

STAFF REPORT 03-16-2022 SPECIAL MEETING

PREPARED BY: A. PHILLIPS

APPLICATION NUMBER: 22-7699

ADDRESS: 235 E. BOSTON BOULEVARD

HISTORIC DISTRICT: ARDEN PARK – EAST BOSTON

APPLICANT/OWNER: RICKIE & EGENIA HARDAWAY

ARCHITECT: ROLAND F. DAY II

DATE OF PROVISIONALLY COMPLETE APPLICATION: 02-14-2022

DATE OF STAFF SITE VISIT: 03-08-2022

SCOPE: ERECT GARAGE

EXISTING CONDITIONS

The building located at 235 E. Boston Boulevard is a 2 ½-story single-family residence that was constructed prior to 1915. The building is clad in a variegated brown brick with slate tiles at the gable ends and dormers. Wood details accentuate the structure. The elevated front entry door, located centrally on the asymmetrical front façade is accessed via an uncovered central porch platform. The multi-gable roof is covered in brown asphalt shingles and features brick chimneys at the east and west sides of the front roof surface. The house sits on a large lot with spacious front, rear, and side yards. A garage was originally located at the far northwest corner of the lot but no longer exists. Multiple concrete slabs exist at the rear yard and are accessed from East Boston Boulevard via a concrete driveway running along the west side of the house.



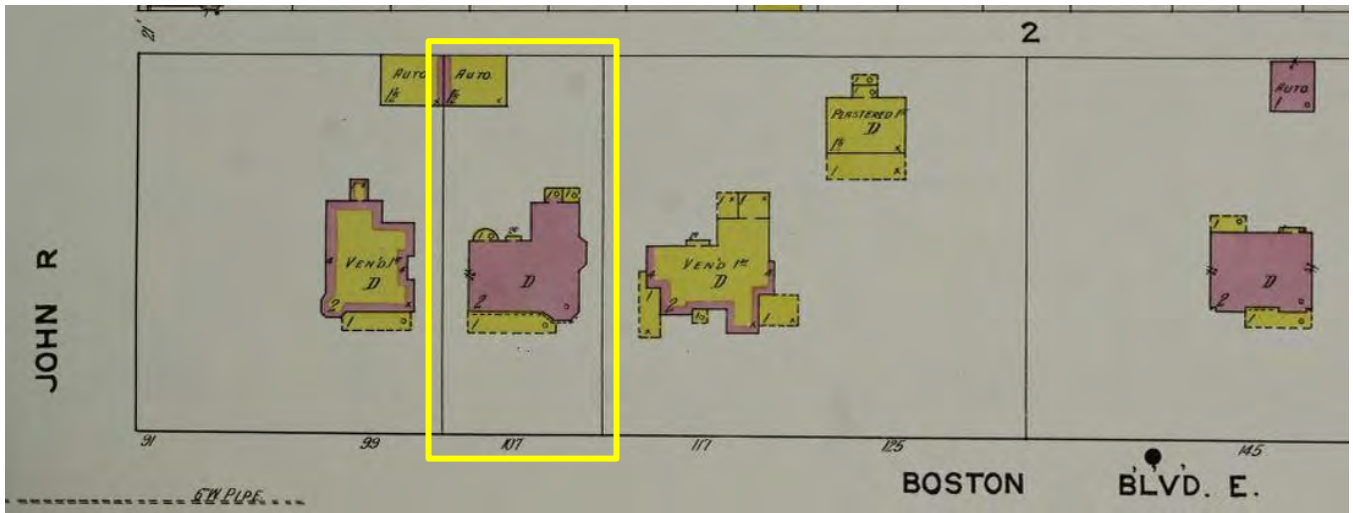
View of existing conditions at 235 E. Boston Boulevard looking northeast from E. Boston Blvd. Staff photo, March 8, 2022.



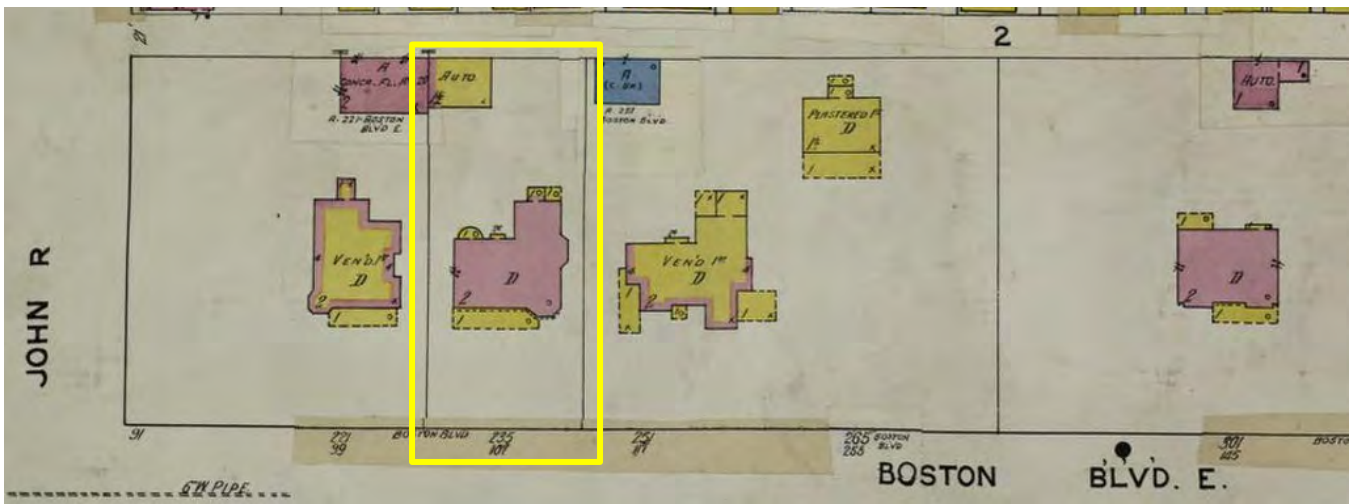
View of existing conditions at rear yard of 235 E. Boston Boulevard looking southeast from public alley. Note that no garage currently exists. Staff photo, March 8, 2022.



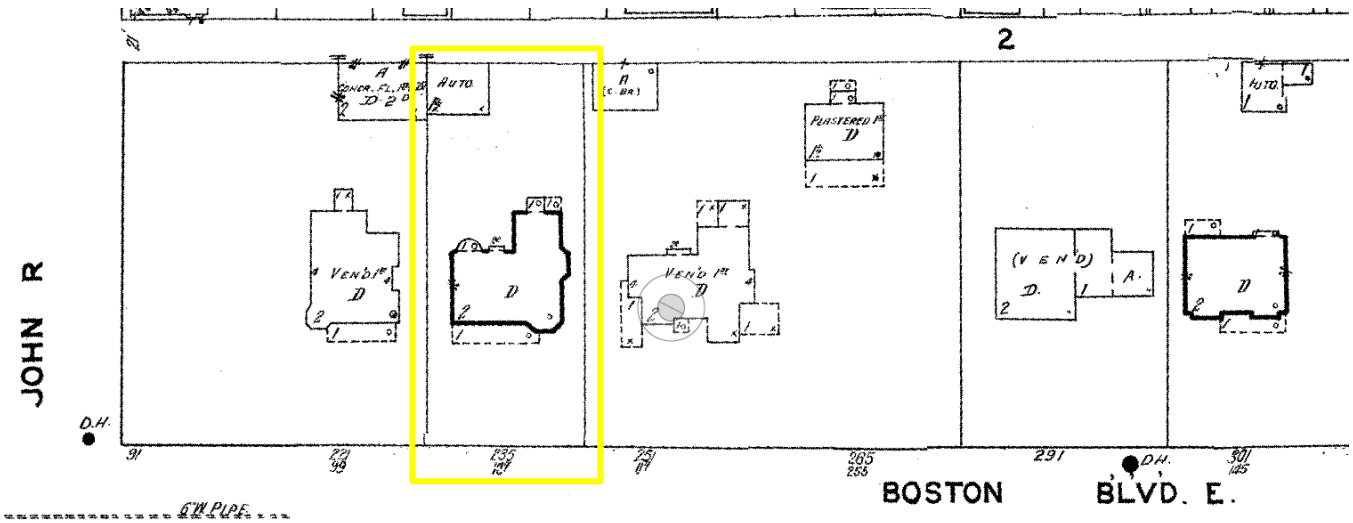
Parcel view of vicinity, 235 E. Boston Boulevard is outlined in yellow.



1915 Sanborn Map, 235 E Boston Boulevard is outlined in yellow.



1915-1950 Sanborn Map, 235 E Boston Boulevard is outlined in yellow.

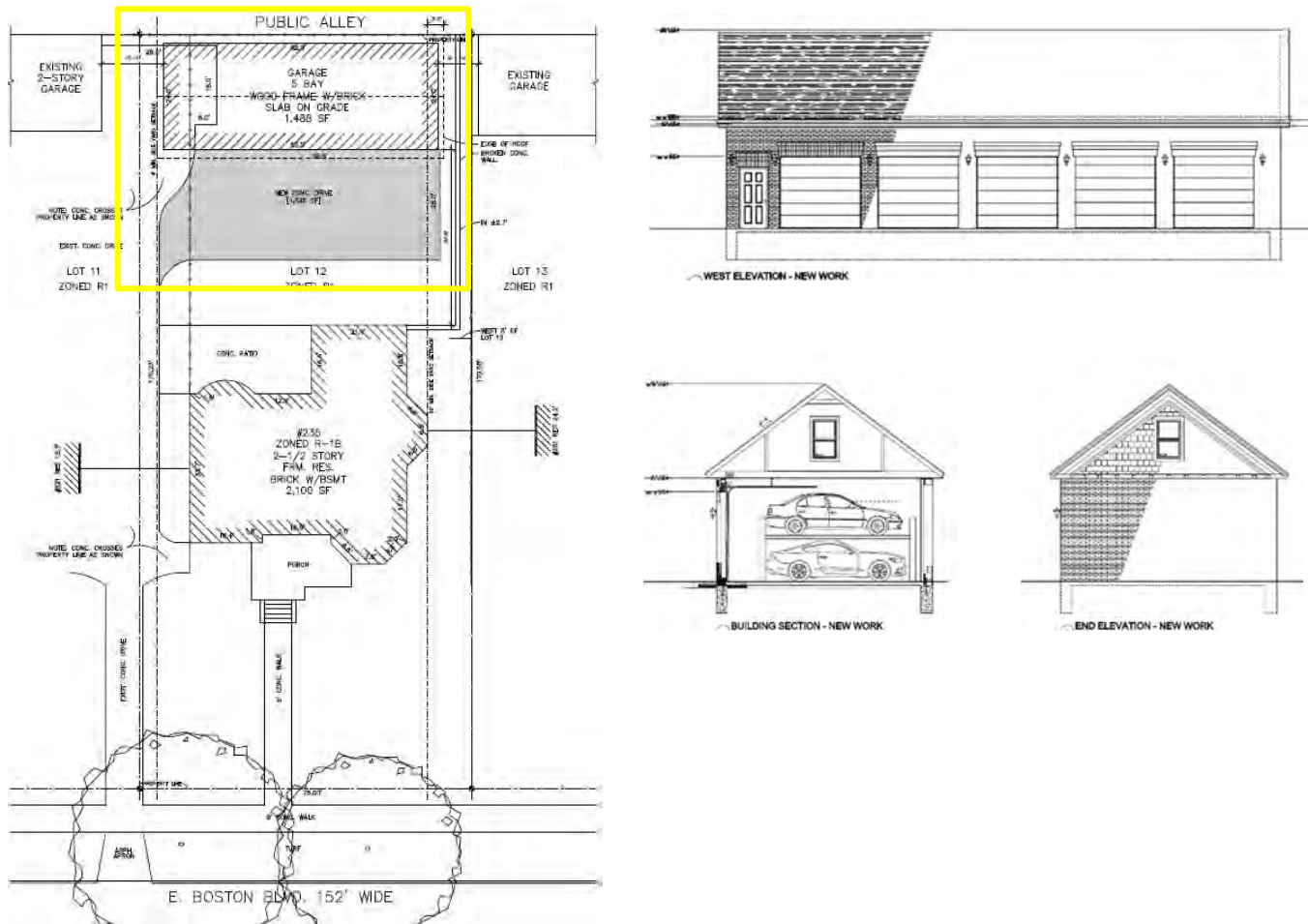


Post - 1950 Sanborn Map, 235 E Boston Boulevard is outlined in yellow.

PROJECT DESCRIPTION

Per the submitted drawings and documents, the applicant is proposing to partially demolish the existing concrete foundation, pour a new concrete foundation and slab and erect a new 62' x 24' 5-car garage and associated concrete drive and apron. Proposal details include:

- Garage to be single-story (22' tall), wood-framed structure with attic storage
- Three (3) walls (east, south, west) to be clad in 4" modular brick veneer and 1 wall (north/alley-facing) to be clad in 8" concrete masonry units (CMU)
- Side-gable roof to be covered in asphalt 3-tab shingles
- Brown aluminum gutters and downspouts
- Gable ends at east and west elevations to be clad in synthetic slate roofing tile and include a single 1/1 double-hung, aluminum-clad wood window (white in color) at each gable end
- Install five (5) overhead, multi-paneled garage doors (white in color), one (1) single-panel person-door at the west end of the south elevation, install seven (7) outdoor light fixtures with motion sensors
- Concrete apron to be located adjacent to the garage's south elevation and is to have a footprint of 55.5' x 25'



Site plan, elevations, and section from applicant's materials. Location of proposed work is highlighted in yellow on the site plan.

STAFF OBSERVATIONS AND RESEARCH

- The Arden Park – East Boston Historic District was established in 1981. The Historic District is known for its open space including the narrow landscaped parks along Woodward Avenue, the grassy boulevards of East Boston and Arden Park, large building lots, and generous space between buildings. The Elements of Design for the Arden Park – East Boston Historic District state:

(14) Relationship of open space to structures. Open space in the district was planned, for the most part, when the subdivision was platted and the lots on the corner of Woodward Avenue and Arden Park were deeded to the City for use as a park. The Woodward Avenue frontage at Boston now contains, on the southeast corner, a church structure, and on the northeast corner, a fenced-in open space relating to the Blessed Sacrament Church to the north and the Dodge House to the east. The medians in the center of the boulevards provide open space unifying the district as a whole. The siting of all houses on their lots create rear yards as well as front yards; where an original or early arrangement of a house and grounds included and still includes landscaped lots which form part of the landscaping plan for the residence, such landscaped lots are significant landscape features. Corner lots are sometimes shielded on the street side by shrubbery and/or fences.
- As shown on the Sanborn maps, the original 1 ½ story garage was located at the far northwest corner of the lot and had a small footprint within the large rear yard. According to the Sanborn Maps shown previously, the original garage was demolished after 1950, however, the exact date is unknown. The adjacent lot to the west (221 E Boston) also shows a 1 ½ story garage of the same footprint. At some point between 1915 and 1950, a larger 2-story garage was constructed at the adjacent lot. While this adjacent structure is of historic age, and may be a contributing building to its own individual property, it should not be used as a precedent for large garages on all properties as the lot it sits within is much larger than the lot currently before the Commission.
- Staff observed the completion of the following work items which were not approved by the Commission:
 - Installation of black chain-link fence around rear yard
 - Replacement of at least 15 historic windows with replacement windows of unknown material
 - All basement windows have been replaced with glass block
 - Installation of two (2) concrete pads at rear yard – one adjacent to the house and one adjacent to the slab of the original garage
 - Removal/alteration of front and rear porch platforms and roofs
 - Replacement of multiple doors

The work items listed above are not recent work. Google Street View shows many of the work items existing at the front elevation since at least 2009.

ISSUES

- As noted above, the open space of this district is a character defining feature, including the open space surrounding the historic houses at their front, side, and rear yards.
- Staff's main concern is the size of the proposed garage. The width of the proposed garage (62') not only nearly spans the entire 70' width of the lot, it is also wider than the footprint of the historic house. Furthermore, the footprint of the proposed garage along with the large concrete drive/apron adjacent to the garage leaves very little of the historic rear yard space remaining.
- It is staff's opinion that the proposed CMU at the rear (north/alley-facing) wall only (all other walls proposed to be modular brick veneer) is incompatible with the historic character of its environment.
- The work, as proposed in this application, is incompatible with the historic character of its environment as it greatly alters the rear yard which characterizes the property and the surrounding district. The work does not meet the Secretary of the Interior's Standards nor the Elements of Design for the Arden Park – East Boston Historic District.

RECOMMENDATION

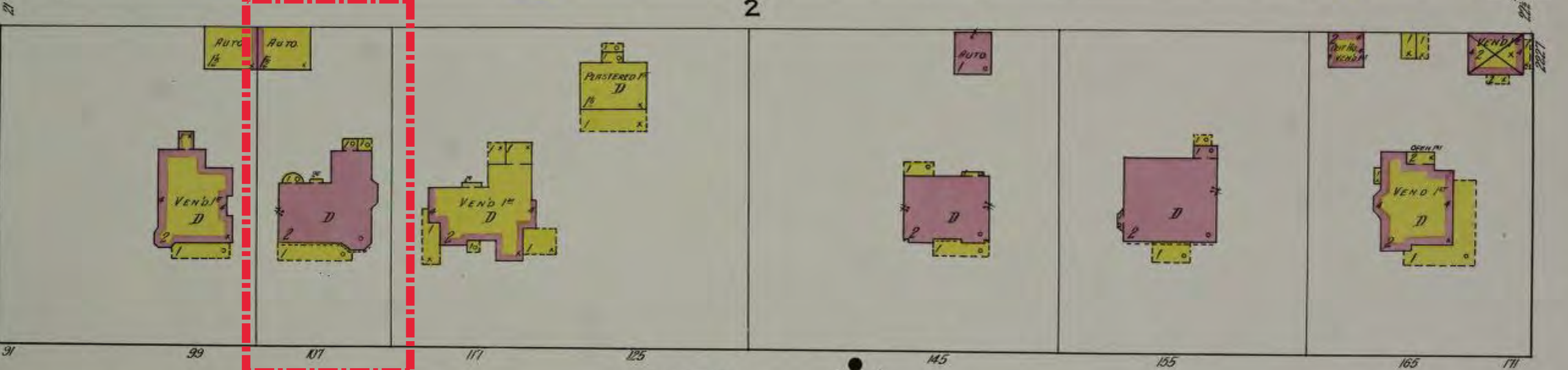
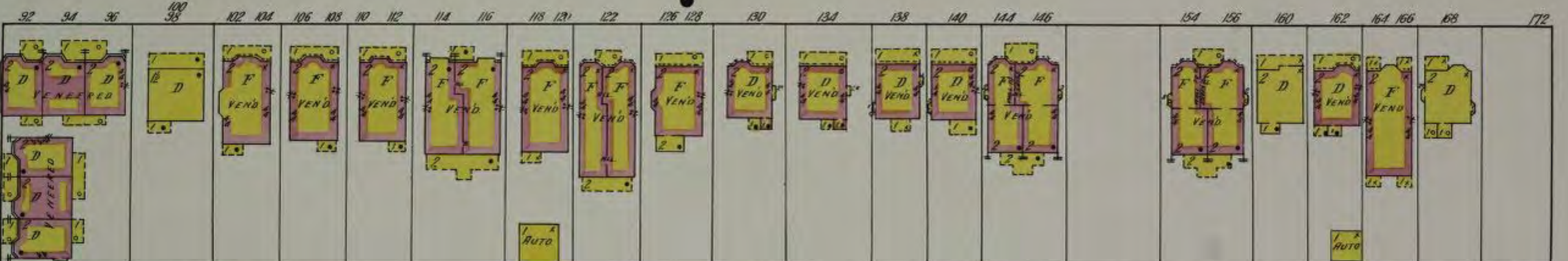
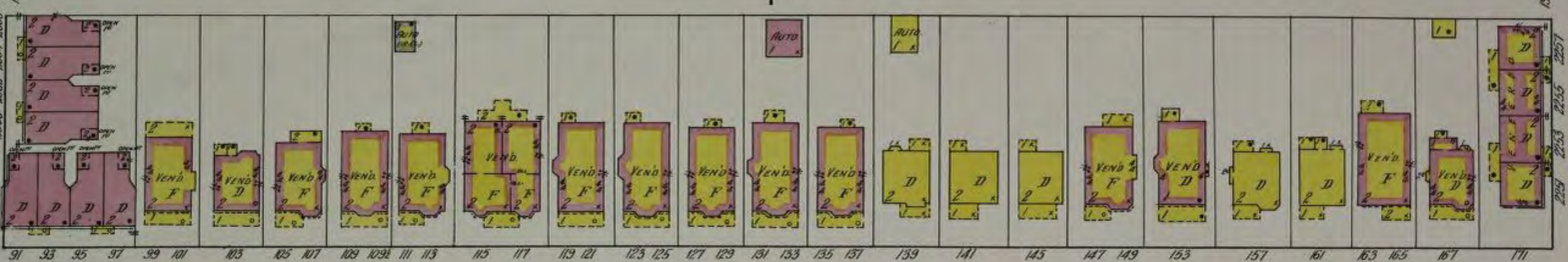
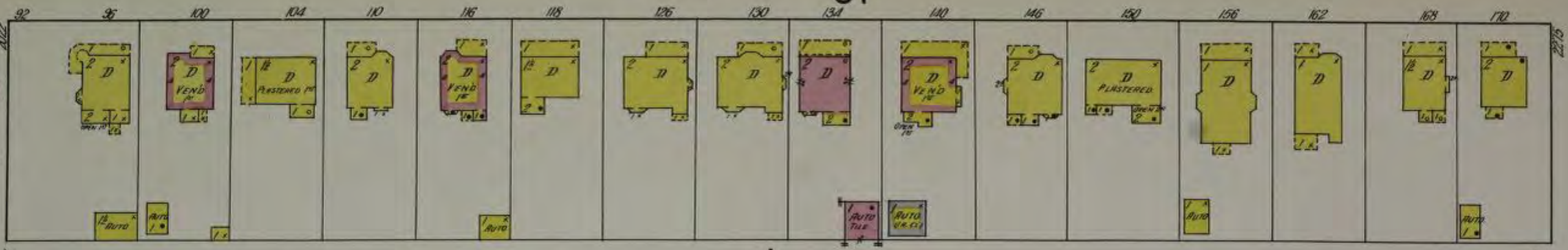
Section 21-2-78, Determinations of Historic District Commission

The proposed work is incompatible with the historic character of its environment, alters features and spaces important to the historic setting, and is in conflict with the district's Elements of Design.

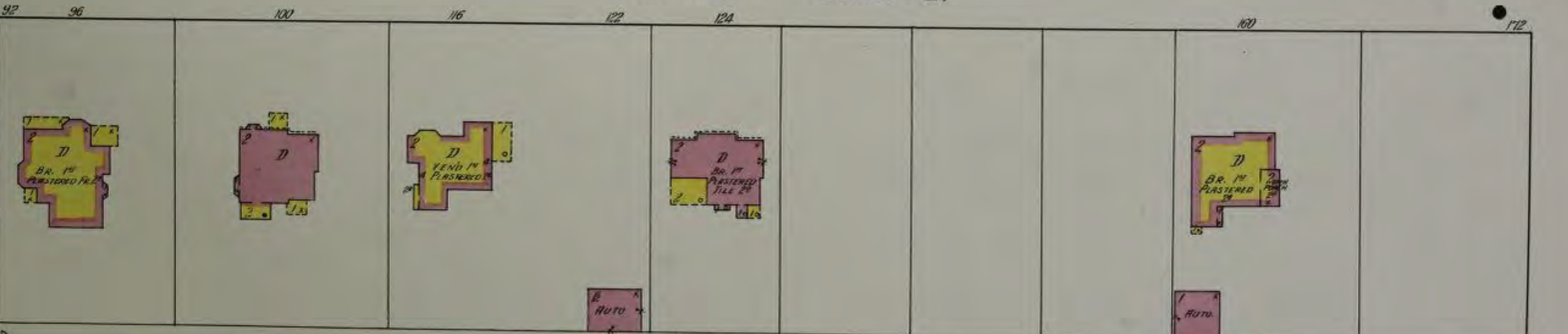
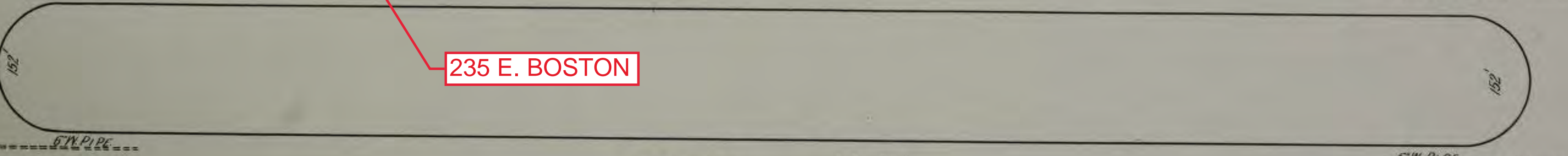
Staff therefore recommends that the Commission deny the proposal, as it fails to meet the Secretary of the Interior's Standards for Rehabilitation and the Arden Park – East Boston Historic District's Elements of Design, specifically Standards 2 and 9:

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



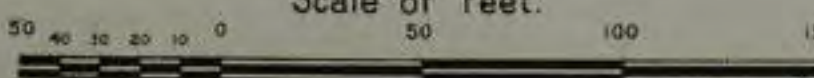
235 E. BOSTON



3



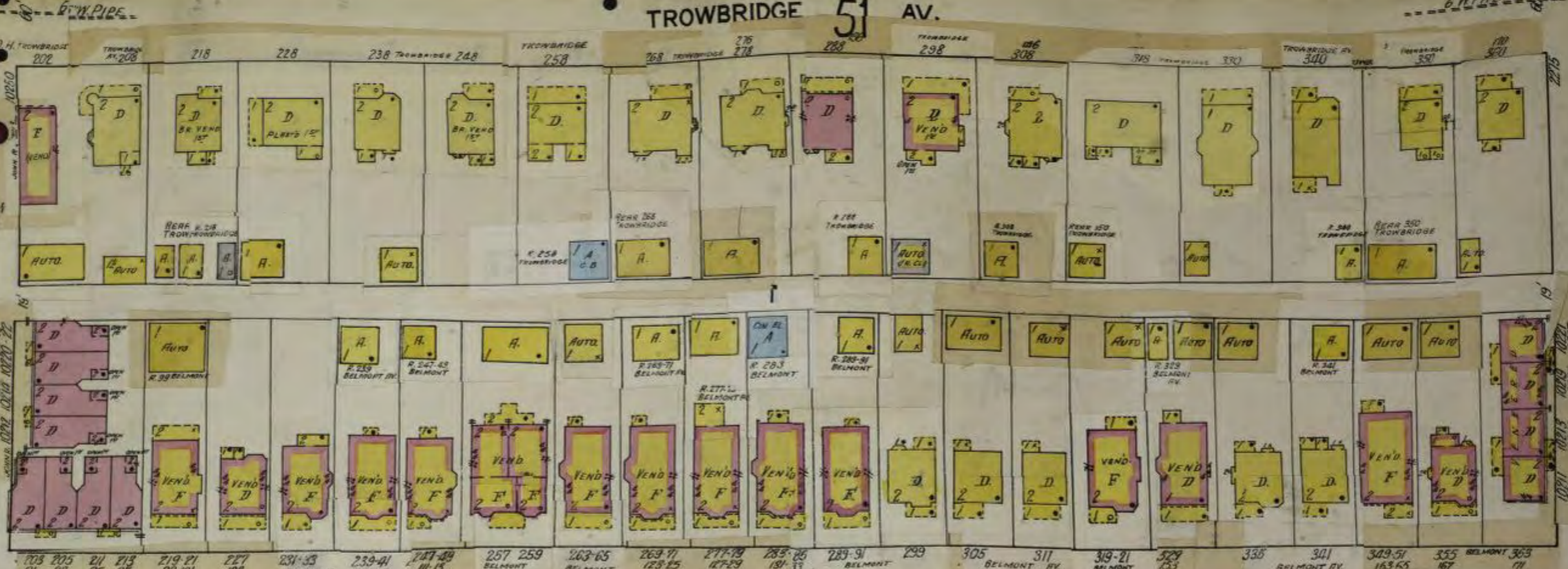
Scale of Feet.



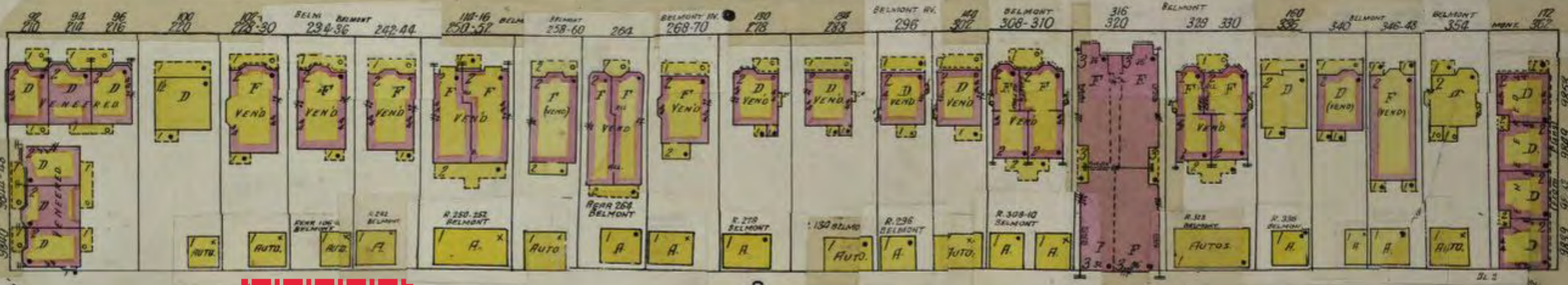
File Reference Map Collecting
Geographical and Map Division
Library of Congress

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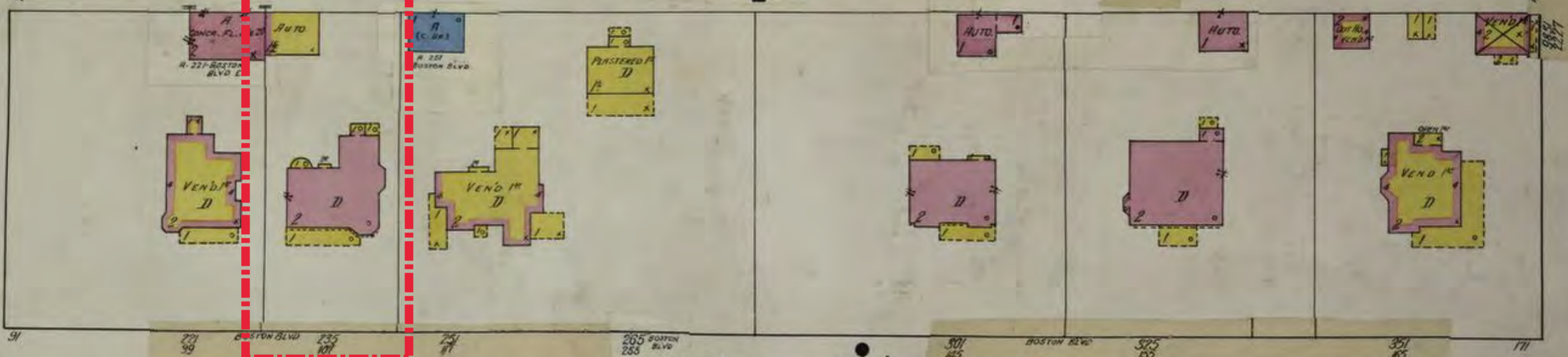
TROWBRIDGE 51 AV.



BELMONT AV.

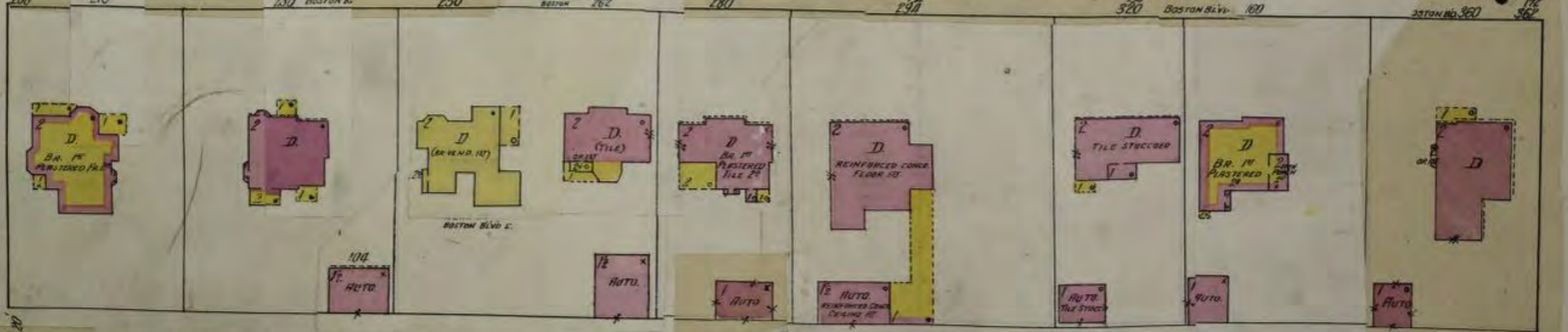


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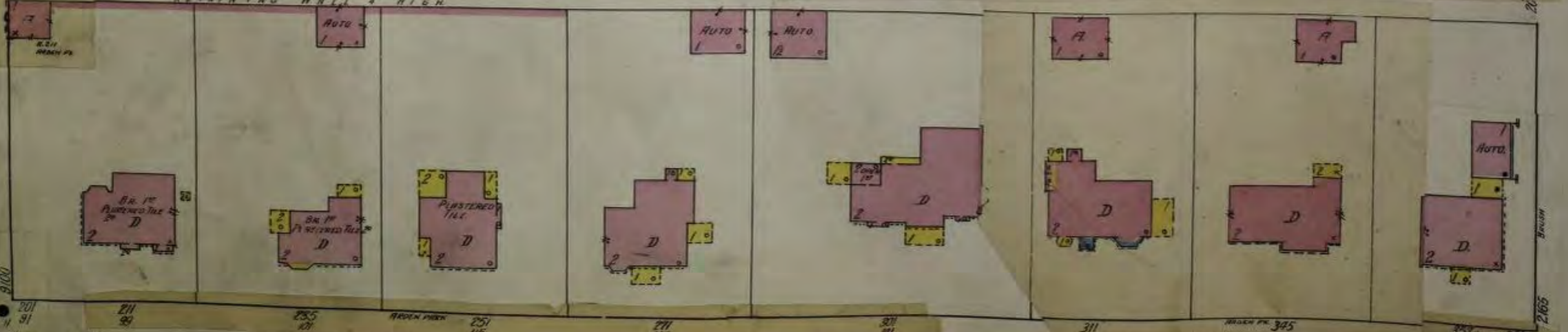


235 E. BOSTON

BOSTON BLVD. E.

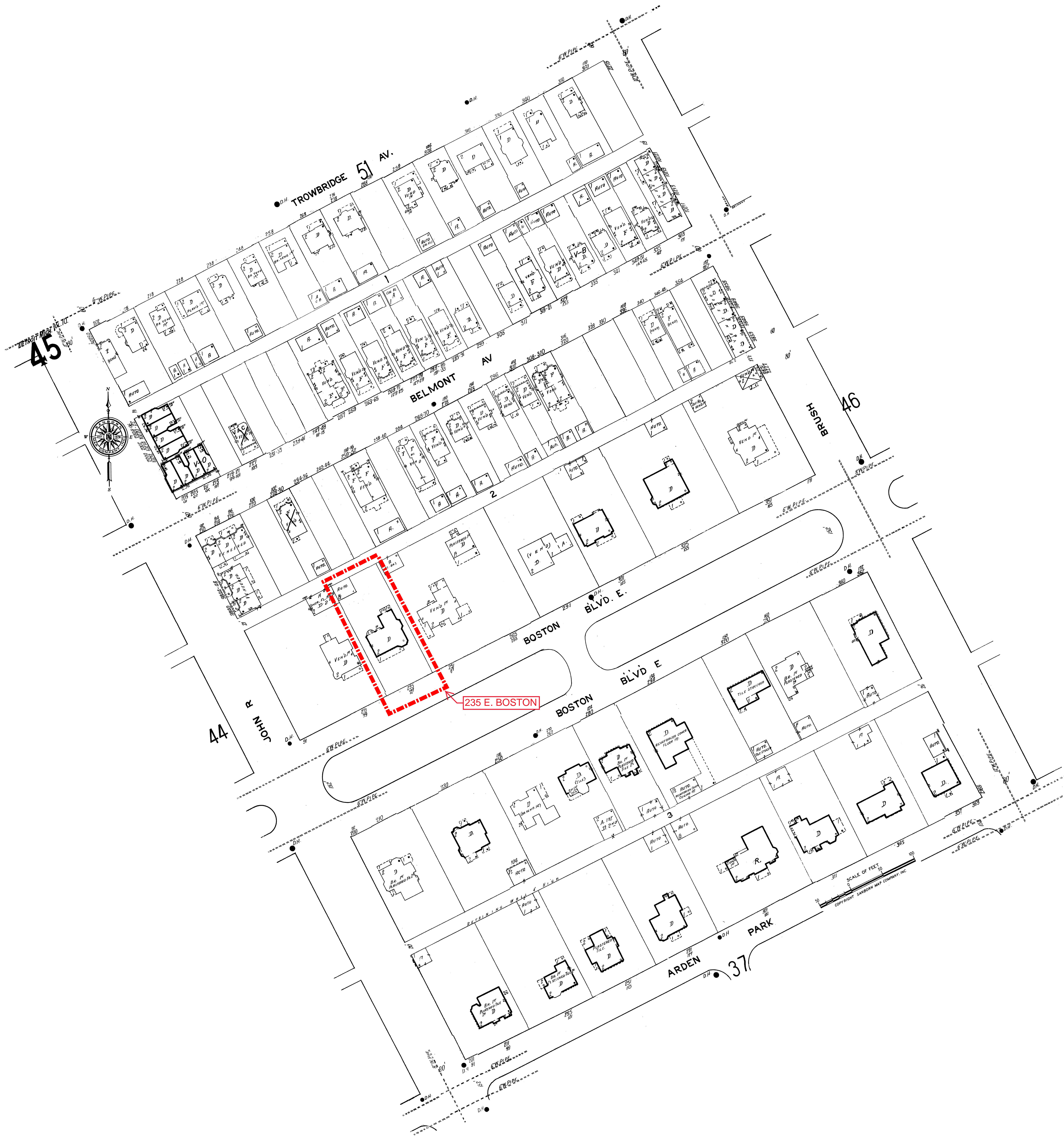


RETAINING WALL 4' HIGH



ARDEN PARK

Scale of Feet.





STAFF SITE VISIT 3/8/2022



STAFF SITE VISIT 3/8/2022



STAFF SITE VISIT 3/8/2022



HUSKY FENCE
924-7555 DETROIT

STAFF SITE VISIT 3/8/2022

**City of Detroit
Historic District Commission**

APPLICATION FOR NEW CONSTRUCTION OR ADDITIONS

Instructions: Please complete this application and return with your written estimates, documentation, and completed City of Detroit Application for Building Permit No. 1 to Detroit Historic District Commission, 65 W. Wabash Square, Suite 1300 Detroit, Michigan 48226. You may also fax this form to (313) 224-1310. **Please note that your application will not be processed until all the required information has been received.**

Property Location: 235 E. BOSTON BLVD
(Number) (Street)

Property Owner: RICKIE AND EUGENIA HARDAWAY

Property Address: 235 E. BOSTON BLVD
(Street) (City) (State) (Zip)

Phone: 313 622 9530, 313 805 8724
(Home) (Business) (Fax)

Applicant: EUGENIA HARDAWAY

Applicant Address: SAME
(Street) (City) (State) (Zip)

Applicant Phone: SAME
(Home) (Business) (Fax)

Signature of Applicant: *Eugenia Hardaway* 2/10/2020
(Date)

Application Deadline: Historic District Commission meets on the second Wednesday of each month. Application material must be **completed and submitted three (3) Mondays before each Commission meeting**. For a list of meeting dates and application deadline dates for the year, please visit our website at www.ci.detroit.mi.us/historic.

Please use the enclosed criteria checklist as a guide to completing your application. Incomplete applications cannot be reviewed and will be returned to you for more information. If you have any questions or concerns, you may contact a Commission staff member at (313) 628-0194 or (313) 224-8907 or (313) 224-1310.

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: FEBRUARY 10 2022

PROPERTY INFORMATION

ADDRESS(ES): 235 E. BOSTON BLVD, DETROIT, MI 48 AKA: SAME

PARCEL ID: 27061880. HISTORIC DISTRICT: DETROIT

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Walls/Siding Painting Roof/Gutters/Chimney Porch/Deck/Balcony Addition
 Demolition Signage New Building Major Alteration (3+ scope items) Site Improvements (landscape, trees, fences, patios, etc.)

BRIEF PROJECT DESCRIPTION: BUILD 5 CAR BRICK/BLOCK GARAGE WITH ATTIC STORAGE
BUILD 5 CAR BRICK/BLOCK GARAGE WITH ATTIC STORAGE

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: RICKIE & EUGENIA HARDAWAY COMPANY NAME: N/A

ADDRESS: 235 E. BOSTON BLVD CITY: DETROIT STATE: MI ZIP: 48202

PHONE: 313.622.9530 MOBILE: 313.805.8724 EMAIL: GENIA1369@GMAIL.COM

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

Completed Building Permit Application (highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Current Photographs: Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: **HDC@DETROITMI.GOV**

P2 - BUILDING PERMIT APPLICATION

Date: FEBRUARY 10 2022

PROPERTY INFORMATION

Address: 235 E. BOSTON BLVD, DETROIT, MI 48202 Floor: _____ Suite#: N/A Stories: 2 1/2

AKA: SAME Lot(s): 12 Subdivision: MCLAUGHIN & OWENS

Parcel ID#(s): 27061880. Total Acres: 1/3 Lot Width: 75 Lot Depth: 170.58

Current Legal Use of Property: SINGLE FAMILY Proposed Use: ADD GARAGE

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

PARTIAL REMOVAL OF OLD CONCRETE FLOOR - BUILD 5 CAR BRICK/BLOCK GARAGE WITH ATTIC STORAGE

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area 24'X62'

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

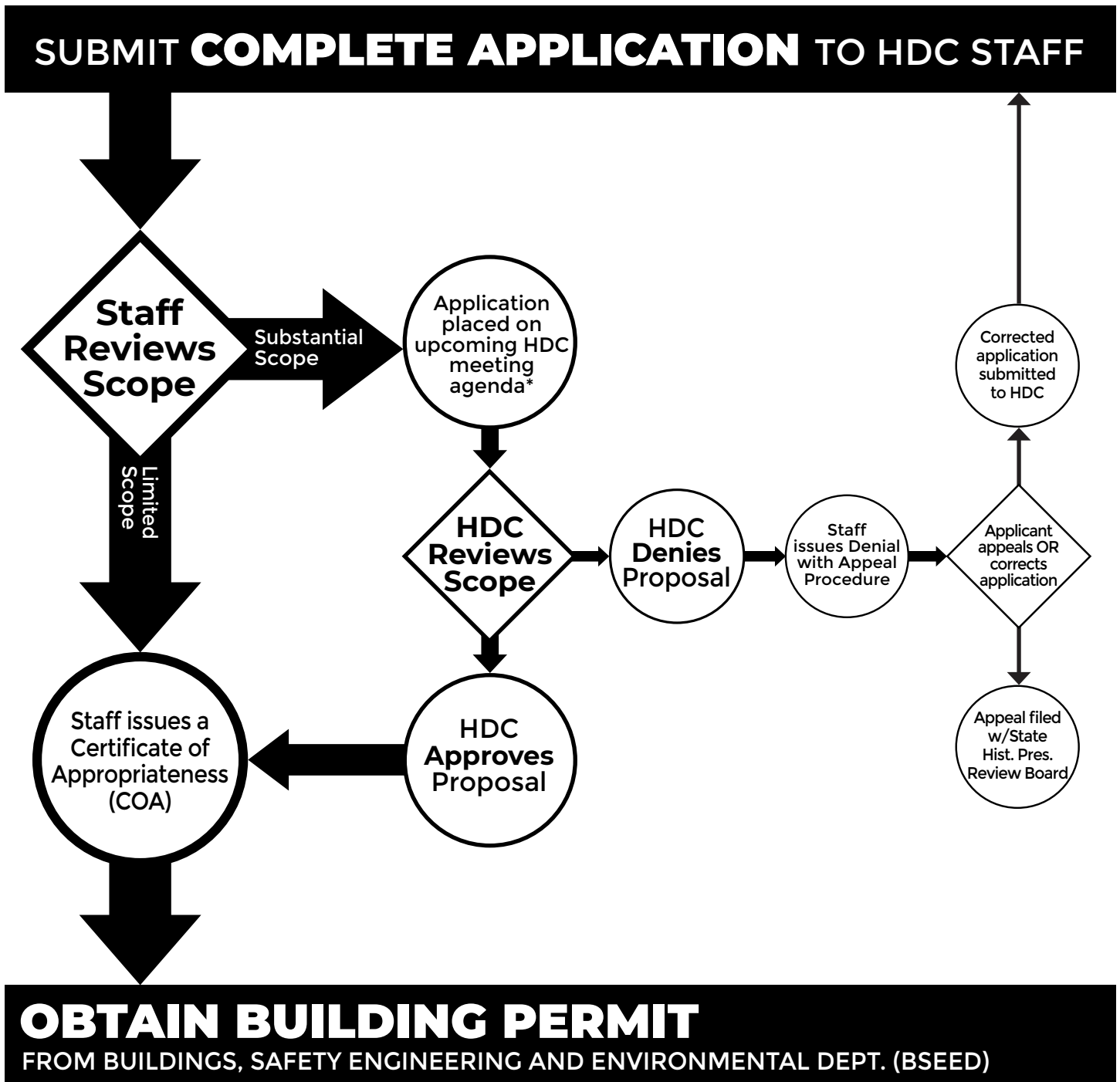
Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT: www.detroitmi.gov/hdc



WEST VIEW
235 E BOSTON BLVD





REAR VIEW
235 E. BOSTON BLVD

REAR VIEW 235 E. BOSTON BLVD

EAST VIEW
235 E. BOSTON BLVD



NEW CONSTRUCTION – GARAGE WITH STORAGE ATTIC

DESCRIPTION OF EXISTING CONDITIONS/PROJECT/DETAILED SCOPE OF WORK/MATERIALS 235 EAST BOSTON BLVD, DETROIT, MI 48202

OWNERS: RICKE AND EUGENIA HARDAWAY

CONTACT INFORMATION: 313.622.9530, GENIA1369@GMAIL.COM

DESCRIPTION OF EXISTING CONDITIONS

There was a 2 story garage on our property at 235 E. Boston Blvd according to the Detroit City Records in 1915, remaining foundation and the outline of the missing garage permanently fixed on the neighbor's east facing side of their garage at 221 E. Boston Blvd, Lot 11. There are no photos or materials to use as a reference for the new constructed garage. We have been storing our vintage and luxury vehicles at a local storage facility too long.

DESCRIPTION OF PROJECT

The project will remove and replace the existing foundation and construct a 24 ft x 62 ft garage with an attic storage space. The new garage will secure and shelter our vehicles and equipment from the weather.

DETAILED SCOPE OF WORK

The new garage will be a wood framed 5 car garage with the exterior 3 sided with brick veneer and a CMU rear wall construction.

DEMO

- Remove fencing to accommodate construction work
- Partial Excavation of the existing garage foundation

FOUNDATION

Prepare and pour cement foundation, 16 in wide, 42 in deep w/2-#5 bars, top and bottom [5/8 in diameter], 1-1/2 courses of 6" CMU grouted solid with anchor bolts

FLOOR

- GARAGE FLOOR
 - Poured 5" concrete slab w/6 mil vapor barrier on compacted fill
 - Welded Mesh Wire (fabric) for concrete slab: 6x6-W2.9xW2.9
 - Install drainage system
- ATTIC STORAGE FLOOR
 - Install 4'x8' 3/4" OSB board on the floor

WALLS

- EXTERIOR WALLS
 - Block
 - Install 8" CMU on rear wall (north, alley facing)
 - Brick
 - Install Bowerston Plant Company, "Olde Cheyenne" 4 in Modular brick on 3 wall sides (west/south/west)
 - Mortar
 - Solomon Colors, 44A Series Color

- INTERIOR WALLS
 - 2" X 6" wood Studs with building paper and 7/16" sheathing
 - Install 5/8" 4'x8' drywall on all garage walls and ceiling (w/tape & mud)
 - Install Insulation in walls and ceilings, Owens Corning R-13 Kraft Faced Fiberglass Insulation Continuous Roll 15 in. x 32 ft., Model# RF10
 - Prime and Paint walls, White, Behr Prime BEHR PREMIUM PLUS 5 gal. #CE-01 Alpenglow Semi-Gloss Enamel Low Odor Interior Paint & Primer, Model# 305005

ROOF

- Install roof Truss (24 inch on center)
- Install Roofing materials:
 - Owens Corning 3-Tab Autumn Brown Roof Supreme Shingles, constructed of durable weathering-grade asphalt and tough Fiberglass mat core for reliability and lasting performance, 25-Year Limited Warranty, 60-MPH Wind Resistance Limited Warranty, Streak Guard Protection with a 10-Year Algae Resistance Limited Warranty. UL 790 Class A Fire Resistance – the industry's highest classification
 - F4 1/2 Brown Aluminum Drip Edge Flashing
 - Ridge Vent.
 - OSB 7/16th
 - Roof Felt Underlayment
 - Starter Shingles
 - Ice & Water Shield Underlayment - Self-Adhering
- Install Brown Aluminum Gutters, TBD
- Install Brown Aluminum Downspouts, TBD

TRIM

- SLATE TIME
 - 1215 Sq ft total Slate Trim on roof's gable ends - Majestic Niagara Slate, natural-looking, 5/8" thick, synthetic slate roofing tile produced in 12" and 14" widths. 9" and 10" exposure options allow for the creation of unique looks using staggered or random width offset installations.

ELECTRICAL

- EXTERIOR
 - Install (Qty 7) MOTINI Outdoor Wall Lantern with Motion Sensor Waterproof Exterior Dusk to Dawn Wall Sconce Lighting Fixture with Clear Ribbed Glass Shade Wall Mount Light for Garden, Patio, Porch, Bulb Included
 - Install weatherproof GFI outlets
- INTERIOR
 - Install Garage Area (Qty 12) 6 in. Selectable CCT (2700-5000K) Canless Integrated LED New Construction or Remodel Recessed Kit
 - Install Storage Area (Qty 6) 6 in. Selectable CCT (2700-5000K) Canless Integrated LED New Construction or Remodel Recessed Kit
 - Install wires, switches, plugs, electric service panel

DOORS

- Garage Car Doors Install Five 9 ft x 8 ft garage doors, Ideal Door® Traditional 9' x 8' White Insulated Garage Door (R-Value 6.3), Model Number: Ezset_M4Sv_9X8_4251617 Menards® SKU: 4251617
- Install Five garage door openers - Genie B6172H Wall Mount Smart Garage Door Opener, Black & Genuine Accessories Bundle, Combo Pack 3-Button Garage Door Opener Remote and Wireless Keypad - Works on Genie Intellicode Garage Door Openers
- Garage Entrance Door
 - Install One 36 in x 84 in steel framed entrance door
 - Install locking mechanism, Cove 690 Satin Nickel Keyed Entry Door Knob and Single Cylinder Deadbolt Combo Pack

WINDOWS

- Install 2 Attic double hung windows, Pella Lifestyle 31.5-in x 53.5-in x 4.5625-in Jamb Wood New Construction White Enduraclad Double Hung Window, Item #141452 Model #748171605401

ADDITIONAL

ATTIC LADDER

- Install Aluminum Attic Ladder: 10 ft to 12 ft Ceiling Height Range, 90 in Swing Clearance, 66.0 lb

CAR LIFT

- BenPack Model # HDS-14X, Lifting Capacity-14,000 lbs, Width-130", Length-271", Height-93"
- Concrete requirements 3000 PSI, 4-6 " Thickness, Wire Mesh

HARDAWAY RESIDENCE

GARAGE | NEW CONSTRUCTION

235 E. BOSTON BLVD.
 DETROIT, MICHIGAN 48202

PROJECT:
 HARDAWAY GARAGE

235 E. BOSTON BLVD.
 DETROIT, MI 48202

SHEET TITLE:
 COVER SHEET

PROJECT NUMBER: 21.09.123

NOTE:
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CORRECT DESIGN SIZE OF ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO: BEAMS, JOISTS, LINTELS, POSTS, LUMBER AND STEEL.

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND HAVE COMPLETE KNOWLEDGE OF THE DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT SITE.

THESE PLANS ARE FOR ESTIMATING PURPOSES AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.

NOTE:
 DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSIONS

NOTE:
 CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CODE:
 DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015

DATE SIGNED: _____ LICENSE EXPIRATION: 17 DEC 2023

ISSUED FOR DATE:

11.08.2021: PRELIMINARY OWNER REVIEW

11.18.2021: PRELIMINARY OWNER REVIEW REVISIONS

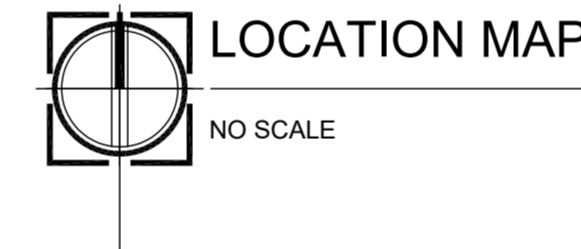
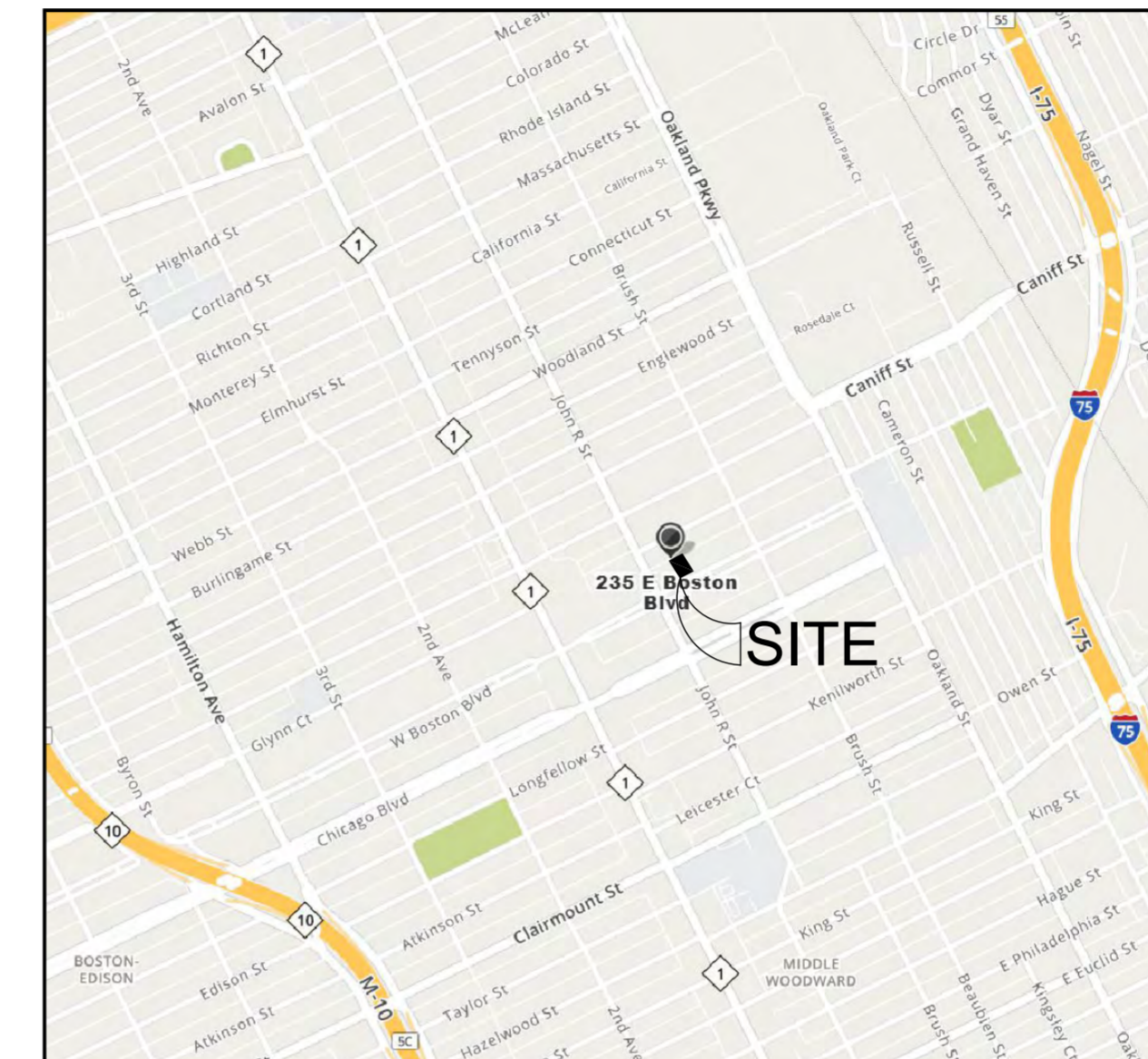
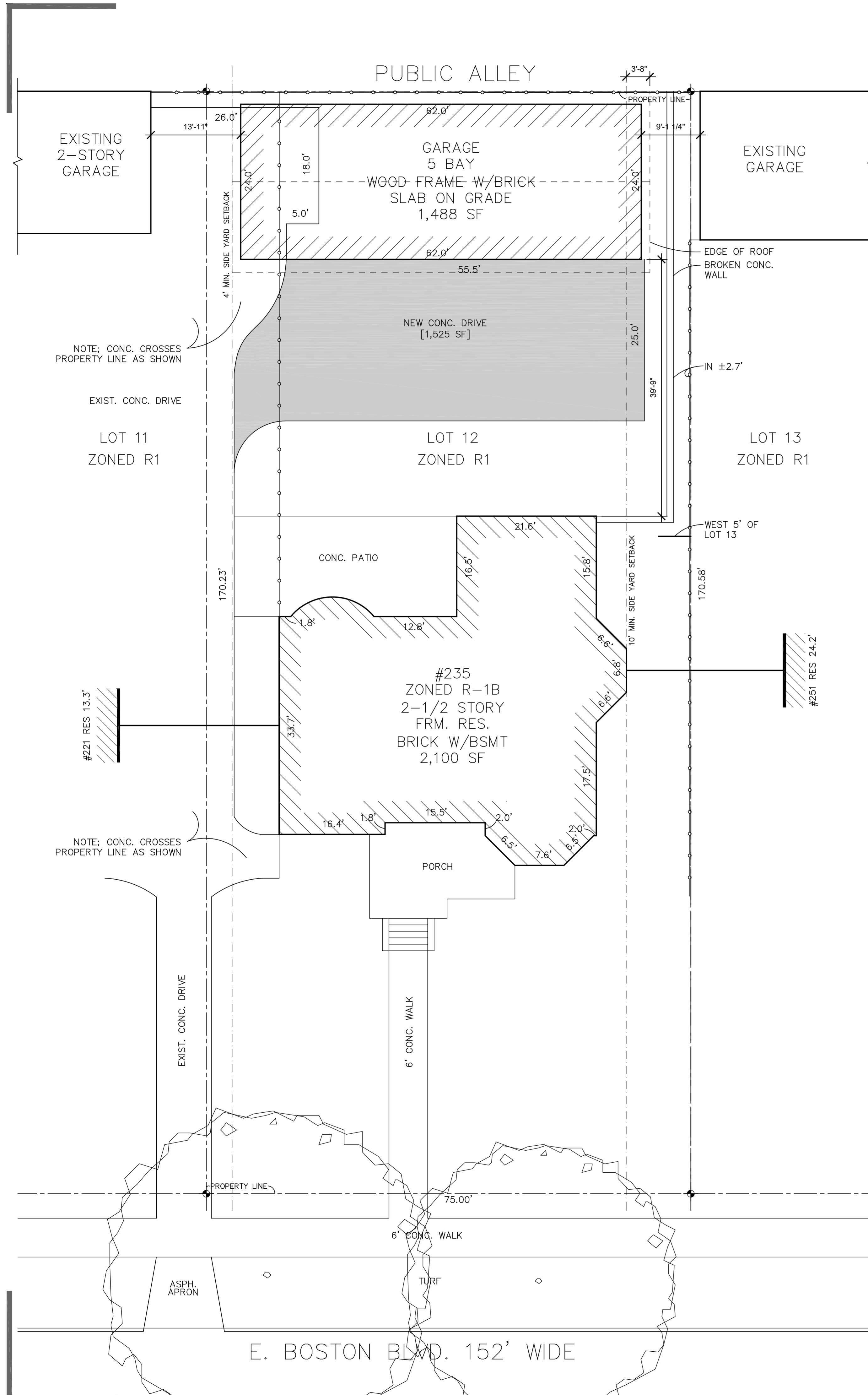
12.05.2021: PRELIMINARY OWNER REVIEW REVISIONS

01.12.2022: PRELIMINARY OWNER REVIEW REVISIONS

01.20.2022: PRELIMINARY OWNER REVIEW REVISIONS

02.10.2022: DHC REVIEW

DRAWING SHEET:



THE PROJECT IS A PROPOSED NEW 1-STORY SLAB ON GRADE 5 BAY GARAGE.

EXTERIOR
 THE EXTERIOR SHALL INCLUDE NEW MATERIALS THAT ARE APPROPRIATE FOR THE AESTHETIC OF THE EXISTING HISTORICAL HOME AND MUST BE APPROVED BY THE DETROIT HISTORIC DISTRICT COMMISSION. THIS SHALL INCLUDE A MATCHING BRICK (AS CLOSE A MATCH AS POSSIBLE), SLATE SIDING, ASPHALT SHINGLES AND WOOD TRIM. ALL DOORS (INCLUDING GARAGE DOORS) AND WINDOWS SHALL CLOSELY MATCH EXISTING AND BE HISTORICALLY CORRECT.

INTERIOR
 THE GARAGE LEVEL WILL HAVE A CONCRETE FLOOR AND WILL FEATURE ONE BAY WITH A CAR LIFT. THE ALLEY (NORTH) WALL SHALL BE 8" CMU WITH FACE BRICK VENEER, THE OTHER 3 WALLS WILL BE 6" STUD FRAMING WITH BRICK VENEER. THE SECOND FLOOR STORAGE AREA SHALL BE ACCESSED BY A PULL DOWN ATTIC LADDER, FINISHED WITH DRYWALL AND PROPERLY SEPARATED FROM THE GARAGE FUNCTION BY FIRE-RATED CONSTRUCTION.

SITE
 SITE WORK SHALL INCLUDE PARTIAL DEMOLITION OF THE EXISTING DRIVEWAY, SOME FENCING AND ANY EXISTING FOOTINGS FROM THE ORIGINAL GARAGE (LONG SINCE DEMOLISHED). A NEW PARTIAL CONCRETE DRIVE SHALL BE POURED TO TIE INTO THE EXISTING AND PROVIDE ACCESS TO ALL NEW GARAGE DOORS.

THE EXTENSION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE PERFORMED ON A DESIGN/BUILD BASIS. THESE CONTRACTORS SHALL BE RESPONSIBLE TO DESIGN AND OBTAIN THEIR RESPECTIVE PERMITS, AS REQUIRED BY THE CITY.

LEGAL TAX DESCRIPTION
 (PARCEL NUMBER 01003215)
 N BOSTON BLVD 12 W 5 FT 13 MCLAUGHLIN & OWENS L18 P28
 PLATS, W C R 1/125 75 X 170.4A NEZH CERT #2006-1880, NEZ
 PARCEL #27061880.

Roland F. Day II, AIA

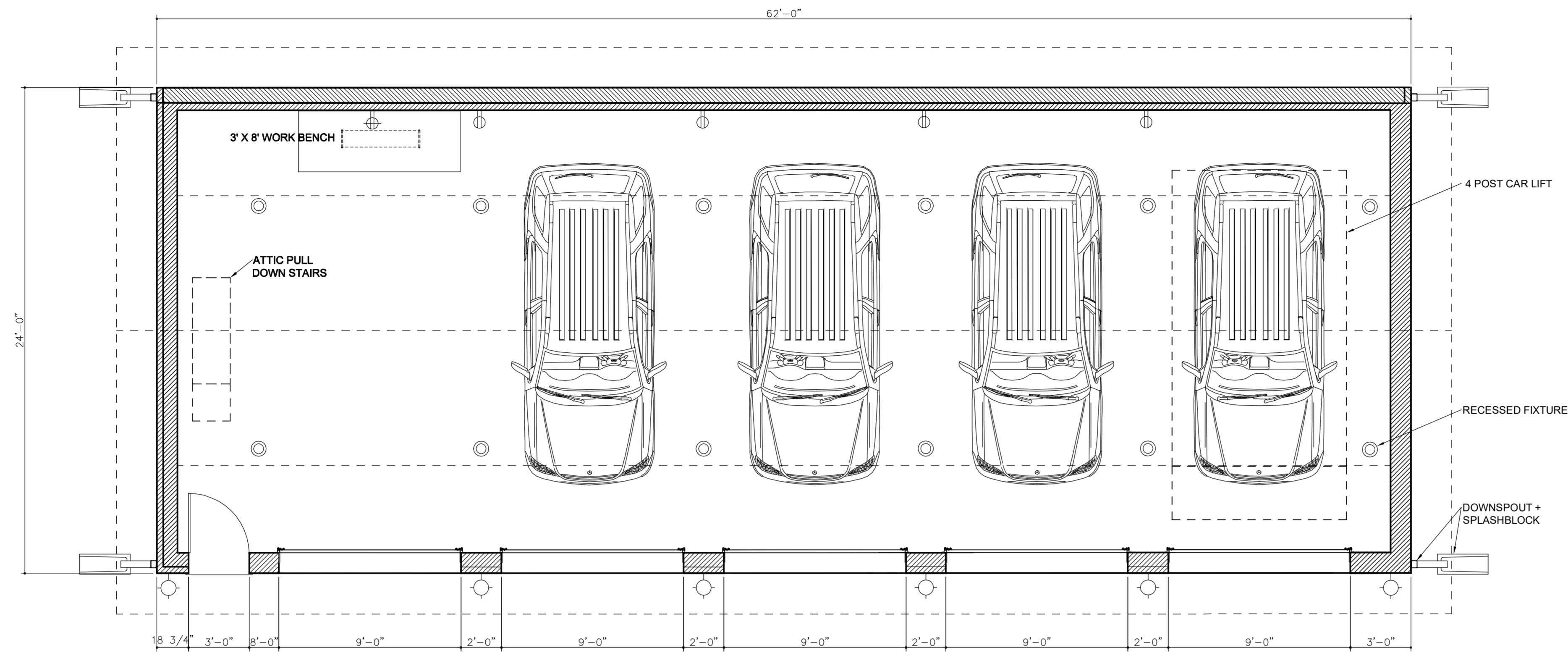
2512 W Grand Blvd
 Detroit, MI 48208
 313.407.0083

PROJECT:
HARDAWAY GARAGE

235 E. BOSTON BLVD.
 DETROIT, MI 48202

SHEET TITLE:
FIRST + SECOND FLOOR PLANS

PROJECT NUMBER: 21.09.123



FIRST FLOOR - NEW WORK
 SCALE: 1/4" = 1'-0"

NOTE:
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CORRECT DESIGN SIZE OF ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO: BEAMS, JOISTS, LINTELS, POSTS, LUMBER AND STEEL.

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND HAVE COMPLETE KNOWLEDGE OF THE DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT SITE.

THESE PLANS ARE FOR ESTIMATING PURPOSES AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.

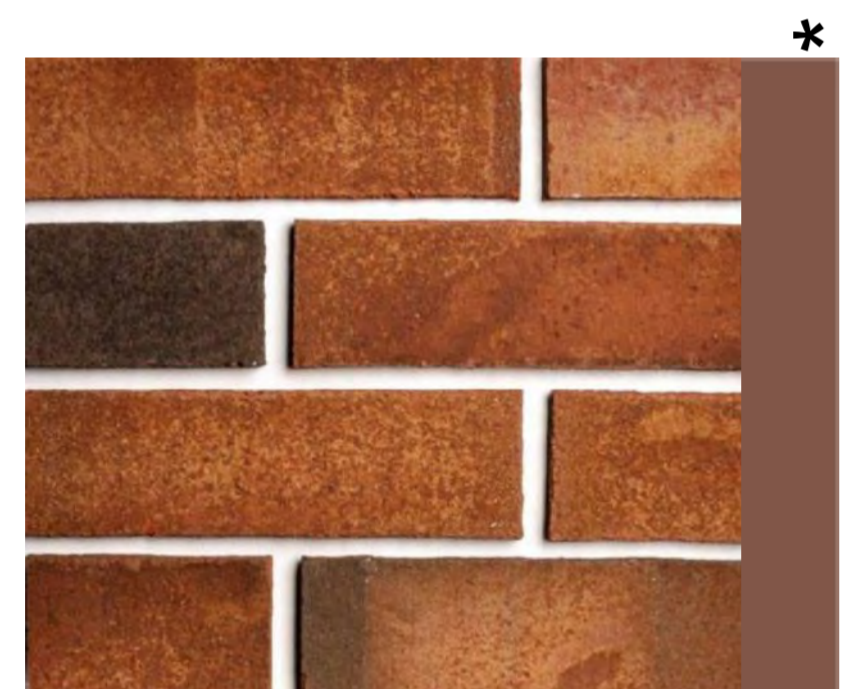
NOTE:
 DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSIONS

NOTE:
 CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

VERIFY SCALES
 BAR IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CODE:
 DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015

DATE SIGNED: _____ LICENSE EXPIRATION: 17 DEC 2023



BOWERSTON PLANT COMPANY, "OLDE CHEYENNE" 4 IN MODULAR BRICK

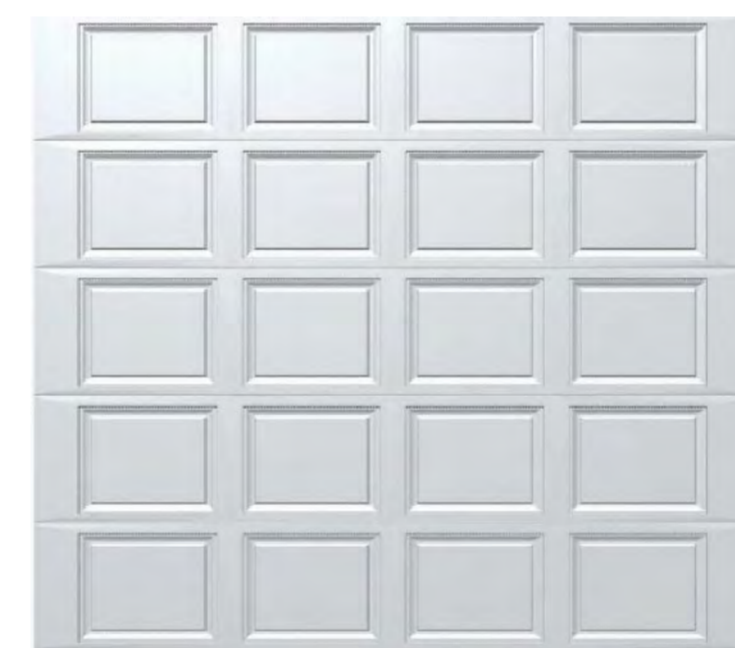
MORTAR - SOLOMON COLORS, 44A SERIES COLOR *



OWENS CORNING 3-TAB "AUTUMN BROWN" ROOF SUPREME SHINGLES



MAJESTIC NIAGARA SLATE, NATURAL-LOOKING, 5/8" THICK, SYNTHETIC SLATE ROOFING TILE, "SAGE GREEN"



9 FT X 8 FT GARAGE DOORS, IDEAL DOOR® TRADITIONAL 9' X 8' WHITE INSULATED GARAGE DOOR



MOTINI OUTDOOR WALL LANTERN WITH MOTION SENSOR



1-Panel Craftsman Primed Steel, 36 in. x 80 in.

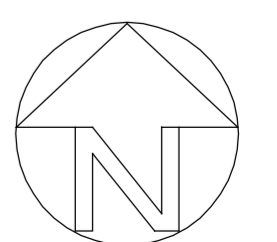


PELLA LIFESTYLE 31.5-IN X 53.5-IN X 4.5625 WHITE ENDURACLAD DOUBLE HUNG WINDOW

MATERIALS

ISSUED FOR DATE:

11.08.2021:	PRELIMINARY OWNER REVIEW
11.18.2021:	PRELIMINARY OWNER REVIEW REVISIONS
12.05.2021:	PRELIMINARY OWNER REVIEW REVISIONS
01.12.2022:	PRELIMINARY OWNER REVIEW REVISIONS
01.20.2022:	PRELIMINARY OWNER REVIEW REVISIONS
02.10.2022:	DHC REVIEW



DRAWING SHEET:

A1.00

Roland F. Day II, AIA

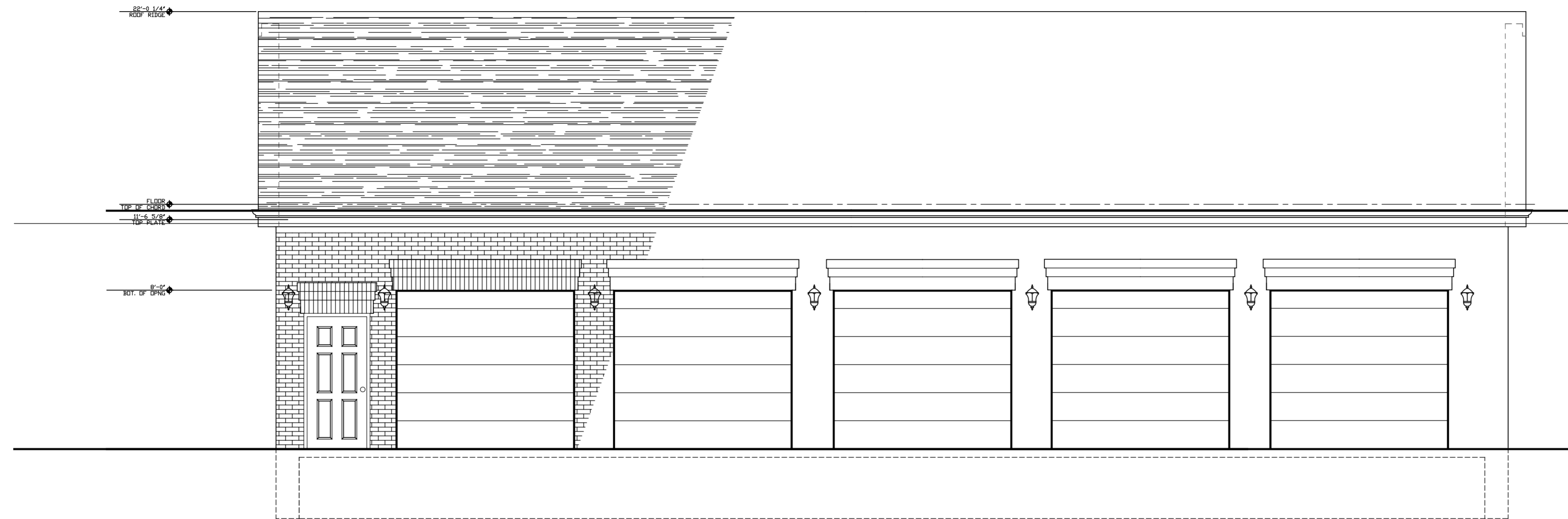
2512 W Grand Blvd
Detroit, MI 48208
313.407.0083

PROJECT:
HARDAWAY GARAGE

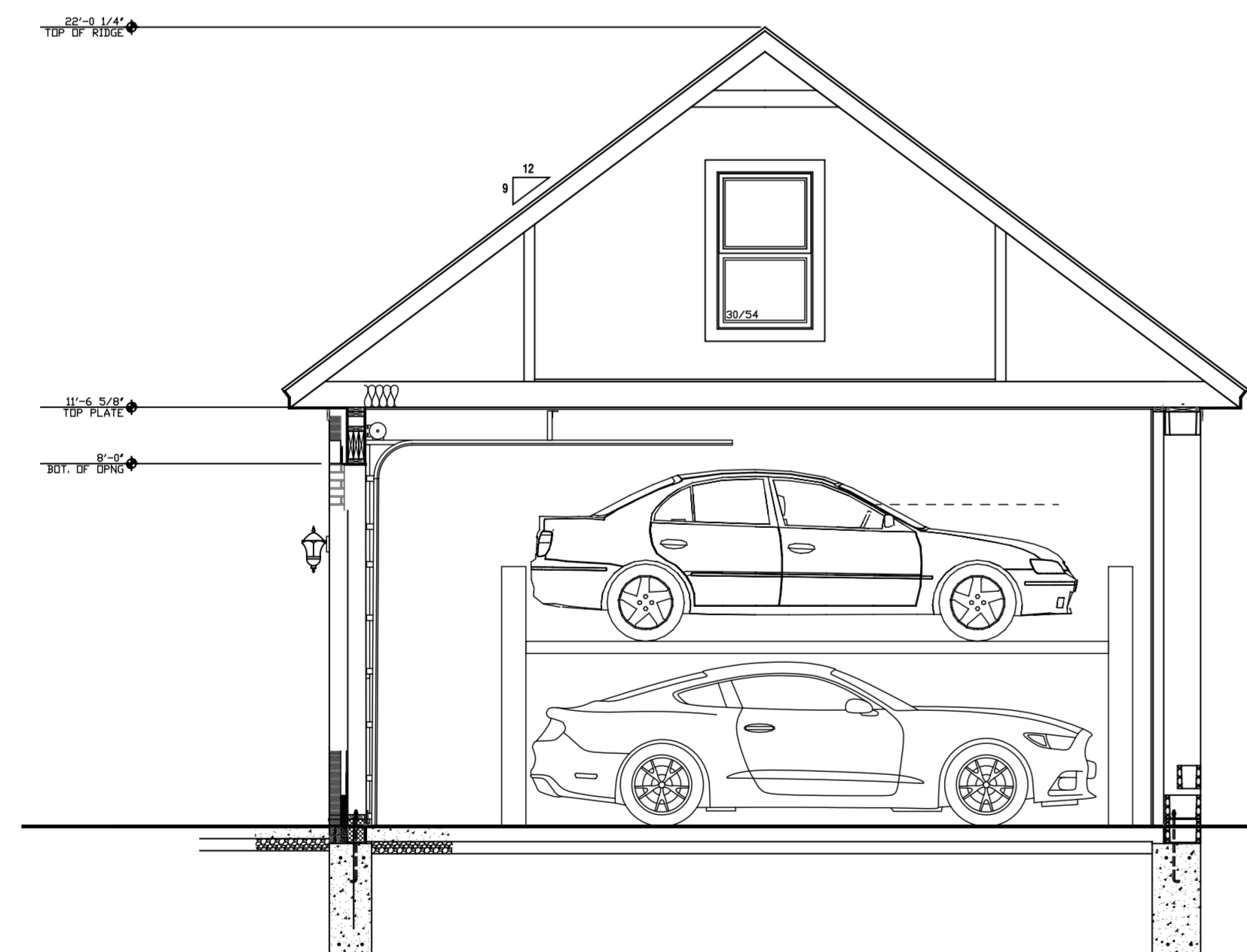
235 E. BOSTON BLVD.
DETROIT, MI 48202

SHEET TITLE:
ELEVATIONS

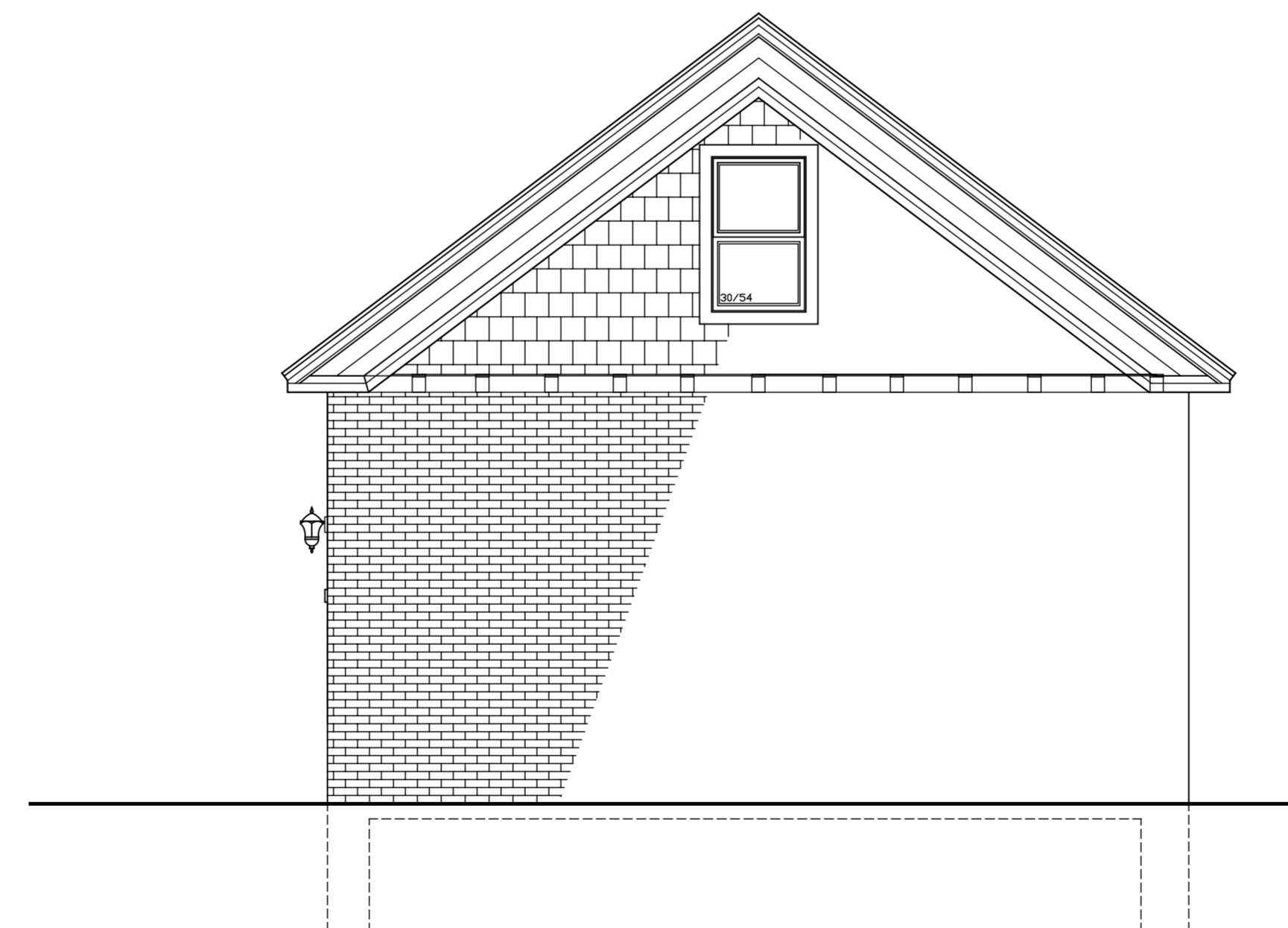
PROJECT NUMBER: 21.09.123



WEST ELEVATION - NEW WORK
SCALE: 1/4" = 1'-0"



BUILDING SECTION - NEW WORK
SCALE: 1/4" = 1'-0"



END ELEVATION - NEW WORK
SCALE: 1/4" = 1'-0"

NOTE:
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CORRECT DESIGN SIZE OF ALL STRUCTURAL MEMBERS, INCLUDING, BUT NOT LIMITED TO; BEAMS, JOISTS, LINTELS, POSTS, LUMBER AND STEEL.

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND HAVE COMPLETE KNOWLEDGE OF THE DRAWINGS PRIOR TO THE COMMENCEMENT OF ANY WORK ON THE PROJECT SITE.

THESE PLANS ARE FOR ESTIMATING PURPOSES AND THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.

NOTE:
DO NOT SCALE DRAWINGS; CONTRACTOR TO NOTIFY ARCHITECT FOR MISSING DIMENSIONS

NOTE:
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, HEIGHTS & ELEVATIONS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES

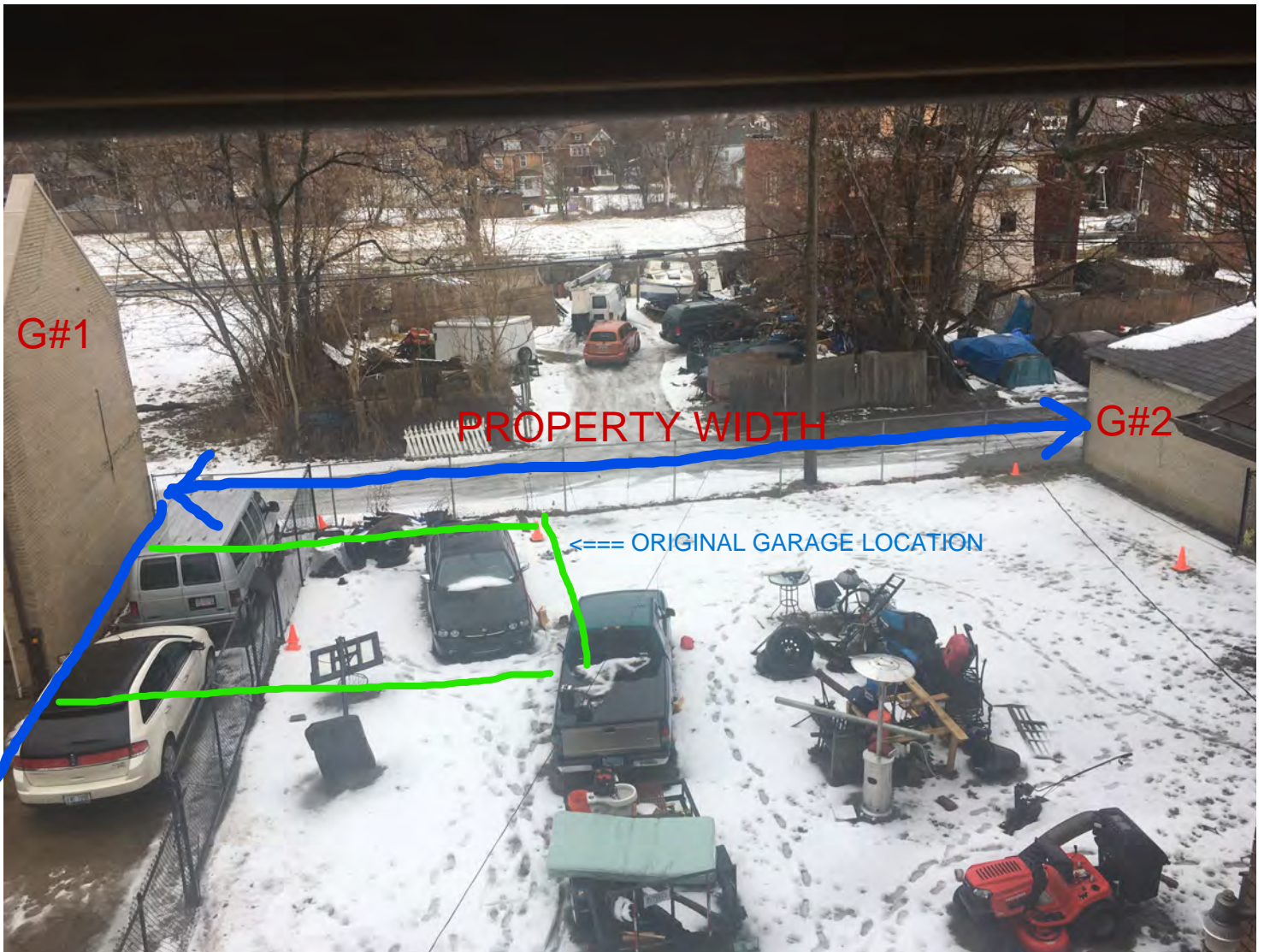
VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CODE:
DESIGNED IN ACCORDANCE WITH MICHIGAN RESIDENTIAL CODE 2015

DATE SIGNED: _____ LICENSE EXPIRATION: 17 DEC 2023

ISSUED FOR DATE:
11.08.2021: PRELIMINARY OWNER REVIEW
11.18.2021: PRELIMINARY OWNER REVIEW REVISIONS
12.05.2021: PRELIMINARY OWNER REVIEW REVISIONS
01.12.2022: PRELIMINARY OWNER REVIEW REVISIONS
01.20.2022: PRELIMINARY OWNER REVIEW REVISIONS
02.10.2022: DHC REVIEW

DRAWING SHEET:



Year 1899 ORIGINAL GARAGE LOCATION
235 E. BOSTON BLVD - HARDAWAY

G#1 - NEIGHBOR GARAGE (EAST)

G#2 - NEIGHBOR GARAGE (WEST)



PROPOSED GARAGE LOCATION - 235 E. BOSTON BLVD - HARDAWAY



G#1 NEIGHBOR'S GARAGE (EAST)





MORTAR COLORS

SGS CONCENTRATED MORTAR COLORS • A, H, & X SERIES



SOLOMON COLORS, INC. • 4050 Color Plant Road, Springfield, IL 62702 • 800-624-0261 • www.solomoncolors.com





EASY-TO-USE COLORS FOR UNCOMPROMISING SPECIFIERS

SGS Concentrated Mortar Colors have set the architectural and masonry standard for decades. Our innovative formulas, consistent coloring and depth of color choices enhance the beauty and value of brick, stone, and colored concrete block.

All mortar colors are shipped in proportioned packages which have been accurately pre-weighed and measured, making work at the job site faster and easier. Each individual package is designated as one (1) color unit. It doesn't get much easier.

The mortar colors shown are achieved by the addition of one color unit to one bag of prepared masonry cement or weight equivalent of Portland and lime mortars. Shade variations can occur due to printing limitations, difference in local cements, sand, mix design and workmanship. (See table on back cover.)



MORTAR WITHOUT COLOR



WITH SGS #45A MORTAR COLOR

Color chips on these pages represent shades of "A," "H," and "X" Series SGS Concentrated Mortar Colors obtained when used with light gray masonry cement and light tan builder's sand.

*It is recommended that mortar colored with 97A, H & X pigment be either sealed as soon as possible after curing or be used indoors.

"A" Series Color

10A	[Color chip]
20A	[Color chip]
22A	[Color chip]
25A	[Color chip]
30A	[Color chip]
32A	[Color chip]
33A	[Color chip]
35A	[Color chip]
37A	[Color chip]
40A	[Color chip]
41A	[Color chip]
44A	[Color chip]
45A	[Color chip]
50A	[Color chip]
70A	[Color chip]
80A	[Color chip]
85A	[Color chip]
94A	[Color chip]
97A*	[Color chip]

"H" Series Color

10H	
20H	
22H	
25H	
30H	
32H	
33H	
35H	
37H	
40H	
41H	
44H	
45H	
50H	
70H	
80H	
85H	
94H	
97H*	

"X" Series Color

10X	
20X	
22X	
25X	
30X	
32X	
33X	
35X	
37X	
40X	
41X	
44X	
45X	
50X	
70X	
80X	
85X	
94X	
97X*	

TECHNICAL SPECIFICATION DATA

BASIC USE

Solomon Colors A, H, & X Series Concentrated Mortar Colors are pure mineral pigments designed to be used with all cementitious material, whether it may be Type N, S, M or O strength masonry cement or Portland and lime mixtures. The pre-measured unit concept of SGS mortar colors provides uniform color control with the cost-saving flexibility of utilizing local masonry and/or Portland and lime cements to achieve the proper strength and mix design for brick, block, stucco or stone unit construction. Since 18-20% of the visual surface of the average brick wall is mortar, the proper selection and use of an appropriate mortar color will dramatically enhance the visual impact and beauty of the masonry wall.

COMPOSITION & MATERIALS

SGS colors are products of pure natural and/or synthetic iron oxides which are finely milled (95-99% minus 325 mesh particle size) and blended under strict quality control procedures producing uniform and consistently strong tinting strength for maximum coloring power. Each SGS color exceeds the requirements set forth by ASTM C-979 "Pigments for Integrally Colored Concrete." SGS colors are inert, stable to atmospheric conditions, sunfast, weather resistant, alkali resistant, water insoluble, lime proof, non-bleeding natural and synthetic iron oxides, free of deleterious fillers and extenders.

SPECIFICATION PROCEDURES

As detailed in the table, select the proper ASTM C-270 masonry mix design of Type N, S, M or O compressive strength for the masonry unit construction. Then, depending upon the masonry mix design, select the appropriate SGS color and specify the number of units to be added to the mortar mix.

PACKAGING

All SGS Concentrated Mortar Colors are packaged in sealed unit bags. The "A" Series contains 6 units, "H" Series 12 units, and "X" Series contains 18 color unit bags per case. Each case contains enough color to lay approximately 900 ("A"), 1800 ("H"), and 2700 ("X") standard-size bricks respectively, using a 3/8" (9.5 mm) mortar joint. Each unit bag is clearly identified with color name, number, weight, plus complete mixing instructions.

COLOR RANGE

SGS offers a wide color spectrum with A, H & X Series Mortar Colors. This offers precise color tones that are needed to complement or accentuate the broad range of color shades found in brick, stone or colored block. Our color laboratory is available at no charge to match existing colored mortar, develop special color tones or to provide expert color assistance to solve your individual color needs.

MIXING PROCEDURES

Mortar shall be mixed in a power mixer for a minimum of five (5) minutes or until a uniform color is obtained. Any change in proportioning the amount of color-to-cement and/or the type of cement, sand or water content can result in a variation of color tone in the finished work. DO NOT load the mixer beyond its recommended capacity. Overloading will reduce mixing efficiency. Request SGS Tech-Data Masonry Mortar 04060 data sheets for complete mixing instructions.

AVAILABILITY

SGS colors are readily available from stocks carried by an extensive network of building material dealers throughout the United States and Canada. Solomon Colors, Inc. dealers are also backed by reliable 24-hour factory services in processing and shipping of orders. Solomon Colors, Inc. has local sales representatives covering each state within the continental United States. For names of local dealers, distributors and sales representatives, contact Solomon Colors, Inc. at (217) 522-3112 or (800) 624-0261.

COST

Retail costs for SGS colors are established by stocking or distributing building material dealers. Costs are influenced by the individual color and shade desired.

LIMIT OF WARRANTY & LIABILITY

Solomon Colors, Inc. warrants their product conforms to the description and standards stated on the product packaging and specific product literature. If properly mixed and applied, Solomon Colors, Inc. warrants the Concentrated Mortar Color to be uniform, lime proof and sunfast. The exclusive remedy of the user or buyer and the limit of liability of this company shall be the purchase price paid by the user or buyer for the quantity of the SGS product involved.

MASONRY CLEANING

In the event cleaning is required to remove masonry stains and efflorescence, the cleaning operation should be undertaken after the colored mortar has sufficiently cured, generally 7-14 days after the masonry installation. Avoid using hydrochloric (muriatic) acid. Use a commercially prepared "proprietary masonry cleaner" following the directions for the weakest solution recommended by the manufacturer. Request SGS Tech-Data Masonry Mortar 04060 data sheets for complete cleaning instructions.

SAMPLES

Color pigment samples are available for constructing job site mock-up panels. Contact your local Solomon Colors, Inc. building materials dealer, or Solomon Colors, Inc. direct at (217) 522-3112 or (800) 624-0261.

SGS MORTAR COLOR KIT & CATALOG

Samples of our standard mortar colors are available in convenient mortar color channels. Each channel is a representation of the color units mixed with light gray prepared masonry cement plus a light tan builder's sand and water. The mortar color kit and architectural products binder contains complete specification and technical information covering the complete line of SGS mortar and concrete colors. Available upon request.



ASTM C270 SPECIFICATION for MORTAR Unit Masonry C270 includes the following mortars:	Appropriate number of SGS Color Units to be added with mortar mix		
	"A" Series Color	"H" Series Color	"X" Series Color
Prepared masonry cements, ASTM C91, Types N, S or M: One 70-80 lb (32-36 kg) bag masonry cement ASTM C91 Type 1: 3 cu ft (.08 m ³) sand, STM C144	One A Unit	One H Unit	One X Unit
Portland cement/lime mortars, Type N, 750 psi (5168 kPa): One 94 lb (43 kg) bag Portland cement, ASTM C150; One 50 lb. (23 kg) bag hydrated lime, ASTM C207; 6 cu ft (.17 m ³) sand, ASTM C144	Two A Units	Two H Units	Two X Units
Prelblended masonry cement & sand, ASTM C91, Types N or S: Four 80 lb. (36 kg) bags masonry cement ASTM C91, sand ASTM C144	One A Unit	One H Unit	One X Unit
Prelblended Portland cement/lime & sand, Types N or S: Four 80 lb. (36 kg) bags Portland cement ASTM C150; hydrated lime, ASTM C207; & sand, ASTM C144	One A Unit	One H Unit	One X Unit
Portland cement/lime mortars, Type S, 1800 psi (12,400 kPa): Two 94 lb (43 kg) bags Portland cement, ASTM C150; One 50 lb. (23 kg) bag hydrated lime, ASTM C207; 9 cu ft (.25 m ³) sand, ASTM C144; or	Three A Units	Three H Units	Three X Units
Portland cement/lime mortars, Type S, 1800 psi (12,400 kPa): One 94 lb (43 kg) bag Portland cement, ASTM C150; Two 70 lb. (32 kg) bags masonry cement Type 1, ASTM C91; 9 cu ft (.25 m ³) sand, ASTM C144	Three A Units	Three H Units	Three X Units
Portland cement/lime mortars, Type M, 2500 psi (17,225 kPa): Two 94 lb (43 kg) bags Portland cement, ASTM C150; 25 lbs. (11 kg) hydrated lime, ASTM C207; 6 cu ft (.17 m ³) sand, ASTM C144	Three A Units	Three H Units	Three X Units
Portland cement/lime mortars, Type M, 2500 psi (17,225 kPa): One 94 lb (43 kg) bag Portland cement, ASTM C150; One 70 lb. (32 kg) bag masonry cement Type 1, ASTM C91; 6 cu ft (.17 m ³) sand, ASTM C144	Two A Units	Two H Units	Two X Units
Portland cement/lime mortars, Type O, 350 psi (2412 kPa): One 94 lb (43 kg) bag Portland cement, ASTM C150; Two 50 lb. (23 kg) bags hydrated lime, ASTM C207; 9 cu ft (.25 m ³) sand, ASTM C144	Three A Units	Three H Units	Three X Units



Majestic NIAGARA SLATE™

Polymeric Slate Tile Roof System

DESCRIPTION

Majestic Niagara Slate™ is a rubber and plastic based Class C roof tile designed to provide the look of natural stone slate. Majestic Niagara Slate is manufactured with a state of the art formulation using recycled polyolefin polymers.

Majestic Niagara Slate tiles are 22" (559 mm) in length, and come in both 12" (305 mm) and 14" (356 mm) widths. The tiles are a robust 5/8" (16 mm) thick at the butt and are available in fourteen (11) standard colors (see designs below). Custom colors are available upon request.



12" (305 mm) 14" (356 mm)

ADVANTAGES

Majestic Niagara Slate provides the look of natural slate with these added advantages:

- High impact resistance that provides protection from hail, falling branches, foot traffic, ice and snow damage.
- Majestic Niagara Slate can be installed up to eight times faster than natural stone slate.
- The color in Majestic Niagara Slate has been added during formulation providing for color throughout the product. As with all roofing products, natural weathering will occur.
- EcoStar provides warranties for Majestic Niagara Slate for up to 50 years.

INSTALLATION

Temperature – If tiles have been stored in temperatures below 45°F (7°C), they must be restored to a temperature above 45°F (7°C) before installation. Ambient temperature should be at least 34°F (1°C) and rising.

Substrate – Majestic Niagara Slate should only be installed on a minimum of ½" (13 mm) plywood, minimum 7/16" (11 mm) OSB or minimum ¾" (19 mm) tongue and groove wood decking. Majestic Niagara Slate should not be applied over existing roof materials. Existing roof materials must be removed down to the deck, prior to installation.

Slope – Majestic Niagara Slate is not recommended for slopes less than 3/12 (14°). On roofs less than 6/12 (27°), Majestic Niagara Slate must be installed with a maximum exposure of 9" (229 mm). On roofs 6/12 (27°) or greater, Majestic Niagara Slate may be installed with either a 9" (229 mm) or 10" (254 mm) exposure.

Underlayment – Prior to installation, **Glacier Guard™** underlayment should be applied to all rakes, valleys, ridges, hips, eaves and any protrusions. **Aqua Guard™** is then applied over the remaining deck surface.

Fasteners – Fasteners must be ring shank stainless steel. **EcoStar Fasteners** are available in either hand drive style or pneumatic coil.

Color Variation – All Majestic Niagara Slate tiles come with shade variation. This shade variation may occur differently from pallet to pallet. Application of the product should not begin until all material has been delivered to the project site. Because of this shade variation the applicator must take precautions to ensure that the various shades of the product are properly blended. Tiles must be taken from different pallets and bundles to ensure consistency in application. **NOTE: EcoStar will not be responsible for the improper blending and application of the product. Contact EcoStar Customer Service for available factory blended options.**

Natural weathering will produce further shade variations, even in tiles appearing to be identical in color when new.

Ventilation – Roof venting should be installed at the same time as the ridge tiles. EcoStar's **EcoVent™** ridge venting is recommended for quality attic ventilation and an improved aesthetic appearance of the EcoStar roof system.

Please refer to the Niagara Slate Installation Guide for specifics of installation.

PRODUCT SPECIFICATIONS

	12" Tiles	14" Tiles
PRODUCT CHARACTERISTIC		
Length	22" (559 mm)	
Width	12" (305 mm)	14" (356 mm)
Weight	2 lbs. (0.91 kg)	2.5 lbs. (1.13 kg)
Thickness	5/8" (16 mm) nominal	
PACKAGING INFORMATION		
Tiles per bundle	10	
Weight per bundle	20 lbs. (9.07 kg)	25 lbs. (11.34 kg)
Tiles per pallet	600	
Weight per pallet	1,200 lbs. (544 kg)	1,500 lbs. (680 kg)
Linear feet per bundle	10 ft. (3.05 m)	11.67 ft. (3.56 m)
FORMULATION		
Materials	Thermoplastic Olefin	
PHYSICAL PROPERTIES (Typical)		
Operating Range	-25°F to 200°F (-32°C to 93°C)	
Tensile (D-412)	1,500 psi (10,342 kpa)	
Water Absorption (D-570)	0% by wt.	
APPLICABLE STANDARDS		
UL Listed 790 Fire Resistance	Class C	
UL 2218 Impact	Class 4	

WARRANTIES*

EcoStar warrants this product to be free of defects in workmanship and materials at the time of shipment from EcoStar's factory. EcoStar will at its option either supply new product or refund the purchase price of any product found to be defective hereunder.

EcoStar's limited warranties are the only warranties extended by EcoStar with respect to its materials. There are no other warranties, including the implied warranties of merchantability and fitness for a particular purpose. EcoStar specifically disclaims liability for any incidental, consequential, or other damages, including but not limited to, loss of profits or damages to a structure or its contents, arising under any theory of law whatsoever.*

The dollar value of EcoStar's liability and buyer's remedy under this limited warranty shall not exceed the purchase price of the EcoStar material in question.

*See www.ecostarllc.com for available warranties.



42 Edgewood Drive | Holland, NY 14080 | Tel: 800.211.7170 | www.ecostarllc.com

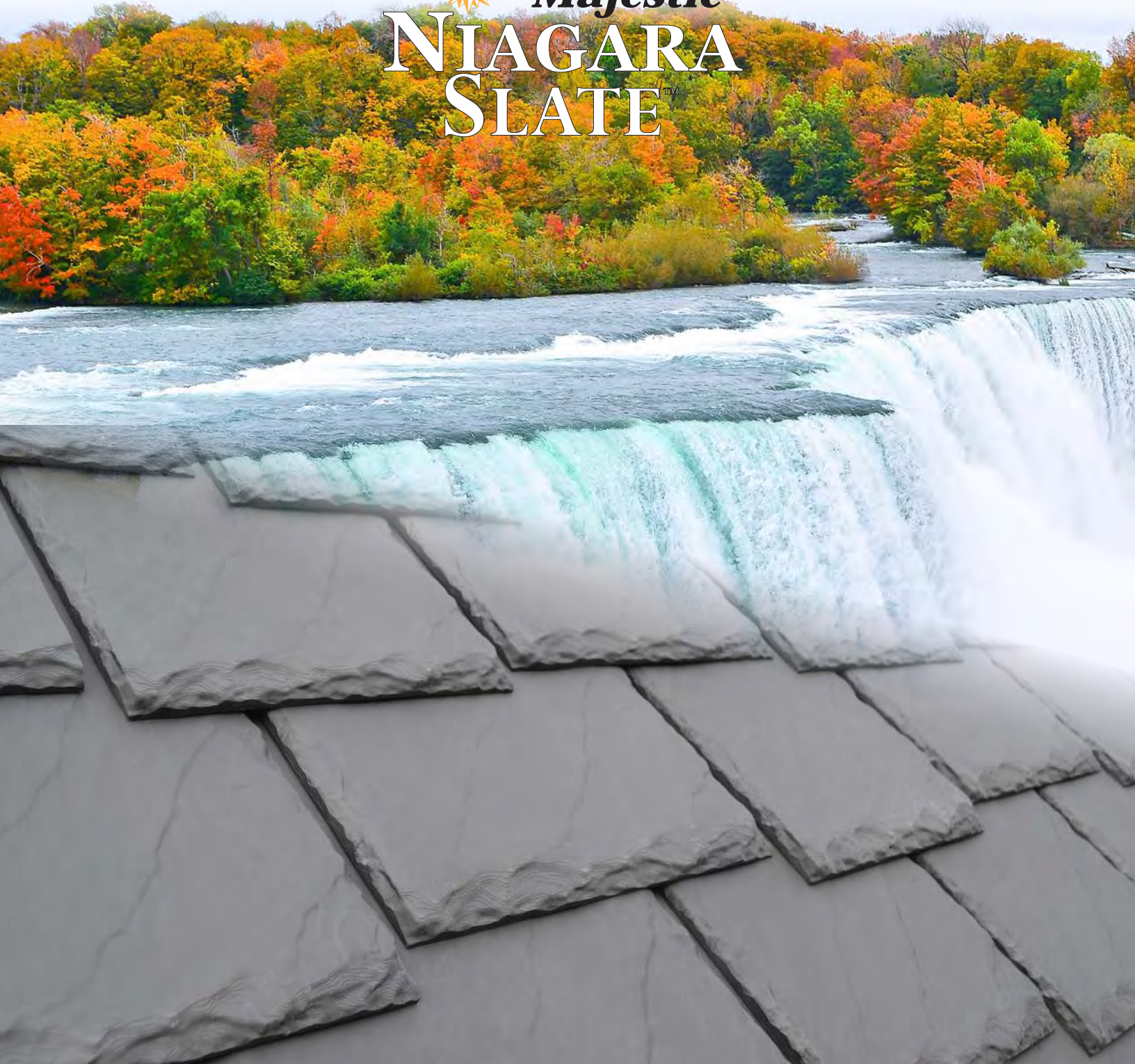
04/19 © Copyright 2019 EcoStar LLC. EcoStar, Majestic Niagara Slate, Glacier Guard, EcoVent and Aqua Guard are trademarks of EcoStar LLC.
P/N-606017 Majestic Niagara Slate PTD. This data sheet, effective 04/15/2019 supersedes all previous versions.

PRODUCT TECHNICAL DATA



Sustainable Roofing

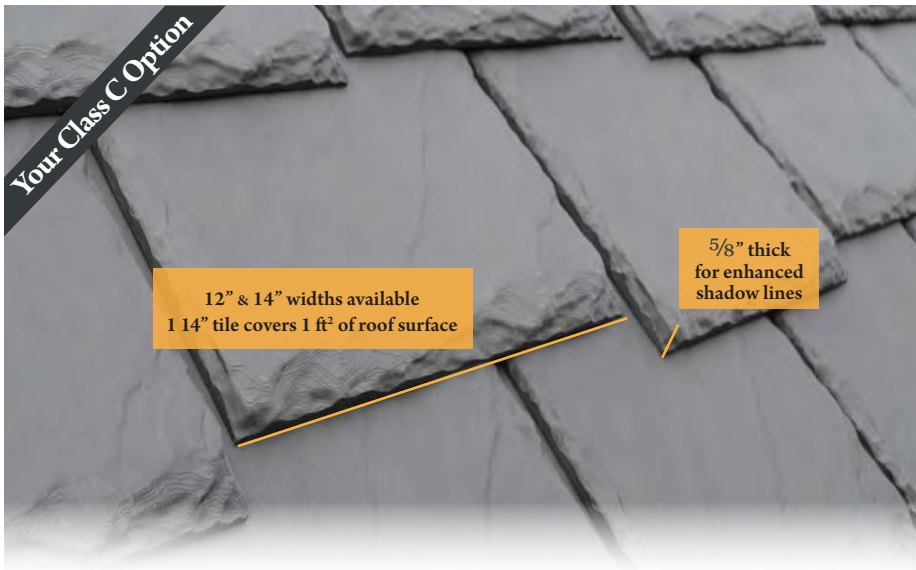
 **Majestic**
NIAGARA
SLATE™



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Majestic Niagara Slate

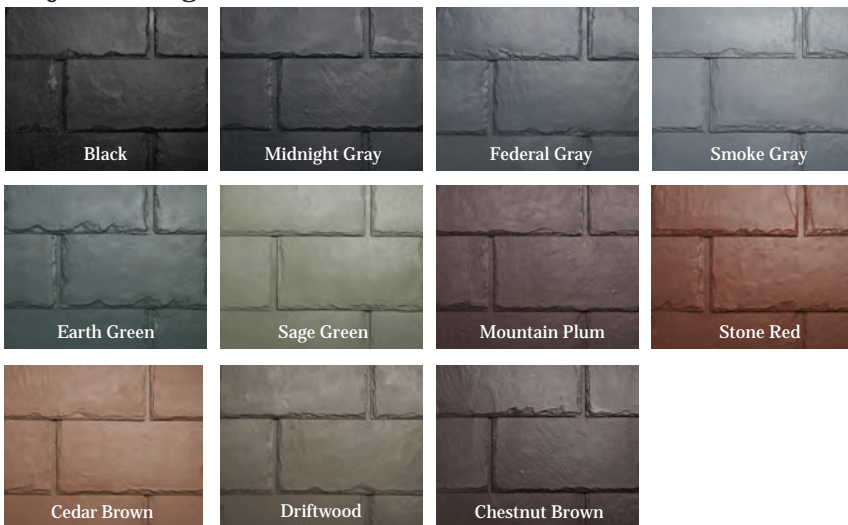


Bigger is better when it comes to EcoStar LLC's latest innovation. Majestic Niagara Slate is a natural-looking, $\frac{5}{8}$ " thick, synthetic slate roofing tile produced in 12" and/or 14" widths. This added size allows each Majestic Niagara Slate 14" tile to cover one square foot of roof deck at the 10" exposure (100 tile/square), maintaining a 2" headlap throughout. An additional 9" exposure option allows for the creation of unique looks using staggered, offset or random width installations.

This design consumes less raw material, reduces roof load by up to 20% and lowers installation labor by 30%. Unlike other synthetic slates, Majestic Niagara Slate is manufactured from 80% post-industrial recycled materials. EcoStar roofing tiles, including the larger Majestic Niagara Slate, provide long-lasting durability, superior protection against extreme weather conditions and 50 years of warranty coverage.

Available in 11 standard colors, Majestic Niagara Slate offers endless opportunity to showcase the beauty of natural slate at a fraction of the cost.

Majestic Niagara Slate - Standard Color Palette



Note: Sample pieces, photographs or color samples may not accurately represent the true color level or variations of color blends that may appear on a roof. Before installation, ten tiles or so should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions. ¹Significant property insurance discounts may be available when upgrading or building a roof to protect against hail damage in regions where severe weather is common. EcoStar tiles meet or exceed industry standards for Impact Resistance. Contact your insurance provider for details.

Advantages

- One 14" tile = 1 ft² of roof coverage
- Available in two sizes: 14" x 22" & 12" x 22"
- Weighs significantly less than natural slate
- Look of real slate without extensive maintenance
- Easy application keeps installation costs down
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail¹

Architectural Flexibility

- Natural appearance of real slate roofing
- $\frac{5}{8}$ " thick for enhanced shadow lines
- Available in 11 standard colors
- Staggered, offset and random width installation techniques enhance roof texture and depth

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail, driving rain and heavy snow
- 22" length provides up to 4" of headlap protection against wind-driven rain and ponding snow melt
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty standard
- 50-Year Gold Star Labor & Material Warranty available

Environmental Sustainability

- Manufactured with 80% post-industrial recycled materials

Technical Information

- UL listed Class C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- UL listed wind resistance to 110 mph (ASTM D3161)
- May contribute to LEED[®] points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com



SUPREME[®] Shingles



Desert Tan[†]



TOTAL PROTECTION. TOTAL CONFIDENCE.[®]



SEAL.



DEFEND.



BREATHE.

Supreme® Shingles

Supreme® three-tab shingles—a smart choice when you need to balance curb appeal, weather resistance and value. *Supreme* shingles come with a 25-Year Limited Warranty*, 60-MPH Wind Resistance Limited Warranty*, and Class A UL Fire Resistance—the industry's highest. StreakGuard™ Protection with a 10-year Algae Resistance Limited Warranty is also available on a regional basis. Visit owenscorning.com/roofing to learn more.

ENERGY STAR® is for roofs too



Similar to the energy-efficient appliances in your home, roofing products can help provide energy-saving qualities. Owens Corning® *Supreme* roofing shingles in Shasta White can help reduce your heating and cooling bills when installed properly. These shingles reflect solar energy, helping to decrease the amount of heat transferred to a home's interior—and the amount of air conditioning needed to keep it comfortable. Actual savings will vary based on geographic location and individual building characteristics. Call 1-800-GET-PINK® or 1-888-STAR-YES for more information.

Product Attributes

Warranty Length*

25-Year Limited

Wind Resistance Limited Warranty*

60 MPH

Algae Resistance Limited Warranty*

10 Years

TRU PROtection® Non-Prorated Limited Warranty* Period

5 Years

Product Specifications

Size 12" x 36"

Application Exposure 5"

Shingles per Bundle Not less than 26

Average Shingle Count per 3 Bundles 80

Average Coverage per 3 Bundles 100 sq. ft.

Applicable Standards and Codes

ASTM D228

ASTM D3018 (Type 1)

ASTM D3161 (Class F Wind Resistance)

ASTM D3462

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

Florida Product Approval†

ICC-ES AC438#

Miami-Dade County Product Approval††

PRI ER 1378E01

Shasta White color meets ENERGY STAR® requirements for initial solar reflectance of 0.25 and 3-year aged solar reflectance of 0.15; 2013 California Building Energy Efficiency Standards; Title 24, Part 6 requirements; Rated by the Cool Roof Rating Council (CRRC).

COLORS AVAILABLE IN ALL AREAS



Aspen Gray†



Autumn Brown†



Brownwood†



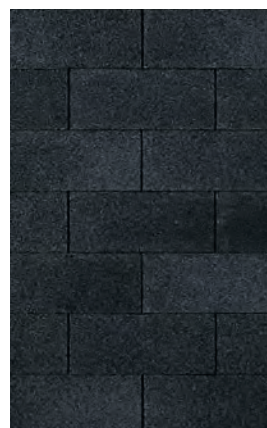
Desert Tan†



Driftwood†



Estate Gray†



Onyx Black†



Shasta White†



ADDITIONAL REGIONAL COLORS (See chart and map for availability)

	1	2	3	4	5	6	7	8	9	10	11	12
Amber [†]										●	●	●
Antique Silver [†]			●			●						
Beachwood Sand [†]			●			●						
Chateau Green [†]	●	●	●	●	●	●	●	●	●	●		
Forest Green [†]										●		
Spanish Red [†]						●				●		
Teak [†]				●	●	●	●	●		●		
Weathered Wood [†]		●	●		●	●	●	●		●		
Williamsburg Gray [†]		●				●						



Amber[†]



Antique Silver[†]



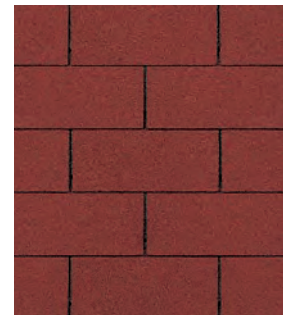
Beachwood Sand[†]



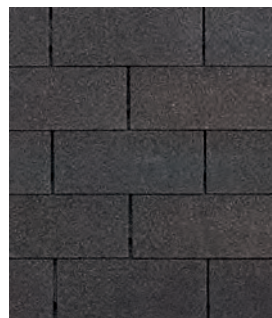
Chateau Green[†]



Forest Green[†]



Spanish Red[†]



Teak[†]

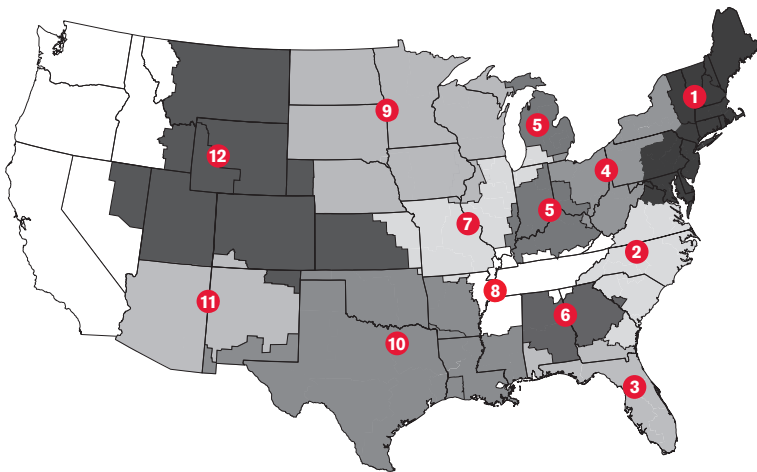


Weathered Wood[†]



Williamsburg Gray[†]

REGIONAL COLOR AVAILABILITY MAP



* See actual warranty for complete details, limitations and requirements.

[†] Actual colors and granule blends may vary from the photo. We suggest that you view actual product on the roof to get a better idea of the finish color. Color availability subject to change without notice. Ask your professional roofing contractor for samples of colors available in your area.

^{††} Applies for all areas that recognize a Miami-Dade Notice of Acceptance (NOA).

[‡] Applicable only in Service Area 3 (see map).

[#] International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles. ENERGY STAR and the ENERGY STAR mark are registered trademarks of the U.S. Environmental Protection Agency.

[^] Excludes non-Owens Corning[®] roofing products such as flashing, fasteners, pipe boots and wood decking.

Disclaimer of Liability

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Total Protection Roofing System^{®^}

TOTAL PROTECTION SIMPLIFIED™



Owens Corning® Total Protection Roofing System^{®^} integrates engineered Owens Corning® components that work together to address these three primary performance areas, critical to a high-performance roof, while also making it easy to understand the importance of each. **With Owens Corning, it's easy to confidently deliver total protection, beauty and peace of mind.**

SEAL.

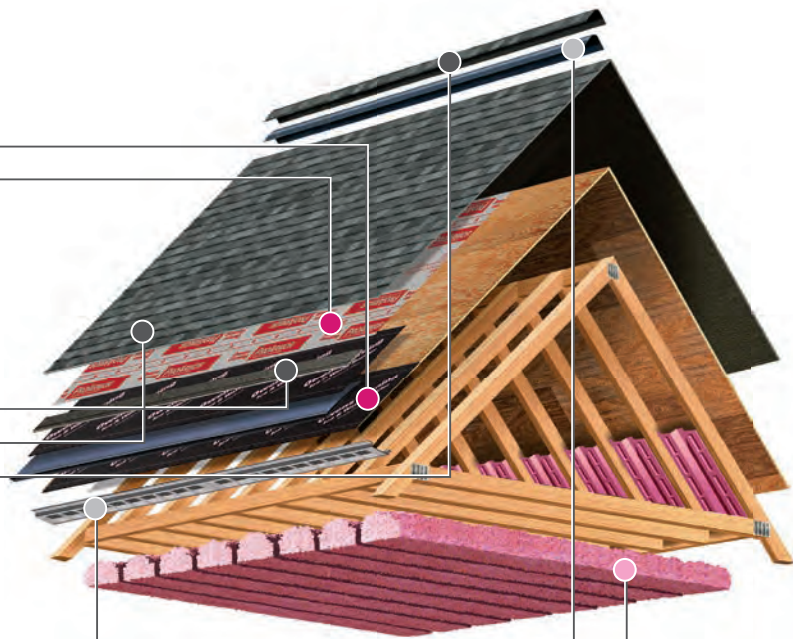
SELF-ADHERED ICE & WATER BARRIER
SYNTHETIC UNDERLAYMENT

DEFEND.

STARTER SHINGLES
LAMINATE SHINGLES
HIP & RIDGE SHINGLES

BREATHE.

INTAKE VENTS
EXHAUST VENTS



+ COMFORT.

PINK® FIBERGLAS™
BLOWN-IN
ATTIC INSULATION



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1-800-GET-PINK®
www.owenscorning.com/roofing



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(Atlanta, Brookville, Denver, Irving East, Irving West, Jacksonville, Kearny, Medina, Memphis, Minneapolis, Savannah, Summit)



Kwikset



COVE™ KNOB

Cove is a Colonial-style knob that makes a simple, yet elegant statement. Its traditional design creates a timeless look for your entryways.

- Features SmartKey Security™
- ANSI/BHMA Grade 3 Certified Security & Quality
- Lifetime Mechanical Warranty



Cove Entry Knob
with SmartKey Security™
in Matte Black

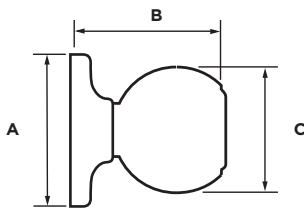
#1 SELLING U.S. LOCK BRAND*

*Source: TraQline US quarterly brand unit share report, Q4 2006 through Q1 2021

Specifications

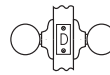
Door Prep	Cross Bore 2-1/8". Edge Bore 1" Latch face 1" x 2 1/4"
Backset	Adjustable 2-3/8" or 2-3/4".
Door Thickness	1-3/8" - 1-3/4" Doors standard. 2 1/4" doors optional on 200 and 400 functions only.
Cylinder	SmartKey Security™ or traditional 5-Pin pin & tumbler.
Faceplates	1" x 2-1/4" Specify round corner, square corner. Other options available.
Strikes	2-1/4" Full lip standard. Specify round corner, square corner. Other options available.
Bolt	1/2" Throw for all functions.
Door Handing	Reversible for right or left-handed doors.
ANSI/BHMA	A156.2 Grade 3 (all functions except 488).

Dimensions

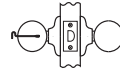


Design	A	B	C
Cove™	2 5/8" (67 mm)	2 1/2" (64 mm)	2 1/16" (52 mm)

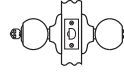
Functions



200 Passage/Hall/Closet:
Both knobs always free.



300 Privacy/Bed/Bath: Both knobs locked or unlocked by turnbutton inside. Outside lever unlocked by emergency key.



400 Keyed Entry: Both sides locked or unlocked by key outside or turnbutton inside.



488 Half Dummy Trim, Surface Mounted:
For doors where only a pull is required. No operation.



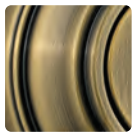
Cove Passage Knob
in Polished Chrome

LIFETIME WARRANTY

Finishes



Polished
Brass **L03/3**



Antique
Brass **5**



Venetian
Bronze **11P**



Satin
Nickel **15**



Polished
Chrome **26**



Satin
Chrome **26D**



Matte
Black **514**

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Home / Lighting / Recessed Lighting / Recessed Lighting Kits

Internet #316512256 Model #HLBSL6-12PK



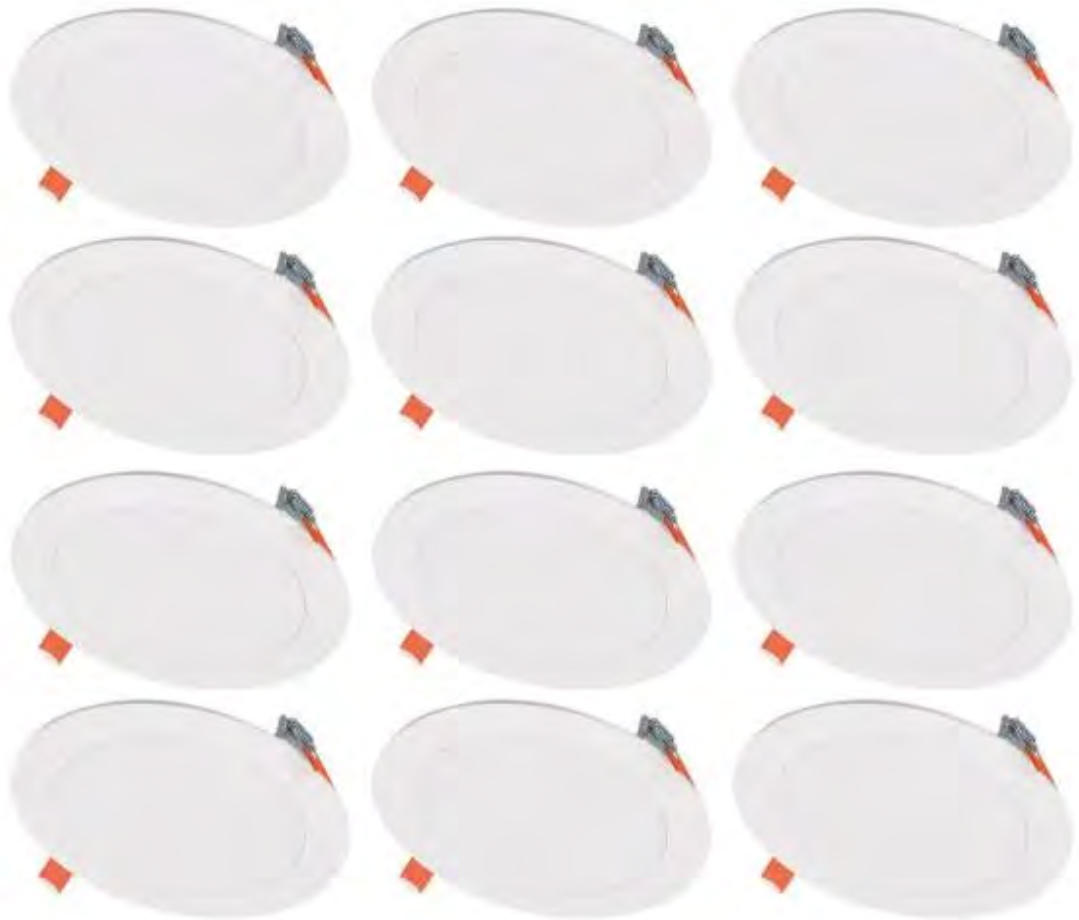
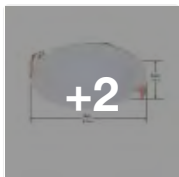
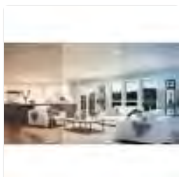
Halo (Brand Rating: 4.4/5)

6 in. Selectable CCT (2700-5000K) Canless Integrated LED New Construction or Remodel Recessed Kit (12-Pack)


★★★★★ (9) Questions & Answers (3)

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Feedback



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We found similar options you might like

Best Seller



Halo HLB 6 in. Selectable CCT New Construction

★★★★★ (266)

\$31⁴⁷



HLBSL 6 in. Color Selectable New Construction or

★★★★★ (812)

\$17⁸⁸



Commercial Electric 6 in. White Flush Round Wet

★★★★★ (204)

\$82⁹⁷



Commercial Electric Ultra Slim 6 in. Color

★★★★★ (949)

\$89⁹⁷

Best Seller



Halo HLB 6 in. Color Selectable New Construction

★★★★★ (81)

\$56⁹⁷



Product Overview

Halo HLB6 Selectable Series Downlights are complete 6 in. ultra-thin canless recessed lights designed for use in new construction, remodel and retrofit installation, without needing a housing or j-box. Ultra-slim design goes where LED can lights can't. Choose your color temperature directly on the fixture. With the flick of a switch, you can choose between 3 color temperatures ranging from warm (3000K) to-daylight (5000K) prior to installing into your ceiling. This Halo recessed lighting fixture features an LED driver that offers 120-Volt dimming capability. The HLB6 LED recessed lighting soft lens provides uniform illumination and wet location listing.


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 [Recessed Lighting Parts and Access...](#)



Halo
HLB 6 in. Selectable CCT New Construction or Remodel...

★★★★★ (266)

\$31⁴⁷

[Add To Cart](#)



Halo
HL 6 in. Mounting Frame for Round and Square Canless...

★★★★★ (52)

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Halo
HLB 4 in. Color Selectable New Construction or Remodel...

★★★★★ (81)

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Halo
HL 6 in. Mounting Frame for
Round and Square Canless...

★★★★★ (52)

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Skylark Contour LED+ Dimmer
Switch for Dimmable LED,...

★★★★★ (375)

\$57⁴⁸

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Philips Hue White
Ambiance 5-6"
Integrated LED

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Matte White

★★★★★ (20)

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Juno Contractor
Select E-Series 6
in. Selectable CCT

★★★★★ (17)

\$99⁹⁸ /package

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Juno Contractor
Select WF6 REG
SWW5 6 in.

★★★★★ (19)

\$26⁹⁸

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LUXRITE 5 in./6 in.
Can Light 14-Watt
5-Color Selectable

★★★★★ (21)

\$77⁹⁵ /package

Add To Cart

>
★
\$1

Specifications

Dimensions

Actual Aperture Width (in.)	6
Housing Height (in.)	1.26
Maximum Cutout Size (in.)	5.75
Nominal Lens Aperture Size	6 in.
Product Depth (in.)	6.13 in
Product Height (in.)	1.26 in
Product Width (in.)	6.13 in
Trim Size (Width)	6 in.

Details

Actual Color Temperature (K)	3000,4000,5000
Color Family	White
Color Rendering Index (CRI)	90
Color Temperature	Soft White, Bright White, Daylight
Commercial/Residential	Commercial,Residential
Compatible Bulb Type	Integrated LED
Damp/Wet Rating	Damp Rated Dry Rated Wet Rated

Live Chat
Feedback

Features	Air Tight,Dimmable,Junction Box Compatible,Retrofit
Fixture Color/Finish	White
Fixture Material	Plastic
globalTradeltemNumber (GTIN)	00080083192892
IC Rating	IC Rated
Included	Gasket(s),Mounting Brackets,Stencil,Wiring Connector
Indoor/Outdoor	Indoor,Outdoor
Integrated LED Type	Selectable
Kit Type	Integrated LED
Maximum Bulb Wattage	12.6
New Construction or Remodel	New Construction,Remodel
Package Quantity	12
Product Weight (lb.)	0.76 lb
Recessed Lighting Type	Canless
Reflector Finish Family	White
Returnable	90-Day
Style	Modern
Trim Type	Surface Mount
Voltage	Line Voltage
Watt Equivalence	65

Live Chat

Feedback

Warranty / Certifications

Certifications and Listings	Energy Star,UL Listed,cULus Listed
Manufacturer Warranty	5 Year

[How can we improve our product information? Provide feedback.](#)

JELD-WEN

36 in. x 80 in. 1-Panel Craftsman Primed Steel Prehung Left-Hand Inswing Front Door

Product Overview

JELD-WEN Premium Steel doors offer that relied-upon strength, durability and ease of maintenance that complement your home. Craftsman Series doors capture clean lines and a timeless look using an innovative process to create these traditional doors. Enjoy peace of mind in a contemporary style that looks great and complements your current interior doors for a consistent whole-house style.

- Clean lines with flat panels for timeless look that can complement similar interior door designs
- Energy-efficient core to help lower heating and cooling costs
- Polystyrene core provides long-lasting insulation
- Galvanized steel resists rust and corrosion
- 2-Coats of neutral, low-sheen, baked-on enamel primer enables easier finishing
- Primed doors give you the design flexibility to choose any finish color
- Door is prehung in frame for easier installation
- Door frame (jamb) is primed to easily paint and match to your exterior color
- Predrilled double bore hole for lock installation (lock sold separately)
- From the outside, door opens into the home with hinges on the left
- Easy to care for and designed to prevent water absorption and resist rust
- Reinforced lock area provides strength and security for door hardware
- Check local building codes before beginning your project to ensure compliancy
- Not all products are suitable for locations that experience severe weather





MOTINI Outdoor Wall Lantern with Motion Sensor Waterproof Exterior Dusk to Dawn Wall Sconce Lighting Fixture with Clear Ribbed Glass Shade

Technical Details

Manufacturer	BLD Leading Design
Part Number	LIG-SC-1021*
Item Weight	4.49 pounds
Product Dimensions	5.5 x 7.5 x 14.5 inches
Item model number	LIG-SC-1021*
Color	Black
Style	Classic
Finish	Painted
Material	Alloy Steel, Clear Ribbed Glass
Shape	Dome
Power Source	Corded-electric

Voltage	120 Volts
Wattage	60 watts
Type of Bulb	Incandescent
Mounting Type	Monopoint with Canopy
Special Features	Dusk to dawn sensor, Motion Sensor Activated, Anti-corrosion, Waterproof, Anti-rust
Included Components	Bulb included
Batteries Required?	No

Pella® Lifestyle Series Double-Hung

Aluminum EnduraClad® Exterior

Detailed Product Description

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127 mm) for a wall depth of 3-11/16" (94 mm).
- Jamb liner shall be high-impact polyvinyl chloride backed by continuous hard-tempered aluminum springs.
- Optional factory applied jamb extensions are available.
- Optional factory installed fold-out installation fins with flexible fin corners.
- Optional factory-applied EnduraClad® exterior trim.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum, lap-jointed and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is 1-5/8" (41 mm).
- Sashes tilt for easy cleaning.

Weatherstripping

- Foam with 3 mm skin at head and bottom rail. Thermal-plastic elastomer bulb with slip-coating set into upper sash for tight contact at check rail.
- Secondary polyvinyl chloride leaf-type weatherstrip on bottom sash at sill.
- Jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- High altitude glazing available.
- Silicone groove-glazed 11/16" [obscure] dual-seal insulating glass [[annealed] [tempered]] [[Advanced Low-E] [SunDefense™ Low-E] [AdvancedComfort] [NaturalSun Low-E] with argon]].

Exterior

- Exterior aluminum surfaces are finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is [White] [Tan] [Putty] [Brown] [Poplar White] [Portobello] [Hartford Green] [Morning Sky Gray] [Brick Red] [Black].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [factory prefinished [White] [Linen] [Bright White] [stain₁]].

Hardware

- Galvanized block-and-tackle balances are connected to sash with a polyester cord and concealed within the frame.
- Factory installed self-aligning surface-mounted sash lock. Two sash locks on units with frame width 33-1/4" and greater.
- Optional Sash lift furnished for field installation. Two lifts on units with frame width 33-1/4" and greater.
- Finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Oil-Rubbed Bronze] [Satin Nickel].
- Champagne locks are standard on unfinished units; White locks are standard on factory prefinished white units.

Optional Products

Grilles

- Simulated-Divided-Light [with optional spacer]
 - 7/8" Grilles permanently bonded to the interior and exterior of glass.
 - Patterns are [Traditional] [Prairie] [Cross] [Top Row] [Custom – Equally Divided].
 - Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₁]].
 - Exterior grilles to match the exterior cladding color.
 - Available only on units glazed with Low-E insulated glass with argon.

– or –
- Grilles-Between-the-Glass₂
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Patterns are [Traditional] [9-Lite Prairie] [Top Row] [Custom – Equally Divided].
 - Interior color is [White] [Ivory] [Tan₃] [Brickstone] [Black] [Putty₃] [Brown₃] [Harvest] [Cordovan].
 - Exterior color [matched to the exterior cladding color] [White]₄.

– or –
- Roomside Removable Grilles
 - 3/4" [Traditional] [Custom – Equally Divided] removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
 - Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₁]].
 - Exterior [unfinished, ready for site finishing] [factory primed] [factory prefinished, finish color matched to exterior cladding] [White]₄.

Screens

- InView™ screens
 - Full-size Vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Screen frame finish is baked enamel, color to match window cladding.

– or –
- Vivid View® screens
 - Full-size PVDF 21/17 mesh, minimum 78 percent light transmissive screen, set in aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - Screen frame finish is baked enamel, color to match window cladding.

Hardware

- Optional factory applied limited opening device available for vent units in steel, nominal 3-3/4" opening.
- Optional window opening control device available for field installation. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

Sensors

- Optional factory installed integrated security sensors available in vent units.

- (1) Contact your local Pella sales representative for current designs and color options.
- (2) Available on units glazed with Low-E insulated glass with argon, and obscure insulated glass.
- (3) Tan, brown and putty Interior GBG colors are available only with matching interior and exterior colors.
- (4) Appearance of exterior grille color will vary depending on Low-E coating on glass.

Pella® Lifestyle Series

Clad/Wood



#1 performing wood window and patio door for the combination of energy, sound and value.¹

Triple-pane casement



Dual-pane casement



- **Performance redefined**

You don't have to compromise on any aspect of performance. Available performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹

- **Energy Star® certified²**

Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Lifestyle Series products with triple-pane glass have been awarded ENERGY STAR Most Efficient Mark in 2021.

- **Enhanced sound control**

Our patented, triple-pane design with Advanced Low-E glass allows for mixed glass thickness for enhanced sound dampening resulting in an average 52% noise reduction versus single-pane windows.³

- **Popular features and options**

Low-maintenance aluminum-clad exteriors. Factory prefinish with a choice of several paints and stains, or choose primed or unfinished. Several grille types and patterns and high-transparency screens are also available.

- **Intentional design for improved durability**

Intentional jamb/sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential for moisture.

- **Durable 3-way corner joint**

Three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive for added strength and durability.

- **Low-maintenance exteriors**

Aluminum-clad exteriors with EnduraClad® finish resists fading and chalking. It is applied in an overlapping fashion for exceptional protection.

- **Exclusive wood protection**

Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly. It provides advanced protection against the effects of moisture, decay, stains from mold and mildew – as well as termite damage.

- **Best limited lifetime warranty⁴**

Pella Lifestyle Series products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.⁴

- **Testing beyond requirements**

At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:⁵



Special shape windows also available.

^{1,2,3,4,5} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values		
						U-Factor	SHGC	STC
Awning Dual-pane vent	21"	17"	59"	59"	LC30	0.25-0.35	0.19-0.51	25-28
Awning Triple-pane vent	21"	17"	59"	59"	LC25-CW50	0.12-0.19	0.24-0.56	31-37
Casement Dual-pane vent	17"	17"	35"	73"	LC30-LC50	0.25-0.35	0.19-0.51	25-31
Casement Triple-pane vent	17"	17"	35"	73"	R20-CW50	0.20-0.25	0.17-0.46	31-37
Fixed Casement Dual-pane	17"	17"	73"	73"	LC30-LC50	0.23-0.50	0.19-0.66	29-32
Fixed Casement Triple-pane	17"	17"	73"	73"	R20-CW50	0.19-0.24	0.17-0.46	33-37
Double-Hung Dual-pane vent	21"	35"	41.5"	77"	LC30-LC50	0.19-0.66	0.20-0.56	27-31
Hinged Patio Door Dual-pane single door	30"	80"	38"	96"	LC50	0.25-0.29	0.18-0.48	31
Hinged Patio Door Triple-pane single door	30"	80"	38"	96"	LC55	0.22-0.26	0.14-0.38	34-36
Hinged Patio Door Dual-pane double door	60"	80"	75"	96"	LC50	0.25-0.29	0.18-0.48	30-32
Hinged Patio Door Triple-pane double door	50"	80"	75"	96"	LC55	0.22-0.26	0.14-0.38	34-36
Sliding Patio Door Dual-pane single-door fixed (O)	31"	80"	49"	96"	CW50	0.24-0.33	0.18-0.51	27
Sliding Patio Door Triple-pane single-door fixed (O)	31"	80"	49"	96"	CW60	0.21-0.27	0.17-0.45	33-36
Sliding Patio Door Dual-pane double-door vent (OX or XO)	60"	80"	96"	96"	R20-LC50	0.24-0.33	0.18-0.51	29-32
Sliding Patio Door Triple-pane double-door vent (OX or XO)	60"	80"	96"	96"	R25-LC60	0.21-0.27	0.17-0.45	33-36

Window sizes available in 1/4" increments

Special sizes available in triple-pane patio doors. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit installpella.com.

Window Hardware

Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank

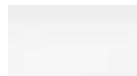


Cam-Action Lock

Finishes:



Champagne



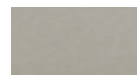
White



Brown



Matte Black



Satin Nickel



Satin Brass⁶

Patio Door Hardware

Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged Patio Door Handle

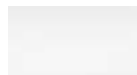


Sliding Patio Door Handle

Finishes:



Champagne



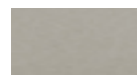
White



Brown



Matte Black



Satin Nickel



Satin Brass⁶

^{6,7} See back cover for disclosures.

Colors

Prefinished Pine Interior Colors

We can prefinish pine in your choice of several paint and stain colors. Unfinished or primed and ready-to-paint are also available.



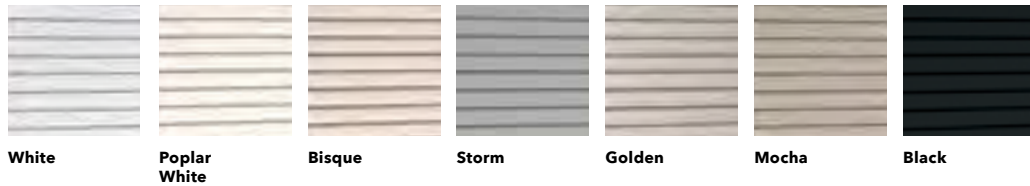
Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect windows and patio doors for years. Seacoast EnduraClad protective finish for coastal projects with high salt exposure is also available.



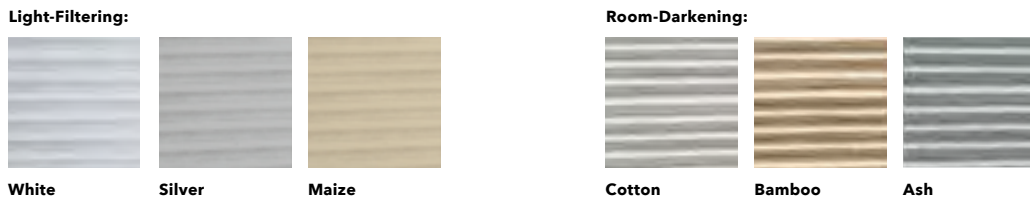
Integrated Blinds⁷

Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available manual or motorized with Pella® Insynctive® technology.



Integrated Shades⁷

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Integrated and accessible shades are available manual or motorized with Pella Insynctive technology.



Haven't landed on the final blind or shade color selection? No problem. With our patented triple-pane design, you and your customer can make those decisions later in the schedule. Our triple-pane products come with all of the hardware to add a blind or shade straight from the factory or at a later time in the building or remodeling process.

Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁸ For more information, go to connectpella.com.

^{7,8} See back cover for disclosures.

Performance Packages

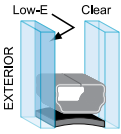
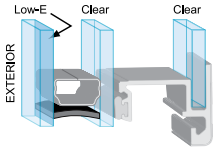
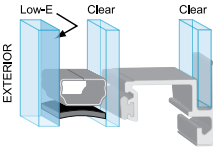
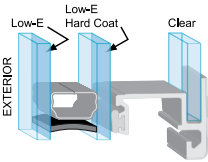
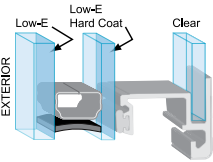
To make things easier, we've created performance packages.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Create room-by-room solutions with the upgraded triple-pane glass design.

All values below are averages compared with single-pane windows.



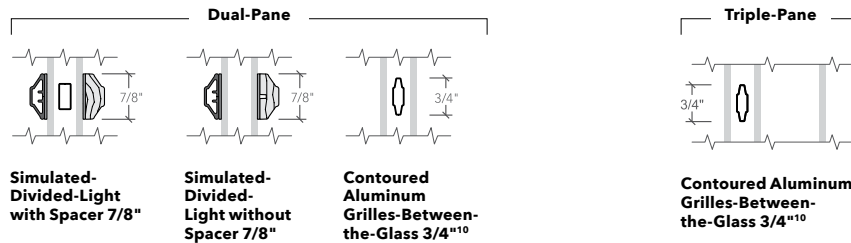
Pella® Lifestyle Series offers products awarded ENERGY STAR® Most Efficient for 2021.²

Base	Performance	Sound Control	Energy Efficiency	Ultimate Performance
	71% More Energy Efficient ² + 34% Noise Reduction ³	52% Noise Reduction ³	83% More Energy Efficient ²	79% More Energy Efficient ² + 52% Noise Reduction ³
 <p>Advanced Low-E</p> <p>Two panes of insulating, energy-efficient glass and our most popular features and options.</p>	 <p>Advanced Low-E SunDefense Low-E or NaturalSun Low-E</p> <p>A triple-pane glass design for a combination of both improved energy efficiency and sound performance.</p>	 <p>Advanced Low-E Sound-reduction glazing</p> <p>Triple-pane glass design featuring mixed glass thicknesses for enhanced sound dampening.</p>	 <p>AdvancedComfort</p> <p>A triple-pane glass design with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.</p>	 <p>AdvancedComfort Sound-reduction glazing</p> <p>A triple-pane glass design featuring mixed glass thicknesses with upgraded AdvancedComfort Low-E glass for enhanced energy efficiency.</p>

Patented triple-pane glass design gives flexibility to add integrated blinds or shades without impacting performance.

Grilles

Choose the look of true divided light, removable room-side grilles or make cleaning easier by selecting grilles-between-the-glass.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.⁴

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Some Pella products may not meet ENERGY STAR certification in Canada. For more information, contact your local Pella sales representative or go to nrcan.gc.ca/energy/products/categories/fenestration/13739.

³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁴ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

⁵ Double-hung windows available in dual-pane only.

⁶ Available early 2022.

⁷ Available with triple-pane products only.

⁸ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

⁹ Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

¹⁰ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.



Sonoma panel, Taupe finish, Stockbridge windows, Decorative hardware

Built for performance and affordability, Model 9100 offers top value and features foamed-in-place insulation along with a variety of style options.

DOOR FEATURES

Pinch-Resistant Panels
prevent finger injuries while the door is closing.

Foamed-In-Place Polyurethane Insulation
provides thermal efficiency with an R-value* of 9.

Integral Struts
add rigidity and strength for long life and smooth.

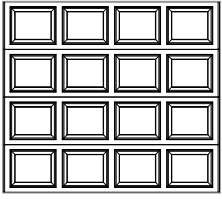


- **High Cycle Spring Option**
Choose a 25,000 cycle spring for almost twice the life of a standard torsion spring
- **TorqueMaster® Plus Counter Balance System**
Contains springs safely inside a steel tube to prevent accidental release of tension that could cause injury and features anti-drop safety technology
- **Wind Load Options**
Available with structural reinforcements for use in coastal or high wind region
- **Limited Lifetime Warranty**

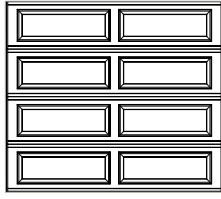


*Wayne Dalton uses a calculated door section R-value for our insulated doors. See website for warranty and wind load details.

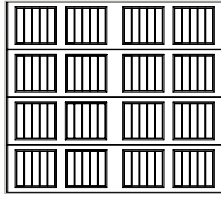
1 Choose Your Style



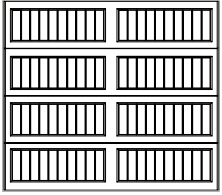
Colonial



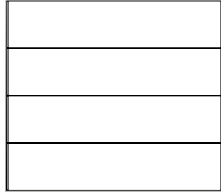
Ranch



Sonoma



Sonoma Ranch



Contemporary

3 Choose Your Windows



Cascade I



Clear II



Stockton I



Stockton III



Arched Stockton IV



Stockbridge



Prairie I



Williamsburg I

Not all window styles available on all panel designs.
Window configuration may vary depending on door size.
See Dealer or website for complete window selection.

2 Choose Your Color

Standard Finish



White



Almond



Desert Tan



Taupe



Gray



Brown



Green

Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Dealer for accurate color matching.

4 Choose Your Hardware



Arrow



Aspen



Barcelona



Bean



Conifer



Fleur De Lis



Spear

Wayne Dalton
GARAGE DOORS

2501 S. State Hwy 121 Bus., Ste 200
Lewisville, TX 75067

wayne-dalton.com



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Model 9100, Colonial panel, Desert Tan finish, Stockton I windows

Products Based on Your Search

 <p>WERNER Aluminum Attic Ladder, 7 ft to 9 ft 10 in Ceiling Height Range,...</p> <p>Web Price \$175.76 / each</p>	 <p>LOUISVILLE Wood Attic Ladder, 8 ft 9 in to 10 ft Ceiling Height Range, 79...</p> <p>Clearance Price \$361.78 / each Web Price \$380.82</p>	 <p>WERNER Aluminum Attic Ladder, 7 ft 9 in to 10 ft 3 in Ceiling Height Range, 79...</p> <p>Web Price \$415.89 / each</p>
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Related Categories

 <p>Attic Ladders</p>	 <p>Access Ladders, Platforms & Scaffolding</p>	 <p>Material Handling</p>
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[Product Categories](#) / [Material Handling](#) / [Access Ladders, Platforms & Scaffolding](#) / [Attic Ladders](#) /

Aluminum Attic Ladder, 10 ft to 12 ft Ceiling H...




LOUISVILLE

Aluminum Attic Ladder, 10 ft to 12 ft Ceiling Height Range, 90 in Swing Clearance, 66.0 lb Net Weight

Item #16V962 Mfr. Model #AL258P
UNSPSC #30191501 Catalog Page #N/A

Country of Origin Mexico. Country of Origin is subject to change.

These lightweight ladders provide easy, unobstructed access to small attic or storage areas. [View More](#) 

Technical Specs


Item	Attic Ladder	Ceiling Height Range	10 ft to 12 ft
Material	Aluminum		

Web Price
\$518.23 / each

This item requires special shipping, additional charges may apply.

Qty [Add to Cart](#)

Ship Pickup

 Backorder - arrive by **Tue. Mar 01**. [Chat with an Agent](#)

Ship to **48202** | [Change](#)

Shipping Weight 67 lbs
[Ship Availability Terms](#)

[Add to List](#)

Load Capacity	350 lb
ANSI Type	IA
Series	Everest
Rough Opening	25-1/2 in x 63 in
Swing Clearance	90 in
Landing Space	83 1/8 in
Step Width	17 in

Step Depth	3 1/4 in
Net Weight	66.0 lb
Insulated	Yes
Attic Ladder Closure	Spring Assist
Rung/Step Spacing	12 in

Documentation



[Louisville Ladder Selection Guide](#)



[Louisville Ladder Product Brochure](#)



[Louisville Ladder Aluminum Attic Ladder Sell Sheet](#)



[Louisville Ladder Flyer](#)



Chat with an Agent

Bendpak 9,000 lb Four Post Lifts



Features

- Mid- to long- style approach ramps for low ground clearance vehicle
- Runways include rail-kit for optional accessories
- Single hydraulic cylinder mounted underneath runway
- Fully enclosed lifting cables,safety locks and sheaves
- Internal anti-sway slider blocks in each column
- Features heavy-duty 1/2" aircraft cable
- Safety locks enclosed in columns minimize pinch points
- Oversized sheave diameter reduces cable fatigue
- Oversized self-lubricating cable rollers
- Rugged 1 3/4" roller axles
- Multi-position safety locks in each column
- Customizable power unit location
- Approach ramps incorporate built-in rear-wheel chocks
- Independent backup slack-cable safety latches
- Runways feature non-skid surface
- ETL approved

Model # HDS-14X



Options available

- Drive-thru ramps
- Oil drip trays
- Solid deck for increased storage capacity
- 4,500 lb air/hydraulic rolling jacks



Electric/Air Work Station(WSA-100)
(5210436)



Air Bottle
(55215306)



Diamond Plate Deck Set(5375645)



Drip Trays
(5700301)



JP-3 Jack Platform
(5175800)



JP-6 Jack Platform
(5175349)

Specifications

- Lifting Capacity-14,000 lbs
- Overall Width-130"
- Outside Length-243"
- Overall Length-271"
- Height of columns-93"
- Runway Minimum Height-7 5/8"
- Maximum Rise-70"
- Maximum Lifting Height-77 5/8"
- Width Between Posts-120"
- Runway Width-20"
- Width between runways-37 1/2" to 51"
- Minimum Wheelbase at Rated Capacity-165"
- Minimum Wheelbase at 75% Capacity-140"
- Minimum Wheelbase at 50% Capacity-115"
- Minimum Wheelbase at 25% Capacity-95"
- Locking Positions-13
- Lock Spacing-Every 4"
- Lifting Time-60 seconds
- Motor Rating-220v 60hz 1p
- Shipping Weight-2,105 lbs