



Rain Guard ✚
(Outswing Only)
Creates a barrier at the top of the door to protect against moisture infiltration.

Recommended Components



Multi-Point Locking System ✚
(MPLS)
Engages the door and frame at three points from top to bottom for enhanced security and sealing.

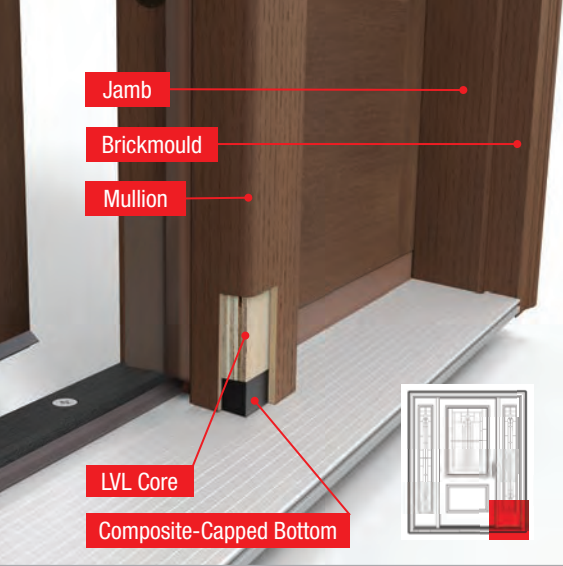


Sill Pan ✚
Adds an extra layer of protection to help keep moisture away from the subfloor; protects flooring by catching and draining water in the event of infiltration.

Levels of Reimbursement

| System Components | Reimbursement Eligibility | NEW Reimbursement Eligibility with a Certified Installer |
|-----------------------------------|-----------------------------|--|
| Latch & Deadbolt (No Sill Pan)*** | \$250 | \$500 |
| Latch & Deadbolt with Sill Pan*** | \$500 | \$1,000 |
| MPLS (No Sill Pan) | \$1,000 | \$2,000 |
| MPLS with Sill Pan | \$1,250 New for 2021 | \$2,500 New for 2021 |

Baseline components required to qualify for the Tru-Defense Warranty Rider. Look for components with the ✚ icon.



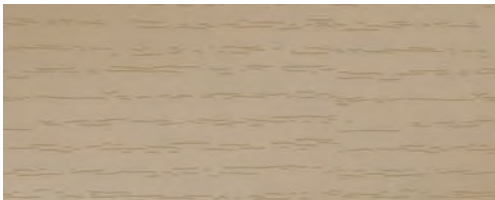
Composite Door Frame* featuring Tru-Guard™ Composite Technology

Therma-Tru® composite door frame featuring Tru-Guard™ composite technology provides a rot-free solution engineered to work together with rot-resistant Therma-Tru doors and components.

- Delivers extra protection from the damaging effects of outside elements for peace of mind.
- Eliminates the risk of rot and wood-ingesting insects with a durable composite material that is virtually maintenance free. Rot-free door frame does not absorb moisture and resists mold, mildew and fungus.



Available Textures



Buff Grained Ready to finish.

- Features a universal wood grain to complement a wide range of grain species.
- Stain or paint to complement the entry – no sanding or priming required.



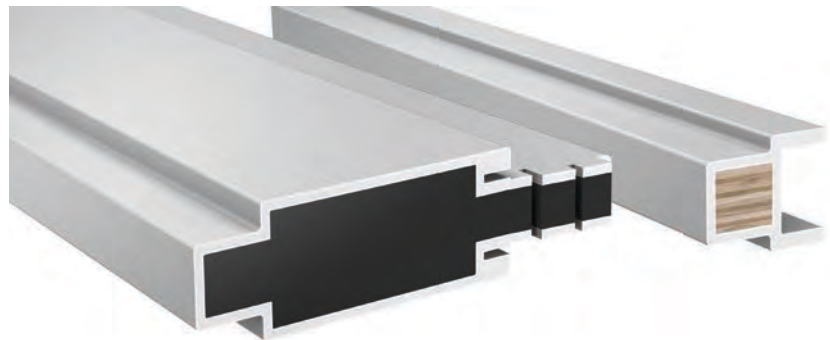
White Smooth Ready to install. Ready to finish.

- Features a matte finish similar to painted wood and includes a protective layer with UV inhibitors to help resist yellowing and fading.
- Ready to install as-is – no painting required. Or finish with stain or paint to complement the entry – no sanding or priming required.



Reinforced Mullions

Provide additional structural support and stability. All mullions are reinforced with a co-extruded **A** LVL core to provide additional structural support and stability and feature a **B** composite-capped bottom to eliminate the risk of water absorption and maintain a rot-free composite exterior.



NEW Storm Door-Ready Mullion & Adaptor

Innovative design helps reduce time, labor and inventory complexity while simplifying the storm door installation process.

- Storm door-ready mullion is available for common depths of 4-9/16" and 6-9/16".
- A storm door-ready mullion adaptor is also available for unique depths up to 7-9/16".

*See your Therma-Tru seller for details on product availability.

Note: See your Therma-Tru seller or visit www.thermatru.com for details on available product sizes and options, limited warranties and exclusions, and Rider.

Interior

Exterior



1 Brickmould
(Exterior)

2 Jamb

3 Mullions

4 Cove Mould
(Interior)

5 Transom Sill
(Exterior)

Therma-Tru Products & Applications

Composite Door Frame
+ Classic Craft® Door
+ Components

Warranty

For First Homeowner



Frame + Door + Components

Warranty Riders

Transferable 1x to Second Homeowner

Lifetime 1x Transferable
Full-System Rider

Frame + Door + Components

Composite Door Frame
+ Fiber-Classic®, Smooth-Star®,
Pulse. Fiberglass Door + Components



Frame + Door + Components

10-Year Transferable
Full-System Rider

Frame + Door + Components

Composite Door Frame Only



Frame Only

Therma-Tru® Composite Door Frame Parts

See your Therma-Tru seller for a full list of available product sizes and options.

Jambs

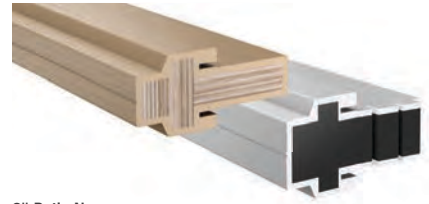


4-1/8"
4-9/16"
5-1/4"
6-9/16"
7-1/4"

Mullions



2" Entry Narrow
2-1/2" Entry Wide



2" Patio Narrow
2-1/2" Patio Wide

Trim



2" Brickmould WM180



1-5/8" Florida Brickmould WM176



NEW SIZE
3-1/2" x 1" Flat Casing

Mull Casing



1-15/32" x 1-1/16"



1-7/32" x 7/32"



2-15/16" x 1-1/16" *Buff grained only.*
2-15/16" x 3/8" *Buff grained only.*

NEW Storm Door-Ready Mullion Adaptor



2" x 1-11/16"
(Extends storm door ready mullions by 1-1/4")

Storm Door Adaptor



4-9/16" Base Adaptor
Face Adaptor
(Use 1-15/32" x 1-1/16" Mull Casing)



6-9/16" Base Adaptor

Screen Track Cap



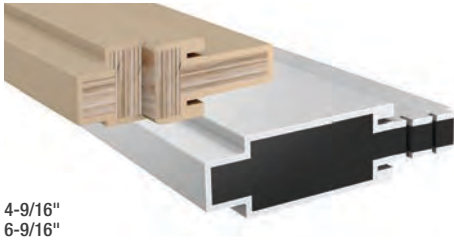
1-13/32" x 9/16"

Fasteners, Setting Tool & Screw Plug Covers




Screw plugs are available on a collated strip for ease of installation and finishing.

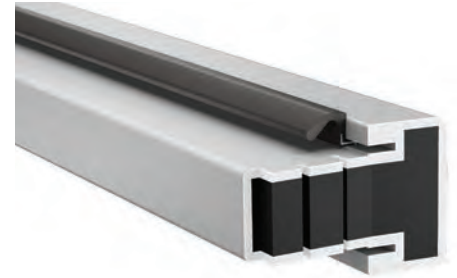
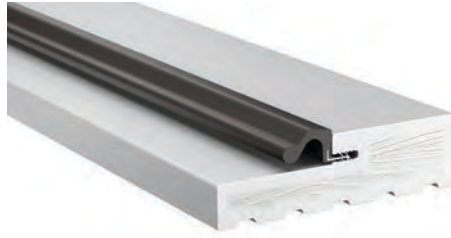
NEW Storm Door-Ready Mullions



4-9/16"
6-9/16"

Pre-Inserted Weatherstrip Option

Select white smooth composite jambs and mullions, pre-machined for hinges and locks, are available with a convenient pre-inserted weatherstrip option for a quicker install. Look for the () icon.



7/16" x 5/16" Cove Mould



Transom Sills



4-9/16"
6-9/16"

Code-Compliant Options

Therma-Tru composite door frame delivers the durability and reliability you expect from Therma-Tru with options to meet select national and local building code requirements.*



Impact-rated to meet high-wind and coastal region codes and regulations, offering excellent performance in extreme weather conditions while providing added protection.*



20-minute Fire-rated to meet most national and local code requirements for house-to-garage, multi-family residential and hotel / motel unit entries.*

Protection From the Elements



Resists Moisture & Humidity

Composite door frames feature completely composite exteriors that resist humidity and moisture to help eliminate the risk of swelling and cracking.



Resists Mold & Rot

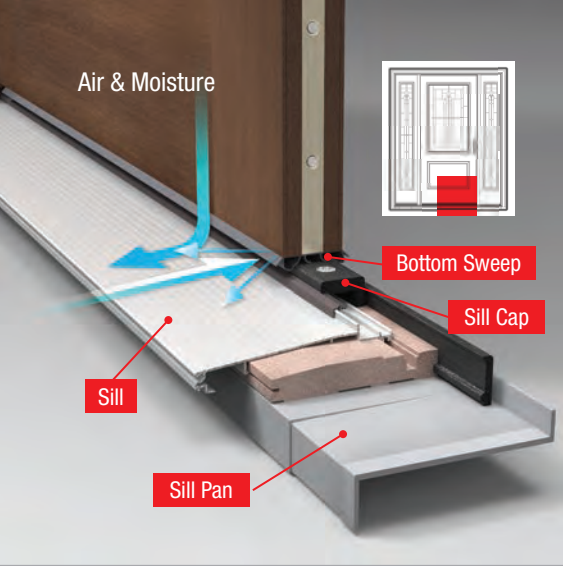
A composite door frame does not absorb or retain moisture helping to eliminate the risk of mold and rot.



Resists Insects

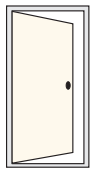
With no exposed wood, Therma-Tru composite door frames help protect from wood-ingesting insects.

*To confirm code requirements in your jurisdiction, always check with your local building code authority. Note: See your Therma-Tru seller or visit www.thermatru.com for product approvals and installation instructions. Always confirm building code requirements in your area before buying. Follow weather and news reports to assess severe weather situations and obey local authorities' shelter and evacuation orders. No product guarantees safety for persons or property, nor makes any premises hurricane- or impact-proof. To see full results of third-party Intertek, Warnock-Hersey testing, visit www.thermatru.com/performance data.



Sills, Bottom Sweeps, Sill Pan & Sill Covers

Genuine Therma-Tru® sills and bottom sweeps help form a tight seal against wind-driven moisture infiltration at the bottom of the door system and help channel moisture away from the home. The sill pan (recommended) adds an extra layer of protection to help keep moisture away from the subfloor.



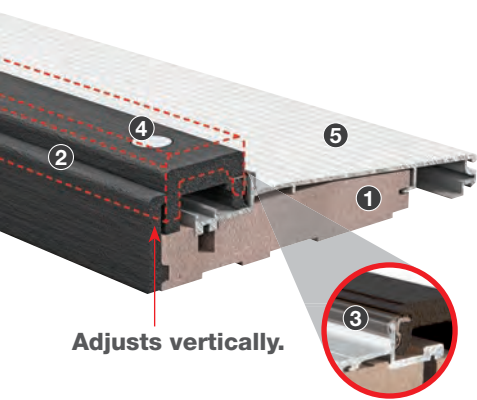
Inswing Sills

- Designed to mate with our inswing bottom sweeps to help seal the margin between the door and sill.
- Help channel moisture away from the home with a 6-degree sloped ramp.
- Help provide a solid stepping surface with a slip-resistant tread pattern on the approach.
- A thermal break helps stop cold and heat from traveling through the sill and forming condensation inside the home.
- Offered in a variety of materials with features to meet the needs of different climates and exposures.

See finish options on page 18.

Adjustable for long-lasting performance.

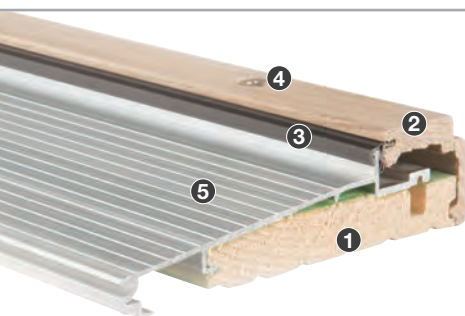
Genuine Therma-Tru sills are engineered with features to help minimize the potential for leaks and drafts. Our adjustable sills allow the sill cap to adjust vertically to close gaps over time, helping to maintain a tight seal between the sill and bottom of the door.



Composite Adjustable Sill

- 1 Extra thick, continuous all-composite substrate.
- 2 Thick, through-colored composite cap and nosing, featuring a wood-grained appearance.
- 3 High-dam, narrow cap mates with the dual-bulb bottom sweep to deflect moisture away from the cap; engineered U-shaped weather seal creates an added barrier against wind-driven moisture.
- 4 Flush-fitting, premium screws form an uninterrupted sealing surface, resist corrosion, and adjust the cap to help maintain a tight seal.
- 5 Thick, 15-gauge aluminum approach provides excellent durability.

Note: Continuous length available with spread mullion capability to fill 49"-75" rough openings. See the Therma-Tru 2021 Architectural Details & Components manual for actual unit size specifications.

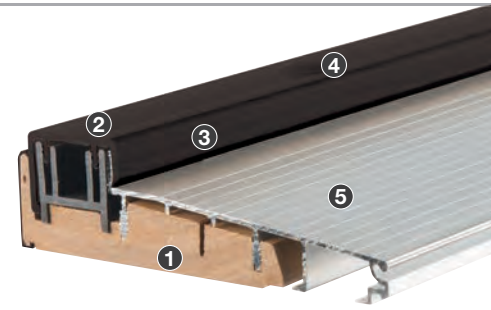


Hardwood Adjustable Sill

- 1 Continuous moisture-resistant treated Pine substrate provides a solid stepping surface and resists rot.
- 2 Durable hardwood cap and nosing stands up to wear and can be stained to match the door and trim.
- 3 High-dam, narrow cap mates with the dual-bulb bottom sweep to help deflect moisture away from the cap; engineered U-shaped weather seal creates an added barrier against wind-driven moisture infiltration.
- 4 Flush-fitting zinc dichromate screws form an uninterrupted sealing surface, resist corrosion, and adjust the cap vertically to help maintain a tight seal over time.
- 5 Thick, 15-gauge aluminum approach provides excellent durability and a solid stepping surface.

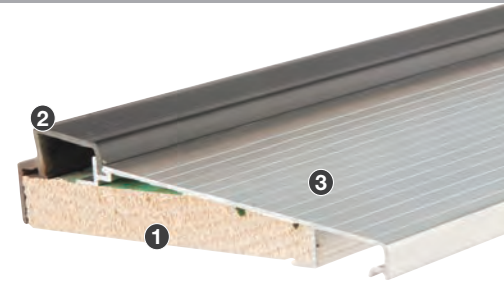
Basic Composite Adjustable Sill

- ❶ Continuous moisture- and insect-resistant all-composite injection molded substrate provides a solid stepping surface and superior rot-resistance.
- ❷ Moisture- and insect-resistant composite cap and nosing resists rot.
- ❸ High-dam cap mates with the dual-bulb bottom sweep to help deflect moisture away from the cap.
- ❹ Zinc dichromate screws with removable screw caps adjust to help maintain a tight seal over time.
- ❺ Thick, 15-gauge aluminum approach provides excellent durability and a solid stepping surface.



Basic Fixed Sill

- ❶ Continuous moisture-resistant treated Pine substrate provides a solid stepping surface and resists rot.
- ❷ Slanted cap and nosing mates with the single-bulb bottom sweep to help form a tight seal.
- ❸ 17-gauge aluminum approach provides a solid stepping surface.



Inswing Bottom Sweeps

- Designed to mate with our inswing sill caps to help seal the margin between the door and sill.
- Kerf-applied to fit securely into the bottom of the door to help protect against moisture penetration.
- Heavy-duty material resists deterioration, holding its shape to help maintain contact over time.



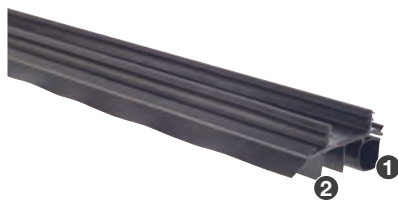
Kerf-Applied Dual-Bulb / Dual-Fin Bottom Sweep ❖

- ❶ Dual bulbs help maintain full contact with narrow sill caps.
- ❷ Dual fins create added barriers against moisture infiltration.
- ❸ Integrated rain deflector helps push moisture away from the cap.

Sills: Composite Adjustable | Hardwood Adjustable | Basic Composite Adjustable
Colors: Bronze | White



Note: Non-kerf-applied option available for replacement applications.

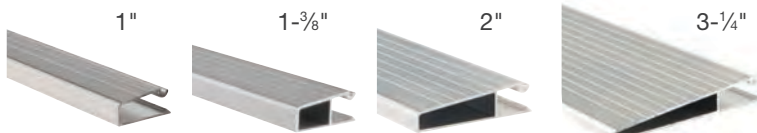


Kerf-Applied Single-Bulb Bottom Sweep

- ❶ Single bulb helps maintain tight contact with slanted sill caps.
- ❷ Multiple fins help block moisture infiltration and deflect moisture away from the cap.

Sill: Basic Fixed
Color: Bronze

Inswing Sill Extenders



Available for 3-1/4" and 5-3/4" sills only.

Available for 4-9/16" sills only.

Inactive Door Bottom ❖

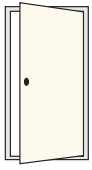


Sills:
Composite Adjustable
Hardwood Adjustable
Color:
Bronze

Sill Pan (Recommended – Inswing Only) ❖



- Fits between the sill and subfloor for an added layer of protection against moisture.
- Engineered with sloped channels to help collect and drain moisture away.
- Moisture- and insect-resistant composite construction resists rot.
- Molded corners allow for a continuous seal, unlike wraps or site-made alternatives.



Outswing Sills

- Allow for a tight seal between the subfloor and door for superior performance against wind, air and water infiltration.
- Help provide a solid stepping surface with a slip-resistant tread pattern on the approach.
- Some options include a thermal break, helping stop cold and heat from traveling through the sill and forming condensation inside the home.
- Offered in a variety of materials with features to meet the needs of different climates and exposures.

See finish options on page 18.



Composite Outswing Sill

- 1 Extra thick, continuous moisture- and insect-resistant all-composite substrate provides a solid stepping surface and superior rot resistance.
- 2 Thick, through-colored moisture- and insect-resistant composite cap and nosing resists wear and rot, featuring a realistic wood-grained appearance to complement home interiors.
- 3 Integrated removable weatherstrip creates a bumper effect, strengthening its seal with wind pressure.
- 4 Thick, 15-gauge aluminum approach provides excellent durability and a solid stepping surface.



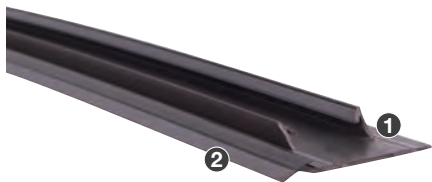
Aluminum Sill with Thermal Break

- 1 Continuous moisture-resistant treated Pine substrate provides a solid stepping surface and resists rot.
- 2 All-aluminum cap resists corrosion.
- 3 Integrated removable weatherstrip creates a bumper effect, strengthening its seal with wind pressure.
- 4 Extra thick, 14-gauge aluminum approach provides excellent durability and a solid stepping surface.

Note: Also available without thermal break for warmer climates.

Outswing Bottom Sweep

- Designed to provide added protection against wind-driven moisture infiltration at the bottom of the door.
- Kerf-applied to fit securely into the bottom of the door to help protect against moisture penetration.
- Heavy-duty material resists deterioration, holding its shape to help maintain contact over time.



- 1 Provides added protection at the bottom of the door.
- 2 Integrated rain deflector helps deflect moisture away from the cap.

Sills: Aluminum | Coastal
Color: Bronze

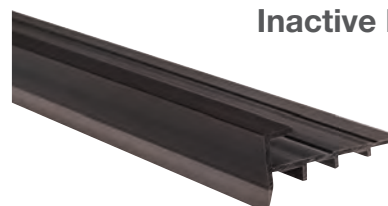
Outswing Sill Extender



2"
3/4"

Finishes:
Lightwood (Premium)
Darkwood (Premium)

Inactive Door Bottom



Sill:
Composite Outswing
Color:
Bronze

Note: See your Thermo-Tru seller for available component options.

*To confirm code requirements in your jurisdiction, always check with your local building code authority.

Coastal Sill

(Without Thermal Break – For Coastal Regions)

- ❶ Continuous treated Pine substrate provides a solid stepping surface and resists rot.
- ❷ All-aluminum cap resists corrosion and features an extra-high profile to provide improved resistance to wind-driven moisture infiltration.
- ❸ Integrated removable weatherstrip creates a bumper effect, strengthening its seal with wind pressure.
- ❹ Extra thick, 14-gauge aluminum approach provides excellent durability and a solid stepping surface.



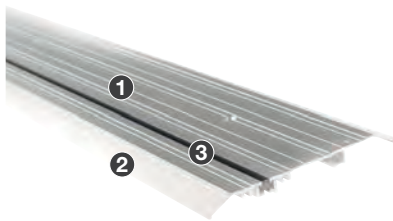
Note: Helps meet code requirements in HVHZ (High Velocity Hurricane Zone) coastal regions.*

ADA Applications

Public Access Sill with Thermal Break

(For ADA Applications – Inswing / Outswing)

- Meets code requirements for Americans with Disabilities Act- (ADA) compliant applications.*
- Allows for a seal between the subfloor and door to help block wind-driven moisture infiltration.
- Designed to mate with our ADA bottom sweep to help seal the margin between the door and sill.



- ❶ All-aluminum construction resists corrosion.
- ❷ 1/2"-high uninterrupted surface features an ADA-compliant 1:2 ramp slope ratio.
- ❸ An epoxy thermal break helps stop cold and heat from traveling through the sill and forming condensation inside the home.

Note: Also available without thermal break for warmer climates. Door systems built with public access sills have little resistance to water penetration and have a potential to leak if installed exposed to weather. We recommend these systems be installed away from weather under large soffits or overhangs.

Bottom Sweep (ADA / Replacement)

- Designed to mate with our public access sill to help seal the margin between the door and sill.
- Heavy-duty material resists deterioration, holding its shape to help maintain contact over time.



- ❶ Maintains tight contact with the sill surface.
- ❷ Multiple fins help deflect moisture away from the cap and block moisture infiltration.

Sills: Public Access

Sill Protection

Sill Covers (Recommended)

- Fits over the sill to help protect the sill cap and finish from damage during installation.
- Offered in a variety of options for a custom fit with most of our sills.
- Heavy-duty material withstands wear from moving heavy objects back and forth over the sill.

Note: Shown over composite adjustable sill.



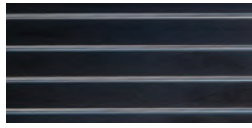
Finish Options

Therma-Tru offers an array of popular finish options to complement decorative glass coming, and interior and exterior home fixtures, to suit the home's style. Check with your Therma-Tru seller for available finish and cap options.

Sill Finishes



Mill

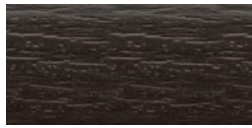


Bronze

Cap Colors



Lightwood (Premium)
Composite Adjustable /
Composite Outswing



Darkwood (Premium)
Composite Adjustable /
Composite Outswing



Lightwood (Economy)
Basic Composite Adjustable



Darkwood (Economy)
Basic Composite Adjustable /
Basic Fixed



Hardwood
Hardwood Adjustable

| | Inswing Options | | | | Outswing Options | | | | Public Access (Inswing / Outswing) | |
|--------------------------------|----------------------|---------------------|----------------------------|-------------|--------------------|-----------------------------|--------------------------------|---------|------------------------------------|---------------------|
| | Composite Adjustable | Hardwood Adjustable | Basic Composite Adjustable | Basic Fixed | Composite Outswing | Aluminum with Thermal Break | Aluminum without Thermal Break | Coastal | Public Access (Inswing) | Public Access (ADA) |
| Sill Finishes | | | | | | | | | | |
| Mill | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Bronze | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ● | ■ | ■ |
| Cap Colors | | | | | | | | | | |
| Lightwood | ■ | ● | ■ | ● | ■ | ● | ● | ● | ● | ● |
| Darkwood | ■ | ● | ■ | ■ | ■ | ● | ● | ● | ● | ● |
| Hardwood | ● | ■ | ● | ● | ● | ● | ● | ● | ● | ● |
| Sill Configurations | | | | | | | | | | |
| Single | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| French | ■ | ■ | ● | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Double Patio | ■ | ■ | ● | ● | ■ | ● | ● | ● | ● | ● |
| Triple Patio | ■ | ● | ● | ● | ■ | ● | ● | ● | ● | ● |
| Lineal | ■ | ■ | ● | ● | ● | ● | ● | ● | ● | ● |
| Sidelite Configurations | | | | | | | | | | |
| Boxed Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Single with Sidelites | ■ | ■ | ● | ● | ■ | ● | ● | ● | ● | ● |
| Single Vented Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| French Vented Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Depths | | | | | | | | | | |
| 4-9/16" | ■ | ● | ■ | ■ | ■ | ● | ■ | ■ | ■ | ■ |
| 5-3/4" | ■ | ■ | ■ | ■ | ■ | ■ | ● | ● | ● | ● |
| 6-9/16" | ● | ● | ● | ● | ● | ● | ● | ● | ● | ■ |
| 7-3/4" | ■ | ■ | ■ | ■ | ● | ■ | ● | ● | ● | ● |
| Substrates | | | | | | | | | | |
| Composite Extruded | ■ | ● | ● | ● | ■ | ● | ● | ● | ● | ● |
| Composite Injection Molded | ■ | ● | ■ | ● | ● | ● | ● | ● | ● | ● |
| Treated Pine | ● | ■ | ● | ■ | ● | ■ | ■ | ■ | ● | ● |
| Other Options | | | | | | | | | | |
| Integrated Thermal Break | ■ | ■ | ■ | ■ | ■ | ■ | ● | ● | ■ | ■ |
| Screen Rail Available | ■ | ■ | ● | ● | ■ | ● | ● | ● | ● | ● |
| Sill Extenders Available | ■ | ■ | ■ | ● | ■ | ● | ● | ● | ● | ● |
| Sill Covers Available | ■ | ■ | ■ | ■ | ■ | ● | ● | ● | ● | ● |
| Tru-Defense Eligible* | ■ | ● | ● | ● | ■ | ● | ● | ● | ● | ● |
| With Anchor Holes | ● | ● | ● | ● | ● | ■ | ■ | ● | ■ | ■ |
| Without Anchor Holes | ■ | ■ | ■ | ■ | ■ | ■ | ● | ■ | ● | ● |

Note: See your Therma-Tru seller for details on available component and finish color combinations.

Hinge Finish Options



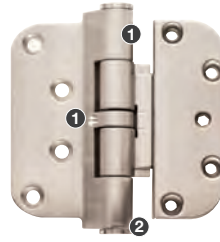
Bright Brass Brushed Nickel Black Nickel Polished Chrome Oil-Rubbed Bronze Stainless Steel Zinc Dichromate

Hinges

Adjustable Hinge

Finish Options: (Recommended for Classic Craft premium entryways.)
 Bright Brass
 Brushed Nickel
 Black Nickel
 Polished Chrome
 Oil Rubbed Bronze

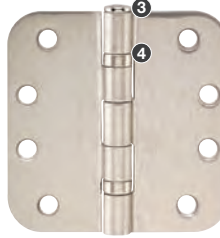
Allow the door to be moved horizontally and vertically in the frame, maintaining alignment and keeping the door performing beautifully.



Classic Craft. Ball-Bearing - ANSI (C-Shaped) Hole Pattern

Finish Options: (Recommended for Classic Craft premium entryways.)
 Bright Brass
 Brushed Nickel
 Black Nickel
 Polished Chrome
 Oil Rubbed Bronze
 Stainless Steel
 Zinc Dichomate

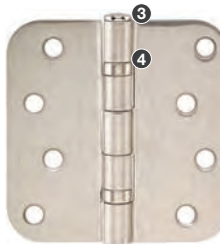
Ball bearings help protect each hinge pivot for added support and stability.



NEW Classic Craft. Ball-Bearing - Staggered Hole Pattern

Finish Options: (Recommended for Classic Craft premium entryways.)
 Bright Brass
 Brushed Nickel
 Black Nickel
 Polished Chrome
 Oil Rubbed Bronze
 Stainless Steel
 Zinc Dichomate

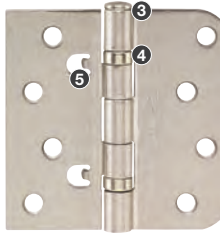
Ball bearings help protect each hinge pivot for added support and stability. Staggered hole pattern helps simplify assembly process. Note: Non-removable pin option available with fixed pins, providing security on outswing applications.



Self-Aligning Ball-Bearing

Finish Options: (Recommended for heavier Fiber-Classic, Smooth-Star and Steel doors.)
 Bright Brass
 Brushed Nickel
 Black Nickel
 Polished Chrome
 Oil Rubbed Bronze
 Stainless Steel
 Zinc Dichomate

Contains locating tabs to assist in accurate alignment with specific door systems.



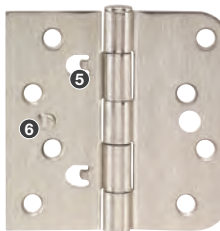
Self-Aligning

Finish Options: Contains locating tabs to provide accurate alignment with specific door systems. Note: Non-removable pin option available with fixed pins, providing security on outswing applications.
 Brushed Nickel
 Black Nickel**
 Polished Chrome**
 Oil Rubbed Bronze
 Stainless Steel**
 Zinc Dichomate



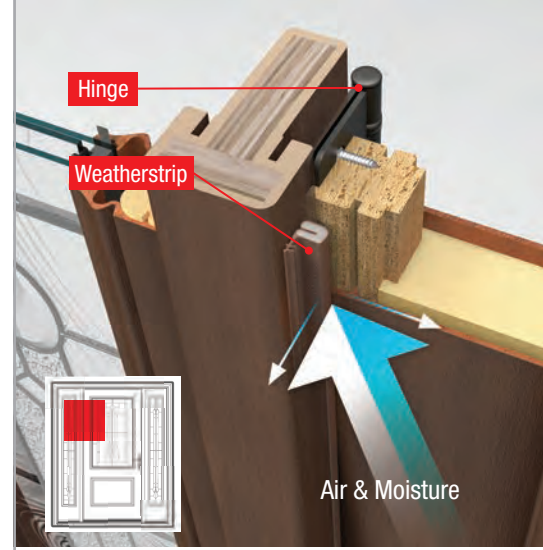
Security Tab

Finish Options: Security tabs prevent door from being taken off hinges, providing security on outswing applications.
 Brushed Nickel
 Stainless Steel
 Zinc Dichomate



Spring-Loaded

Finish Options: UL Listed with adjustable self-closing spring mechanism that helps pull the door closed for convenience and meets code requirements that may be applicable in Fire-door applications.***
 Brushed Nickel
 Black Nickel
 Polished Chrome
 Oil Rubbed Bronze
 Stainless Steel
 Zinc Dichomate



Long-lasting, smooth performance.

Genuine Therma-Tru hinges are engineered with long-lasting durability and reliability in mind. They position the door to properly compress the weatherstrip to help form a tight, even seal when the door closes. Without precision engineering in this critical area, the weatherstrip can pinch if the door is too tight or gap if it is too loose, letting air and moisture pass between the door and frame.

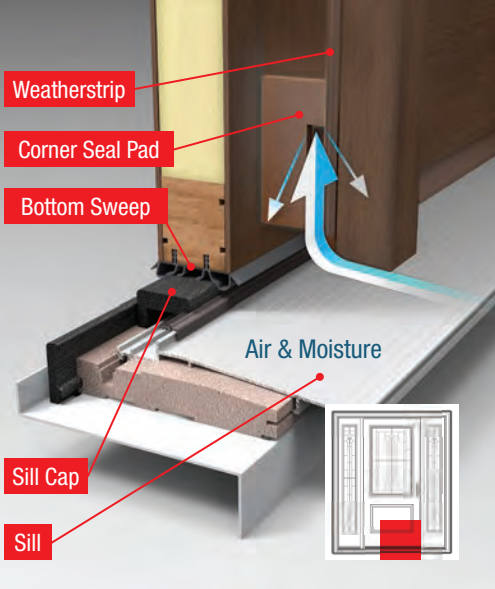
- Position the door for proper compression of the weatherstrip to form a tight seal when closed.
- Proper positioning also ensures smooth operation to help resist creaking and uneven wear.
- Offered in a variety of options designed to go with our door systems.

- 1 Hex screws adjust alignment of door in frame.
- 2 Fixed pins prevent door from being taken off hinges.
- 3 Removable pin option allows door to be taken off hinges.
- 4 Ball bearings help protect each hinge pivot, for added support and stability.
- 5 Locating tabs for accurate alignment.
- 6 Security tab prevents door from being taken off hinges by driving out pins.
- 7 Hex screws adjust tension of spring mechanism.
- 8 Self-closing spring mechanism helps pull the door closed.

*For full details on the Tru-Defense Warranty Rider, visit www.thermatru.com/trudefense.

**Finishes only available for NRP Hinge.

***To confirm code requirements in your jurisdiction, always check with your local building code authority. Note: See your Therma-Tru seller for available component options.



Corner Seal Pads



Classic Craft. 7-Shape Pads

Sills (Inswing Applications Only)

Composite Adjustable
Hardwood Adjustable
Basic Composite Adjustable
Public Access

Colors

Bronze
White



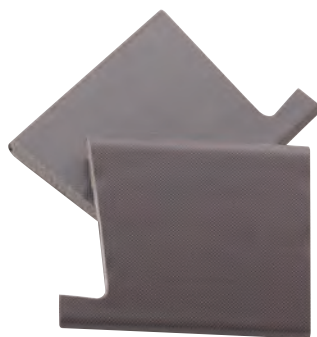
Fiber-Classic. / Smooth-Star. 7-Shape Pads

Sills (Inswing Applications Only)

Composite Adjustable
Hardwood Adjustable
Basic Composite Adjustable
Public Access

Colors

Bronze
White



Basic Fixed Pads

Sills (Inswing Applications Only)

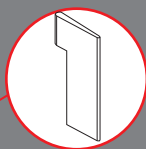
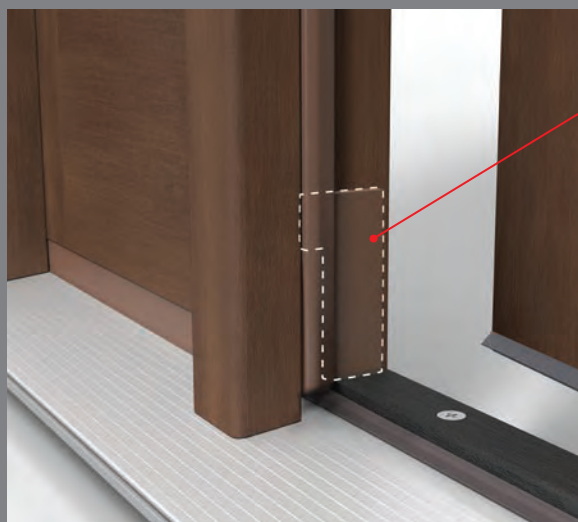
Basic Fixed

Colors

Bronze

Genuine Therma-Tru® **corner seal pads** (inswing only) complete the seal between the **sill cap**, **bottom sweep** and **weatherstrip** to help block potential pathways where wind-driven moisture can infiltrate the bottom corner of the door system. Without precision engineering in this critical area, wind pressure can push moisture-laden air through the corner and up the frame, leaking into the home and rotting the frame.

- Fit securely behind the weatherstrip to help block wind-driven moisture infiltration.
- Designed to mate with our inswing sills to complement weathersealing performance. (Not recommended for use on outswing applications.)
- Flexible, foam-filled material holds its shape over time, protected by a durable jacket to resist moisture and wear.



Creates an air pocket to inhibit water filtration.


Innovative weathersealing solutions.

Genuine Therma-Tru weathersealing components are carefully engineered to maximize the seal between the door and frame. The 7-shape corner seal pad completes our patented jamb assembly. This innovative design creates an air pocket that helps prevent a vacuum from forming and wicking moisture up the weatherstrip and into the home.

Removable Weatherstrip


- Engineered in a variety of profiles to mate with our door families for a precise seal between the door and frame.
- Kerf-applied to fit securely into the top and sides of the jamb; removable for finishing.
- Resilient design compresses when closed and springs back when open for long-lasting sealing power.
- Flexible, foam-filled material holds its shape over time, protected by a durable jacket to resist moisture and wear.



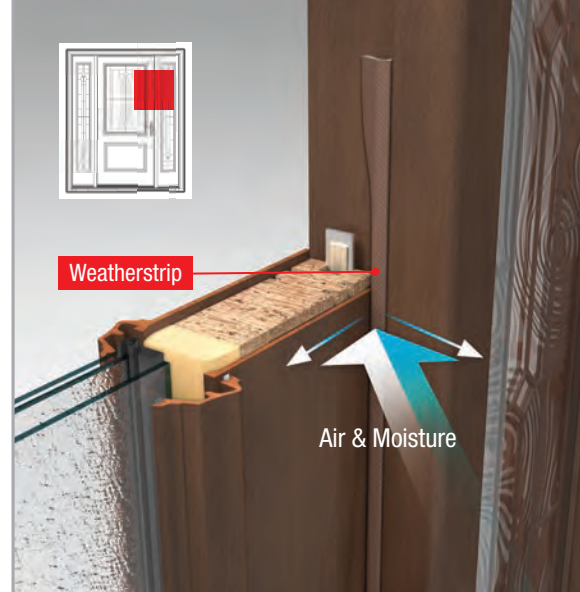
Medium-Reach Weatherstrip 
For square edge doors.

Colors
Bronze
White



Long-Reach Weatherstrip 
For bull edge doors.

Colors
Bronze
White



Genuine Therma-Tru. **weatherstrip** is specifically engineered in a variety of profiles to provide the best possible fit with our door systems, helping to deliver a precise seal between the door and frame. Without precision engineering in this critical area, misfitting weatherstrip can create gaps that allow air and moisture to pass through between the door and jamb.

Rain Protection (Recommended)


- Helps repel moisture away from areas exposed to wind-driven moisture infiltration, enhancing weather protection.
- Durable aluminum construction on the rain deflector resists corrosion. Durable composite construction on the rain guard resists deterioration.
- Highly recommended for applications directly exposed to wind and rain.



Rain Deflector
(Inswing)
Pushes moisture away from the bottom of the door.

Colors
Bronze
White

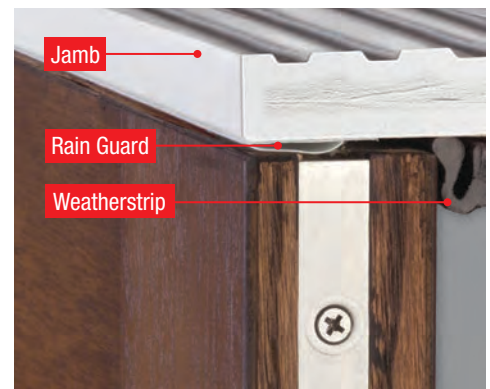


Rain Guard 
(Outswing)
Creates a barrier to moisture at the top of the door.

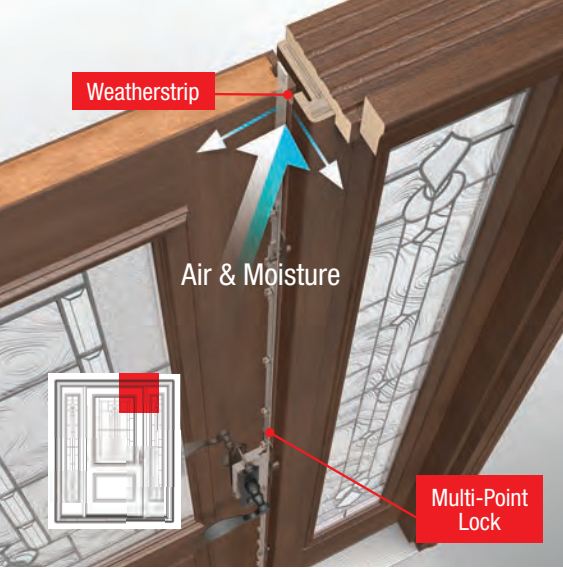
Colors
Bronze
White



Bottom of door; exterior view.



Top of door; exterior view.



Multi-Point Locking Systems (MPLS)



- 1 Self-lubricating locks.
- 2 1" premium stainless steel deadbolt.
- 3 Integrated mishandling device.



Tongue
Heights: 6'6"
 6'8"
 7'0"
 8'0"
Configurations:
 Inswing
 Outswing



Side view of door.

Exterior view of door.

Genuine Therma-Tru® multi-point locking systems engage the frame at three points from top to bottom, helping to preserve the seal even under wind pressure. Without precision engineering in this critical area, wind can push the top and bottom corners of the door away from the frame, allowing air and moisture to pass through.

- Provides more engagement of locking hardware than traditional deadbolt assemblies.
- Premium stainless steel construction provides excellent corrosion resistance.
- Highly recommended for 8'0" and double fiberglass door systems. (Not recommended for steel door systems.)



Grip-Style MPLS ✦

Grip-style handlesets offer an intuitive approach to the multi-point locking system with on-trend aesthetics. A simple 90-degree twist of the thumbturn (interior) or a key (exterior) is all it takes to engage the door frame at three points with no need to lift the handleset lever. An integrated mishandling device protects the door and frame from accidental damage. Features deadbolt located above handleset. (Active option only. Not available for double door systems with an astragal.)



- 1 Self-lubricating locks.
- 2 1" premium stainless steel deadbolt.
- 3 Integrated mishandling device.



Tongue
Heights: 6'6"
 6'8"
 7'0"
 8'0"
Configurations: Inswing
 Outswing



Shootbolt
 (For door systems with an astragal.)
Heights: 6'6"
 6'8"
 7'0"
 8'0"
Configurations: Inswing
 Outswing

Engages at three critical points.

Exterior view of door.

Side view of door.

Lever-Style MPLS +

Lever-style handlesets bring form and function together with decorative styles. A convenient upward turn of the handle is required before all three points will engage. An integrated mishandling device helps protect the door and frame from accidental damage. Features deadbolt below the handleset.



Tongue
 (Included in vented sidelite units.)
Heights: 6'6"
 6'8"
 8'0"

Vented Sidelites MPLS

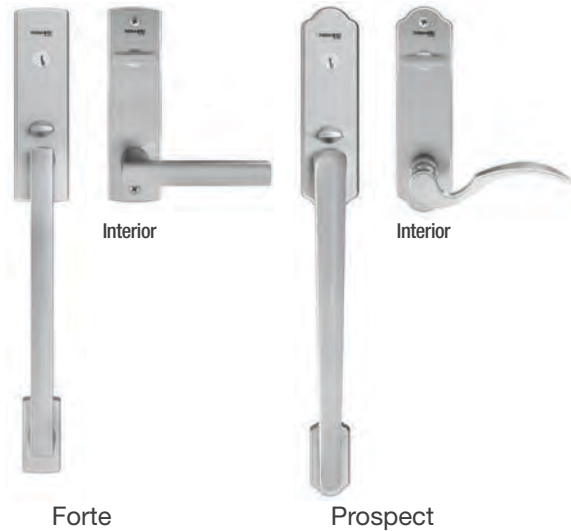
Constructed to provide ventilation without sliding screens blocking the view, vented sidelites work as small swinging doors with convenient removable screens. Engineered for durability and safety with wide patio mullions for strength, and multi-point locking gears and recessed strike plates for security.

Handleset Options for Standard Door MPLS

Designed to complement Therma-Tru door styles from traditional to contemporary.

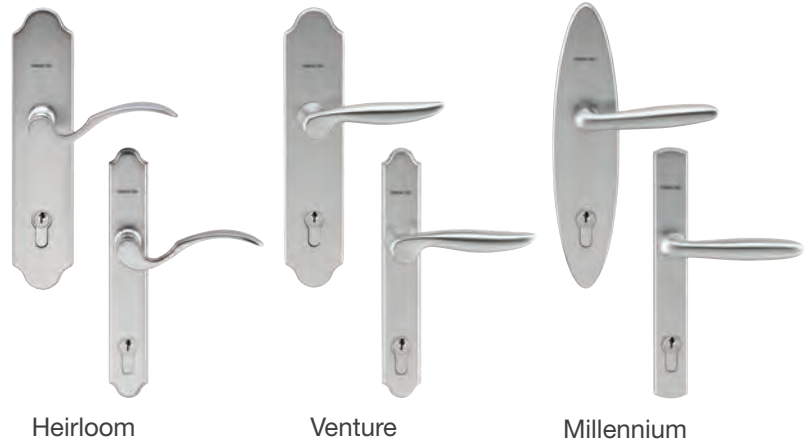
Grip-Style MPLS

Backplates: Wide
Locking: Active

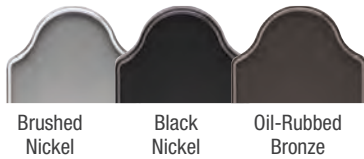


Lever-Style MPLS

Backplates: Wide, Narrow
Locking: Active, Inactive



Grip-Style Finish Options



Lever-Style Finish Options



Latch & Deadbolt Strike Plate

Adjustable Security Strike Plate

(Recommended for standard lock and deadbolt handlesets only.)

Finish Options:
Brushed Nickel
Black Nickel
Polished Chrome
Oil Rubbed Bronze
Stainless Steel
Zinc Dichomate

A genuine Therma-Tru adjustable security strike plate helps enhance the safety and security of a home, wrapping around the door jamb and fully engaging the frame of the house for added support and strength against forced entry. Our adjustable security strike plates are tested to withstand up to three times the force of standard strike plates.*

- ❶ Wraps around the door jamb for added support and an exact fit.
- ❷ 2-1/2" screws fully engage with the frame of the house for added strength.



Standard vs. Adjustable Security Strike Plate

*ASTM-F476. As tested by an independent laboratory. Not available on certain configurations.

**To confirm code requirements in your jurisdiction, always check with your local building authority.

Astragals

Astragal



- Attach to the passive door and lock in place with shootbolts to cover the margin between double doors and help complete the seal against air and moisture infiltration.
- Help provide stability, holding power and lasting durability with aluminum construction that provides more strength than wood.
- Offered with a durable, rot-resistant vinyl wrap in a wood-grained, stainable texture or smooth aluminum to complement the look of the door and home.

- 1 Offered with strike plates to receive a latch and deadbolt or multi-point locking system.
- 2 Integrated weatherstrip helps form a tight seal between the astragal and active door when closed.
- 3 Spring clips to engage and disengage the shootbolts.
- 4 Durable boot engineered to work with the active bottom sweep to complete the seal across the sill.
- 5 16-1/2" locking steel slide bolt can be vertically adjusted for a secure fit with the sill and frame.

Astragal Boot



Seals
across
sill.

Enhanced sealing power.

Genuine Therma-Tru. astragals help deliver enhanced sealing power. Our compression-fit astragals feature a secure bottom boot designed to fit tightly to the astragal and engineered to work with the active bottom sweep for an enhanced seal across the sill.

Stainable Astragal +



Note: Shown in Oak grain with Redwood stain.

Stainable Shown in Rustic Clay stain.



Oak Grain

Mahogany Grain

Fir Grain

Aluminum Astragal +



Note: Coastal option also available with thicker aluminum construction and a longer shootbolt to provide improved resistance to wind-driven moisture infiltration.**

Aluminum



Bronze

White

Heights:

6'6"
6'8"
7'0"
8'0"

Width:

7/8"

Configurations:









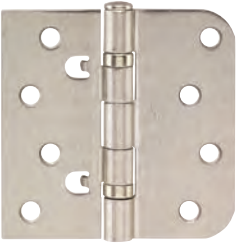

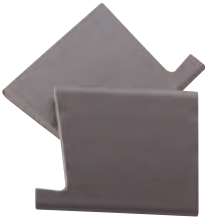


Inswing
Outswing
Multi-Point Lock
Double Bore
Left-Handed
Right-Handed

Weatherstrip:

Bronze

Engineered to work together.

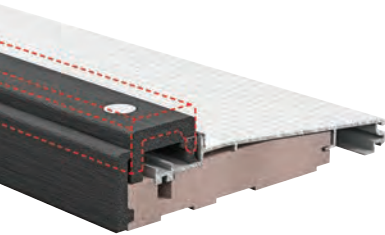
Therma-Tru® door system components are designed to work together with our door families to create a tight seal.

| Door Collection | Corner Seal Pad | Weatherstrip | Hinges |
|--|---|--|---|
| <p>Classic Craft®</p>  | <p>Classic Craft 7-Shape Pads ✚</p>  | <p>Medium-Reach Weatherstrip ✚</p> <p>For square edge doors. All Sides</p>  | <p>Classic Craft Ball-Bearing Hinge ✚</p>  |
| <p>Fiber-Classic® & Smooth-Star®</p>  | <p>Fiber-Classic / Smooth-Star 7-Shape Pads ✚</p>  | <p>Medium-Reach Weatherstrip ✚</p> <p>Hinge Side</p>  <p>Long-Reach Weatherstrip ✚</p> <p>For bull edge doors. Lock & Head Side</p>  | <p>Self-Aligning Ball-Bearing Hinge ✚</p> <p>Tabs for pass through door machining.</p>  |
| <p>Profiles™ & Traditions Steel</p>  | <p>Basic Fixed Pads ✚</p>  | <p>Medium-Reach Weatherstrip ✚</p> <p>Hinge Side</p>  <p>Long-Reach Weatherstrip ✚</p> <p>For bull edge doors. Lock & Head Side</p>  | <p>Self-Aligning Hinge ✚</p> <p>Tabs for pass through door machining.</p>  |

Most common product positioning shown.
 Contact your Therma-Tru seller or see tech manual for details and options.

Sill & Door Bottom

Composite Adjustable Sill ✚



Kerf-Applied Dual-Bulb / Dual-Fin Bottom Sweep ✚



Door Frame

Composite Door Frame ✚

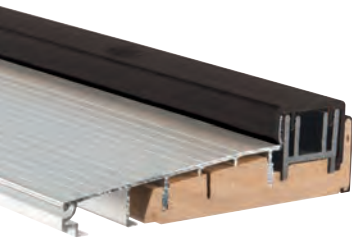


Locking System

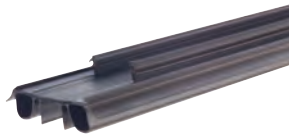
Multi-Point Locking Systems ✚



Basic Composite Adjustable Sill



Kerf-Applied Dual-Bulb / Dual-Fin Bottom Sweep ✚



Composite Door Frame ✚



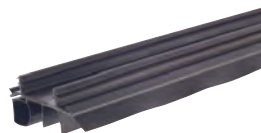
Multi-Point Locking Systems ✚



Basic Fixed Sill



Kerf-Applied Single-Bulb Bottom Sweep



Composite Door Frame ✚



Latch & Deadbolt Strike Plate





THERMA-TRU[®]
DOORS

Where Home Begins™

thermatru.com
1-800-THERMA-TRU (843-7628)
1750 Indian Wood Circle
Maumee, OH 43537



Turn to the door system experts.

Visit our online replacement parts configurator and helpful videos to learn how to maintain the integrity of a complete door system with genuine Therma-Tru components – thermatru.com/parts.

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Part #MAFCOMP21 MTZT / DEC 2020

ARCHITECTURAL
L·O·U·V·E·R·S

LOUVER PRODUCTS CATALOG

Attractive Ventilation: Architectural Louvers combines functionality with unequaled design capability. Use your ventilation requirements to add a memorable design element to your building.



Special shapes, face trim, and various blade types offer a full range of possibilities. Whether you are trying to ventilate an attic space, bring in fresh air, or add decoration to your building, Architectural Louvers can help.

Available finishes include baked enamel, anodized, and high resin content fluoropolymer paint. Standard colors in each of these finish types is available, or select your own color and we will computer match our louver finish to your needs.

Select from our full range of louver products:

| | Blade Type | Performance | Model | Frame Depth | Free Area | Water Pen. Rating ¹ |
|--------------|------------|-------------|-------|-------------|--------------------|--------------------------------|
| Wall Louvers | Standard J | Standard | E2JS | 2.0" | 48.7% | 5648 CFM |
| | Standard J | Standard | E4JS | 4.0" | 50.4% | 7157 CFM |
| | Standard J | High | E4JP | 4.0" | 58.4% | 8970 CFM |
| | Standard J | High | E6JP | 6.0" | 57.3% | 10298 CFM |
| | Standard J | High | E6JN | 6.0" | 69.1% | 9011 CFM |
| | Baffle K | Standard | E2KS | 2.0" | 48.7% | 5648 CFM |
| | Baffle K | Standard | E4KS | 4.0" | 50.4% | 7157 CFM |
| | Baffle K | High | E4KP | 4.0" | 58.4% | 7686 CFM |
| | Baffle K | High | E6KP | 6.0" | 57.3% | 10298 CFM |
| | Drainable | Standard | E2DS | 2.0" | 49.4% | 7032 CFM |
| | Drainable | Standard | E4DS | 4.0" | 56.0% | 8333 CFM |
| | Drainable | High | E4DP | 4.0" | 59.3% | 8826 CFM |
| | Drainable | High | E6DP | 6.0" | 57.7% | 9655 CFM |
| | Chevron | Wind/Rain | E2WV | 2.0" | 53.8% | 50 mph 8" rainfall |
| | Chevron | Wind/Rain | E4WH | 4.0" | 50.6% | 50 mph 8" rainfall |
| | Drainable | Wind/Rain | E4WS | 4.0" | 56.0% | 29 mph 3" rainfall |
| Chevron | Wind/Rain | E6WH | 6.0" | 50.3% | 50 mph 8" rainfall | |

¹ - Water penetration is listed as total CFM capability from testing of a 48" Wide x 48" High sample. The total CFM is the louver free area (in square feet) multiplied by the first point of water penetration. Wind driven rain louvers are listed by wind speed and rainfall rate.

© 2016 Harray, LLC

Standard Blade Louvers

Standard Performance

Standard blade, standard performance series offers a clean appearance at a low cost. Ideal applications include decorative, low air velocity, air exhaust, or special shape louvers.

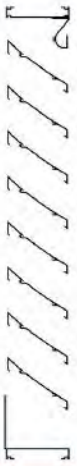

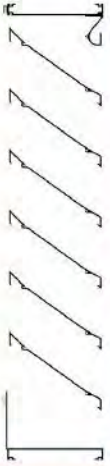



| E2JS | | E4JS | |
|---|---|---|--|
|  |  |  |  |
| Frame Depth | 2.0" | Frame Depth | 4.0" |
| Blade Spacing | 2.0" | Blade Spacing | 5.0" |
| Blade Angle | 45° | Blade Angle | 45° |
| Free Area ¹ | 48.7% | Free Area ¹ | 50.4% |
| First Point Water ² | 725 fpm | First Point Water ² | 888 fpm |
| Resistance to Air ³ | 0.07" | Resistance to Air ³ | 0.15" |



Standard Blade Louvers

High Performance

High performance series offers higher free areas at reduced resistance to airflow. Used for higher velocities or where high free areas are required.

| E4JP | | E6JP | | E6JN | |
|---|---|---|--|---|---|
|  |  |  |  |  |  |
| Frame Depth | 4.0" | Frame Depth | 6.0" | Frame Depth | 6.0" |
| Blade Spacing | 3.0" | Blade Spacing | 4.0" | Blade Spacing | 3.0" |
| Blade Angle | 35° | Blade Angle | 35° | Blade Angle | 25° |
| Free Area ¹ | 58.4% | Free Area ¹ | 57.3% | Free Area ¹ | 69.1% |
| First Point Water ² | 960 | First Point Water ² | 1123 | First Point Water ² | 815 |
| Resistance to Air ³ | 0.13" | Resistance to Air ³ | 0.18" | Resistance to Air ³ | 0.12" |

¹ - Free Area is the space between frame and blades divided by the overall wall opening size (based on a size 48" Wide by 48" High)

² - First point at which the louver entrains water, based on air intake free area velocities (0.01 oz. of water per square foot)

³ - Pressure drop of airflow across the louver at the first point of water penetration, expressed in inches water gauge

FOR REFERENCE ONLY
NOD FOR APP. #21-7108 & #21-7130
NOT FOR CURRENT APPLICATION

3/16/2021

NOTICE OF DENIAL

Brian R Ellison
The Intersection Consulting Group
2233 Park Avenue, Suite 302
Detroit, MI 48202

RE: Application Number 21-7108 & 21-7130; 664-676 W. Alexandrine Street, Willis - Selden Historic District

Dear Mr. Ellison,

At the regularly scheduled meeting held virtually on March 10, 2021, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 21-2-80 of the 2019 Detroit City Code, the Commission hereby issues a **Notice of Denial** which is effective as of March 16, 2021. The Commission finds that the proposed work *does not* qualify for a Certificate of Appropriateness.

You may file a new application for consideration if the application is corrected, if new information is obtained regarding the application, or if the proposed scope of work changes. Please be advised that a permit applicant that is aggrieved by a decision of the Detroit Historic District Commission concerning a permit application may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey
Michigan Department of Attorney General
2nd Floor G. Mennen Williams Building
525 West Ottawa Street
P.O. Box 30754
Lansing, MI 48909
P: 517-335-0665 F: 517-335-3088
Email: stuckeyj@michigan.gov

Once this administrative right of appeal has been exhausted, a permit applicant may file an appeal of the decision of the State Historic Preservation Review Board with the circuit court. If you have any questions regarding the foregoing, please contact Pamela Parrish, Counsel for the Commission at (313) 686-6005.

For the Commission:



Ann Phillips

Staff

Detroit Historic District Commission

FOR REFERENCE ONLY
NOT PART OF CURRENT APPLICATION

Alexandrine Apartments

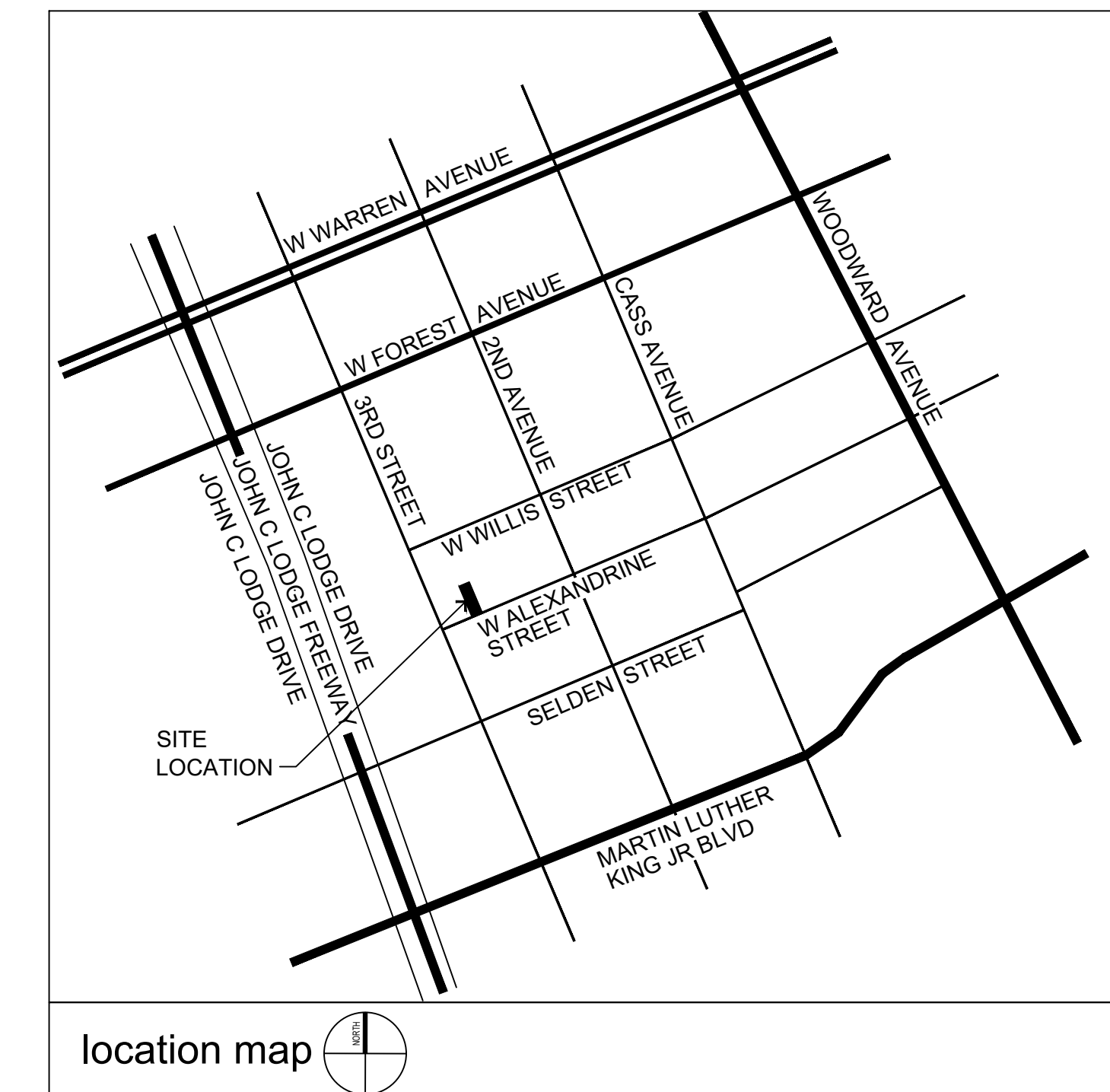
Proposed Apartment Building

664-667 W. Alexandrine Street Detroit, Michigan 48220



Sheet Index

| Sheet No. | Sheet Title |
|-----------|--------------------------------|
| AL01 | ALTA / NSPS LAND TITLE SURVEY |
| A005 | CONTEXT / HISTORIC |
| A100 | LEVEL 1 FLOOR PLAN / SITE PLAN |
| A101 | LEVEL 2-3 FLOORS PLAN |
| A300 | EXTERIOR ELEVATIONS |
| A301 | EXTERIOR ELEVATIONS |
| A400 | EXTERIOR IMAGES |
| LS100 | LANDSCAPE/HARDSCAPE PLAN |
| LS101 | LANDSCAPE DETAILS |



PROJECT:

The Alexandrine Apartment
664-676 W. Alexandrine St.
Detroit, MI 48201

CLIENT:

The Ferlito Group
440 Selden Street
Detroit, MI 48201

| DESCRIPTION | DATE |
|----------------------------|----------|
| HDC SUBMITTAL-REVISED | 02/03/21 |
| HDC SUBMITTAL | 11/20/20 |
| SITE PLAN REVIEW SUBMITTAL | 09/22/20 |
| CONCEPT DESIGN REVIEW | 06/30/20 |
| CONCEPT DESIGN REVIEW | 12/30/19 |

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SHEET TITLE:
CONTEXT / HISTORICAL

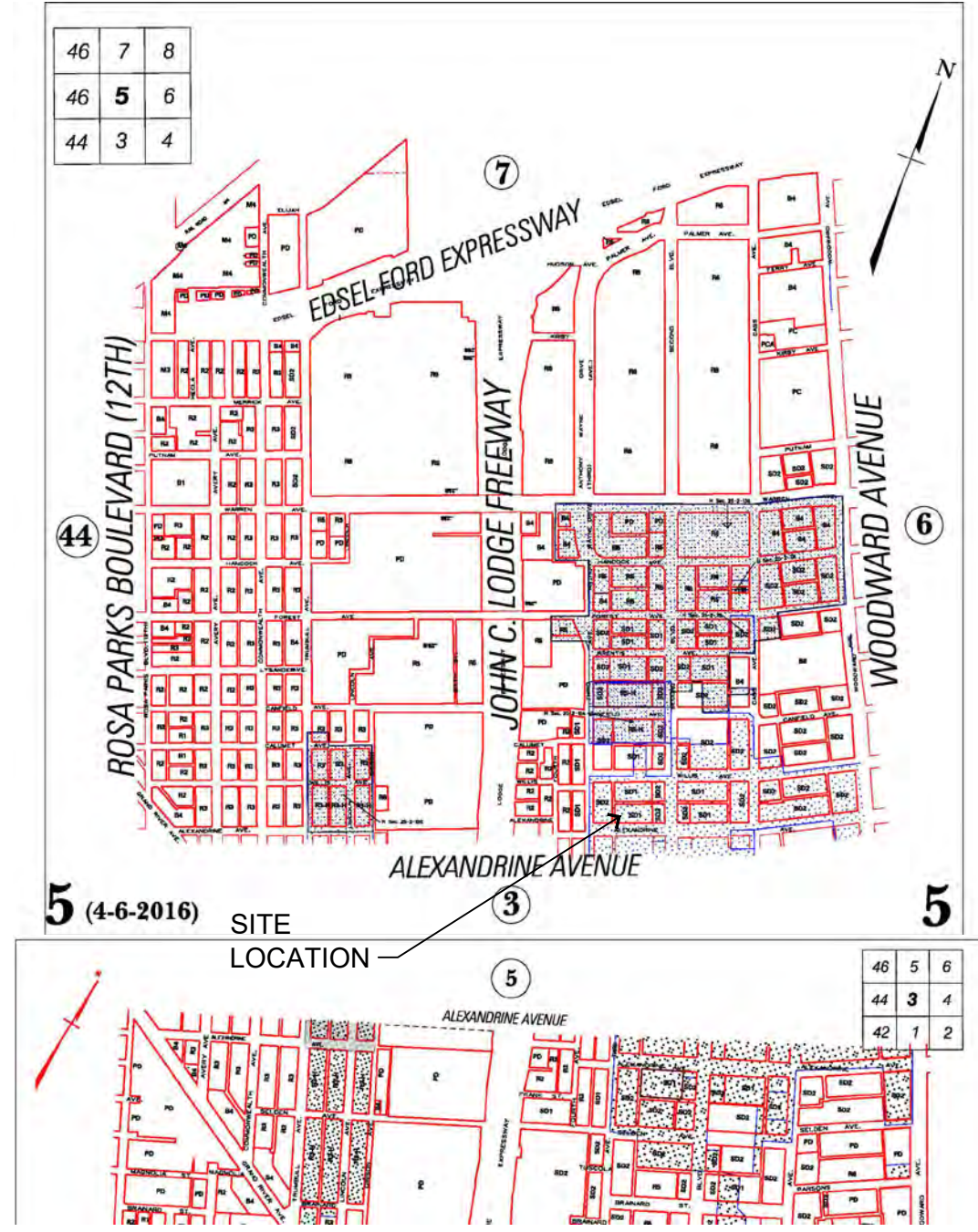
PROJECT NUMBER:
2019-130

DRAWN BY:
KMB

CHECKED BY:
AEK

SHEET NUMBER:
A005

Permit No.:



ZONING MAP

is seen from the ground, with the exception of single storey and parapet and a few roofs, dormers, towers, and tall chimneys creating elevation or balustrades, which add interest and raised roof forms add variety.

The apartment building is placed in line with adjacent buildings. A transitional hardscape/green space is activated with benches, plantings and rain-out structures are not. Typical treatment of individual residential properties is a shallow set back from the street, subdivided by a straight concrete walk leading to the front entrance. Always provide access to the rear of a property to the district, a small number of these common passages are accessed via the alley. Trees, hedges, and other landscaping features are irregularly spaced. Trees in the front yards of buildings vary in size, age, and species. Most commercial buildings, and a smaller number of apartment buildings, are built to the front lot line. Public sidewalks are arranged at all streets in the district. Curbs, when historically shown, have been replaced with concrete in a majority of the district. Public lighting is generally of the modern, street-oriented variety, though wrought-iron style light fixtures occur on Woodward Avenue.

A public space has been created in the area between the structure and the sidewalk. The area incorporates specially concrete paving and includes benches, bike racks, planter boxes and planters. The goal is to create a high-quality pedestrian area for the residents and the public alike.

The side yards of the apartment building are dedicated to parking for the residents. Balconies and covered walkways activate these side yards.

Scale of facades and facade elements. Single-family residential buildings are moderate to large in scale relative to typical buildings from the period in which they were constructed. Apartment buildings range from small to large in scale, with a small number of buildings, such as the building at 70 West Alexandrine and the building at 3751 Second Avenue, commonly known as the Coronado Apartments, being significantly larger in scale than the others. The building at 444 West Willis Avenue, commonly known as the Willy-Overland building, is also large in scale. Elements within the facades are generally small to medium in scale.

Directional expression of front elevations. Facades of single-family residential structures are generally vertical in directional expression due to tall window and door openings and gabled rooflines. Apartment buildings generally range from neutral to slightly vertical in directional expression, though a smaller number use horizontal in directional expression. Commercial buildings, especially single-story ones, are generally horizontal in directional expression due to broad storefront windows and, where they exist, horizontal cornices.

Rhythm of building setbacks. A degree of irregularity is introduced by varying setbacks at front facades; smaller residential buildings tend to be set several feet back from the public sidewalk, while larger apartment buildings and other buildings often occupy their entire lots. While setbacks may vary slightly from one building to the next, the overall impression is one of a consistent rhythm of building setbacks. Where building demolition has occurred, the original rhythmic progression of buildings has been disrupted.

Relationship of lot coverage. Lot coverage within the district are generally high, but vary based on building type. Single-family residential buildings and smaller apartment buildings often occupy between twenty (20) percent and forty (40) percent of their lots, with most of the remaining space being devoted to rear yards. Other building types range from fifty (50) percent to one hundred (100) percent lot coverage. Large buildings may have light courts or central courtyard spaces. Commercial buildings, in particular, often occupy a large percentage of their lots.

Degree of complexity within the facades. The facades within the district range from simple to complex, depending on style. Overall, front facades tend to be simple in their massing and mostly regular in their fenestration, though a variety of window and door shapes, materials, architectural elements, and details of individual buildings increase the overall level of complexity of the district.

Complexity of the apartment building ranges from simple to complex. The front facade is simple in its massing. The side facades offer complexity with cantilevered balconies, covered, sloping canopies and covered walkways.

Orientation, mass, overviews. Buildings generally face the streets and are entered from the front facades by a single or double doorway. The tallest buildings within the district, such as the building at 70 West Alexandrine Avenue, the building at 3801 Cass Avenue, commonly known as the Cass Avenue Methodist Church, the building at 3781 Second Avenue, commonly known as the Coronado Apartments, and the building at 444 West Willis Avenue, commonly known as the Willy-Overland Building, constitute landmarks that readily visible from several blocks away. The building on Woodward Avenue, visible from a considerable distance up and down the street, are a significant component of a broader streetscape.

The apartment building, typical to others in the district, face the street. While the front doors to not orientate to the front, an implied entry is formed by the covered walkways and stairwells.

Symmetry or asymmetric appearance. The appearance of front facades in the district is, for the most part, symmetrical. Single-family residential buildings tend to display a moderate degree of asymmetry in massing and architectural detail.

The apartment building is presented in a balanced yet asymmetrical expression.

General environmental character. The general character of the district is that of a medium-density, mixed-use urban neighborhood of small to large apartment buildings interspersed with other building types. The district maintains a sense of vitality as a result of its mixture of uses and the correspondingly diverse physical appearance of its buildings.

The proposed apartment building is a complement to the diverse mixture of the neighborhood. The project is sensitive to its historic neighbors, builds on aspects of the other new developments and general spirit and attitude of contemporary, modern architecture, yet proposes its own unique identity and purpose.

FOR REFERENCE ONLY NOT PART OF CURRENT APPLICATION

known as the Coronado Apartments, 711 West Alexandrine Avenue, 492-497 West Willis Avenue, and 477 West Alexandrine Avenue, which are significantly wider than tall. Front facades of single-story commercial buildings are significantly wider than tall, while multi-story commercial buildings and other non-residential buildings tend to be slightly wider than tall. Buildings often occupy most of all street lots, resulting in side elevations of buildings that are often substantially wider than tall.

The proposed apartment emphasizes a strong vertically with use of vertical panels and a projected architectural element.

Proportion of openings within the facades. Openings typically amount to between twenty (20) percent and thirty-five (35) percent of the front facade. Commercial buildings often feature repetitive storefront windows on their first (and often, though in many cases these windows have been covered with boards or closed in with brick or concrete block. Such windows, taller than wide, predominate on all building types. On apartment buildings, such windows are sometimes arranged in groupings which, together, are square or wider than tall. A significant variety of buildings features arched, multi-paned, semi-circular, casement, or other window openings appropriate to their respective architectural styles. Larger sashes and transoms are occasionally subdivided into smaller panes. Casement windows are usually subdivided into smaller panes. Door openings are typically slightly higher in scale than window openings. They are usually centered on the facades of commercial and apartment buildings, but usually center on the facades of smaller residential buildings.

The apartment building areas of void are approximately 15% of total facade area. Opening proportions are a mix of both horizontal and vertical.

Rhythm of solids to voids in front facades. Despite a variety of building types, the overall impression is one of regular, repetitive openings arranged horizontally within facades. A repetitive flow of storefront openings, where they exist, creates a rhythm along commercial frontages. Smaller residential buildings as well as the building at 3901 Cass Avenue, commonly known as the Cass Avenue Methodist Church, display more varied, often asymmetrical, arrangements of openings, but the overall impression is still one of regular, repetitive openings.

The apartment building openings are generally regular, however with differentially spaced arrangements. A material divide is created at the building base.

Rhythm of spacing of buildings on streets. Rhythm of spacing on streets is generally determined by setbacks from side lot lines. The overall character of the district is one of density clustered, yet visually distinct, structures separated by narrow setbacks. Commercial buildings frequently abut adjacent buildings, typically featuring no setbacks from side lot lines, especially on Woodward Avenue where evenly spaced storefronts create a regular spacing of buildings. There is a general regularity in the setbacks of addresses both from one block to another, contributing to a regular spacing of buildings on streets.

Relationship of materials. A majority of buildings are faced with brick and feature stone or cast stone trim. Single-family residential buildings are generally faced with brick and feature wooden trapezoids, bay windows, vegetable gardens, timbering, porch supports, dentils, entablatures, or other classically inspired elements, and other details depending on style. A small number of upscale residential buildings feature wood shapard siding. Stone or stone facing defines the foundations of buildings at 643-647 and 748 West Alexandrine Avenue, 481 Brimard Avenue, 3907 and 4107 Cass Avenue, and 500 West Willis Avenue, the lower levels of buildings at 4120 Cass Avenue, 3781 Second Avenue, 486-491 West Willis Avenue, and the entire primary facade of buildings at 624 and 627 West Alexandrine Avenue and 3877 Cass Avenue. The buildings at 3901 Cass Avenue, commonly known as the Cass Avenue Methodist Church, 3900 and 3977 Second Avenue, and 4100 Third Avenue are composed primarily of stone. Such windows are historically wood but have, in many cases, been replaced with windows of more modern materials. Stone is used for windows all on a majority of buildings within the district. While north walls within the district are generally flat and not visible, pitched roofs typically feature visible eaves or eavelet overhangs. Buildings at 698 Selden and 711 West Alexandrine Avenue feature clay tile roofs. The building at 3901 Cass Avenue, commonly known as the Cass Avenue Methodist Church, features a copper roof on its tower.

The apartment is a combination of brick, stucco and vertical ribbed metal. Balcony rails are clad or painted. Windows are vinyl clad.

Relationship of textures. On a majority of buildings within the district, the most notable effect is that of brick with mortar joints juxtaposed with cast stone or limestone trim. Patterned brickwork is used to create subtle detail on commercial and apartment buildings, such as splayed and rectangular panels, and more pronounced textural interest through the use of brickwork, such as at 481 West Alexandrine Avenue, and in arched cornices on the building at 711 West Alexandrine Avenue. Where they exist, detailed wooden vegetable gardens, gabrels, brackets, and dormer create considerable textural interest on all single-family residential buildings in the district. Rough-hewn stone or brick mortar joints create considerable textural interest when it exists, while other buildings feature smooth stone with thin mortar joints. In general, asphalt shingle roofs do not contribute to textural interest.

The brick veneer base is contrasted with the use of stucco and metal panels. Vertically and horizontally orientated materials provide additional contrast.

Relationship of colors. Natural brick colors in shades of brown, red, and buff predominate on wall surfaces, while natural stone colors in shades of gray, red, and brown also exist. Although most roofs are flat and therefore not visible, sloped roofs typically feature gray asphalt, while some feature red or green clay tile or slate in contrasting colors of gray, red, or green. Wooden architectural details are frequently painted in bold colors, appropriate to the architectural style of the building, which contrast markedly with brick facing. Brick apartment buildings are generally unpainted, with gray stone trim contrasting with brown or buff brickwork. Brick on commercial buildings is frequently painted in shades of yellow or orange. The original colors of any building, as determined by professional analysis, are always acceptable for that building and may provide guidance for similar buildings.

The proposed dark hue brick is compatible with several similar hues in the district. The light-colored stucco and metal panels relate to the lighter stone and brick buildings within the district.

Relationship of architectural details. Buildings in the district exemplify a broad range of architectural styles, and their architectural details relate to their style. The 1800 residential buildings, as well as commercial buildings on Woodward Avenue, are Italianate in style. Single-family residential buildings are often Queen Anne or Stick-Style in style. Romanesque Revival structures include the building at 3977 Second Avenue, commonly known as the Campbell-Springfield House, and the building at 3901 Cass Avenue, commonly known as the Cass Avenue Methodist Church. Large apartment buildings include the Spanish Mission building at 624 West Alexandrine Avenue, commonly known as the El Moore Flats, and several buildings in Beaux Arts and Colonial Revival styles. Also represented are the Jacobethan Revival, Châteauesque, Spanish Colonial, Late Gothic, and Neo-Georgian styles. Buildings range from vernacular to high style in appearance, with the level of architectural detail varying greatly from one building to the next.

The apartment building is a contemporary, modern design style. Detail is less elaborate compared to other buildings in the district. The aim is not to recreate but add to the broad range of architectural styles.



4100 3rd St



690 W Alexandrine St



664-676 W Alexandrine St
(Proposed Development)



654 W Alexandrine St



640 W Alexandrine St



624 W Alexandrine St



4125 2nd Ave

STREET NORTH SIDE



3977 2nd Ave (Alexandrine side)



627 W Alexandrine St



643 W Alexandrine St



667 W Alexandrine St



677 W Alexandrine St



711 W Alexandrine St

STREET SOUTH SIDE

**W ALEXANDRINE STREET CONTEXT
(between 2nd avenue and 3rd street)**

FOR REFERENCE ONLY NOT PART OF CURRENT APPLICATION

WILLIS-SELDEN LOCAL HISTORIC DISTRICT
 PROJECT: 30 UNIT, 3-STORY APARTMENT BUILDING
 BUILDING HEIGHT
 MAXIMUM: 35' HT.
 PROVIDED: 3 STORIES, 35.0' HT.
 FRONT SETBACK
 REQUIRED - 0' MINIMUM FROM R.O.W. LINE
 PROVIDED - 20' FROM R.O.W. LINE
 REAR SETBACK
 REQUIRED - 0' MINIMUM
 PROVIDED - 2.0'

REQUIRED PARKING REQUIREMENTS:
 MULTIPLE-FAMILY DWELLING, WHERE LOCATED
 WITHIN 0.50 MILES OF A HIGH-FREQUENCY
 TRANSIT CORRIDOR
 0.75 SPACES PER DWELLING UNIT
 (30 x 0.75 = 22.5 SPACES)
 TOTAL SPACES REQUIRED = 23 SPACES
 PROPOSED PARKING PROVIDED:
 27 SPACES INCLUDING (1) ADA SPACE
 RECREATIONAL SPACE REQUIREMENTS
 REQUIRED:
 MINIMUM RECREATIONAL SPACE = GSF x REC. SPACE RATIO
 17,744 GSF x 0.07 = 1,242.0 SF
 PROVIDED:
 FRONT: 1,175 SF
 REAR: 250 SF
 TOTAL: 1,425 SF

684 W. ALEXANDRINE
 ZONED SD2

678 W. ALEXANDRINE
 ZONED SD2

4134 THIRD
 ZONED SD2

BUILDING UNIT BREAKDOWN

| | |
|------------------|----|
| STUDIO UNITS: | 5 |
| STUDIO ADA UNIT: | 1 |
| 1 BEDROOM UNITS: | 19 |
| 2 BEDROOM UNITS: | 4 |
| LIVE/WORK UNIT: | 1 |
| TOTAL UNITS: | 30 |

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Bmk
 DESIGN+PLANNING

Bmk DESIGN + PLANNING, LLC
 122 South Laurel Street - Royal Oak - Michigan - 48067
 Ph 248.303.1446
 kmb@bmkdp.com

PROJECT:
The Alexandrine Apartment
 664-676 W. Alexandrine St.
 Detroit, MI 48201

CLIENT:
The Ferlito Group
 440 Selden Street
 Detroit, MI 48201

| DESCRIPTION | DATE |
|----------------------------|----------|
| HDC SUBMITTAL-REVISED | 02/03/21 |
| HDC SUBMITTAL | 11/20/20 |
| SITE PLAN REVIEW SUBMITTAL | 09/22/20 |
| CONCEPT DESIGN REVIEW | 06/30/20 |
| CONCEPT DESIGN REVIEW | 12/30/19 |

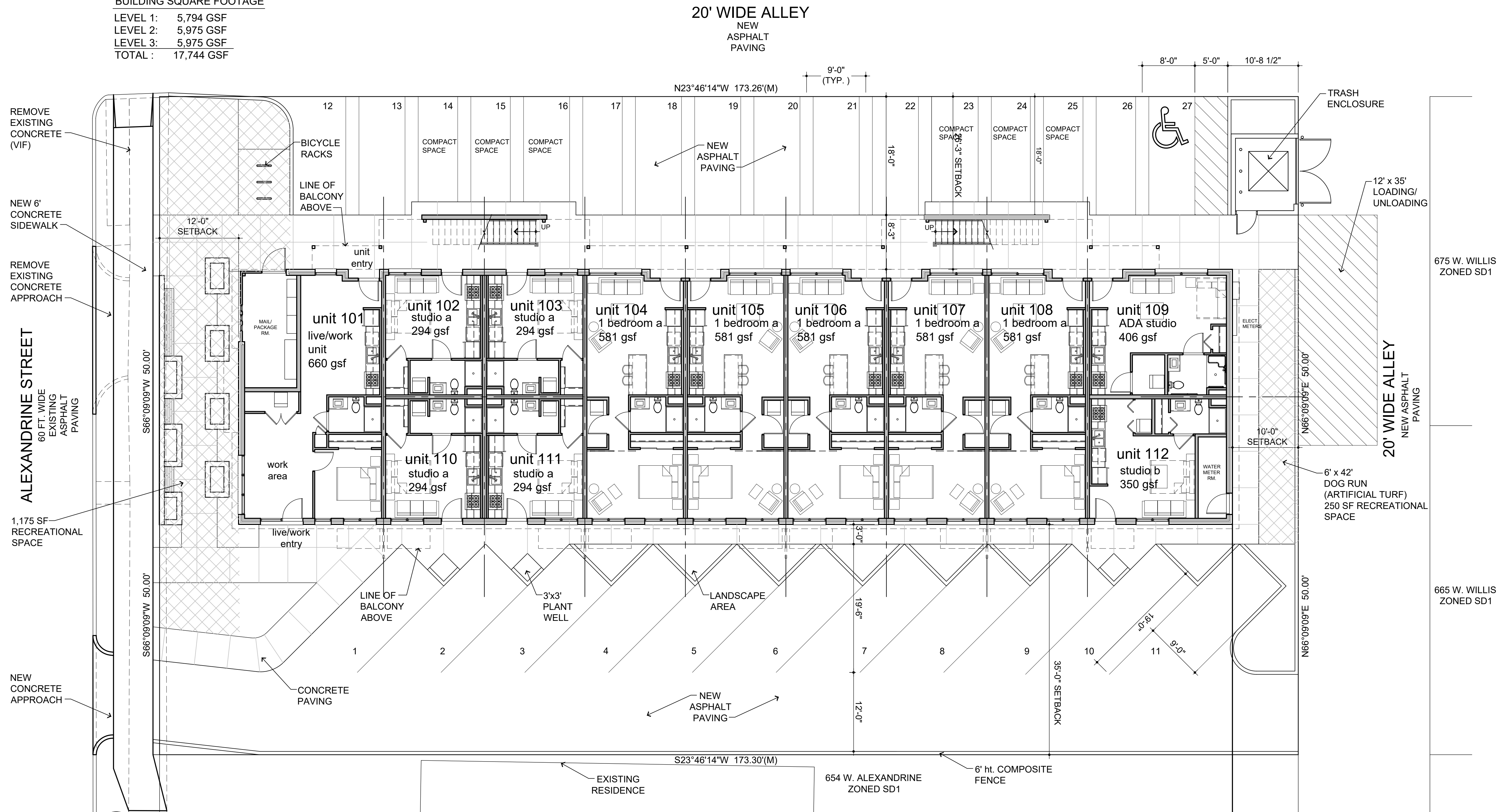
| SHEET TITLE |
|--------------------------------|
| LEVEL 1 FLOOR PLAN / SITE PLAN |

| | |
|-----------------|----------|
| PROJECT NUMBER: | 2019-130 |
| DRAWN BY: | KMB |
| CHECKED BY: | AEK |
| SHEET NUMBER: | |

A100
 Permit No.:

BUILDING SQUARE FOOTAGE

| | |
|----------|------------|
| LEVEL 1: | 5,794 GSF |
| LEVEL 2: | 5,975 GSF |
| LEVEL 3: | 5,975 GSF |
| TOTAL : | 17,744 GSF |

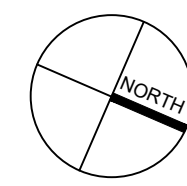
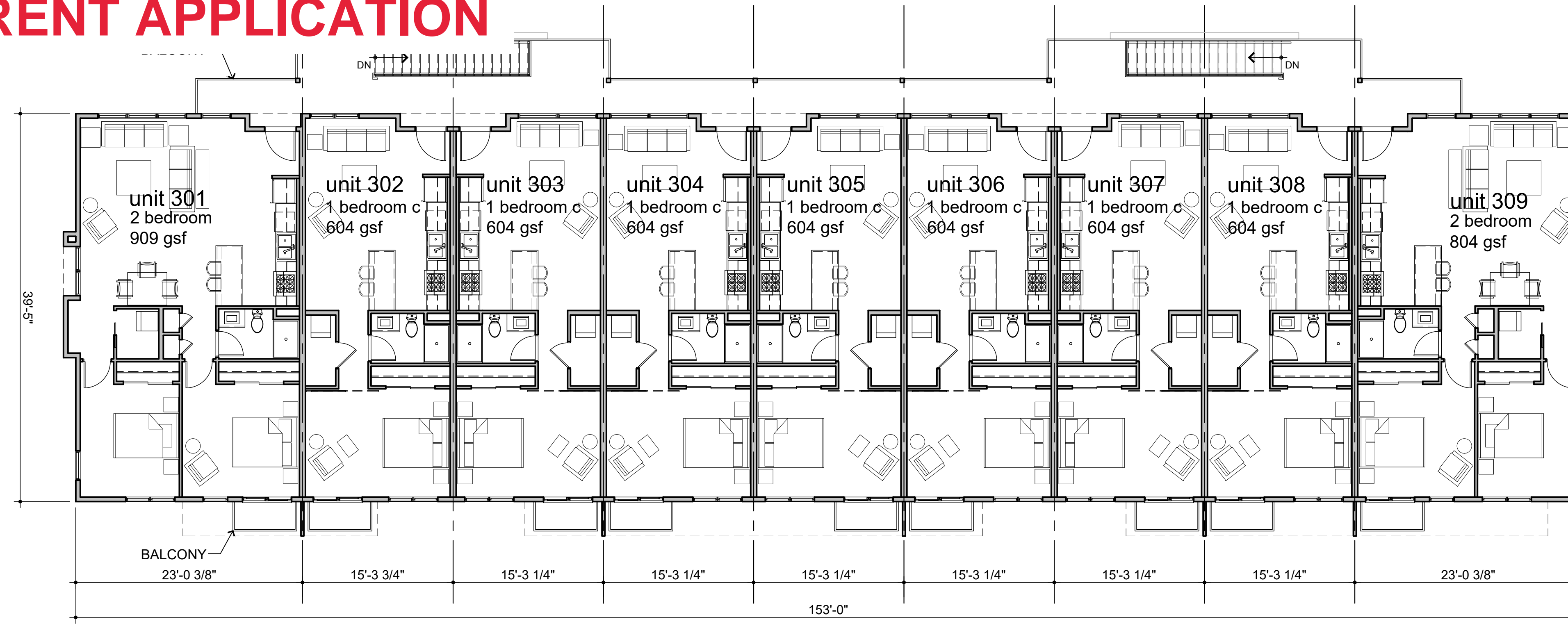


1/A100 level 1 / site plan

| | |
|------------------|----|
| STUDIO UNITS: | 5 |
| 1 BEDROOM UNITS: | 5 |
| STUDIO ADA UNIT: | 1 |
| LIVE/WORK UNIT: | 1 |
| TOTAL: | 12 |

SCALE: 1/8" = 1'-0"

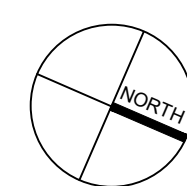
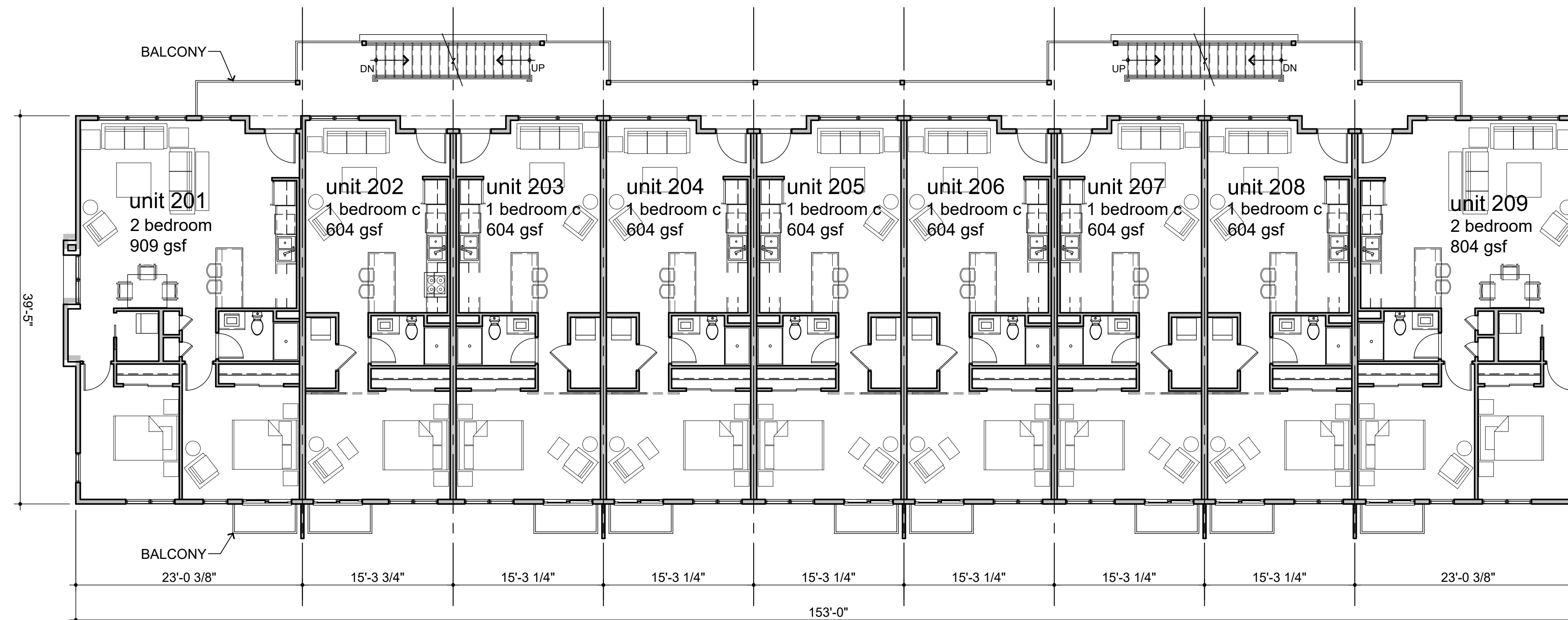
**FOR REFERENCE ONLY
NOT PART OF CURRENT APPLICATION**



2/A101 floor plan - level 3

| | |
|------------------|---|
| 1 BEDROOM UNITS: | 7 |
| 2 BEDROOM UNITS: | 2 |
| TOTAL: | 9 |

SCALE: 1/8" = 1'-0"



1/A101 floor plan - level 2

| | |
|------------------|---|
| 1 BEDROOM UNITS: | 7 |
| 2 BEDROOM UNITS: | 2 |
| TOTAL: | 9 |

SCALE: 1/8" = 1'-0"

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Bmk
DESIGN+PLANNING

Bmk DESIGN + PLANNING, LLC
122 South Laurel Street - Royal Oak - Michigan - 48067
Ph 248.303.1446
kmb@bmkdp.com

PROJECT:
The Alexandrine Apartment
664-676 W. Alexandrine St.
Detroit, MI 48201

CLIENT:
The Ferlito Group
440 Selden Street
Detroit, MI 48201

| DESCRIPTION | DATE |
|----------------------------|----------|
| HDC SUBMITTAL-REVISED | 02/03/21 |
| HDC SUBMITTAL | 11/20/20 |
| SITE PLAN REVIEW SUBMITTAL | 09/22/20 |
| CONCEPT DESIGN REVIEW | 06/30/20 |
| CONCEPT DESIGN REVIEW | 12/30/19 |

SHEET TITLE:
**LEVEL 2-3
FLOOR PLANS**

PROJECT NUMBER:
2019-130

DRAWN BY:
KMB

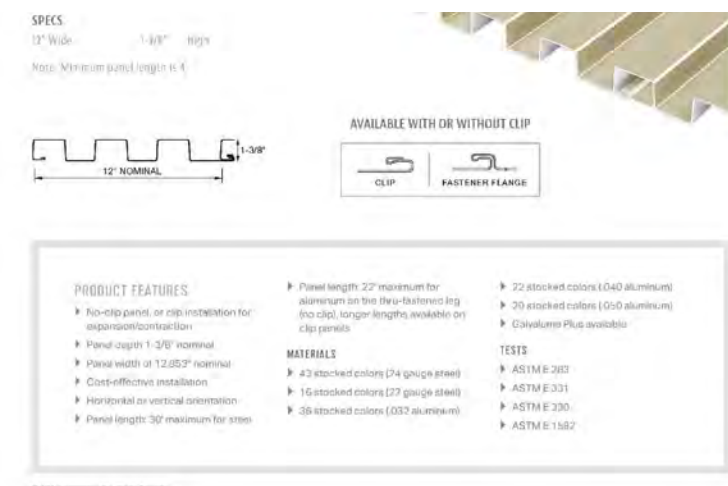
CHECKED BY:
AEK

SHEET NUMBER:

A101

Permit No.:

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vertical metal panel profile



accent color palette

All materials to be of a non-reflective, matte finish



sample window example

DF HYBRID WINDOWS BY JELD-WEN
COLOR: DP WHITE

main building color palette

All materials to be of a non-reflective, matte finish



dwelling unit entry light fixture

GLACIER INTEGRATED LED WALL LIGHT BY ARTIKA

ROOF TOP MECHANICAL EQUIPMENT NOTE:
EXTENT OF MECHANICAL EQUIPMENT ON ROOF IS NOT YET DETERMINED. ANY EQUIPMENT PROPOSED ON THE ROOF SHALL BE SCREENED IN ACCORDANCE TO ORDINANCE REQUIREMENTS.

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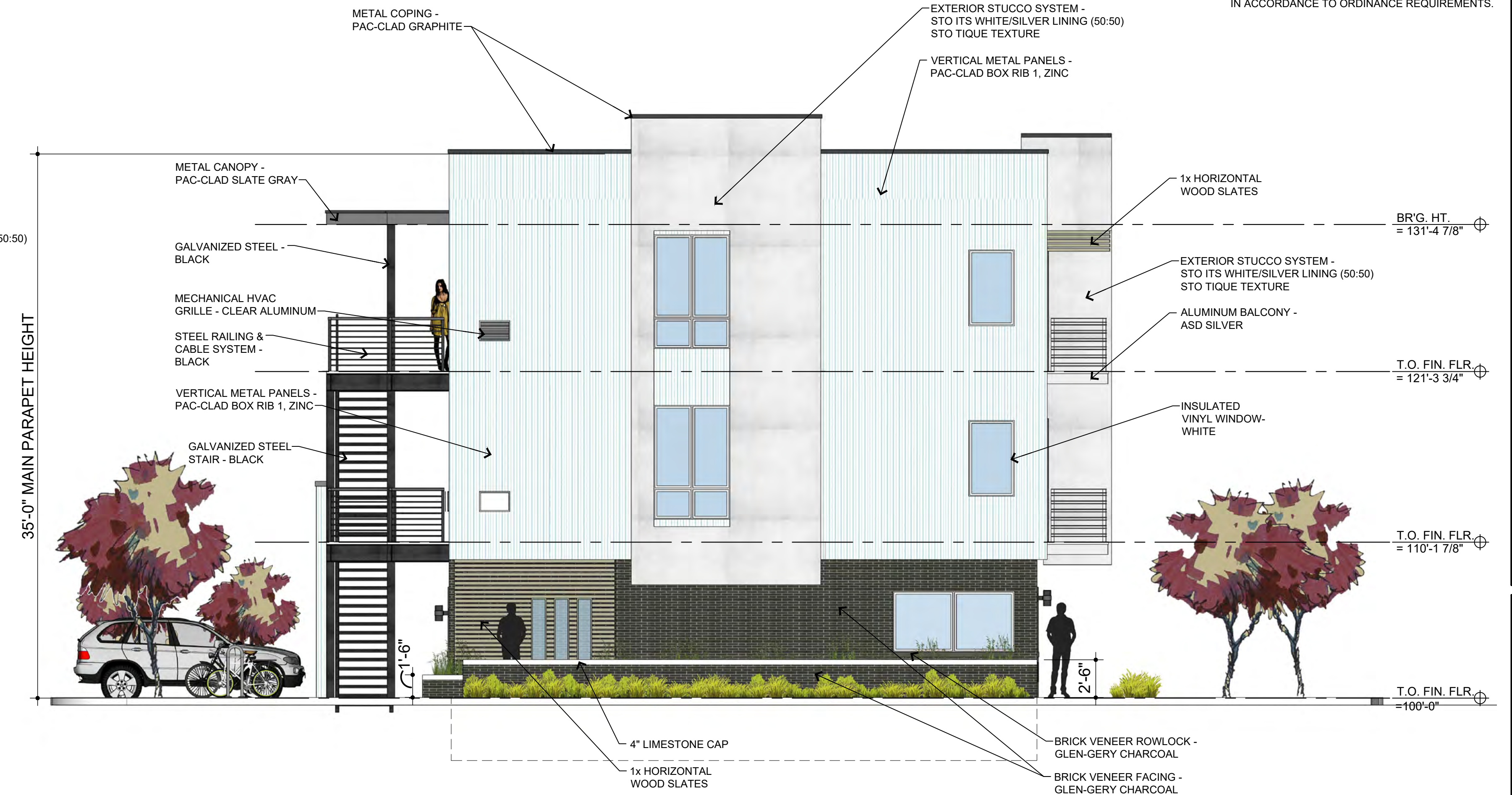
The Ferlito Group
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Detroit, MI 48201

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| CONCEPT DESIGN REVIEW | 06/30/20 |
| CONCEPT DESIGN REVIEW | 12/30/19 |

| SHEET TITLE: |
|----------------------------|
| EXTERIOR ELEVATIONS |

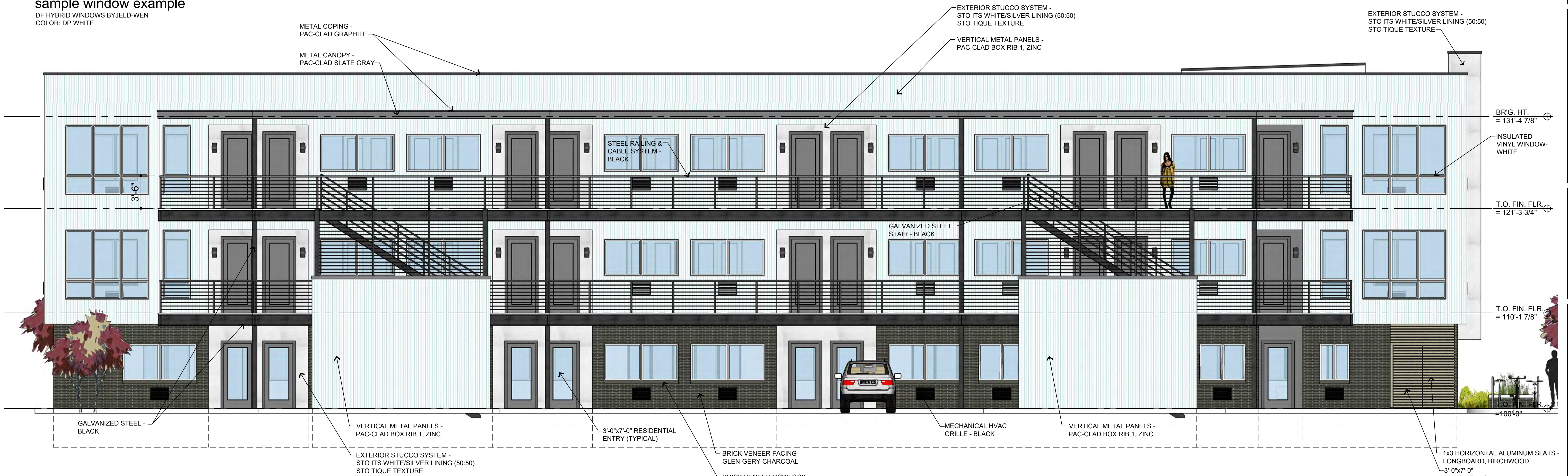
| PROJECT NUMBER: |
|-----------------|
| 2019-130 |
| DRAWN BY: |
| KMB |
| CHECKED BY: |
| AEK |
| SHEET NUMBER: |

A300
Permit No.:



2/A300 southeast (front) elevation

SCALE: 3/16" = 1'-0"



1/A300 southwest (left) elevation

SCALE: 3/16" = 1'-0"

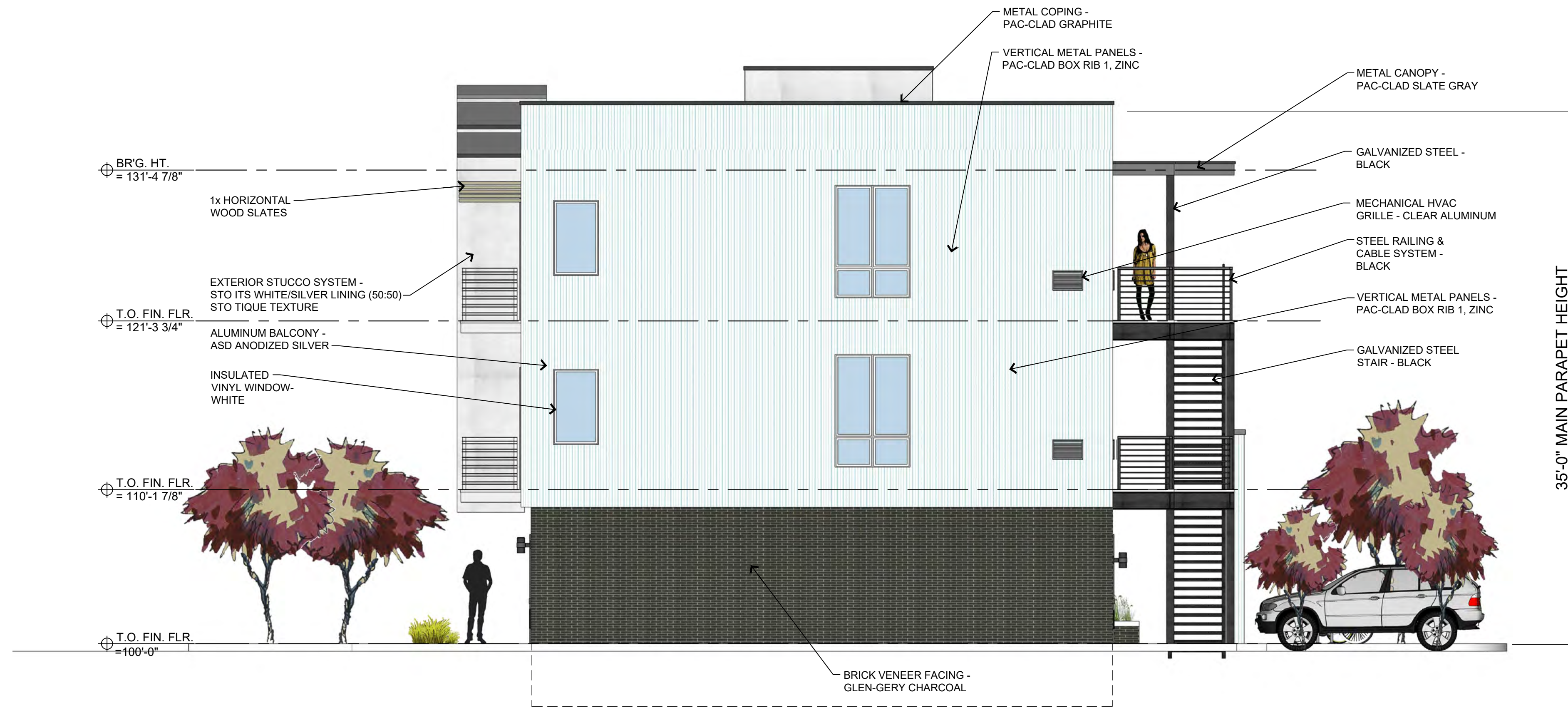
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ROOF TOP MECHANICAL EQUIPMENT NOTE:
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2/A301 northwest (rear) elevation

SCALE: 3/16" = 1'-0"



1/A301 northeast (right) elevation

SCALE: 3/16" = 1'-0"

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| CONCEPT DESIGN REVIEW | 06/30/20 |
| CONCEPT DESIGN REVIEW | 12/30/19 |

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SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT NUMBER:
2019-130

DRAWN BY:
KMB

CHECKED BY:
AEK

SHEET NUMBER:
A301

Permit No.:

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4/A400 view from the northwest



3/A400 view from the southwest



2/A400 view from the northeast



1/A400 view from the southeast

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| CONCEPT DESIGN REVIEW | 06/30/20 |
| CONCEPT DESIGN REVIEW | 12/30/19 |

SHEET TITLE:

EXTERIOR IMAGES

PROJECT NUMBER:
2019-130

DRAWN BY:
KMB

CHECKED BY:
AEK

SHEET NUMBER:

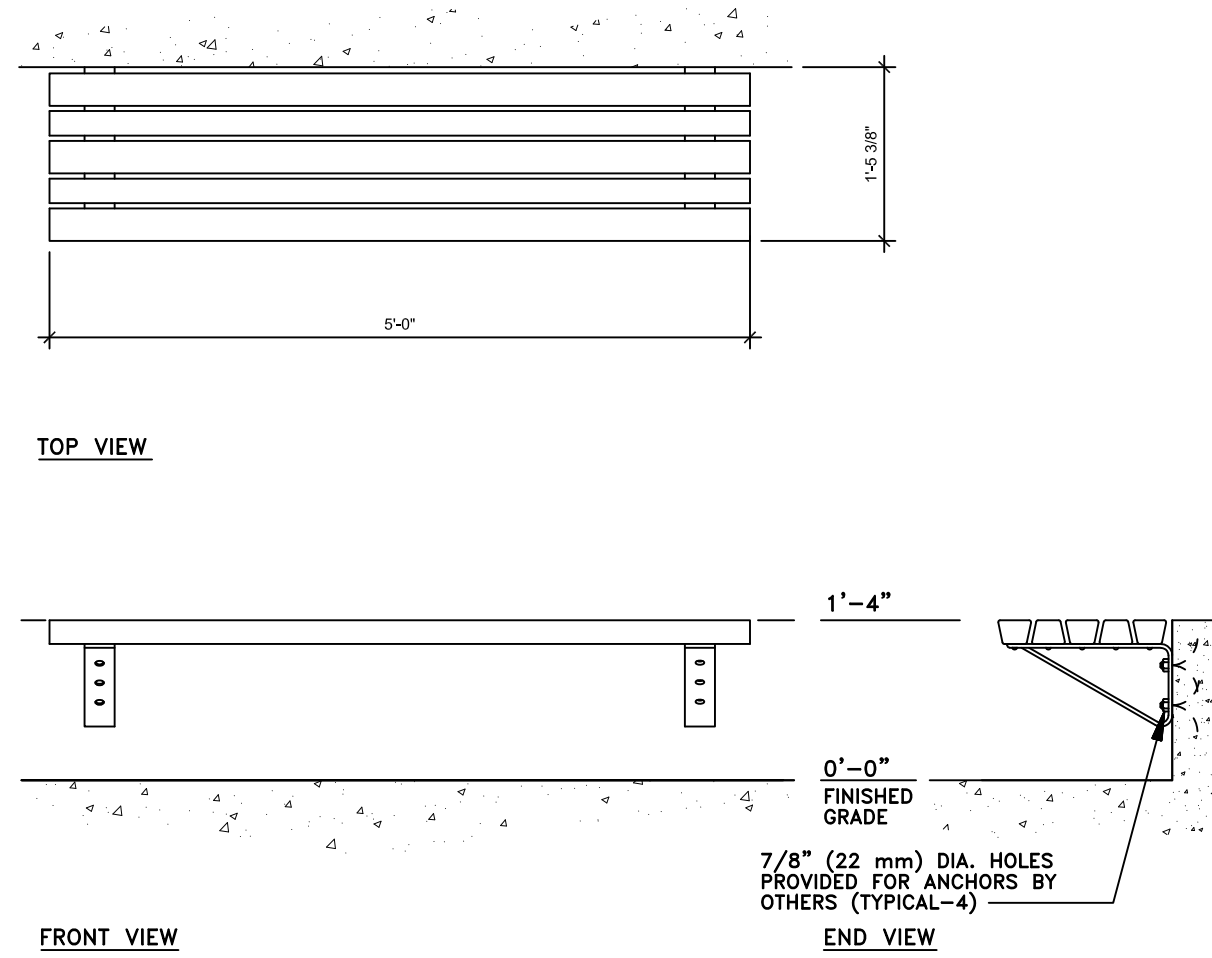
A400

Permit No.:

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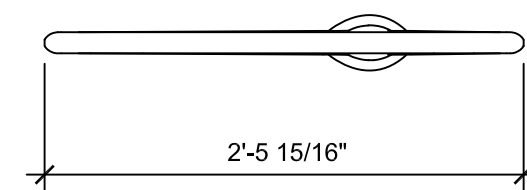


PRODUCT IMAGE



wall mounted bench detail

TIMBERFORM GREENWAY
MODEL NO. 2144-6
WALL-MOUNT SEAT

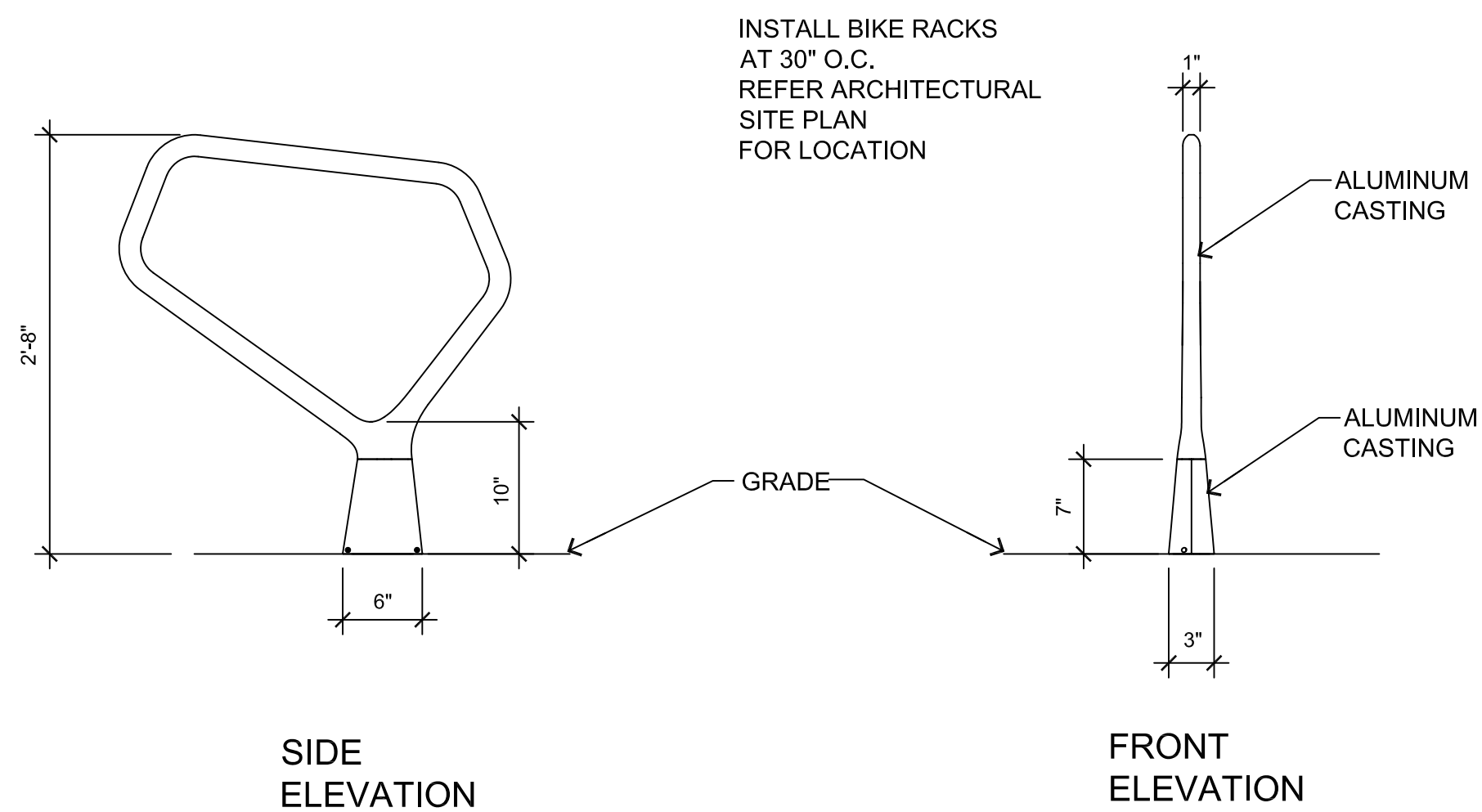


PLAN

EMBEDDED OPTION INCLUDES TWO EACH:
M12 x 1.75 THREADED RODS, 120 MM LENGTH
M12 x 1.75 HEAVY HEX NUTS
M12 FLAT WASHERS
ALL CARBON STEEL WITH MAGNI-COAT



PRODUCT IMAGE



INSTALL BIKE RACKS
AT 30" O.C.
REFER ARCHITECTURAL
SITE PLAN
FOR LOCATION

bicycle rack

LANDSCAPE FORMS: FGP BIKE RACK

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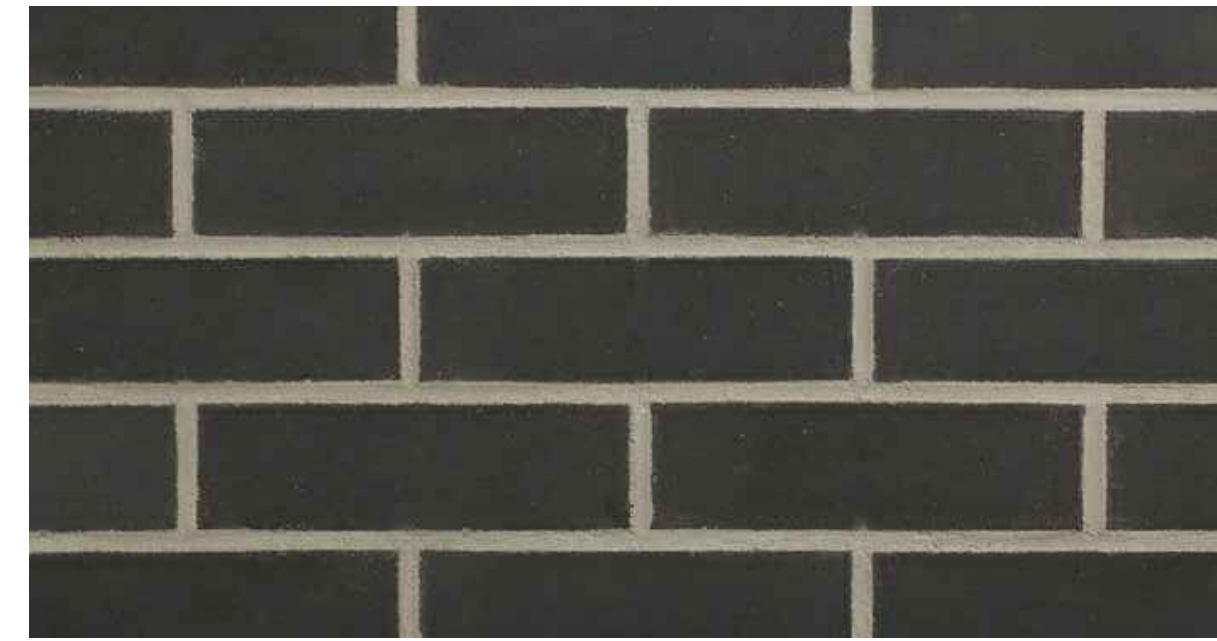
MST MODULAR

Beauty in flatness!

The MS 1 Modular offers you a world of design possibilities. The slender lines and large flat surfaces that characterize this profile with multiple widths will inevitably add a unique cachet to the projects on which it is used. Without visible screws, this triangular pinch-shaped profile will inevitably create a distinct size effect.

CHARACTERISTICS

- Maintenance free
- 40 year warranty
- No visible joints for a clean and modern style
- Triangular pinch stick



brick veneer facing
Glen-Gery
Chacoal (S85)

AVAILABLE COLORS

SIGNATURE COLLECTION



INSPIRATION COLLECTION



vertical metal panel profile
MAC Metal Architectural



HARRYWOOD



Style without concessions!

Of European influence, this profile with fine and clean lines will bring a sure value to the contemporary and classic designs in which it is integrated. Combining style, robustness and durability, it will inevitably enhance the look of your project by giving it an unparalleled elegance.



HARRYWOOD



The look of wood,
the durability of steel!

unit entry alcoves
vertical metal panel profile
MAC Metal Architectural

FOR REFERENCE ONLY NOT PART OF CURRENT APPLICATION

System Bulletin



StoTherm® ci Classic

Decorative cladding with continuous insulation and continuous air/moisture barrier for heat, air and moisture control



| System Description | |
|---|---|
| StoTherm ci Classic is a decorative and protective exterior wall cladding that combines superior air and weather tightness with excellent thermal performance and durability. It incorporates continuous exterior insulation and a continuous air/moisture barrier with Sto's high performance finishes in a fully tested wall cladding assembly. | |
| Uses | |
| StoTherm ci Classic can be used in residential or commercial wall construction where energy efficiency, superior aesthetics, and air and moisture control are essential in the climate extremes of North America. | |
| Features | |
| Design versatility | Aesthetic and curb appeal easy to achieve |
| Continuous exterior insulation, no mechanical fasteners | Energy efficient, reduced heating and cooling costs |
| Lightweight | Reduced structural costs |
| Continuous air and moisture barrier | Protects against mold and moisture problems |
| ICC-ES listed and evaluated | Fully tested building code compliant assembly |
| Properties | |
| Weight (not including sheathing and frame) | < 2 psf (10 kg/m ²) |
| Thickness (insulation) | 1 to 12 inches (25 – 305 mm) |
| R-value (not including sheathing and frame) | 3.8 – 43.2 R ^{h+} ·F / Btu (0.63 – 7.60 m ² ·K / W) |
| Wind Load Resistance | Tested up to + 188 psf (9.00 kPa) |
| Compliance | <ul style="list-style-type: none"> IBC and IRC (2006, 2009, 2012) ASHRAE 90.1-2010 I-V, NFPA 285 tested for types I-IV ASTM E 119 tested for 1&2 hour walls |
| Construction Types and Fire Resistance | |
| Warranty | |
| 12 Year Limited Warranty | |
| Maintenance | |
| Requires periodic cleaning to maintain appearance, repair to cracks and impact damage if they occur, recoating to enhance appearance of weathered finish. Sealants and other façade components must be maintained to prevent water infiltration. | |

Substrate: Glass Mat Gypsum sheathing in compliance with ASTM C 1177, Exterior or Exposure I wood-based sheathing (plywood or OSB), code compliant concrete, concrete masonry or portland cement plaster, existing structurally sound, uncoated brick or other masonry wall construction.

- 1) StoGuard® Air and Moisture Barrier
- 2) Three adhesive options: Sto TurboStick™, Sto BTS® Plus, or Sto BTS Xtra
- 3) Sto EPS Insulation Board
- 4) Sto Mesh (embedded in Sto base coat)
- 5) Three base coat options: Sto BTS Plus, Sto BTS Xtra, or Sto RFP
- 6) StoPrime Sand (optional)
- 7) Sto Textured Finish: Stoli® or Stoli® X

System Bulletin



StoTherm® ci Classic

Decorative cladding with continuous insulation and continuous air/moisture barrier for heat, air and moisture control

| Precautions and Limitations | |
|--|--|
| Minimum insulation board thickness 1 inch (25 mm). Maximum insulation board thickness 12 inches (305 mm). | |
| Fire resistance rated assemblies limited to 4 inch (102 mm) maximum insulation board thickness and non-load bearing steel frame. | |
| Structural back-up wall must be level to within 1/4 inch in 10 ft (6mm in 3.0) | |
| Wind load resistance: ± 188 psf (9.00 kPa) ultimate loads achieved. Ultimate wind load resistance also depends on sheathing, sheathing attachment, and stiffness of supporting construction. Design for maximum allowable deflection of L/240. | |
| Impact resistance: supplemental reinforcing mesh layers, cement board overlay or other design adjustments may be prudent for areas adjacent to heavy pedestrian traffic or other areas of high impact or abuse. Refer to Sto Guide Details. | |
| For use on vertical above grade walls only. Do not use below grade or on roofs or roof-like surfaces. | |
| Insulation material is flammable. Keep away from flame, ignition sources, high heat and temperatures in excess of 165°F (74° C). | |
| Dark finish colors with LRV (Light Reflectance Value) < 20 are not recommended. | |
| Air Barrier, insulation board, and base coat materials are not intended for prolonged weather exposure. Allow 180 days maximum between application of air/moisture barrier and insulation board. | |
| Refer to specific component product bulletins and packaging for other limitations that may apply involving use, handling and storage of component materials. | |
| Sustainable Design | |
| Air Quality and VOC Compliance | |
| All finish coatings, adhesives, air barrier joint treatments and coatings meet US EPA (40 CFR 59) and SCAQMD (Rule 1113) emission standards for architectural coatings. | |
| LEED Credit Eligibility | |
| System has high potential for LEED and other sustainability program credits based on efficient and effective use of continuous exterior insulation and resulting reductions in greenhouse gas emissions. | |
| Regulatory Compliance and Standards Testing | |
| ICC ESR No. 1748 covering StoTherm NEXt Systems | Complies with 2009, 2012, 2015 IBC and IRC |
| ICC ESR No. 1233 covering StoGuard Air & Moisture Barrier | Complies with 2009, 2012, 2015 IBC, IRC and IECC |
| ASHRAE 90.1-2010* | Complies with Section 5, Building Envelope, air barrier and continuous insulation requirements |
| ASTM E 2357* | Air/Moisture barrier meets air leakage resistance criteria of ≤ 0.04 cfm/ft ² at 1.57 psf (0.2 L/s·m ² at 75 Pa) |
| NFPA 285* | Meets flame propagation criteria for use on Types I, II, III, IV construction with up to 12 inches (305 mm) of Sto EPS insulation board |
| ASTM E 119* | Meets requirements for 1 or 2 hour rating over non load-bearing fire-resistance-rated steel frame construction, does not change the rating over selected combustible exterior fire-resistance-rated assemblies (refer to ICC ESR 1748) |

1. Energy Standard for Buildings Except Low-Rise Residential Buildings
2. Standard Test Method for Determining Air Leakage of Air Barrier Assemblies
3. Standard Fire Test Method for Evaluation of Fire Propagation Characteristics of Exterior Non-Load-Bearing Wall Assemblies Containing Combustible Components
4. Standard Test Methods for Fire Test of Building Construction and Materials

Sto Corp.
3800 Camp Creek Parkway
Building 1400, Suite 120
Atlanta, GA 30331

Tel: 404-346-5668
Toll Free: 1-800-221-2397
Fax: 404-346-5119

www.stocorp.com

SB-A100G
Revision: 003
Date: 11/2019

Attention
Sto products are intended for use by qualified professional contractors, not consumers, as a component of a large construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with these specifications and Sto's instructions. Sto Corp. disclaims all, and warrants no, liability for on-site exposures, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the performance of all related building components or assemblies, or for other construction activities beyond Sto's control. Repairs on all Sto products or any part of an assembly applied or constructed after discovery of building code violations, or issues related to this product, will be the sole responsibility of the builder or its contractor. **STO CORP. DISCLAIMS ALL WARRANTIES EXPRESS OR IMPLIED, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. ACCEPTED BY BUILDING OWNER IN ACCORDANCE WITH STO'S WARRANTY PROGRAM, WHICH ARE SUBJECT TO STO'S FINAL TIME TO TIME. For products that require installation or proper application, consult, reading and user specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, www.stocorp.com.**

exterior insulation finish system

Sto Corp.

Color: Cream/Buff Mix

Finish: Fine



dwelling unit entry light fixture

GLACIER INTEGRATED LED WALL
LIGHT BY ARTIKA
DIMENSIONS: 5.1" x 3.2" x 11.8"
9.3 WATTS, 3000K, 650 LUMENS
FRAME: ALUMINUM
LENS: GLASS



dwelling unit entry door

THERMA TRU
SMOOTH-STAR S118
DOOR FINISH: ONYX
FRAME FINISH: ONYX



dwelling unit windows

UZOR WINDOWS
FINISH: BLACK



egress balcony railing

FEENEY
CABLE RAIL SYSTEM
STEEL POSTS
1/8" DIAM. CABLE RAIL
FRAME FINISH: BLACK