

PROPOSAL

Erected ca. 1920, the building located at 741 Seward includes three full stories above grade, a basement units, and a penthouse unit. The English Tudor style apartment building features a front façade and side returns with decorative stone detailing, water tables, window surrounds, entrance surround, and wood trim details to establish the style. The building is long and narrow on a 50' width lot x 175' deep. Exterior walls are clad with brick and windows are non-historic, double-hung units that were added ca. 1980. The roof is flat with a side-gabled and shed-roof penthouse towards the front portion of the building. There is no parking on the site, and the building is surrounded by concrete, except for small shrub and grass areas in the front between the sidewalk and building. The original/historic front door remains.

The applicant is seeking to undertake an extensive interior renovation of the building so that it might accommodate 36 residential units. Specific exterior work items which the applicant proposes to undertake include the following:

Site

- Install a trash enclosure at the rear alley of wood fencing and gate, with a metal roof covering. A new DTE transformer will also be installed along the alley adjacent to the trash enclosure.

Masonry Restoration

- The masonry will be cleaned, missing brick will be replaced, all masonry will be pointed, and stone trim will be recast or sculpted to match the original elements of the exterior. The front façade, which is the only decorative part to the building will be restored.

Roof

- Deteriorated wood trim at the eaves will be restored with wood trim to match the existing in original condition. The roof shingles are currently three-tab asphalt over many layers of other roofing. The roof shall be stripped and iCertainteed Grand Manor shingles (see enclosed brochure), which emulates a slate roof of the Tudor Brown color will be installed. The existing clay tile parapet cap will remain on the exterior perimeter walls of the building, with the interior parapet walls receiving an aluminum cap, swapping clay tile caps for the exterior walls as replacement tiles for those broken. The flat roofing materials will be removed and replaced with a white EPDM roofing material.

New Balconies

- The applicant is proposing to add balconies to the building within the existing exterior light wells. The balconies will be wood framed with wood floor material, and an 3'-6"-high aluminum railing. The railing color will match the window aluminum color (see below description for windows and Sheet A3-00 for the balcony details).

Windows

- All windows will be new for the building. The existing windows are replacement

windows installed in the 1980's, when the building was renovated. The existing front windows are divided lights multiple over one, and the existing side and rear windows are double hung aluminum one-over-one. All new windows will be aluminum clad wood windows (see enclosed brochure) specified in Chestnut Bronze, which is a very close representation of color B:6 Moderate Brown per the City of Detroit Historic District Color Guide, Color System B. The front windows will be divided lights multiple-over-one, and all other windows will be double hung one-over-one.

- At each of the new decks, at stories 1, 2, and 3, one window will be removed and the opening will be enlarged to accommodate for the addition of new doorways (9 total). The new doors are aluminum with a full length vision panel.

Primary Entry Door

- The front entrance is in good condition and will be restored, with the door remaining, and the interior marble floor and walls being cleaned and repointed.

APPLICABLE ELEMENTS OF DESIGN

Relationship of materials. The district exhibits a wide variety of building materials characteristic of single and multiple unit residential buildings dating from the last decade of the nineteenth century and first quarter of the twentieth century. The majority of buildings are faced with brick; a brick veneer first story and a stucco, clapboard, or wood shingle second story is not unusual. All-stone, all-stucco, and all-wood buildings exist but are few in number. Later replacement siding is uncommon in the district; when it does exist, much of side changes the original visual relationship of the siding to the building. Stone sills and wood trim are common. Roofing includes slate, tile, and asphalt shingles. It is common for apartment buildings to have limestone or concrete high basements or first stories and stone ornamental detail and trim

Relationship of colors. Paint colors generally relate to style. Natural brick colors (red, brown, yellow, orange, buff) predominate in wall surfaces. Natural stone colors also exist. Stucco and concrete are usually left in their natural state or are painted in a shade of cream; half-timbering is frequently stained or painted brown or brownish-red. Classically inspired buildings, particularly neo-Georgian and colonial revival, frequently have wood trim painted white, cream, or in a range of these colors. Where shutters exist, they are either dark green, black, or another appropriate dark color. Colors known to have been in use on buildings of this type in the eighteenth or nineteenth centuries on similar buildings may be considered for suitability. Buildings of medieval and/or arts-and-crafts inspiration generally have painted wood trim of dark brown; black and red is also present. Queen Anne and late Victorian style houses may have several colors painted on the same facade. Storm windows are sometimes a different color from the window frames and sash; window sash are most often the same color as the window frames, with a few exceptions. Colors used on trim of apartment buildings are frequently brown, gray, black or green. The original color scheme of any building, as determined by professional analysis, is always acceptable for the building, and may provide suggestions for similar buildings. Roofs are in natural colors; slate is predominantly gray, gray green and black; tile is green or red. Asphalt shingles display a variety of colors, most derived from colors of natural materials (tile, slate and wood colors).

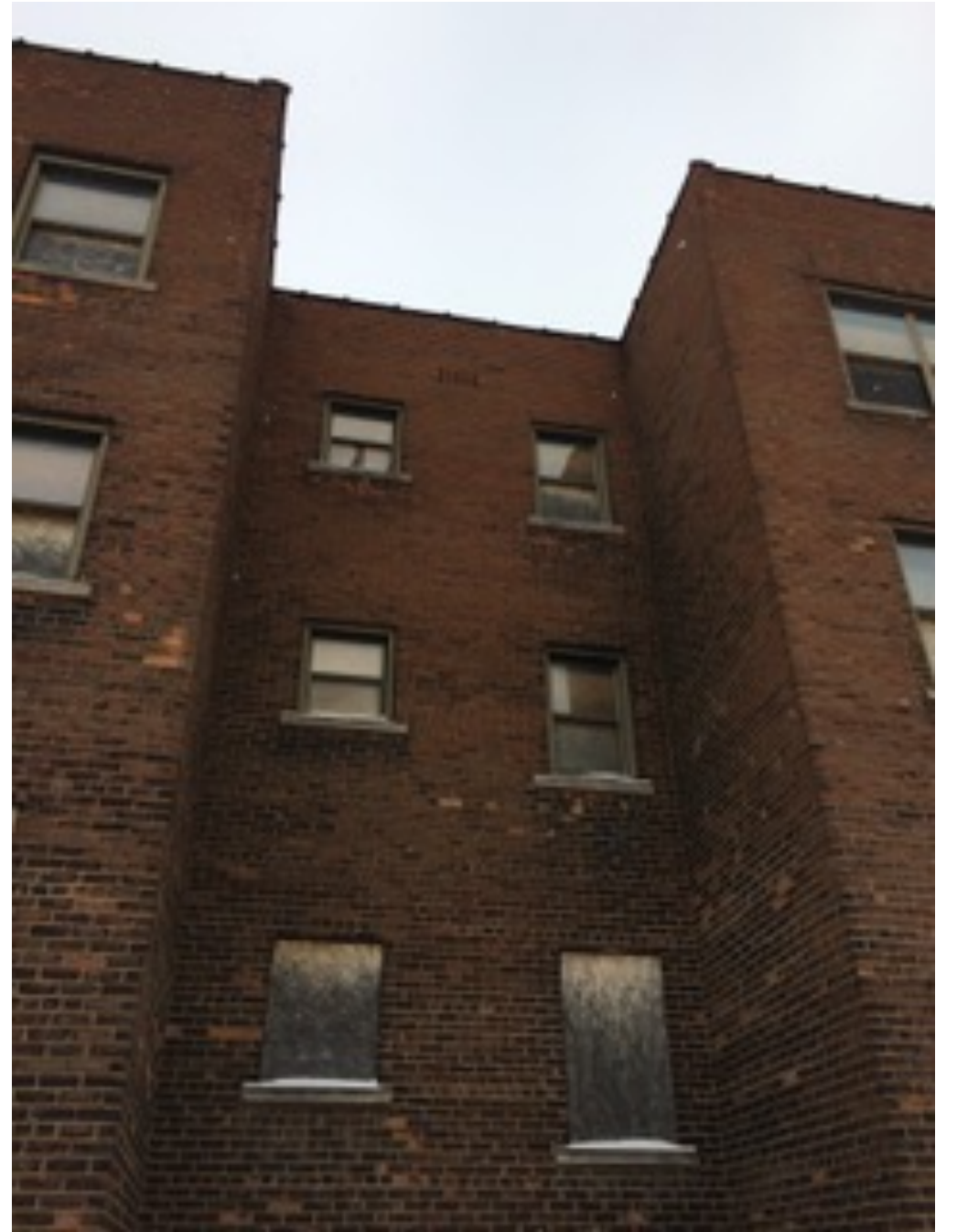
RECOMMENDATION

It is HDC staff's opinion that the work as proposed will not result in the removal of historic elements nor will it detract from the building's historic character. Staff therefore recommends that the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior's Standards for Rehabilitation standard number 6) *Deteriorated historic features will be repaired rather*

than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence











March 23, 2018

Ms. Audra Dye, Historic Specialist
City of Detroit, Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, MI 48226

Re: 741 Seward Renovation

Ms. Dye,

We respectfully submit this enclosed description of the 741 Seward Renovation project to the City of Detroit Historic District Commission for review.

The existing apartment building is located within the New Center Historic District. The structure dates to 1925 and is a contributing building to the historic district.

The building was purchased in January of 2018 by Paul Silva, owner of Seward New center, LLC, a local developer. Christian Hurrtienne Architects were retained to measure and draw the building, provide for the updates to the interior apartment units, and provide guidance to exterior stabilization measures. It is an English Tudor style 1920's apartment building. The front façade and side returns are decorative with stone detailing, water tables, window surrounds, entrance surround, and wood trim details to establish the style. The building is all residential with 30 existing apartments, and we are adding more units in the lowest level to achieve 36 units. It is the intent of the developer with CHA that the building be restored per the Secretary of the Interior Standards for Rehabilitation. We are also submitting the project to the State Historic Preservation Office and the National Park Service for the Preservation Tax Credit.

Site

The building is long and narrow on a 50' width lot x 175' deep. There is no parking on the site, and the building is surrounded by concrete, except for small shrub and grass areas in the front between the sidewalk and building. There will be a trash enclosure construct at the rear alley of wood fencing and gate, with a metal roof covering. A new DTE transformer will also be installed along the alley adjacent to the trash enclosure.

Exterior

The masonry will be cleaned, missing brick will be replaced, all masonry will be pointed, and stone trim will be recast or sculpted to match the original elements of the exterior. The front façade, which is the only decorative part to the building will be restored. The wood trim at the eaves will be restored with wood trim to match the existing in original condition. The roof shingles are currently three-tab asphalt over many layers of other roofing. We proposed to strip the roofing material and install Certainteed Grand Manor shingles (see enclosed brochure), which emulates a slate roof of the Tudor Brown color. The existing clay tile parapet cap will remain on the exterior perimeter walls of the building, with the interior parapet walls receiving an aluminum cap, swapping clay tile caps for the exterior walls as replacement tiles for those broken. The flat roofing materials will be removed and replaced with a white EPDM roofing material.



Balconies

We are proposing to add balconies to the building within the existing exterior light wells. The balconies will be wood framed with wood floor material, and an aluminum railing. The railing color will match the window aluminum color (see below description for windows and Sheet A3-00 for the balcony details).

Windows

All windows will be new for the building. The existing windows are replacement windows installed in the 1908's, when the building was renovated. The existing front windows are divided lights multiple-over-one, and the existing side and rear windows are double hung aluminum one-over-one. All new windows will be aluminum clad wood windows (see enclosed brochure) specified in Chestnut Bronze, which is a very close representation of color B:6 Moderate Brown per the City of Detroit Historic District Color Guide, Color System B. The front windows will be divided lights multiple-over-one, and all other windows will be double hung one-over-one.

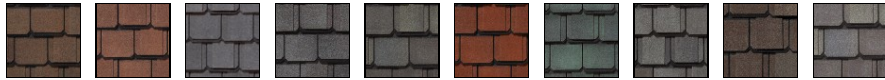
Interior

The front entrance is in good condition and will be restored, with the door remaining, and the interior marble floor and walls being cleaned and repointed. The interior apartments, corridors, and utility spaces will remain in their original configuration. The apartment unit interior of kitchen and baths will be slightly reconfigured to accommodate current code conditions and lifestyle amenities.

I believe this is an accurate description of the building renovation, accompanied by the drawings, enclosed. Please review and let me know of further items you need to complete your review and presentation to the Historic District Commission.

Thank you,

Brian V. Hurttienne, Principal
Christian Hurttienne Architects
2111 Woodward Avenue, Suite 201
Detroit, MI



GRAND MANOR®

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GRANDMANOR®

Some roofs say more about you; about your style; about the home that uniquely showcases your life. Grand Manor says it all with a style and grace that is exceptional

from every angle. The best of the best, an ideal choice for homes with great steep sloped roofs.

- Randomly placed tabs have shadow lines that provide the wonderful depth and dimension of a natural slate roof
- Authentic depth and dimension of natural slate

Due to variation in computer monitors and printers, the color samples seen on your computer screen may not exactly match the corresponding color. To verify actual product color, ask to see the actual product, available through a CertainTeed contractor or distributor.

PRODUCT OVERVIEW

- [Grand Manor Brochure](#)
- [Roofs of Distinction Brochure](#)
- [Integrity Roof System Brochure](#)
- [StreakFighter Algae-Resistant Shingles Brochure](#)
([More Info](#))

TECHNICAL SPECS

- [Data Sheet - GrandManor](#)
- [3-Part Spec - GrandManor](#)
- [SDS - Asphalt Shingle - AR](#)
- [ICC-ES-ESR-1389](#)
([More Info](#))

INSTALLATION

- [Grand Manor Installation Manual](#)
([More Info](#))

WARRANTY

- [Asphalt Shingle Limited](#)



The Home Depot Special Order Quote

Customer Agreement #: H2701-64317

Printed Date: 1/25/2018

Customer: SILVA PROPERTIES SILVA VALLEY

Address: 51 W PALMER
DETROIT, MI 48202

Phone 1: 248-705-5969

Phone 2: 248-705-5969

Email: PAUL@SPMLIVING.COM

Store: 2701

Associate: GILBERT

Address: 545 S TELEGRAPH
PONTIAC, MI 48341

Phone: 248-253-8900

Pre-Savings Total: \$89,767.10

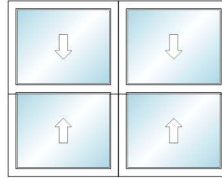
Total Savings: (\$0.00)

Pre-Tax Price: \$89,767.10

All prices are subject to change. Customer is responsible for verifying product selections. The Home Depot will not accept returns for the below products.



Catalog Version 61



Width = 37.875
Height = 60.25
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
100-1	75.75 x 60.25 Double Hung/Single Hung Double Hung	\$989.21	\$989.21	21	\$0.00	\$20,773.41
100-2		\$0.00	\$0.00	21	\$0.00	\$0.00
100-3		\$0.00	\$0.00	21	\$0.00	\$0.00
Unit 100 Total:		\$989.21	\$989.21		\$0.00	\$20,773.41

Begin Line 100 Descriptions

---- Line 100-1 ----

WDHCladW-3500 Double Hung Double Hung /
Double Hung 75.75 x 60.25
Width = 37.875
Height = 60.25
Sash Split = Even
Quick Config = No
Sash Model = Traditional
Operation (Outside View) = Double Hung
Assembly = Unit
DP Rating = DP35
Jambliner Color = White Jambliners
Exterior Color = Chestnut Bronze
Species = Pine
Interior Finish = Natural
Certification = Sustainable Forestry Initiative
Sash to Match Exterior Color = Yes
Customer Elevation = 0 - 4000 feet

Energy Rating = Energy Star
Zip Code = default
Energy Star Zone = EStar Northern
Glazing Type = Insulated
Low-E Option = Low-E EC
Tinted Glass = No Tint (Clear)
Glass Style = Clear
Tempered Glass = Not Tempered
California Fire Code Label = No
Neat Glass = No
Preserve Glass = No Preserve
IG Options = Argon
Hardware Finish = White
Sash Limiter = No Sash Limiter
Finger Plows = With Finger Plow(s)
Window Egress = Meets Egress 5.7 Clear Opening
(Check Local Code)

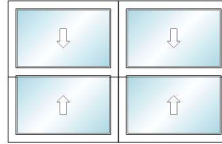
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Screen Frame Color = Chestnut Bronze
Check Info Link = Acoustic Ratings Info link
Room Location = no
Is This a Remake/Re-Order = No
Specific/Additional Information =
SKU = 339970
Vendor Name = S/OJELD-WEN PREMIUM WOOD
Vendor Number = 60058104
Customer Service = 1-800-246-9131 Option 2
Manufacturer = JELD-WEN Wood Windows & Patio Doors
Catalog Version Date = 09/25/2017
Vertical Factory 0" thick, 60.25" length
Jamb Width = 4.5625
Exterior Trim = No Drip Cap/No Nail Fin
Kerf Jamb = No Kerf

---- Lines 100-2 to 100-3 have the same description as line 100-1 ----

End Line 100 Descriptions



Catalog Version 61



Width = 37.875
Height = 48.5
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
200-1	75.75 x 48.5 Double Hung/Single Hung Double Hung	\$871.73	\$871.73	1	\$0.00	\$871.73
200-2		\$0.00	\$0.00	1	\$0.00	\$0.00
200-3		\$0.00	\$0.00	1	\$0.00	\$0.00
Unit 200 Total:		\$871.73	\$871.73		\$0.00	\$871.73

Begin Line 200 Descriptions

---- Line 200-1 ----

WDHCladW-3500 Double Hung Double Hung /
Double Hung 75.75 x 48.5
Width = 37.875
Height = 48.5
Sash Split = Even
Quick Config = No
Sash Model = Traditional
Operation (Outside View) = Double Hung
Assembly = Unit
DP Rating = DP35
Jambliner Color = White Jambliners
Exterior Color = Chestnut Bronze
Species = Pine
Interior Finish = Natural
Certification = Sustainable Forestry Initiative
Sash to Match Exterior Color = Yes
Customer Elevation = 0 - 4000 feet

Energy Rating = Energy Star
Zip Code = default
Energy Star Zone = EStar Northern
Glazing Type = Insulated
Low-E Option = Low-E EC
Tinted Glass = No Tint (Clear)
Glass Style = Clear
Tempered Glass = Not Tempered
California Fire Code Label = No
Neat Glass = No
Preserve Glass = No Preserve
IG Options = Argon
Hardware Finish = White
Sash Limiter = No Sash Limiter
Finger Plows = With Finger Plow(s)
Window Egress = Does Not Meet Egress

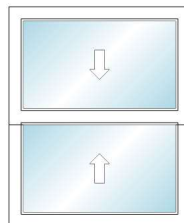
Screen Option = BetterVue Mesh
Screen Frame Color = Chestnut Bronze
Check Info Link = Acoustic Ratings Info link
Room Location = no
Is This a Remake/Re-Order = No
Specific/Additional Information = none
SKU = 339970
Vendor Name = S/OJELD-WEN PREMIUM WOOD
Vendor Number = 60058104
Customer Service = 1-800-246-9131 Option 2
Manufacturer = JELD-WEN Wood Windows & Patio Doors
Catalog Version Date = 09/25/2017
Vertical Factory 0" thick, 48.5" length
Jamb Width = 4.5625
Exterior Trim = No Drip Cap/No Nail Fin
Kerf Jamb = No Kerf

---- Lines 200-2 to 200-3 have the same description as line 200-1 ----

End Line 200 Descriptions



Catalog Version 61



Width = 40
Height = 48.5
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
300-1	40 x 48.5 Double Hung/Single Hung Double Hung	\$422.62	\$422.62	16	\$0.00	\$6,761.92
Unit 300 Total:		\$422.62	\$422.62		\$0.00	\$6,761.92

Begin Line 300 Description

---- Line 300-1 ----

WDHCladW-3500 Double Hung Double Hung 40 x
48.5
Width = 40
Height = 48.5
Sash Split = Even
Quick Config = No

Energy Rating = Energy Star
Zip Code = default
Energy Star Zone = EStar Northern
Glazing Type = Insulated
Low-E Option = Low-E EC
Tinted Glass = No Tint (Clear)

Screen Option = BetterVue Mesh
Screen Frame Color = Chestnut Bronze
Check Info Link = Acoustic Ratings Info link
Room Location = no
Is This a Remake/Re-Order = No
Specific/Additional Information = none

Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

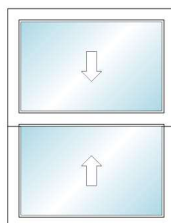
Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Meets Egress 5.0 Clear Opening
 (Check Local Code)

SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 300 Description



Catalog Version 61



Width = 40
 Height = 52.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
400-1	40 x 52.5 Double Hung/Single Hung Double Hung	\$442.68	\$442.68	39	\$0.00	\$17,264.52
Unit 400 Total:		\$442.68	\$442.68		\$0.00	\$17,264.52

Begin Line 400 Description

---- Line 400-1 ----

WDHCladW-3500 Double Hung Double Hung 40 x 52.5
 Width = 40
 Height = 52.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

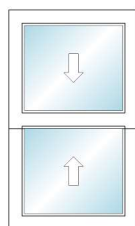
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 Zip Code = default
 Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Meets Egress 5.7 Clear Opening
 (Check Local Code)

Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 400 Description



Catalog Version 61



Width = 26.25
 Height = 44.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
500-1	26.25 x 44.5 Double Hung/Single Hung Double Hung	\$404.62	\$404.62	27	\$0.00	\$10,924.74
Unit 500 Total:		\$404.62	\$404.62		\$0.00	\$10,924.74

Begin Line 500 Description

---- Line 500-1 ----

WDHCladW-3500 Double Hung Double Hung
 26.25 x 44.5
 Width = 26.25
 Height = 44.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

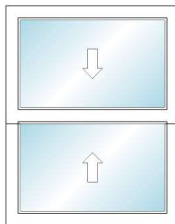
Energy Rating = Energy Star
 Zip Code = default
 Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress

Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 500 Description



Catalog Version 61



Width = 38.25
 Height = 48.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
600-1	38.25 x 48.5 Double Hung/Single Hung Double Hung	\$422.62	\$422.62	3	\$0.00	\$1,267.86
Unit 600 Total:		\$422.62	\$422.62		\$0.00	\$1,267.86

Begin Line 600 Description

---- Line 600-1 ----

WDHCladW-3500 Double Hung Double Hung
 38.25 x 48.5
 Width = 38.25
 Height = 48.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

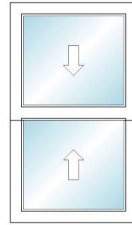
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 Zip Code = default
 Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress

Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 600 Description



Catalog Version 61



Width = 30.25
 Height = 52.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
700-1	30.25 x 52.5 Double Hung/Single Hung Double Hung	\$387.16	\$387.16	9	\$0.00	\$3,484.44
Unit 700 Total:		\$387.16	\$387.16		\$0.00	\$3,484.44

Begin Line 700 Description

---- Line 700-1 ----

WDHCladW-3500 Double Hung Double Hung
 30.25 x 52.5
 Width = 30.25
 Height = 52.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

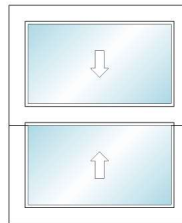
Energy Rating = Energy Star
 Zip Code = default
 Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress

Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 700 Description



Catalog Version 61



Width = 30.25
 Height = 36.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
800-1	30.25 x 36.5 Double Hung/Single Hung Double Hung	\$314.27	\$314.27	9	\$0.00	\$2,828.43
Unit 800 Total:		\$314.27	\$314.27		\$0.00	\$2,828.43

Begin Line 800 Description

---- Line 800-1 ----

WDHCladW-3500 Double Hung Double Hung
 30.25 x 36.5
 Width = 30.25
 Height = 36.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35

Energy Rating = Energy Star
 Zip Code = default
 Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No

Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2

Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

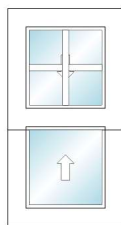
Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress

Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 800 Description



Catalog Version 61



Width = 17
 Height = 32
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
900-1	17 x 32 Double Hung/Single Hung Double Hung	\$272.61	\$272.61	12	\$0.00	\$3,271.32
Unit 900 Total:		\$272.61	\$272.61		\$0.00	\$3,271.32

Begin Line 900 Description

---- Line 900-1 ----

WDHCladW-3500 Double Hung Double Hung 17 x 32
 Width = 17
 Height = 32
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet
 Energy Rating = No
 Energy Star Zone = EStar None

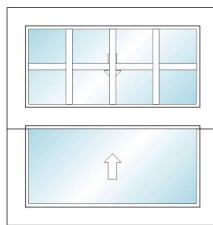
Glazing Type = Insulated
 Low-E Option = Low-E 366
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress
 Unit 1 Bottom: None
 Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille
 Unit 1 Top: Colonial
 Unit 1 Top: External Grille Material = Aluminum Clad
 Unit 1 Top: Interior Grille Finish = Natural

Unit 1 Top: Exterior Grille Finish = Chestnut Bronze
 Unit 1 Top: 2W2H
 Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 900 Description



Catalog Version 61



Width = 31
 Height = 32
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1000-1	31 x 32 Double Hung/Single Hung Double Hung	\$423.53	\$423.53	6	\$0.00	\$2,541.18
Unit 1000 Total:		\$423.53	\$423.53		\$0.00	\$2,541.18

Begin Line 1000 Description

---- Line 1000-1 ----

WDHCladW-3500 Double Hung Double Hung 31 x 32
 Width = 31
 Height = 32
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet
 Energy Rating = Energy Star
 Zip Code = default

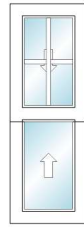
Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress
 Unit 1 Bottom: None
 Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille
 Unit 1 Top: Colonial
 Unit 1 Top: External Grille Material = Aluminum Clad

Unit 1 Top: Interior Grille Finish = Natural
 Unit 1 Top: Exterior Grille Finish = Chestnut Bronze
 Unit 1 Top: 4W2H
 Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 1000 Description



Catalog Version 61



Width = 17
 Height = 48.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1100-1	17 x 48.5 Double Hung/Single Hung Double Hung	\$345.33	\$345.33	4	\$0.00	\$1,381.32
Unit 1100 Total:		\$345.33	\$345.33		\$0.00	\$1,381.32

Begin Line 1100 Description

---- Line 1100-1 ----

WDHCladW-3500 Double Hung Double Hung 17 x 48.5
 Width = 17
 Height = 48.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet
 Energy Rating = Energy Star
 Zip Code = default

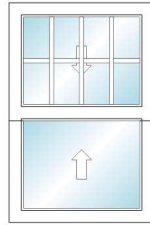
Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress
 Unit 1 Bottom: None
 Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille
 Unit 1 Top: Colonial
 Unit 1 Top: External Grille Material = Aluminum Clad

Unit 1 Top: Interior Grille Finish = Natural
 Unit 1 Top: Exterior Grille Finish = Chestnut Bronze
 Unit 1 Top: 2W2H
 Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 1100 Description



Catalog Version 61



Width = 32
Height = 48.5
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1200-1	32 x 48.5 Double Hung/Single Hung Double Hung	\$498.76	\$498.76	2	\$0.00	\$997.52
Unit 1200 Total:		\$498.76	\$498.76		\$0.00	\$997.52

Begin Line 1200 Description

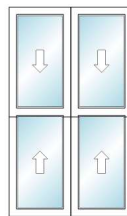
---- Line 1200-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 32 x 48.5 Width = 32 Height = 48.5 Sash Split = Even Quick Config = No Sash Model = Traditional Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Species = Pine Interior Finish = Natural Certification = Sustainable Forestry Initiative Sash to Match Exterior Color = Yes Customer Elevation = 0 - 4000 feet Energy Rating = Energy Star Zip Code = default</p>	<p>Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = No Preserve Glass = No Preserve IG Options = Argon Hardware Finish = White Sash Limiter = No Sash Limiter Finger Plows = With Finger Plow(s) Window Egress = Does Not Meet Egress Unit 1 Bottom: None Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille Unit 1 Top: Colonial Unit 1 Top: External Grille Material = Aluminum Clad</p>	<p>Unit 1 Top: Interior Grille Finish = Natural Unit 1 Top: Exterior Grille Finish = Chestnut Bronze Unit 1 Top: 4W2H Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no Is This a Remake/Re-Order = No Specific/Additional Information = none SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 09/25/2017 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin Kerf Jamb = No Kerf</p>
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End Line 1200 Description



Catalog Version 61



Width = 22.375
Height = 76
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1300-1	44.75 x 76 Double Hung/Single Hung Double Hung	\$815.93	\$815.93	2	\$0.00	\$1,631.86
1300-2		\$0.00	\$0.00	2	\$0.00	\$0.00
1300-3		\$0.00	\$0.00	2	\$0.00	\$0.00
Unit 1300 Total:		\$815.93	\$815.93		\$0.00	\$1,631.86

Begin Line 1300 Descriptions

---- Line 1300-1 ----

<p>WDHCladW-3500 Double Hung Double Hung / Double Hung 44.75 x 76 Width = 22.375 Height = 76</p>	<p>Energy Rating = Energy Star Zip Code = default Energy Star Zone = EStar Northern Glazing Type = Insulated</p>	<p>Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no</p>
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Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress

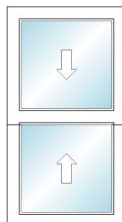
Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Vertical Factory 0" thick, 76" length
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

---- Lines 1300-2 to 1300-3 have the same description as line 1300-1 ----

End Line 1300 Descriptions



Catalog Version 61



Width = 26.25
 Height = 48.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1400-1	26.25 x 48.5 Double Hung/Single Hung Double Hung	\$432.59	\$432.59	3	\$0.00	\$1,297.77
Unit 1400 Total:		\$432.59	\$432.59		\$0.00	\$1,297.77

Begin Line 1400 Description

---- Line 1400-1 ----

WDHCladW-3500 Double Hung Double Hung
 26.25 x 48.5
 Width = 26.25
 Height = 48.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet

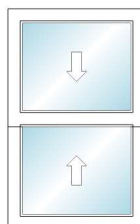
Energy Rating = Energy Star
 Zip Code = default
 Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress

Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 1400 Description



Catalog Version 61



Width = 30.25
 Height = 48.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
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1500-1	30.25 x 48.5 Double Hung/Single Hung Double Hung	\$369.67	\$369.67	2	\$0.00	\$739.34
Unit 1500 Total:		\$369.67	\$369.67		\$0.00	\$739.34

Begin Line 1500 Description

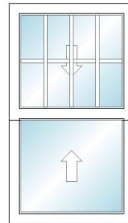
---- Line 1500-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 30.25 x 48.5 Width = 30.25 Height = 48.5 Sash Split = Even Quick Config = No Sash Model = Traditional Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Species = Pine Interior Finish = Natural Certification = Sustainable Forestry Initiative Sash to Match Exterior Color = Yes Customer Elevation = 0 - 4000 feet</p>	<p>Energy Rating = Energy Star Zip Code = default Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = No Preserve Glass = No Preserve IG Options = Argon Hardware Finish = White Sash Limiter = No Sash Limiter Finger Plows = With Finger Plow(s) Window Egress = Does Not Meet Egress</p>	<p>Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no Is This a Remake/Re-Order = No Specific/Additional Information = none SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 09/25/2017 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin Kerf Jamb = No Kerf</p>
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End Line 1500 Description



Catalog Version 61



Width = 33.5
Height = 59.25
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1600-1	33.5 x 59.25 Double Hung/Single Hung Double Hung	\$562.77	\$562.77	6	\$0.00	\$3,376.62
Unit 1600 Total:		\$562.77	\$562.77		\$0.00	\$3,376.62

Begin Line 1600 Description

---- Line 1600-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 33.5 x 59.25 Width = 33.5 Height = 59.25 Sash Split = Even Quick Config = No Sash Model = Traditional Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Species = Pine Interior Finish = Natural Certification = Sustainable Forestry Initiative Sash to Match Exterior Color = Yes Customer Elevation = 0 - 4000 feet Energy Rating = Energy Star Zip Code = default</p>	<p>Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = No Preserve Glass = No Preserve IG Options = Argon Hardware Finish = White Sash Limiter = No Sash Limiter Finger Plows = With Finger Plow(s) Window Egress = Meets Egress 5.0 Clear Opening (Check Local Code) Unit 1 Bottom: None Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille Unit 1 Top: Colonial Unit 1 Top: External Grille Material = Aluminum Clad</p>	<p>Unit 1 Top: Interior Grille Finish = Natural Unit 1 Top: Exterior Grille Finish = Chestnut Bronze Unit 1 Top: 4W2H Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no Is This a Remake/Re-Order = No Specific/Additional Information = none SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 09/25/2017 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin Kerf Jamb = No Kerf</p>
--	---	--

End Line 1600 Description



Catalog Version 61



Width = 17
Height = 59.25
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1700-1	17 x 59.25 Double Hung/Single Hung Double Hung	\$371.24	\$371.24	12	\$0.00	\$4,454.88
Unit 1700 Total:		\$371.24	\$371.24		\$0.00	\$4,454.88

Begin Line 1700 Description

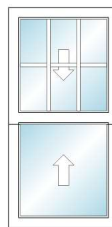
---- Line 1700-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 17 x 59.25 Width = 17 Height = 59.25 Sash Split = Even Quick Config = No Sash Model = Traditional Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Species = Pine Interior Finish = Natural Certification = Sustainable Forestry Initiative Sash to Match Exterior Color = Yes Customer Elevation = 0 - 4000 feet Energy Rating = Energy Star Zip Code = default</p>	<p>Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = No Preserve Glass = No Preserve IG Options = Argon Hardware Finish = White Sash Limiter = No Sash Limiter Finger Plows = With Finger Plow(s) Window Egress = Does Not Meet Egress Unit 1 Bottom: None Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille Unit 1 Top: Colonial Unit 1 Top: External Grille Material = Aluminum Clad</p>	<p>Unit 1 Top: Interior Grille Finish = Natural Unit 1 Top: Exterior Grille Finish = Chestnut Bronze Unit 1 Top: 2W2H Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no Is This a Remake/Re-Order = No Specific/Additional Information = none SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 09/25/2017 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin Kerf Jamb = No Kerf</p>
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End Line 1700 Description



Catalog Version 61



Width = 29.5
Height = 59.25
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1800-1	29.5 x 59.25 Double Hung/Single Hung Double Hung	\$501.02	\$501.02	2	\$0.00	\$1,002.04
Unit 1800 Total:		\$501.02	\$501.02		\$0.00	\$1,002.04

Begin Line 1800 Description

---- Line 1800-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 29.5 x 59.25 Width = 29.5 Height = 59.25 Sash Split = Even Quick Config = No Sash Model = Traditional</p>	<p>Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No</p>	<p>Unit 1 Top: Interior Grille Finish = Natural Unit 1 Top: Exterior Grille Finish = Chestnut Bronze Unit 1 Top: 3W2H Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link</p>
--	--	--

Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet
 Energy Rating = Energy Star
 Zip Code = default

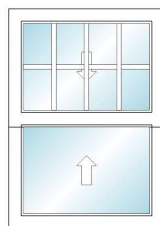
Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress
 Unit 1 Bottom: None
 Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille
 Unit 1 Top: Colonial
 Unit 1 Top: External Grille Material = Aluminum Clad

Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 1800 Description



Catalog Version 61



Width = 33.5
 Height = 47.25
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
1900-1	33.5 x 47.25 Double Hung/Single Hung Double Hung	\$506.53	\$506.53	2	\$0.00	\$1,013.06
Unit 1900 Total:		\$506.53	\$506.53		\$0.00	\$1,013.06

Begin Line 1900 Description

---- Line 1900-1 ----

WDHCladW-3500 Double Hung Double Hung 33.5 x 47.25
 Width = 33.5
 Height = 47.25
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet
 Energy Rating = Energy Star
 Zip Code = default

Energy Star Zone = EStar Northern
 Glazing Type = Insulated
 Low-E Option = Low-E EC
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress
 Unit 1 Bottom: None
 Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille
 Unit 1 Top: Colonial
 Unit 1 Top: External Grille Material = Aluminum Clad

Unit 1 Top: Interior Grille Finish = Natural
 Unit 1 Top: Exterior Grille Finish = Chestnut Bronze
 Unit 1 Top: 4W2H
 Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 1900 Description



Catalog Version 61



Width = 17
 Height = 47.25
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
2000-1	17 x 47.25 Double Hung/Single Hung Double Hung	\$331.96	\$331.96	4	\$0.00	\$1,327.84
Unit 2000 Total:		\$331.96	\$331.96		\$0.00	\$1,327.84

Begin Line 2000 Description

---- Line 2000-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 17 x 47.25 Width = 17 Height = 47.25 Sash Split = Even Quick Config = No Sash Model = Traditional Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Species = Pine Interior Finish = Natural Certification = Sustainable Forestry Initiative Sash to Match Exterior Color = Yes Customer Elevation = 0 - 4000 feet Energy Rating = Energy Star Zip Code = default</p>	<p>Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = No Preserve Glass = No Preserve IG Options = Argon Hardware Finish = White Sash Limiter = No Sash Limiter Finger Plows = With Finger Plow(s) Window Egress = Does Not Meet Egress Unit 1 Bottom: None Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille Unit 1 Top: Colonial Unit 1 Top: External Grille Material = Aluminum Clad</p>	<p>Unit 1 Top: Interior Grille Finish = Natural Unit 1 Top: Exterior Grille Finish = Chestnut Bronze Unit 1 Top: 2W2H Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no Is This a Remake/Re-Order = No Specific/Additional Information = none SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 09/25/2017 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin Kerf Jamb = No Kerf</p>
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End Line 2000 Description



Catalog Version 61



Width = 17.5
Height = 59.25
Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
2100-1	17.5 x 59.25 Double Hung/Single Hung Double Hung	\$371.23	\$371.23	2	\$0.00	\$742.46
Unit 2100 Total:		\$371.23	\$371.23		\$0.00	\$742.46

Begin Line 2100 Description

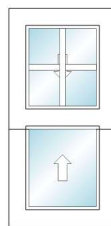
---- Line 2100-1 ----

<p>WDHCladW-3500 Double Hung Double Hung 17.5 x 59.25 Width = 17.5 Height = 59.25 Sash Split = Even Quick Config = No Sash Model = Traditional Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Species = Pine Interior Finish = Natural Certification = Sustainable Forestry Initiative Sash to Match Exterior Color = Yes Customer Elevation = 0 - 4000 feet Energy Rating = Energy Star Zip Code = default</p>	<p>Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = No Preserve Glass = No Preserve IG Options = Argon Hardware Finish = White Sash Limiter = No Sash Limiter Finger Plows = With Finger Plow(s) Window Egress = Does Not Meet Egress Unit 1 Bottom: None Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille Unit 1 Top: Colonial Unit 1 Top: External Grille Material = Aluminum</p>	<p>Unit 1 Top: Interior Grille Finish = Natural Unit 1 Top: Exterior Grille Finish = Chestnut Bronze Unit 1 Top: 2W2H Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = no Is This a Remake/Re-Order = No Specific/Additional Information = none SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 09/25/2017 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin</p>
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End Line 2100 Description



Catalog Version 61



Width = 17
 Height = 34.5
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
2200-1	17 x 34.5 Double Hung/Single Hung Double Hung	\$272.61	\$272.61	2	\$0.00	\$545.22
Unit 2200 Total:		\$272.61	\$272.61		\$0.00	\$545.22

Begin Line 2200 Description

---- Line 2200-1 ----

WDHCladW-3500 Double Hung Double Hung 17 x 34.5
 Width = 17
 Height = 34.5
 Sash Split = Even
 Quick Config = No
 Sash Model = Traditional
 Operation (Outside View) = Double Hung
 Assembly = Unit
 DP Rating = DP35
 Jambliner Color = White Jambliners
 Exterior Color = Chestnut Bronze
 Species = Pine
 Interior Finish = Natural
 Certification = Sustainable Forestry Initiative
 Sash to Match Exterior Color = Yes
 Customer Elevation = 0 - 4000 feet
 Energy Rating = No
 Energy Star Zone = EStar None

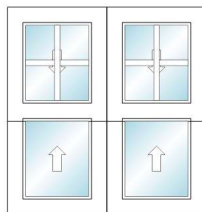
Glazing Type = Insulated
 Low-E Option = Low-E 366
 Tinted Glass = No Tint (Clear)
 Glass Style = Clear
 Tempered Glass = Not Tempered
 California Fire Code Label = No
 Neat Glass = No
 Preserve Glass = No Preserve
 IG Options = Argon
 Hardware Finish = White
 Sash Limiter = No Sash Limiter
 Finger Plows = With Finger Plow(s)
 Window Egress = Does Not Meet Egress
 Unit 1 Bottom: None
 Unit 1 Top: 7/8" Clad Bead SDL w/Full Surround - Wood Grille
 Unit 1 Top: Colonial
 Unit 1 Top: External Grille Material = Aluminum
 Clad
 Unit 1 Top: Interior Grille Finish = Natural

Unit 1 Top: Exterior Grille Finish = Chestnut Bronze
 Unit 1 Top: 2W2H
 Screen Option = BetterVue Mesh
 Screen Frame Color = Chestnut Bronze
 Check Info Link = Acoustic Ratings Info link
 Room Location = no
 Is This a Remake/Re-Order = No
 Specific/Additional Information = none
 SKU = 339970
 Vendor Name = S/OJELD-WEN PREMIUM WOOD
 Vendor Number = 60058104
 Customer Service = 1-800-246-9131 Option 2
 Manufacturer = JELD-WEN Wood Windows & Patio Doors
 Catalog Version Date = 09/25/2017
 Jamb Width = 4.5625
 Exterior Trim = No Drip Cap/No Nail Fin
 Kerf Jamb = No Kerf

End Line 2200 Description



Catalog Version 61



Width = 17.375
 Height = 36.25
 Sash Split = Even

Line Number	Item Summary	Was Price	Now Price	Quantity	Total Savings	Total Price
2300-1	34.75 x 36.25 Double Hung/Single Hung Double Hung	\$633.81	\$633.81	2	\$0.00	\$1,267.62
2300-2		\$0.00	\$0.00	2	\$0.00	\$0.00
2300-3		\$0.00	\$0.00	2	\$0.00	\$0.00
Unit 2300 Total:		\$633.81	\$633.81		\$0.00	\$1,267.62

Begin Line 2300 Descriptions

---- Line 2300-1 ----

WDHCladW-3500 Double Hung Double Hung /

Interior Finish = Natural

Finger Plows = With Finger Plow(s)



▲ LOCATION PLAN

GENERAL NOTES
1. ANY MENTION OF "CONTRACTOR" INCLUDES THE GENERAL CONTRACTOR (GC), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTORS AS THEY RELATE TO THE CONTRACTUAL OBLIGATIONS AGREED TO BY THE OWNER AND NOT RESPONSIBLE FOR UNDERSTANDING CONSTRUCTED IMPROVEMENTS OF THE PROPERTY. ACCORDINGLY, THE USE OF THE TERM "CONTRACTOR" IS TO REFER TO ANY AND ALL ENTITIES AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB (GENERAL CONTRACTOR) OR CONSTRUCTION MANAGER AND/OR A SPECIFIC TRADE (SUBCONTRACTORS).
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION, UNLESS OTHERWISE AGREED UPON. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
3. PROVIDE SAFE AND SECURE JOBITE FROM TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR ELEVATOR AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA RULES/LINES.
4. THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF INFLUENCE OF THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND/OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS, AND DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATION AND/OR OBSERVATIONS WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
8. THE CONTRACTOR IS TO VERIFY ALL CONSTRUCTION MARKS TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OR OBVIOUS FIELD CONDITIONS WHICH PREVENT THE WORK FROM BEING BUILT AS SHOWN.
9. THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL TRADES.
10. THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
11. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION, AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REFERENCES ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
12. CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED / APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
13. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS CONTAINED PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, CHAIRS, OR TIE-DOWNS IF NECESSARY. MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
14. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.
15. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE (CODE) APPLICABLE BUILDING CODE, AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION. (CODE)
16. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
17. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA) MAINTAIN LEGAL EXISTING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DISCRIMINATE THE EXITS AND SEPARATION OF THE SPACES.
18. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS (IF APPLICABLE), AND THE LOCAL JURISDICTION.
19. ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE GREATEST CARE. USING TOOLS AND METHODS SUBJECT TO THE OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
21. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA RULES/LINES.
22. IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY THE ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS.
23. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS INCLUDING PIPING, FITTINGS, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED BACK TO THE POINT OF ORIGIN. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION (SECTION PRIOR TO).
24. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWER, FRESH WATER, DRAINS, ELECTRICAL AND GAS SERVICES, ETC., BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
25. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
26. CARP, PATCH AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE

GENERAL NOTES
27. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
28. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
29. IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (GC) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE GC SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, WITHIN THE SCOPE OF THE CONTRACT.
30. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 2.0 WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE TENANT SPACE AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY THE MICHIGAN BUILDING CODE, WITH 15 AND THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
31. PROVIDE EXIT SIGNS PER 2015 MICHIGAN BUILDING CODE WITH "F" LETTERS OVER APPROVED EXIT, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES. PROVIDE GREEN LETTERING.
32. PROVIDE RAISED CHARACTER AREA BRALLE EXIT SIGN, COMPLYING WITH ICC 117.1 ADJACENT TO EACH DOOR TO AN AREA TO RE-ENTER, EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, EXIT PASSAGEWAY, EXIT DISCHARGE, OR OTHERWISE REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
33. PROVIDE EMERGENCY LIGHTING LIGHTING OF ONE FOOT CANDLE AT FLOOR LEVEL, COMPLY WITH BUILDING CODES.
34. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
35. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL, WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
36. INTERIOR WALL AND CEILING FINISHES FOR FIRE CORRIDORS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING PER SECTION 803, BASED UPON OCCUPANCY GROUP SPECIFIED IN TABLE 803.1 OF THE 2015 MICHIGAN BUILDING CODE.
37. DISCREPANCY (PRIORITY CHANGES, CHAIRS, SHARDS, HANGINGS, WALL COVERINGS, ETC.) SHALL CONFORM TO THE REQUIREMENTS OF SECTION 803 OF 2015 MICHIGAN BUILDING CODE.
38. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

PROJECT INFORMATION
PROJECT ADDRESS: 741 SEWARD AVE., DETROIT, MI 48202
PARCEL NUMBER: 04001826
LEGAL DESCRIPTIONS: S SEWARD W 10 FT 20 E 40 FT 19 BLK 7 BECKS SUB L4 P59 PLATS, W C R 4/78 50 X 175
PROJECT DESCRIPTION: MULTI-FAMILY RESIDENTIAL APARTMENT BUILDING
APPLICABLE CODES: ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO: 1. 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS ZONING DATA: A. ZONING DISTRICT: RS-H
BUILDING DATA: A. CONSTRUCTION CLASSIFICATION: 111B D. STORIES ABOVE GRADE: 4 + PENTHOUSE E. BUILDING AREA (GROSS) EXISTING PROPOSED DIFFERENCE 1. FIRST LEVEL 4,193 SQFT 4,193 SQFT 0 SQFT 2. SECOND LEVEL 4,193 SQFT 4,193 SQFT 0 SQFT 3. THIRD LEVEL 4,193 SQFT 4,193 SQFT 0 SQFT 3. PENNYWOP LEVEL 737 SQFT 737 SQFT 0 SQFT TOTAL BUILDING AREA (GROSS) 25,029 SQFT 25,029 SQFT 0 SQFT

DRAWING LIST	
COVER	G0-00
SITE PLAN	A1-00
DEMOLITION PLANS	D1-01
DEMOLITION PLANS	D1-02
DEMOLITION PLANS	D1-03
ARCHITECTURAL FLOOR PLANS	A1-01
ARCHITECTURAL FLOOR PLANS	A1-02
ARCHITECTURAL FLOOR PLANS	A1-03
REFLECTED CEILING PLANS	A1-04
REFLECTED CEILING PLANS	A1-05
REFLECTED CEILING PLANS	A1-06
EXTERIOR ELEVATIONS	A2-00
EXTERIOR ELEVATIONS	A2-01
EXTERIOR WALL SECTIONS	A3-00
DETAILS	A5-00

DRAWING ISSUE DATES
NO. DESCRIPTION DATE
1 - - -

SIGNATURE BLOCK
NAME OF AUTHORIZED REPRESENTATIVE
[Owner]
[Architect] Christian Hurtleienne Architects, LLC
[General Contractor]

LEGEND	
CONCRETE MASONRY UNIT	BRICK
CONCRETE	INSULATION (BATT, CELLULOSE, SPRAY FOAM)
RIGID INSULATION	FINISH WOOD
FINISH WOOD	METAL
WOOD (ROUGH CONTINUOUS)	FINISHED WOOD
WOOD (ROUGH NON-CONTINUOUS) (BLOCKING)	GLASS
GLASS	ALIGN
COLUMN LINE IDENTIFICATION	PARTITION TYPE
DEMOLITION KEYNOTE	FOUNDATION KEYNOTE
ARCHITECTURAL KEYNOTE	ROOF KEYNOTE
CEILING PLAN KEYNOTE	STRUCTURAL KEYNOTE
ELEVATION KEYNOTE	ELEVATION TAG
VERTICAL HEIGHT ELEVATION	WINDOW TYPE/SCHEDULE NUMBER
DOOR TYPE/SCHEDULE NUMBER	REVISION NUMBER
MATERIAL SPECIFICATION NUMBER	PLAN DETAIL TAG
REVISION NUMBER	DETAIL NUMBER
SECTION TAG	SECTION NUMBER
SECTION NUMBER	SHEET IDENTIFICATION NUMBER
SHEET IDENTIFICATION NUMBER	SHEET SEQUENCE NUMBER
SHEET SEQUENCE NUMBER	SHEET TYPE DESIGNATOR
SHEET TYPE DESIGNATOR	NUMBER IDENTIFYING EACH SHEET IN SET
NUMBER IDENTIFYING EACH SHEET IN SET	GENERAL ISOMETRIC LEGEND NOTES
GENERAL ISOMETRIC LEGEND NOTES	1 - PLANS (HORIZONTAL VIEW)
1 - PLANS (HORIZONTAL VIEW)	2 - ELEVATIONS (VERTICAL VIEW)
2 - ELEVATIONS (VERTICAL VIEW)	3 - SECTIONS, DETAILS, DIAGRAMS, NOTES

741 SEWARD AVENUE

741 SEWARD AVENUE, DETROIT, MI 48202

Seward New Center LLC.

Christian Hurtleienne Architects, LLC

2111 Woodward Ave., Suite #201, Detroit, MI 48230
313.825.2005 brian@dcha-c.com

OWNER

ARCHITECT

CONTRACTOR

ALL CONTRACTORS GENERAL CONTRACTOR, SUB CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY OTHER GENERAL CONTRACTOR, SUB CONTRACTOR, MEMBER OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO, SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, SCHEDULE AND COST IMPLICATIONS.

M LM ENGINEERING
23315 Dequindre Road, Room 200
Madison Heights, MI 48071
248.852.8289 • 248.872.1890
www.LM-Engineering.net

SYSTEMS SOLUTION
4850 Rochester Road, Suite A Troy, MI 48065
313.221.9933 • info@systemsolution.net

CONTRACTOR'S NOTE

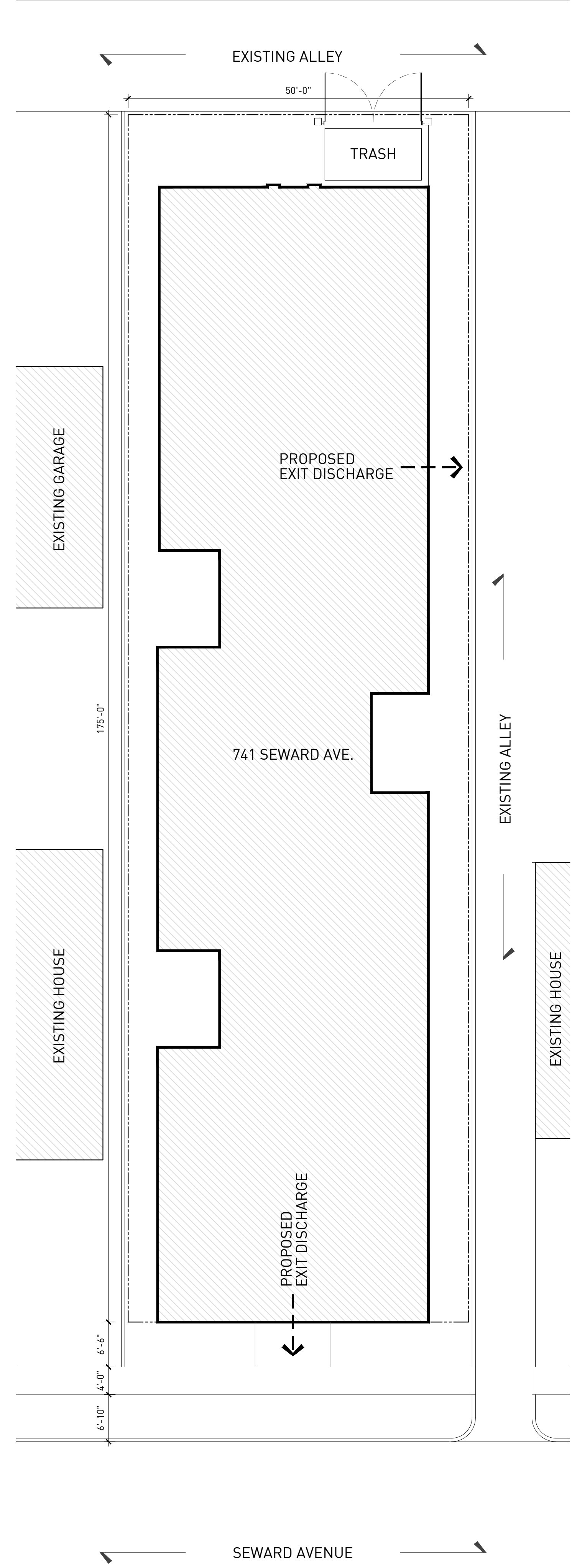
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

GENERAL NOTES

1. THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER. REFER TO THE EXISTING TOPOGRAPHIC SURVEY IN THIS DRAWING SET AS PROVIDED BY THE OWNER'S LAND SURVEYOR.
2. THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE STAKED OUT BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
4. ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OFF.
5. ASSUMED ALLOWABLE SOIL PRESSURE OF 2000 PSF (VERIFY CAPACITY).
6. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY, ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.
7. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES, NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
8. DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES, AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
9. CONTRACTOR SHALL FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
10. EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESS TO EXISTING STANDARDS OF INSTALLED PAVING.



1 ARCHITECTURE SITE PLAN
ORIGINAL IMAGE SCALE: 3/32" = 1'-0"

REVIEWS	DATE	DESCRIPTION

SEAL

SITE/BUILDING PLAN

A1-00

741 SEWARD AVENUE
741 SEWARD STREET, DETROIT, MI 48202
HISTORIC DISTRICT COMMISSION REVIEW

SYMBOLS

- NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.
- EXISTING FLOOR CONSTRUCTION TO BE REMOVED.
 - EXISTING CONCRETE MASONRY UNIT WALL CONSTRUCTION TO BE REMOVED.
 - PARALLEL DASHED LINES INDICATE EXISTING PARTITION, OR PORTION THEREOF, TO BE REMOVED.
 - SINGULAR ELEMENT, OR PORTION OF ASSEMBLY, TO BE REMOVED.

DEMOLITION GENERAL NOTES

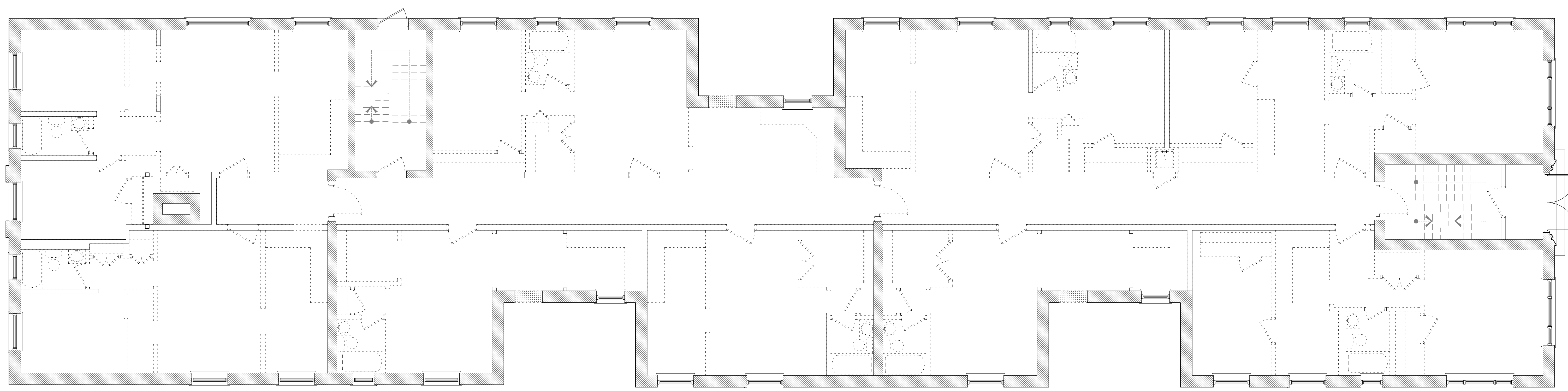
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2. CONTACT ARCHITECT IMMEDIATELY PRIOR TO DEMOLITION OF ANY DISCREPANCIES FOUND BETWEEN THE DOCUMENTS AND FIELD CONDITIONS.
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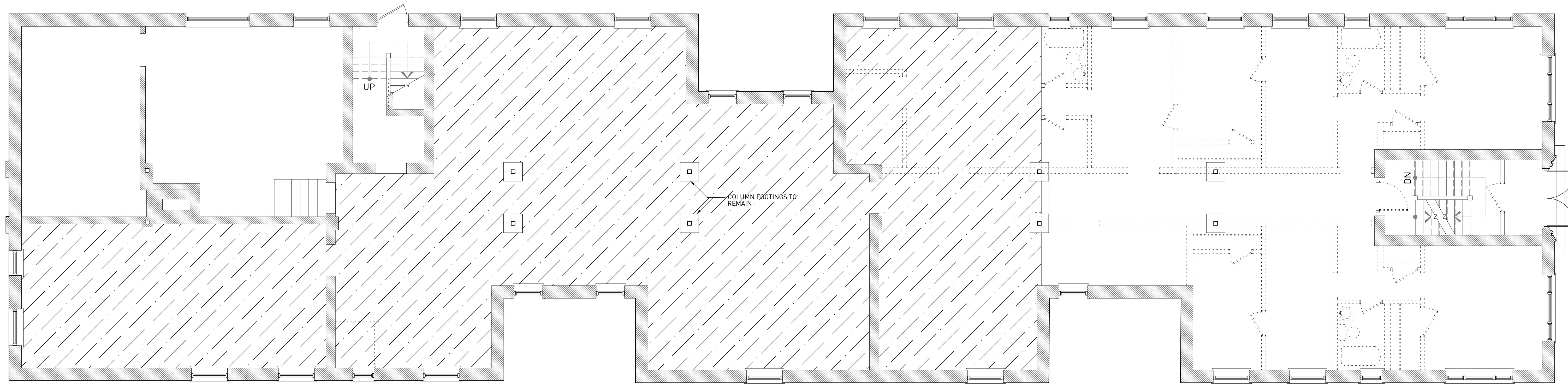
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 4895 Rochester Road, Suite A Troy, MI 48065
 313.221.9933 ss@SystemSolution.net

CONTRACTOR NOTE
 STRUCTURAL ENGINEER
 MEP ENGINEER



2 FIRST FLOOR DEMOLITION PLAN
 ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 BASEMENT DEMOLITION PLAN
 ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

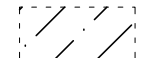



741 SEWARD AVENUE
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 HISTORIC DISTRICT COMMISSION REVIEW

REVISIONS	DATE	DESCRIPTION
1.		

SEAL
 DRAWING NO. **DEMOLITION PLANS**
D1-01
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SYMBOLS

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DEMOLITION GENERAL NOTES

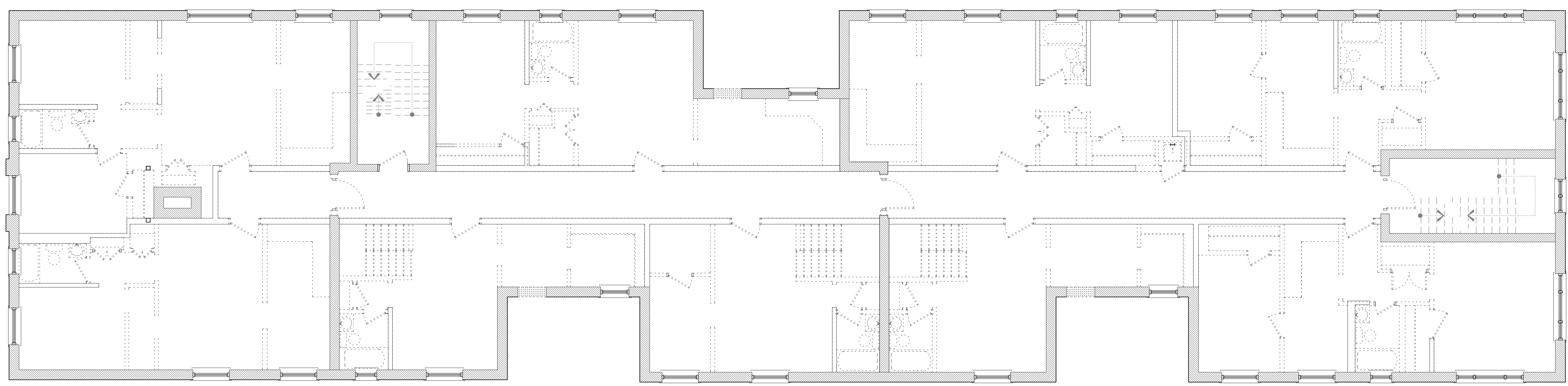
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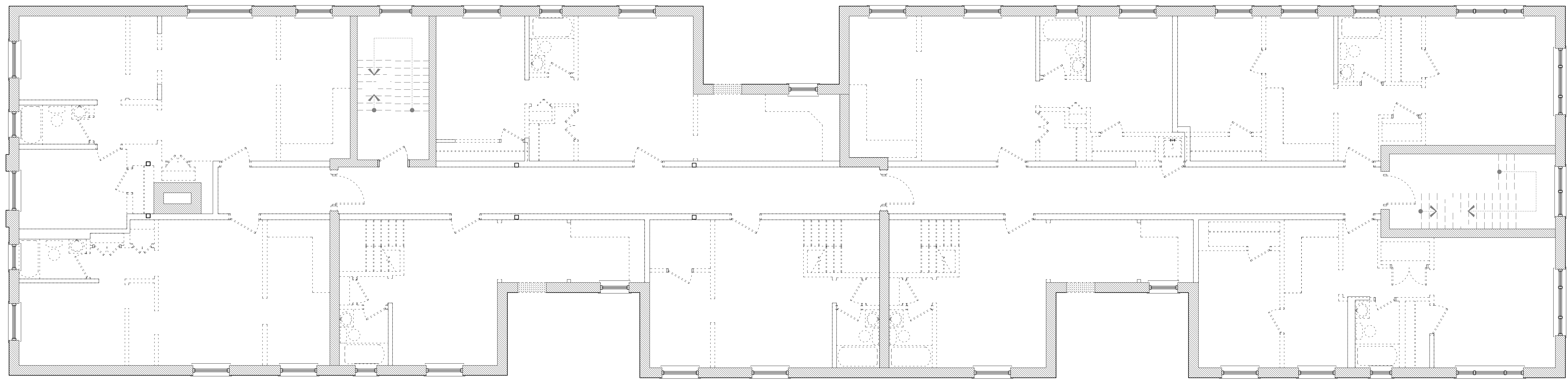
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MEP ENGINEER
STRUCTURAL ENGINEER



2 THIRD FLOOR DEMOLITION PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 SECOND FLOOR DEMOLITION PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

741 SEWARD AVENUE
741 SEWARD STREET, DETROIT, MI 48202
HISTORIC DISTRICT COMMISSION REVIEW


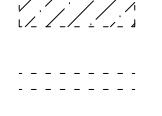


REVISIONS	DATE	DESCRIPTION
1.		

SEAL
DEMOLITION PLANS

D1-02

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

-  EXISTING FLOOR CONSTRUCTION TO BE REMOVED.
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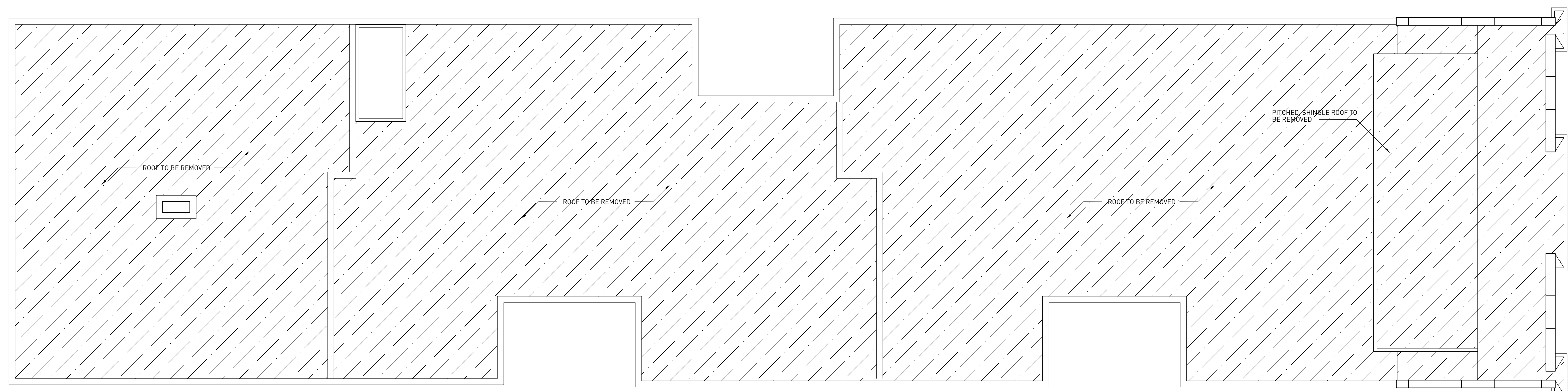
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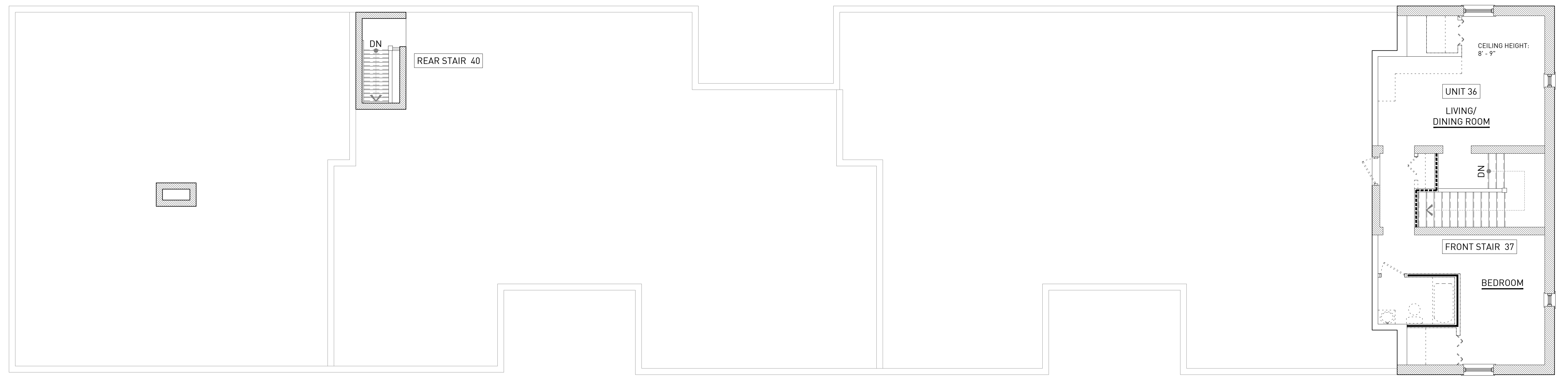
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1 PENTHOUSE DEMOLITION PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 ROOF DEMOLITION PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

741 SEWARD AVENUE
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HISTORIC DISTRICT COMMISSION REVIEW

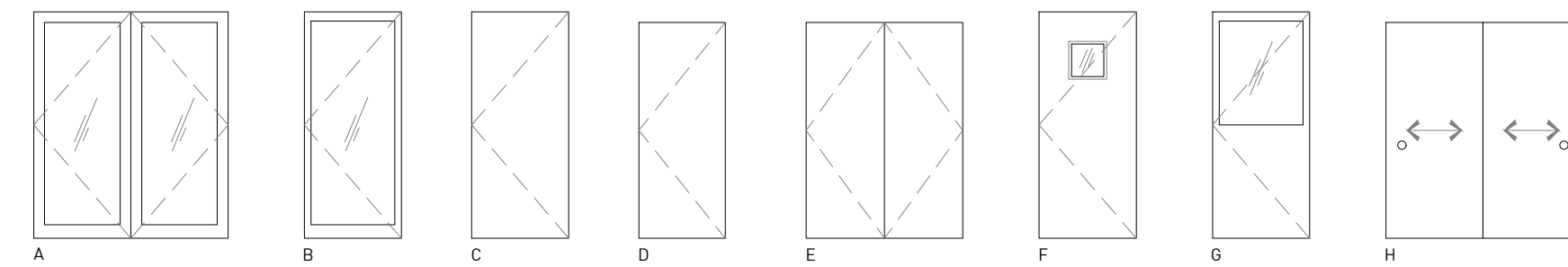
REVISIONS	DATE	DESCRIPTION
1.		

DEMOLITION PLANS

D1-03

DOOR SCHEDULE						
NO.	SIZE	MATERIAL/FINISH	TYPE	FRAME	LOCATION	REMARKS
D100	1 3/4" X 6'-0" X 7'-0"	ALUM & GLASS	A	ALUMINUM / FACTORY	FRONT ENTRANCE DOOR	
D101	1 3/4" X 3'-0" X 7'-0"	ALUM & GLASS	B	ALUMINUM / FACTORY	FRONT VESTIBULE DOOR	
D102	1 3/4" X 3'-0" X 7'-0"	S.C. WOOD / PAINT	C	WOOD / PAINT	2-HOUR FIRE RATED DOOR / STAIR COMP. DOOR	
D103	1 3/4" X 3'-0" X 7'-0"	HOLLOW METAL / PAINT	C	WOOD / PAINT	UNIT ENTRANCE DOOR	
D104	1 3/4" X 2'-0" X 6'-0"	S.C. WOOD / PAINT	D	WOOD / PAINT	TYPICAL UNIT DOOR	
D105	1 3/4" X 4'-0" X 6'-0"	HOLLOW METAL / PAINT	E	METAL / PAINT	DOUBLE DOOR	
D106	1 3/4" X 3'-0" X 7'-0"	ALUM & GLASS	F	ALUMINUM / FACTORY	EXTERIOR REAR STAIR DOOR	
D107	1 3/4" X 2'-8" X 7'-0"	ALUM & GLASS	G	ALUMINUM / FACTORY	EXTERIOR DECK DOOR	
D108	1 3/4" X 4'-0" X 6'-0"	S.C. WOOD / PAINT	H	WOOD / PAINT	BYPASS CLOSET DOOR	

DOOR TYPES



SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

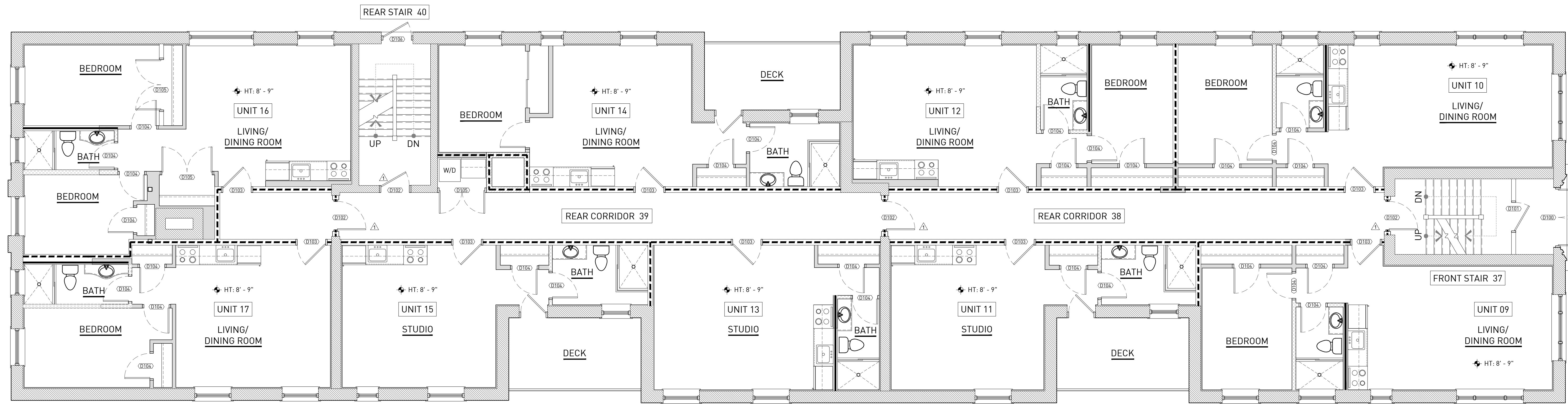
- EXISTING MASONRY WALL - 4 HOUR RATING SEE WALL SECTION 1 - A3-00
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL SEE SECTION 8/A5-00
- SHAFT WALL CONSTRUCTION SEE SECTION 9/A5-00
- 1 HOUR RATED WALL SEE SECTION 6/A5-00
- 2 HOUR RATED WALL SEE SECTION 7/A5-00
- 6" PLUMBING WALL WITH INSULATION SEE SECTION 10/A5-00
- NEW INTERIOR WALL WITH INSULATION SEE SECTION 10/A5-00
- EXISTING MASONRY WALL WITH NEW 1-1/2" FURRING SEE SECTION 1/A3-00

ARCHITECTURE GENERAL NOTES

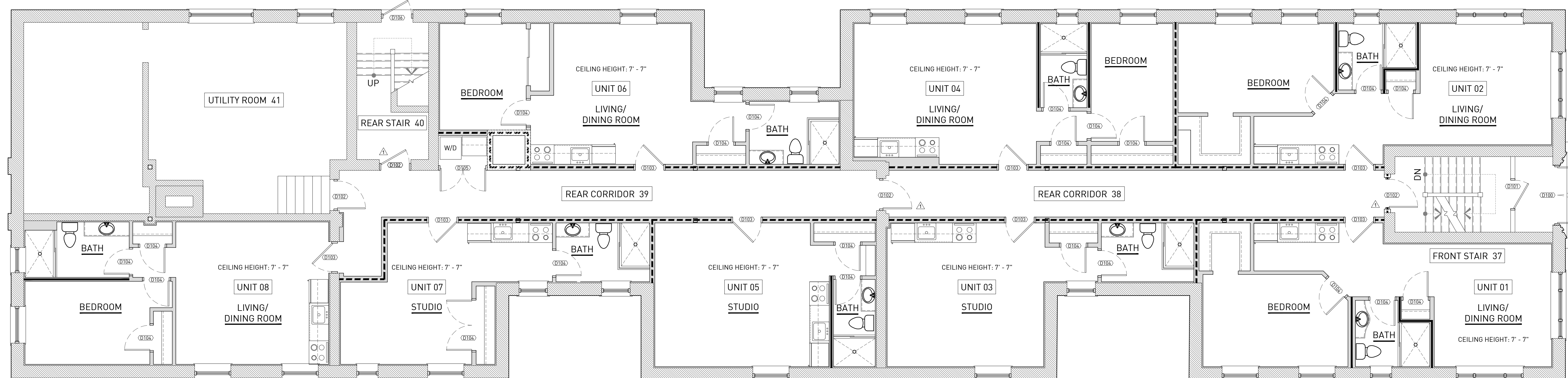
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- WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT, AND UN-NOTICEABLE FINISH ACROSS ENTIRE SURFACE.
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- ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT, OR OTHER FINISHES.

ARCHITECTURE PLAN KEY NOTES

- 2 HOUR RATED WALL AND DOOR SEE SECTION 1/A3-00



2 FIRST FLOOR PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

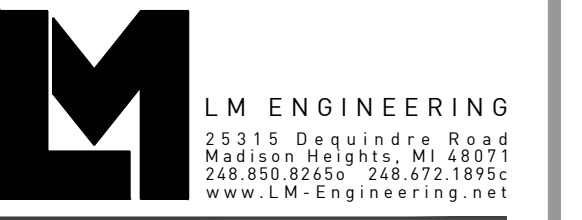


1 BASEMENT PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

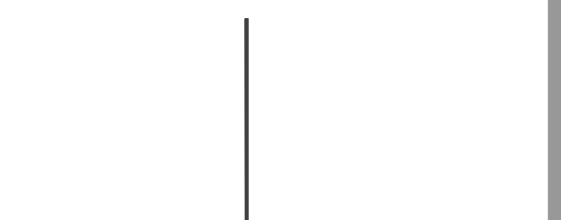


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313.825.2005 CHA-C.COM

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741 SEWARD AVENUE
741 SEWARD STREET, DETROIT, MI 48202
HISTORIC DISTRICT COMMISSION REVIEW

DATE	DESCRIPTION
1.	

ARCHITECTURE PLANS

A1-01

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DATE DESCRIPTION

1.

ARCHITECTURE PLANS

A1-02

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ARCHITECTURE PLAN KEY NOTES

- 2 HOUR RATED WALL AND DOOR
SEE SECTION 1/A3-00

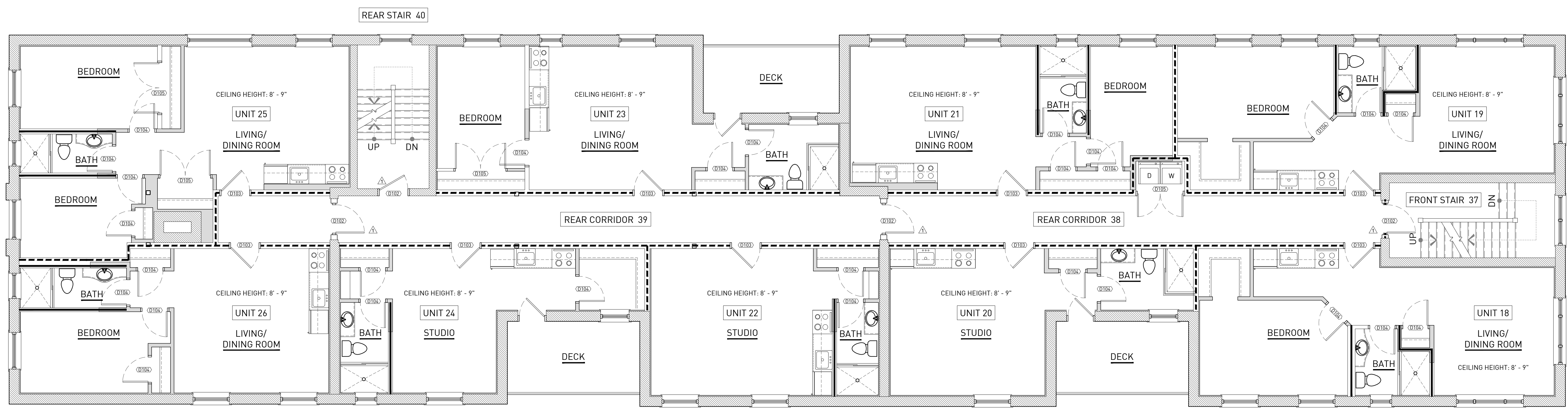
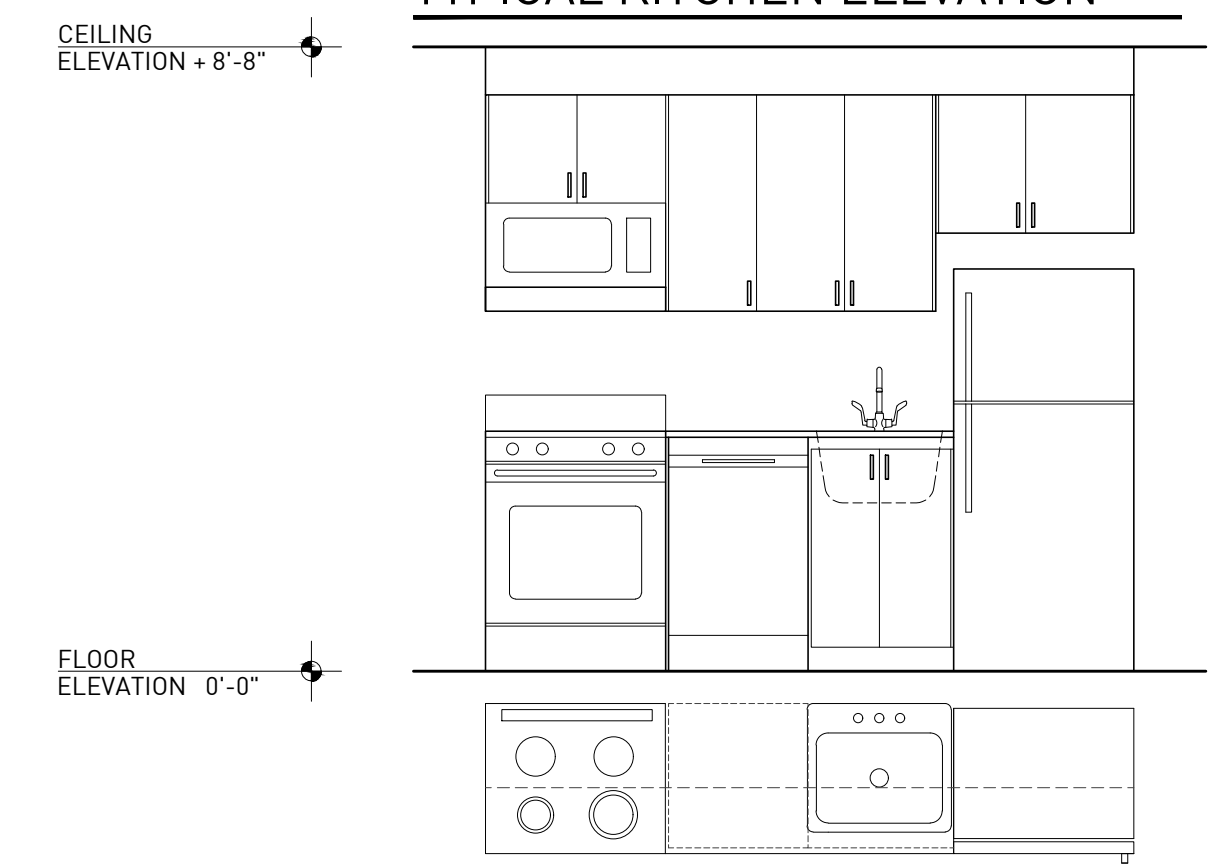
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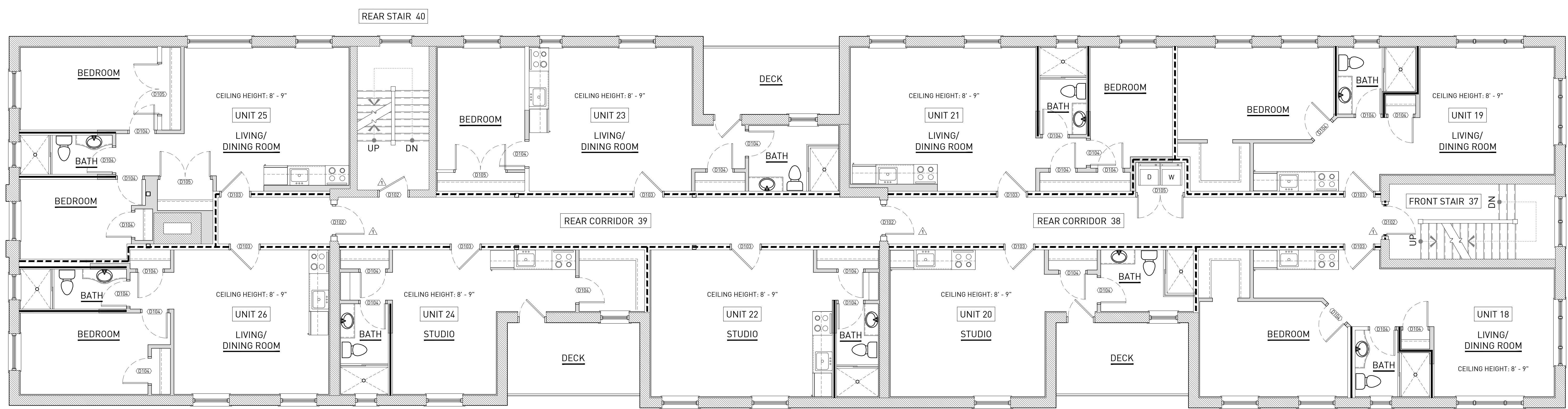
SYMBOLS

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SEE WALL SECTION 1 - A3-00
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 - 2 HOUR RATED WALL
SEE SECTION 7/A5-00
 - 6" PLUMBING WALL WITH INSULATION
SEE SECTION 7/A5-00
 - NEW INTERIOR WALL WITH INSULATION
SEE SECTION 10/A5-00
 - EXISTING MASONRY WALL WITH NEW 1-1/2" FURRING
SEE SECTION 1/A3-00

TYPICAL KITCHEN ELEVATION



2 THIRD FLOOR PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 SECOND FLOOR PLAN
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SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

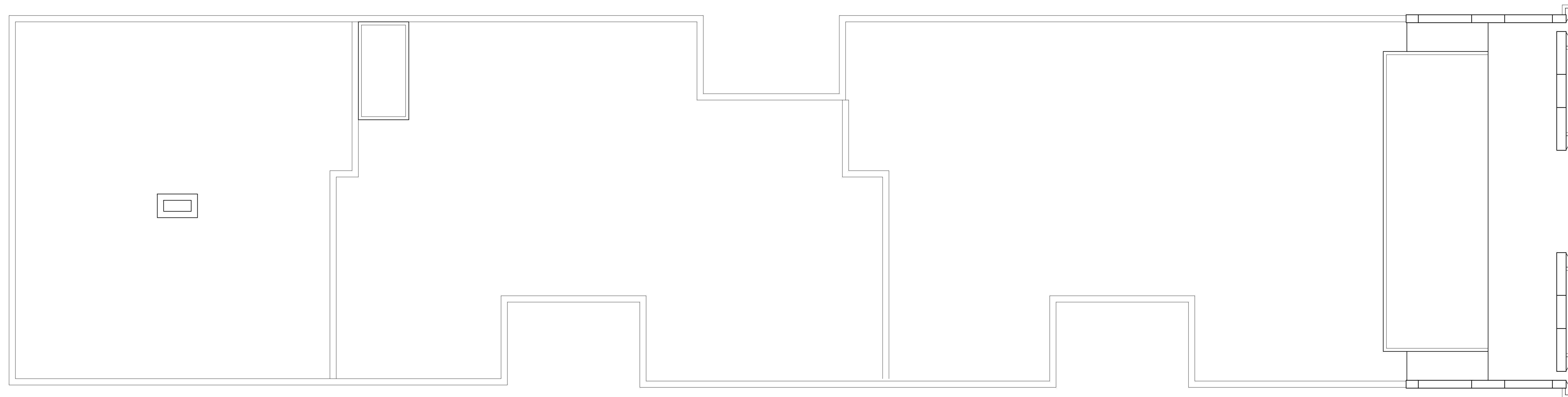
- EXISTING MASONRY WALL - 4 HOUR RATING
SEE WALL SECTION 1 - A3-00
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
SEE SECTION 8/A5-00
- SHAFT WALL CONSTRUCTION
SEE SECTION 9/A5-00
- 1 HOUR RATED WALL
SEE SECTION 4/A5-00
- 2 HOUR RATED WALL
SEE SECTION
- 6" PLUMBING WALL WITH INSULATION
SEE SECTION 7/A5-00
- NEW INTERIOR WALL WITH INSULATION
SEE SECTION 10/A5-00
- EXISTING MASONRY WALL WITH
NEW 1-1/2" FURRING
SEE SECTION 1/A3-00

ARCHITECTURE GENERAL NOTES

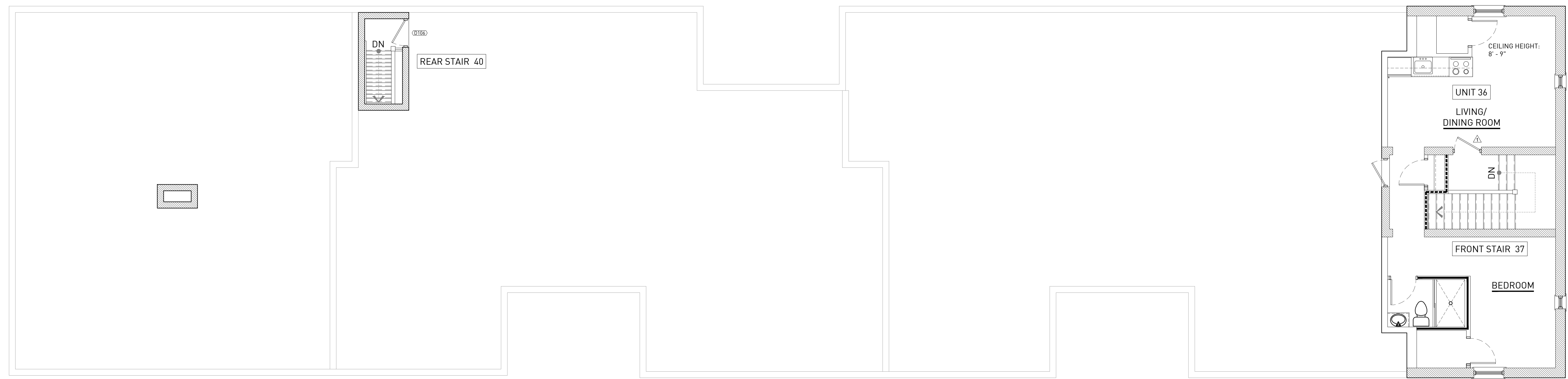
1. ALL EXTERIOR WALL FURRING IS TO BE PER WALL ASSEMBLY 1/A3-00, UNLESS OTHERWISE NOTED.
2. ALL NEW WALL AND PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY 8/A5-00, UNLESS OTHERWISE NOTED.
3. ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT, AND UN-NOTICEABLE FINISH ACROSS ENTIRE SURFACE.
5. FIRE-SEAL / FIRE-CAULK SELANT IS TO BE INSTALLED AT INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A "COLD-ZONE", ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
7. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
8. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT, OR OTHER FINISHES.

ARCHITECTURE PLAN KEY NOTES

- 1 2 HOUR RATED WALL AND DOOR
SEE SECTION 1/A3-00



1 ROOF PLAN
 ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 PENTHOUSE FLOOR PLAN
 ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

CONTRACTOR NOTE
 ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO, SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, SCHEDULE AND COST IMPLICATIONS.

M LM ENGINEERING
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 Madison Park, MI 48221
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 4850 Rochester Road, Suite A Troy, MI 48065
 313.221.9933 • 248@systemsolution.net

MEP ENGINEER
 STRUCTURAL ENGINEER

741 SEWARD AVENUE
 741 SEWARD STREET, DETROIT, MI 48202
 HISTORIC DISTRICT COMMISSION REVIEW

DATE	DESCRIPTION
1.	

REVISIONS

ARCHITECTURE PLANS

A1-03

ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENT OF EITHER OR BOTH) WHO FAILS TO DO SO, SHALL BE RESPONSIBLE FOR ANY DELAYS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

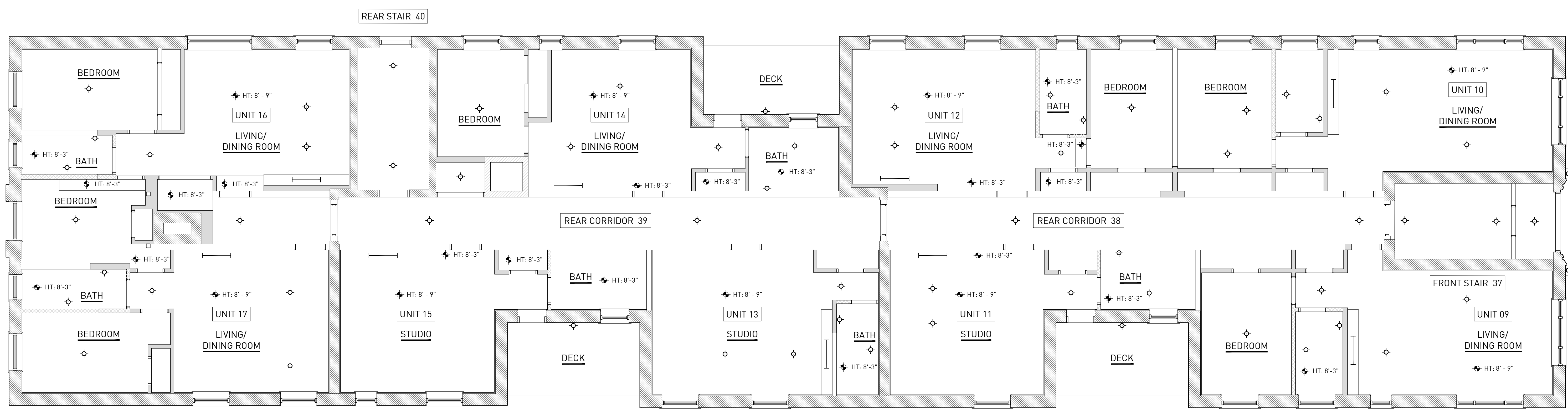
M LM ENGINEERING
23315 Dequindre Pkwy, Rm 200
Madison Heights, MI 48071
248.852.8289 • 248.872.1890
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4850 Rochester Road, Suite A Troy, MI 48065
313.221.9933 • 222@SystemSolution.net

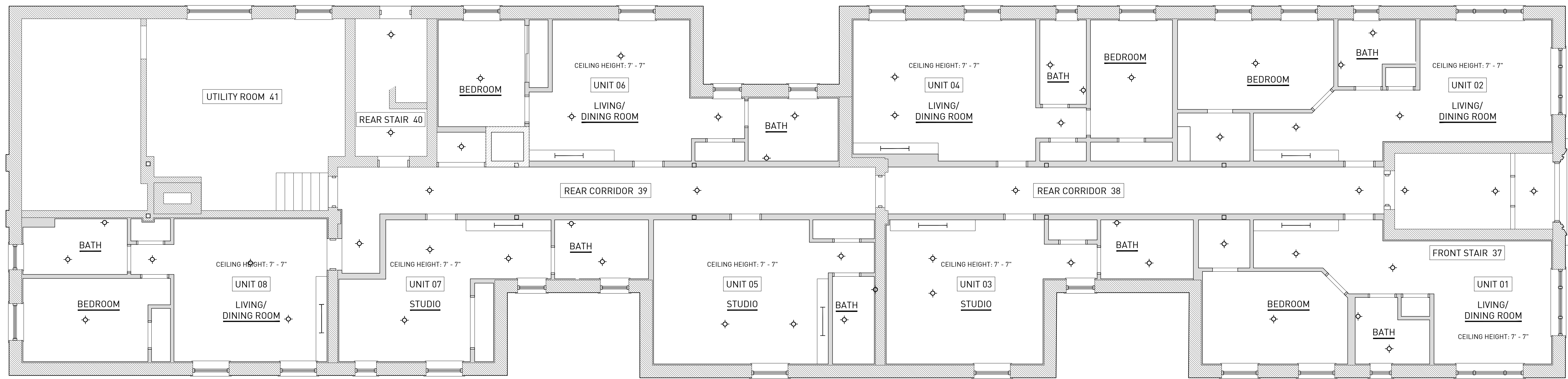
SYMBOLS
NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- EXISTING MASONRY WALL
SEE WALL SECTION 1 - A3-00
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
SEE SECTION 8/A5-00
- JUNCTION BOX
- UNDER-CABINET LIGHTING

ARCHITECTURE PLAN KEY NOTES
1



2 FIRST FLOOR REFLECTED CEILING PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 BASEMENT REFLECTED CEILING PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

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HISTORIC DISTRICT COMMISSION REVIEW

DATE	DESCRIPTION
1	

ARCHITECTURE
REFLECTED
CEILING PLANS

A1-04

ALL CONTRACTORS, GENERAL CONTRACTORS, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. BEFORE PROCEEDING WITH THE WORK, ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENT OF EITHER OR BOTH WHO FAIL TO DO SO, SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

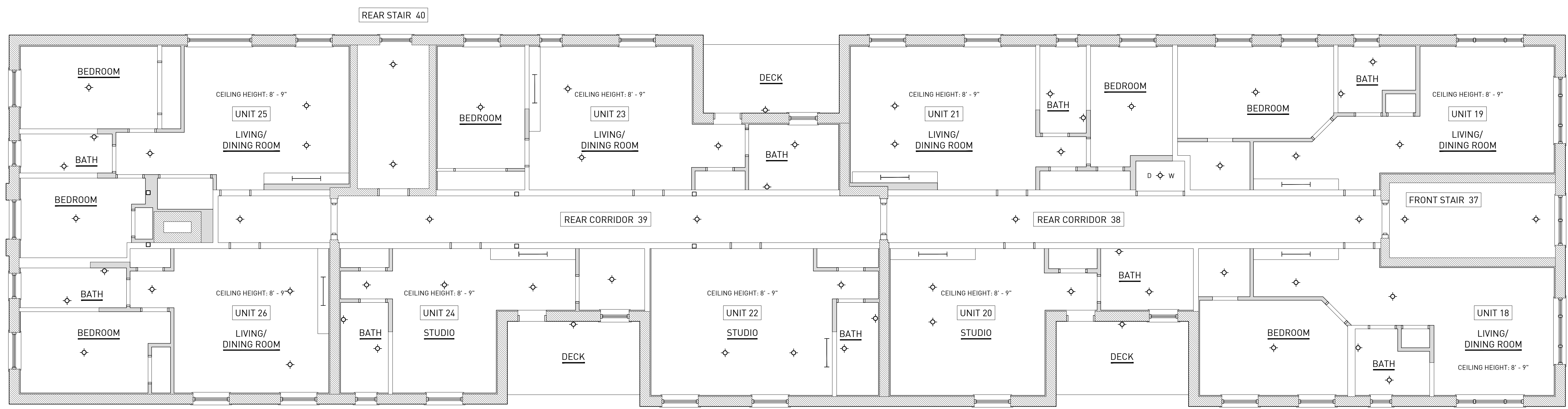
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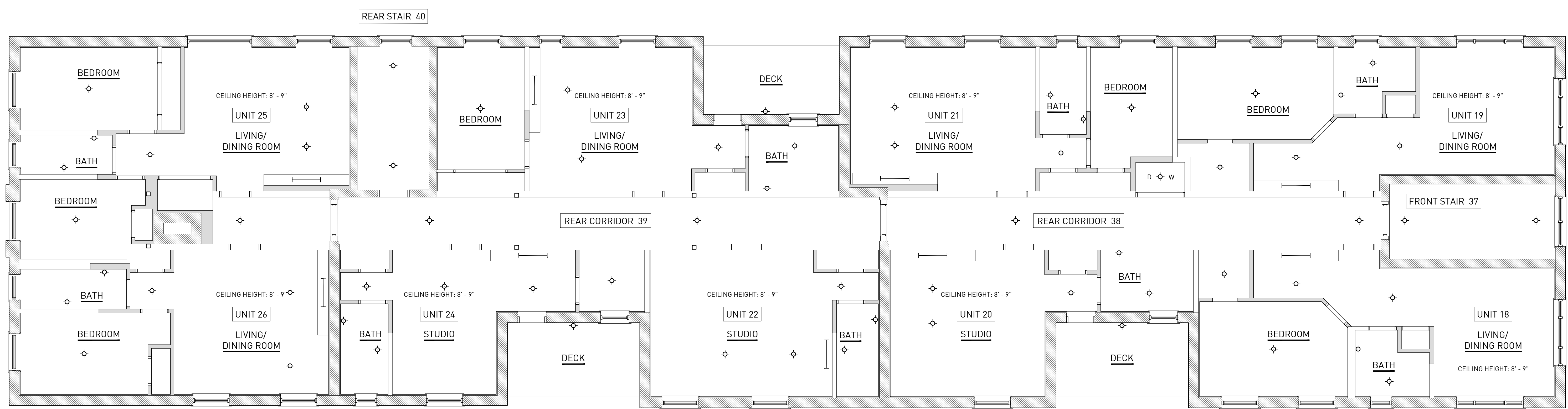
SYMBOLS
NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- EXISTING MASONRY WALL
SEE WALL SECTION 1 - A3-00
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
SEE SECTION 8/A5-00
- JUNCTION BOX
- UNDER-CABINET LIGHTING

ARCHITECTURE PLAN KEY NOTES
1



2 THIRD FLOOR REFLECTED CEILING PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 SECOND FLOOR REFLECTED CEILING PLAN
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

CONTRACTOR NOTE
STRUCTURAL ENGINEER
MEP ENGINEER

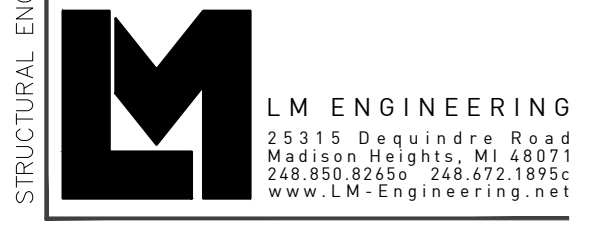
741 SEWARD AVENUE
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HISTORIC DISTRICT COMMISSION REVIEW

DATE	DESCRIPTION
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ARCHITECTURE
REFLECTED
CEILING PLANS

A1-05

ALL CONTRACTORS, GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IN A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. BEFORE PROCEEDING WITH THE WORK, ANY MEETINGS SHALL BE HELD. THE CONTRACTORS SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



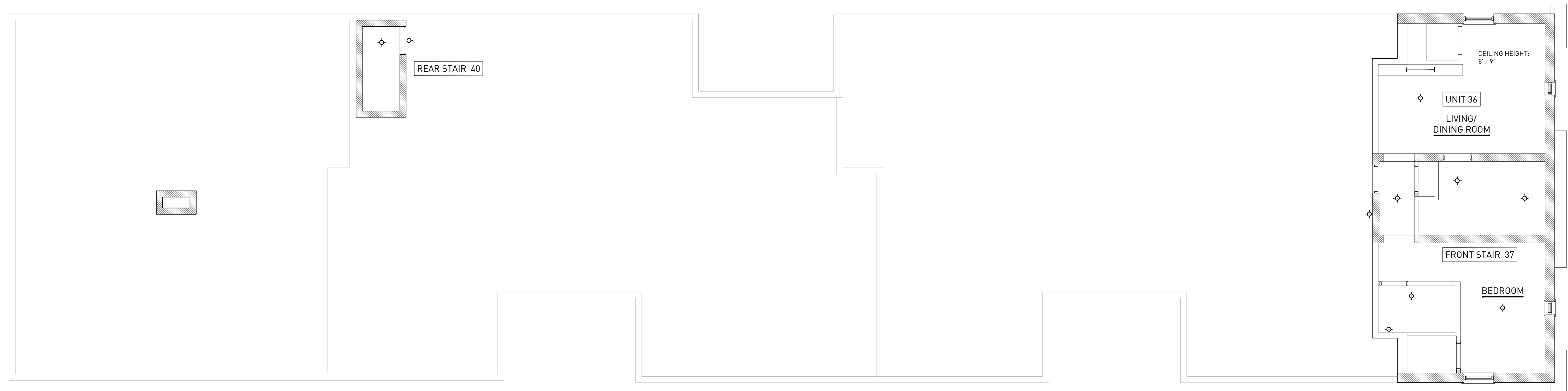
ARCHITECTURE PLAN KEY NOTES

1

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- EXISTING MASONRY WALL
SEE WALL SECTION 1 - A3-00
- EXISTING INTERIOR WALL
- NEW INTERIOR WALL
SEE SECTION 8/A5-00
- JUNCTION BOX
- UNDER-CABINET LIGHTING



1 PENTHOUSE FLOOR REFLECTED CEILING PLAN
 ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

CONTRACTOR NOTE
 STRUCTURAL ENGINEER
 MEP ENGINEER

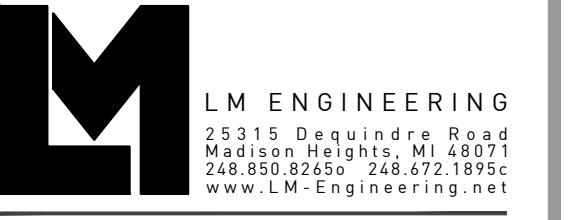
741 SEWARD AVENUE
 741 SEWARD STREET, DETROIT, MI 48202
 HISTORIC DISTRICT COMMISSION REVIEW

REVIEWS	DATE	DESCRIPTION
1.		

ARCHITECTURE
 REFLECTED
 CEILING PLANS

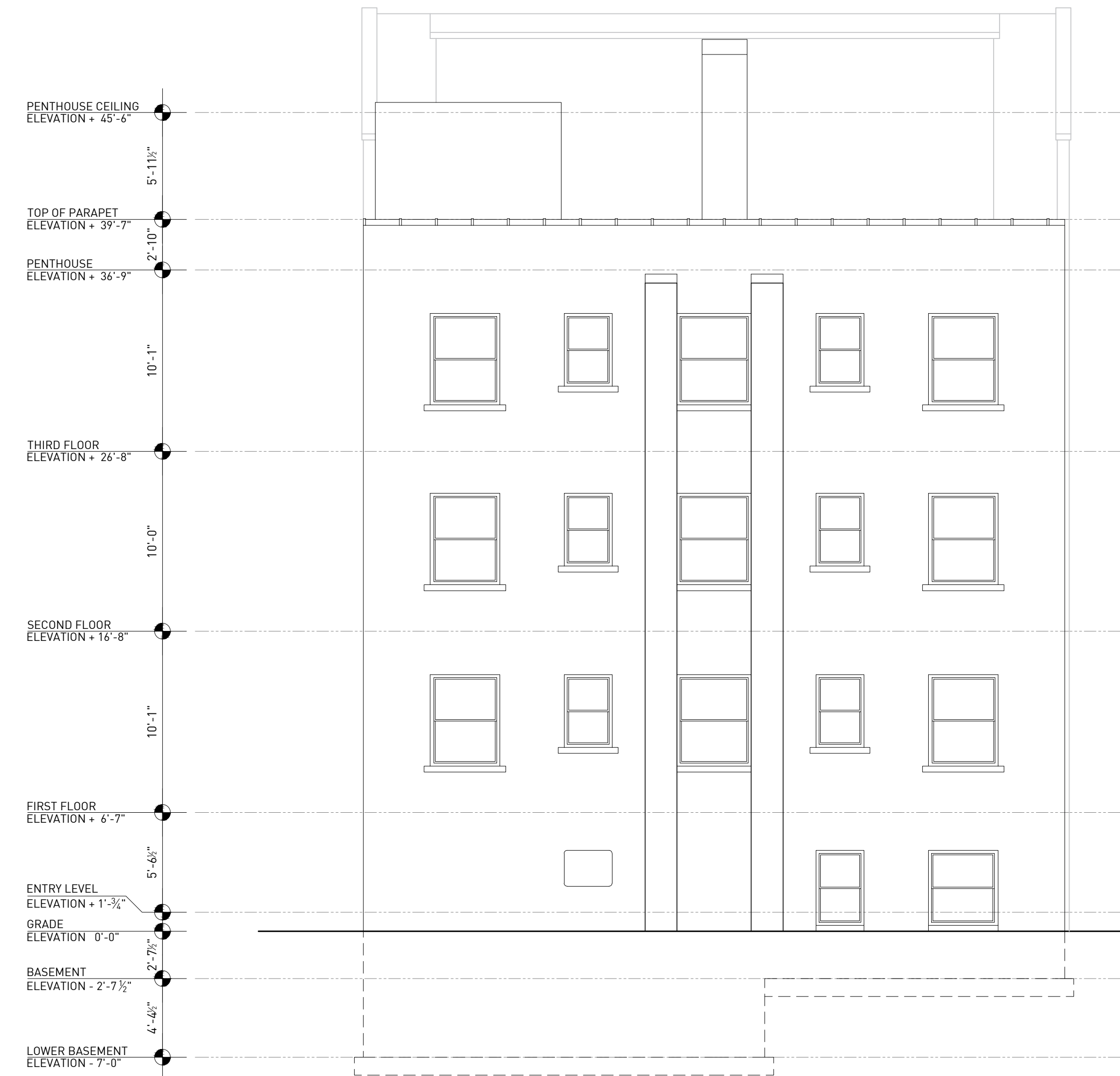
A1-06

ALL CONTRACTORS GENERAL CONTRACTOR, SUB CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS, COMMENCING WITH THE WORK OF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB CONTRACTOR, MEMBER OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO, SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, SCHEDULE AND COST IMPLICATIONS.



ELEVATION GENERAL NOTES

- ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER / INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR) PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. WHERE DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION / SCOPE OF WORK EXIST, ALERT THE ARCHITECT IMMEDIATELY FOR REVIEW AND APPROVAL.
- CONTRACTOR TO CLEAN ALL MASONRY AND STONE WITH A GENTLE WATER ABRASIVE CLEANING METHOD PRIOR TO RESTORATION PROCESS FOR EVALUATION OF ALL MASONRY AND STONE SURFACES, ASSEMBLIES AND CONNECTIONS. ALERT ARCHITECT UPON COMPLETION OF MASONRY CLEANING FOR INSPECTION OF ALL SURFACES PRIOR TO COMMENCEMENT OF FURTHER WORK.
- CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
- THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A LOCATION INDICATED BY THE ARCHITECT FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO THE START OF THE MASONRY RESTORATION WORK. (CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED).
- CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
- RE-POINTING OF MORTAR JOINTS REQUIRES THE EXISTING MORTAR TO BE CUT OUT TO A MIN. OF 1-1/4" DEPTH. CLEAN THE MASONRY SURFACES FROM LOOSE DEBRIS, AND RE-POINT WITH MORTAR TO MATCH ORIGINAL AS SPECIFIED.
- ALL REMOVED BRICK AND STONE MASONRY IS TO BE SALVAGED, CLEANED, AND STORED ON-SITE FOR POSSIBLE REUSE UP TO COMPLETION OF THE WORK. ONLY RETAIN FULL MASONRY UNITS, AND ALL STONE UNITS. THE REMAINERS WILL BE HANDLED OVER TO THE OWNER AT THE COMPLETION OF THE WORK.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING (MASONRY OR OTHER) DIMENSIONS.
- REMOVE ALL EXISTING EXTERIOR WINDOWS AND FRAMES. REMOVE AND REPLACE EXISTING BLOCKING THAT IS DAMAGED AND / OR ROTTED.
- REMOVE ALL DAMAGED MASONRY AT WINDOW AND DOOR OPENINGS. REPLACE DAMAGED MASONRY WITH RECLAIMED UNITS TO MATCH THE ADJACENT AREAS IN SIZE, SHAPE, COLOR, PROFILE AND TEXTURE - ARCHITECT TO APPROVE PRIOR TO INSTALLATION. INSTALL ALL NEW MASONRY WITH MORTAR THAT MATCHES IN COLOR AND CONSISTENCY AS ADJACENT MORTAR WITH CONSISTENT JOINT HEIGHT AND PROFILE. ALL MASONRY, REPAIR, REPLACEMENT REBUILDING, AND JOINT RE-POINTING IS TO BE TAKEN TO AN INSIDE CORNER OR OTHER NATURAL BREAK OR TRANSITION OF MATERIAL. DO NOT TERMINATE REPLACEMENT, REBUILDING, OR RE-POINTING ON AN OUTSIDE CORNER.
- ALL EXISTING STEEL LINTELS TO REMAIN ARE TO BE CLEANED AND PAINTED WITH THREE (3) COATS OF RUST INHIBITOR PAINT.
- REMOVE AND REPLACE EXISTING LINTELS AT OPENINGS WITH IMPACTED JOINTS AT BEARING LOCATIONS. STRUCTURAL ENGINEER IS TO IDENTIFY LINTELS NEEDING REPLACEMENT. REMOVE EXISTING MASONRY, LINTELS AND FLASHINGS. INSTALL NEW LINTELS, FLASHING, AND WEEPS. PROVIDE MINIMUM BEARING EACH END OF OPENING.
- PATCH AND REPAIR EXTERIOR WALLS AT ALL ITEMS REMOVED FROM THE EXISTING SURFACE, MATCH ADJACENT AREAS.
- REMOVE EXISTING MASONRY MATERIALS AT CRACKS AND SEPARATION REPAIR AND REBUILD WALL AS REQUIRED.
- REMOVE ALL FASTENERS IN MASONRY THAT ARE NOT USED. REPLACE DAMAGED BRICK UNITS OR REPAIR STONE AS REQUIRED.
- RE-BUILD EXISTING WOOD FRAMED BUILDING ENTRY FRAMING AND CLOSURE PANELS. INSTALL NEW WOOD FRAME, DOOR AND SIDE LITES.
- REMOVE PARAPET MASONRY (IF APPLICABLE) AS REQUIRED TO REBUILD AND RE-SET BRICK WORK AND STONE COPING OR TRIM.
- ALL WINDOWS ARE TO BE ALUMINUM CLAD WOOD WINDOWS WITH ONE-PIECE INTEGRAL BRICK MOULD BY KELLY. WINDOWS AND DOORS OF DETROIT MICHIGAN. SASH AND FRAME COLOR ARE TO BE BLACK, UNLESS OTHERWISE NOTED. REFER TO DOOR AND WINDOW SCHEDULES.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY MATERIAL AND APPLICATION. REFER TO SPECIFICATIONS.
- ALL ENTRY DOORS ARE TO BE PAINT GRADE SOLID WOOD DOORS AND FRAMES, UNLESS OTHERWISE NOTED.
- ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE, COLOR SYSTEM B.
- VENTILATE ROOFING ASSEMBLY PER CODE. VENTING IS TO OCCUR THROUGH EACH RAFTER CAVITY FROM VENTS LOCATED IN SOFFIT AND EXPELLED THROUGH VENT ASSEMBLY AT ROOF CURB THROUGH FULLY BAFFLED RAFTER CAVITIES.



2 SOUTH ELEVATION
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

ELEVATION KEY NOTES

NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

CEILING -

DATE DESCRIPTION

1.

EXTERIOR ELEVATIONS

A2-00

CONTRACTOR NOTE
STRUCTURAL ENGINEER
MEP ENGINEER

741 SEWARD AVENUE
741 SEWARD STREET, DETROIT, MI 48202
HISTORIC DISTRICT COMMISSION REVIEW

DRAWING NO. SEAL

ELEVATION GENERAL NOTES

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- CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
- THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A

- LOCATION INDICATED BY THE ARCHITECT FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO THE START OF THE MASONRY RESTORATION WORK. (CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED).
- CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
- RE-POINTING OF MORTAR JOINTS REQUIRES THE EXISTING MORTAR TO BE CUT OUT TO A MIN. OF 1-1/4" DEPTH, CLEAN THE MASONRY SURFACES FROM LOOSE DEBRIS, AND RE-POINT WITH MORTAR TO MATCH ORIGINAL AS SPECIFIED.
- ALL REMOVED BRICK AND STONE MASONRY IS TO BE SALVAGED, CLEANED, AND STORED ON-SITE FOR POSSIBLE REUSE UP TO COMPLETION OF THE WORK. ONLY RETAIN FULL MASONRY UNITS, AND ALL STONE UNITS, THE REMAINDER WILL BE HANDED OVER TO THE OWNER AT THE COMPLETION OF THE WORK.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR

- OPENING (MASONRY OR OTHER) DIMENSIONS.
- REMOVE ALL EXISTING EXTERIOR WINDOWS AND FRAMES. REMOVE AND REPLACE EXISTING BLOCKING THAT IS DAMAGED AND / OR ROTTED.
- REMOVE ALL DAMAGED MASONRY AT WINDOW AND DOOR OPENINGS. REPLACE DAMAGED MASONRY WITH RECLAIMED UNITS TO MATCH THE ADJACENT AREAS IN SIZE, SHAPE, COLOR, PROFILE AND TEXTURE - ARCHITECT TO APPROVE PRIOR TO INSTALLATION. INSTALL ALL NEW MASONRY WITH MORTAR THAT MATCHES IN COLOR AND CONSISTENCY AS ADJACENT MORTAR WITH CONSISTENT JOINT HEIGHT AND PROFILE. ALL MASONRY REPAIR, REPLACEMENT, REBUILDING, AND JOINT RE-POINTING IS TO BE TAKEN TO AN INSIDE CORNER OR OTHER NATURAL BREAK OR TRANSITION OF MATERIAL. DO NOT TERMINATE REPLACEMENT, REBUILDING, OR RE-POINTING ON AN OUTSIDE CORNER.
- ALL EXISTING STEEL LINTELS TO REMAIN ARE TO BE CLEANED AND PAINTED WITH THREE (3) COATS OF RUST INHIBITOR PAINT.
- REMOVE AND REPLACE EXISTING LINTELS AT OPENINGS WITH IMPACTED JOINTS AT BEARING LOCATIONS.

- STRUCTURAL ENGINEER IS TO IDENTIFY LINTELS NEEDING REPLACEMENT. REMOVE EXISTING MASONRY LINTELS AND FLASHINGS, INSTALL NEW LINTELS, FLASHING, AND WEEPS. PROVIDE MINIMUM BEARING EACH END OF OPENING.
- PATCH AND REPAIR EXTERIOR WALLS AT ALL ITEMS REMOVED FROM THE EXISTING SURFACE. MATCH ADJACENT AREAS.
- REMOVE EXISTING MASONRY MATERIALS AT CRACKS AND SEPARATION REPAIR AND REBUILD WALL AS REQUIRED.
- REMOVE ALL FASTENERS IN MASONRY THAT ARE NOT USED. REPLACE DAMAGED BRICK UNITS OR REPAIR STONE AS REQUIRED.
- RE-BUILD EXISTING WOOD FRAMED BUILDING ENTRY FRAMING AND CLOSURE PANELS, INSTALL NEW WOOD FRAME, DOOR AND SIDE LITES.
- REMOVE PARAPET MASONRY (IF APPLICABLE) AS REQUIRED TO REBUILD AND RE-SET BRICK WORK AND STONE COPING OR TRIM.
- ALL WINDOWS ARE TO BE ALUMINUM CLAD WOOD WINDOWS WITH ONE-PIECE INTEGRAL BRICK MOULD BY KELLY

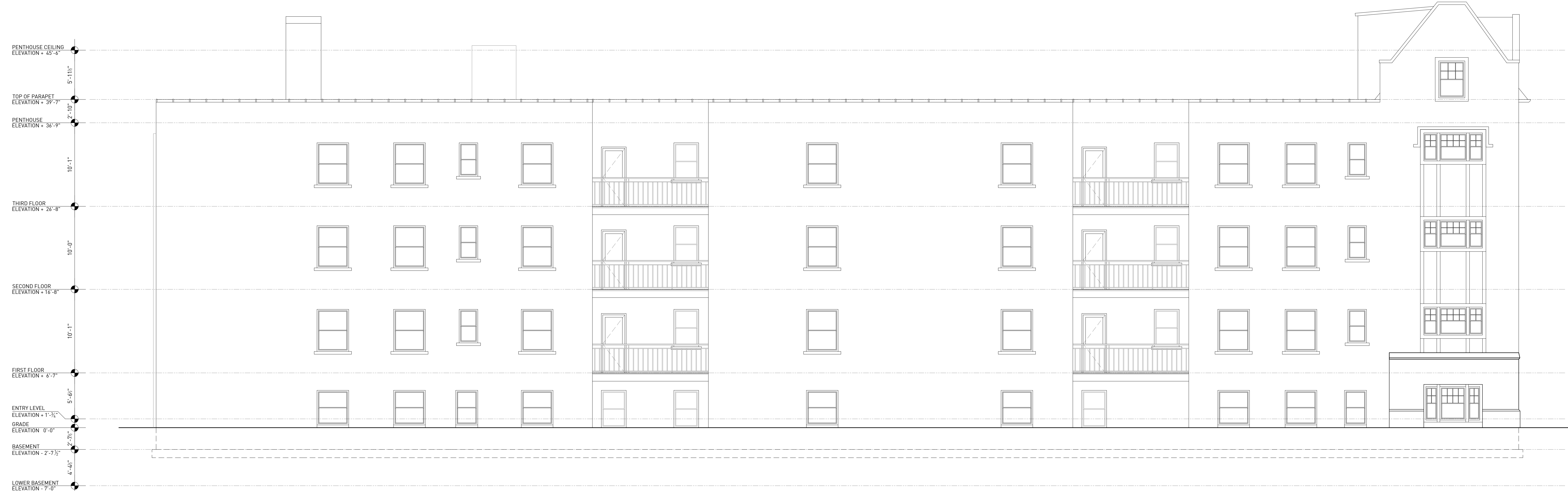
- WINDOWS AND DOORS OF DETROIT MICHIGAN. SASH AND FRAME COLOR ARE TO BE BLACK, UNLESS OTHERWISE NOTED. REFER TO DOOR AND WINDOW SCHEDULES.
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- ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE, COLOR SYSTEM B.
- VENTILATE ROOFING ASSEMBLY PER CODE. VENTING IS TO OCCUR THROUGH EACH RAFTER CAVITY FROM VENTS LOCATED IN SOFFIT AND EXPELLED THROUGH VENT ASSEMBLY AT ROOF CURB THROUGH FULLY BAFFLED RAFTER CAVITIES.

ELEVATION KEY NOTES

NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.



1 WEST ELEVATION
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"

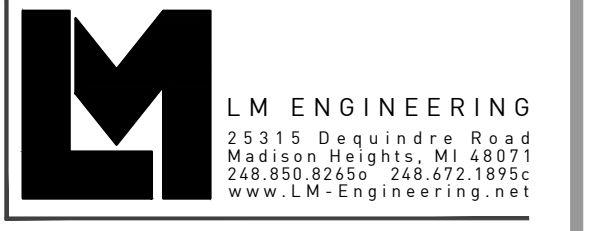


2 EAST ELEVATION
ORIGINAL IMAGE SCALE: 3/16" = 1'-0"



CHRISTIAN HURTLE ARCHITECTS
2111 WOODWARD AVENUE, #201, MI 48201
313.825.2005 CHA-C.COM

ALL CONTRACTORS GENERAL CONTRACTOR, SUB CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IN A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



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SYSTEMS SOLUTION
4895 Rochester Road, Suite A Troy, MI 48068
313.221.9933 ss@systemsolution.net

CONTRACTOR NOTE
STRUCTURAL ENGINEER
MEP ENGINEER

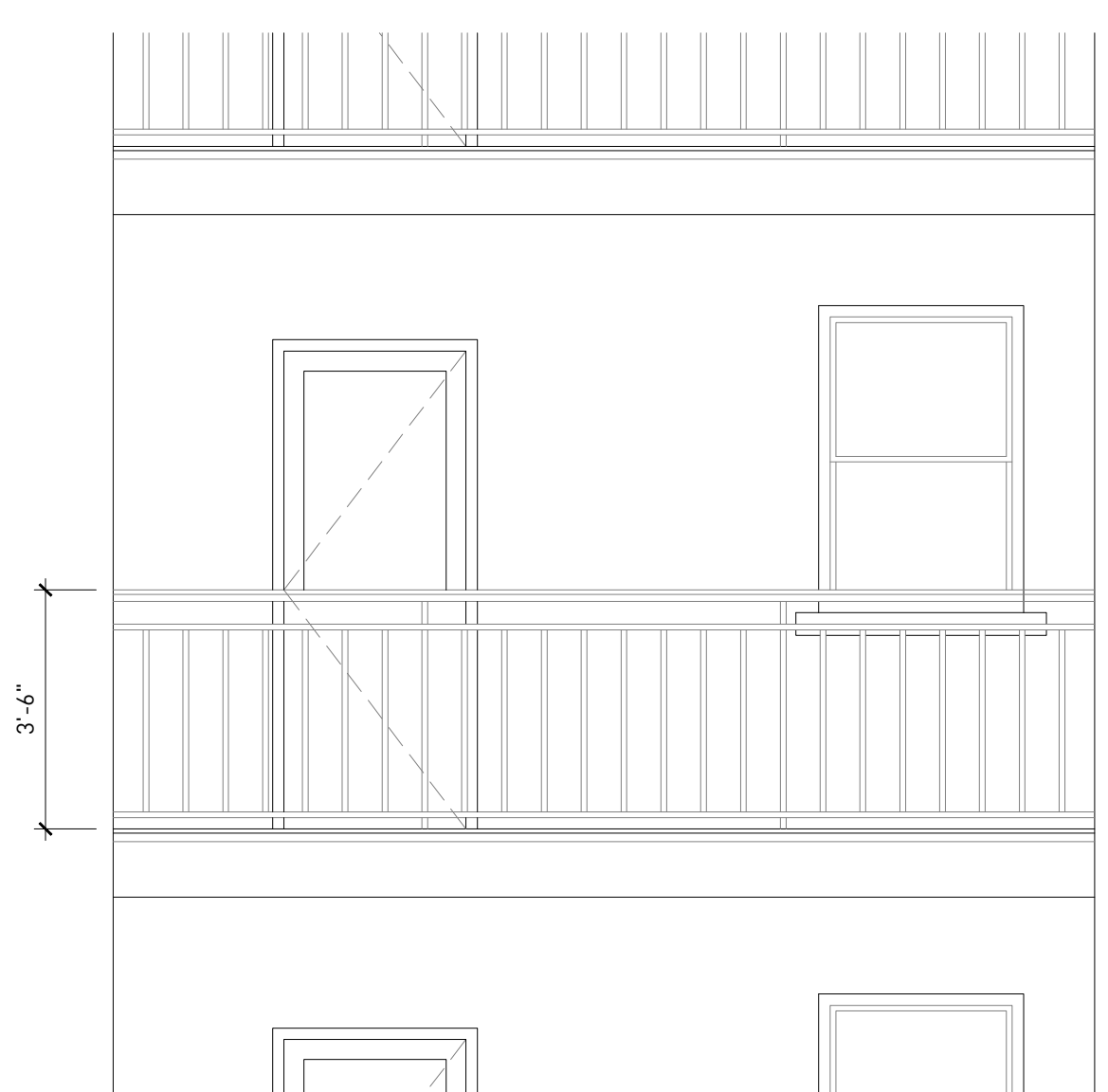
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1.	

EXTERIOR ELEVATIONS

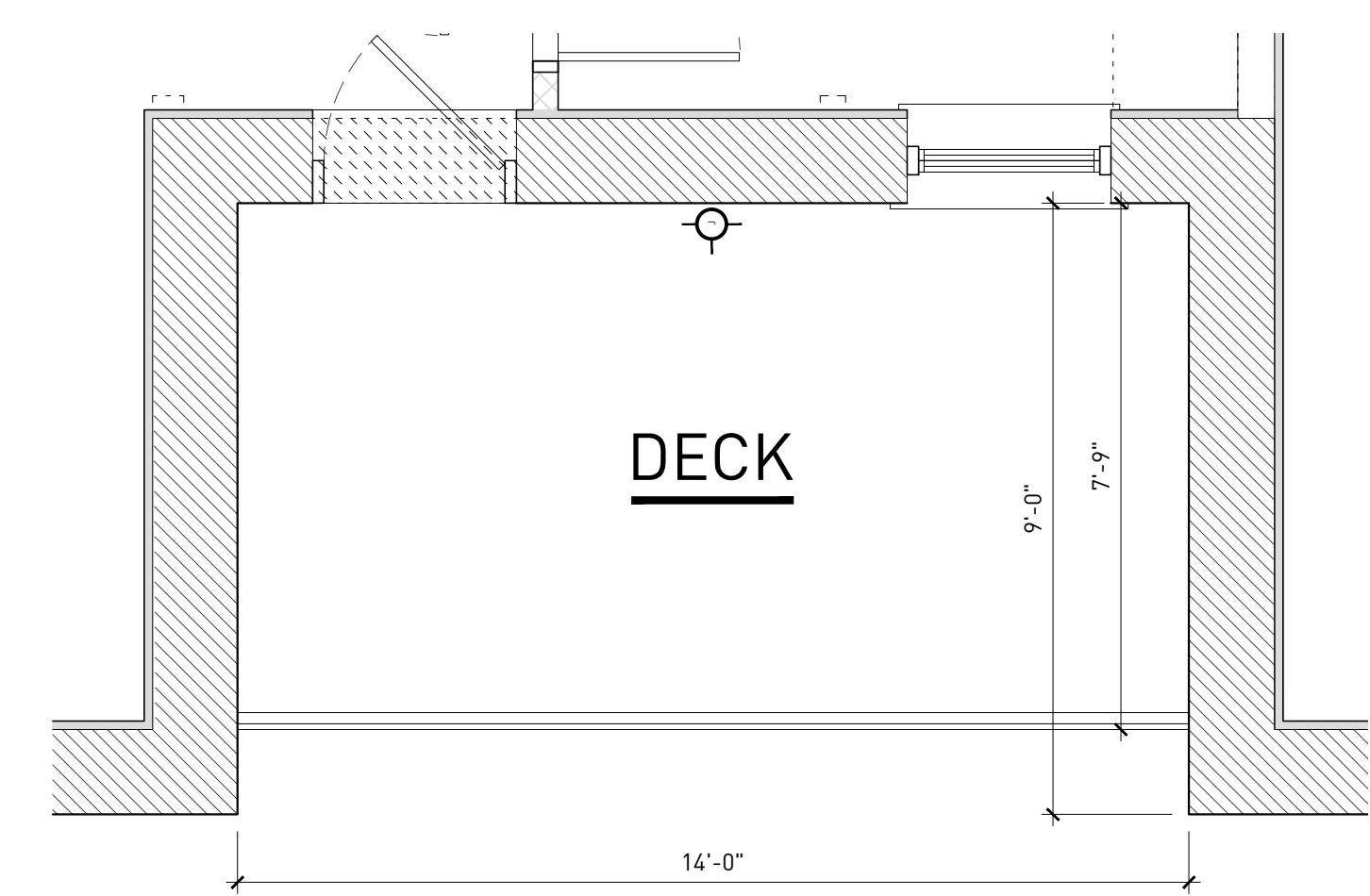
A2-01

741 SEWARD AVENUE
 741 SEWARD STREET, DETROIT, MI 48202
 HISTORIC DISTRICT COMMISSION REVIEW

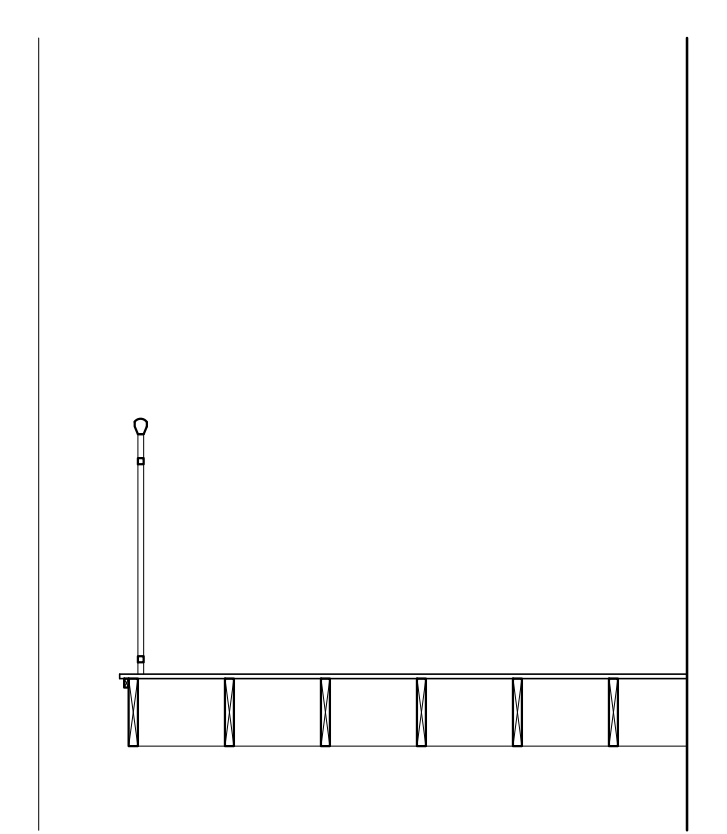
ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. BEFORE PROCEEDING WITH THE WORK, ANY MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO, SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



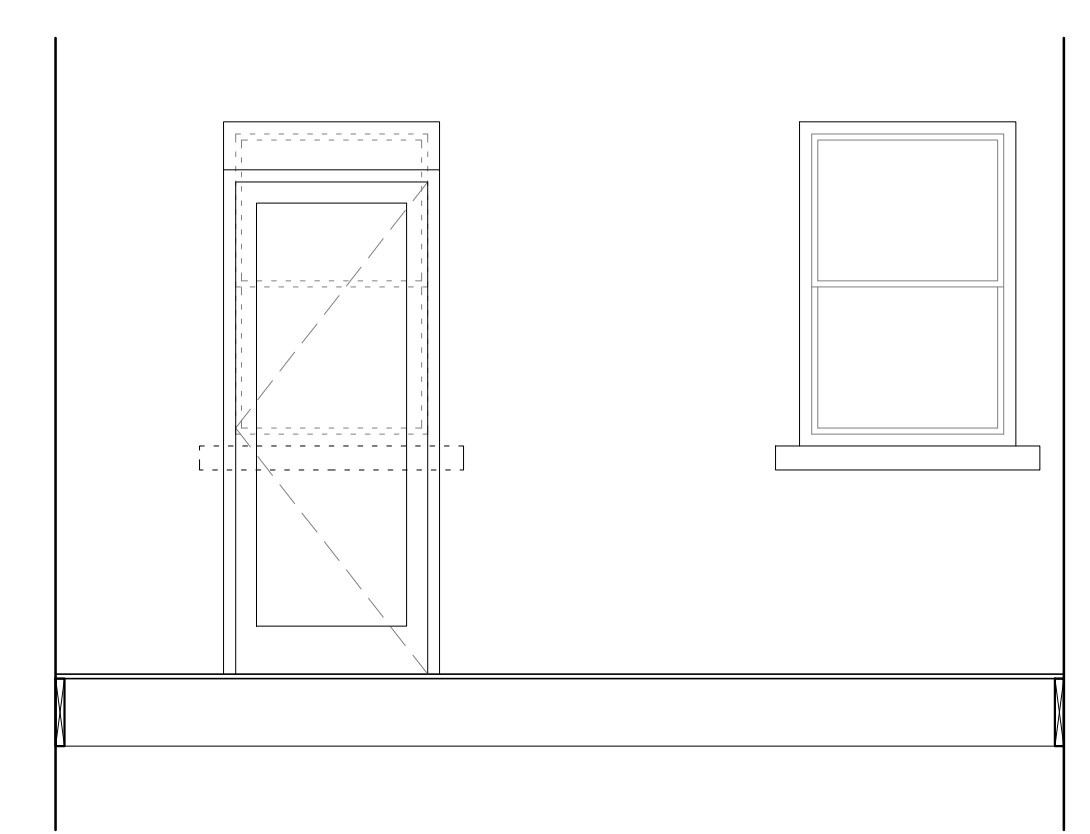
2 DECK ELEVATION
ORIGINAL IMAGE SCALE: 3/8" = 1'-0"



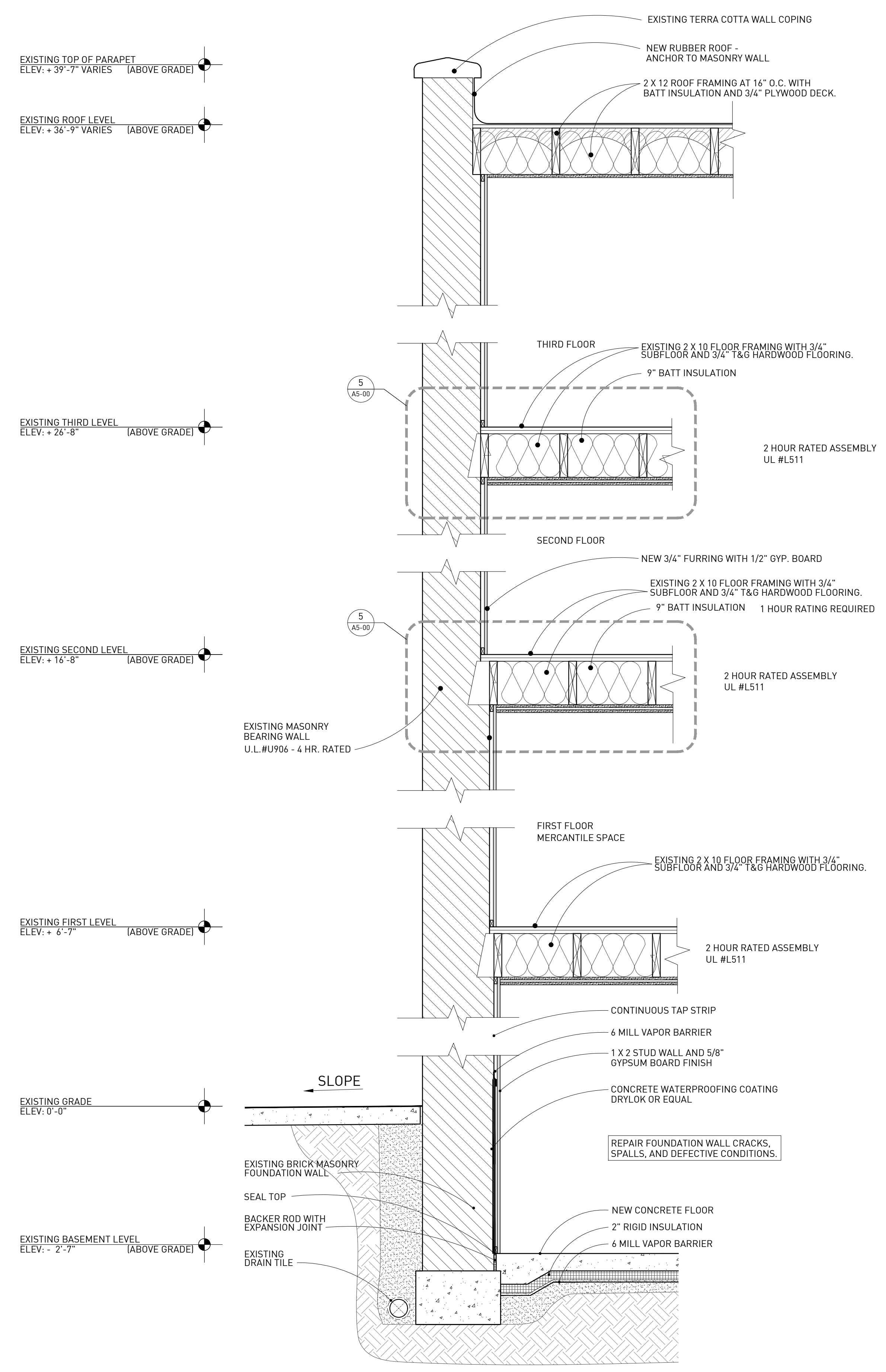
3 DECK PLAN
ORIGINAL IMAGE SCALE: 3/4" = 1'-0"



4 DECK SECTION
ORIGINAL IMAGE SCALE: 3/4" = 1'-0"



5 DECK SECTION
ORIGINAL IMAGE SCALE: 3/4" = 1'-0"



1 EXTERIOR WALL SECTION
ORIGINAL IMAGE SCALE: 3/4" = 1'-0"

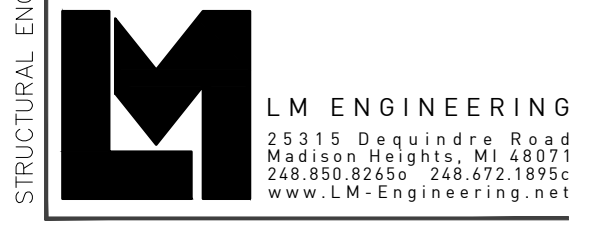
741 SEWARD AVENUE
741 SEWARD STREET, DETROIT, MI 48202
HISTORIC DISTRICT COMMISSION REVIEW

DATE	DESCRIPTION
1.	

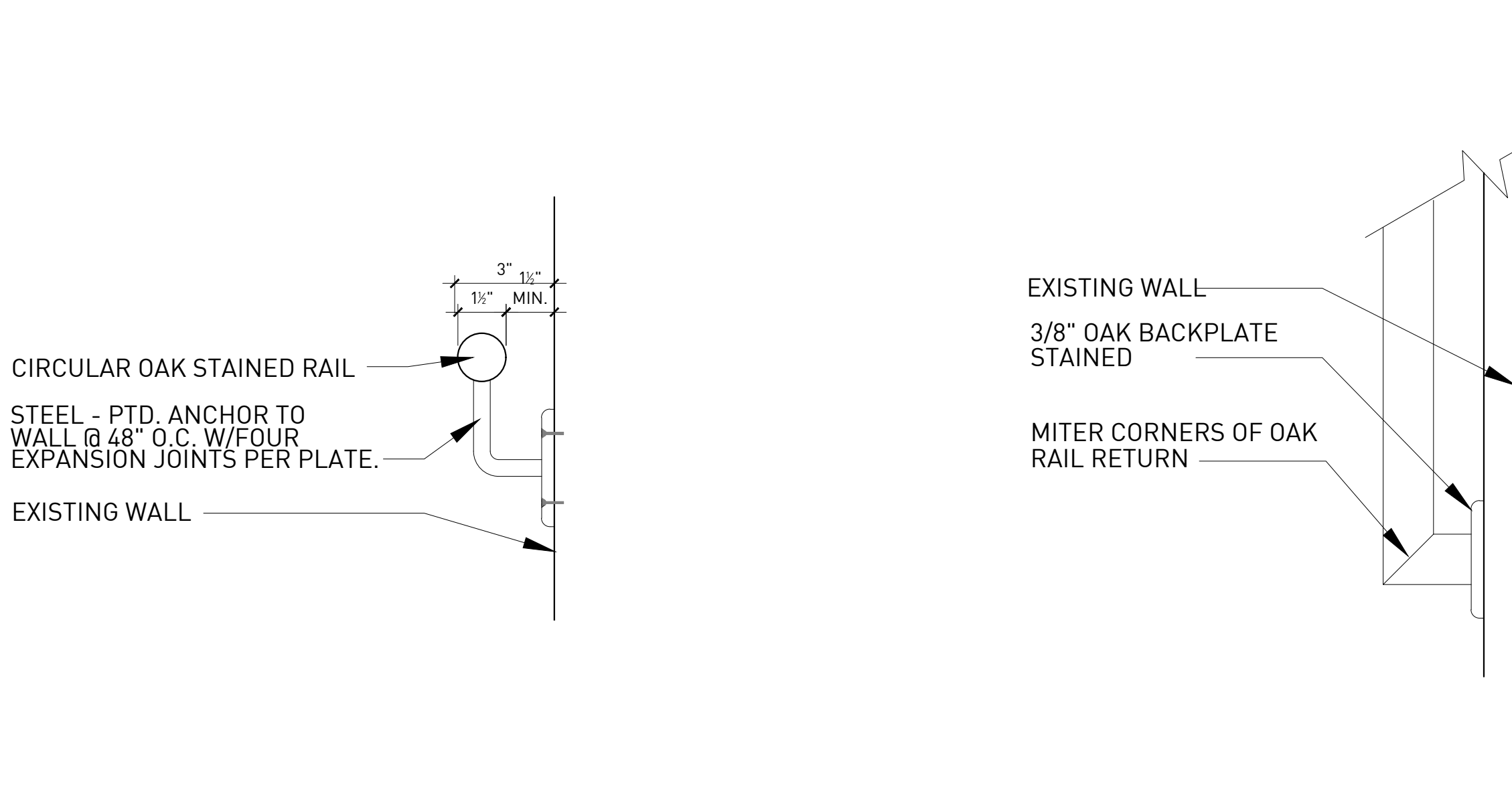
EXTERIOR WALL SECTION

A3-00

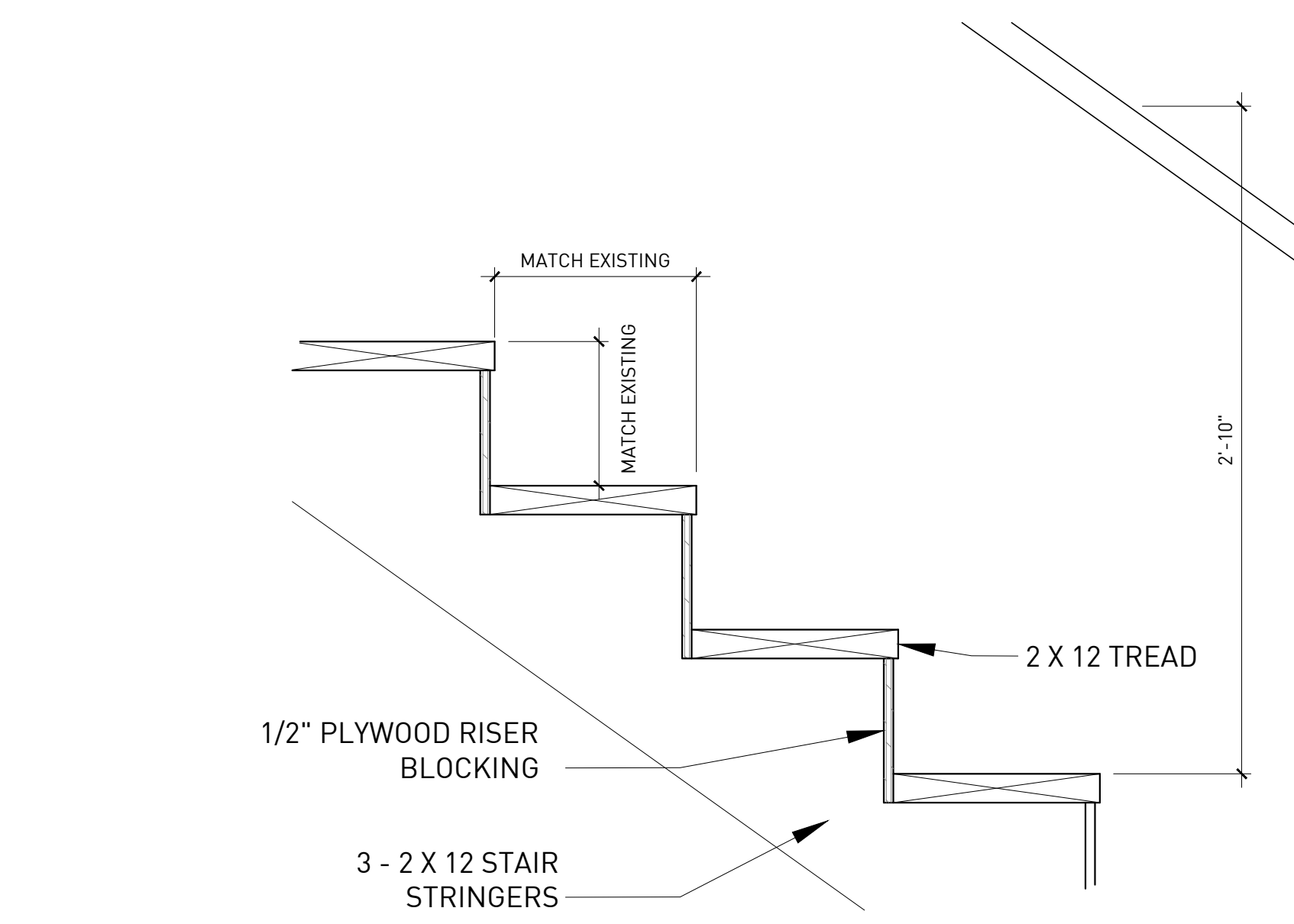
CONTRACTOR NOTE
ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENT OF EITHER OR BOTH) WHO FAILS TO DO SO, SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



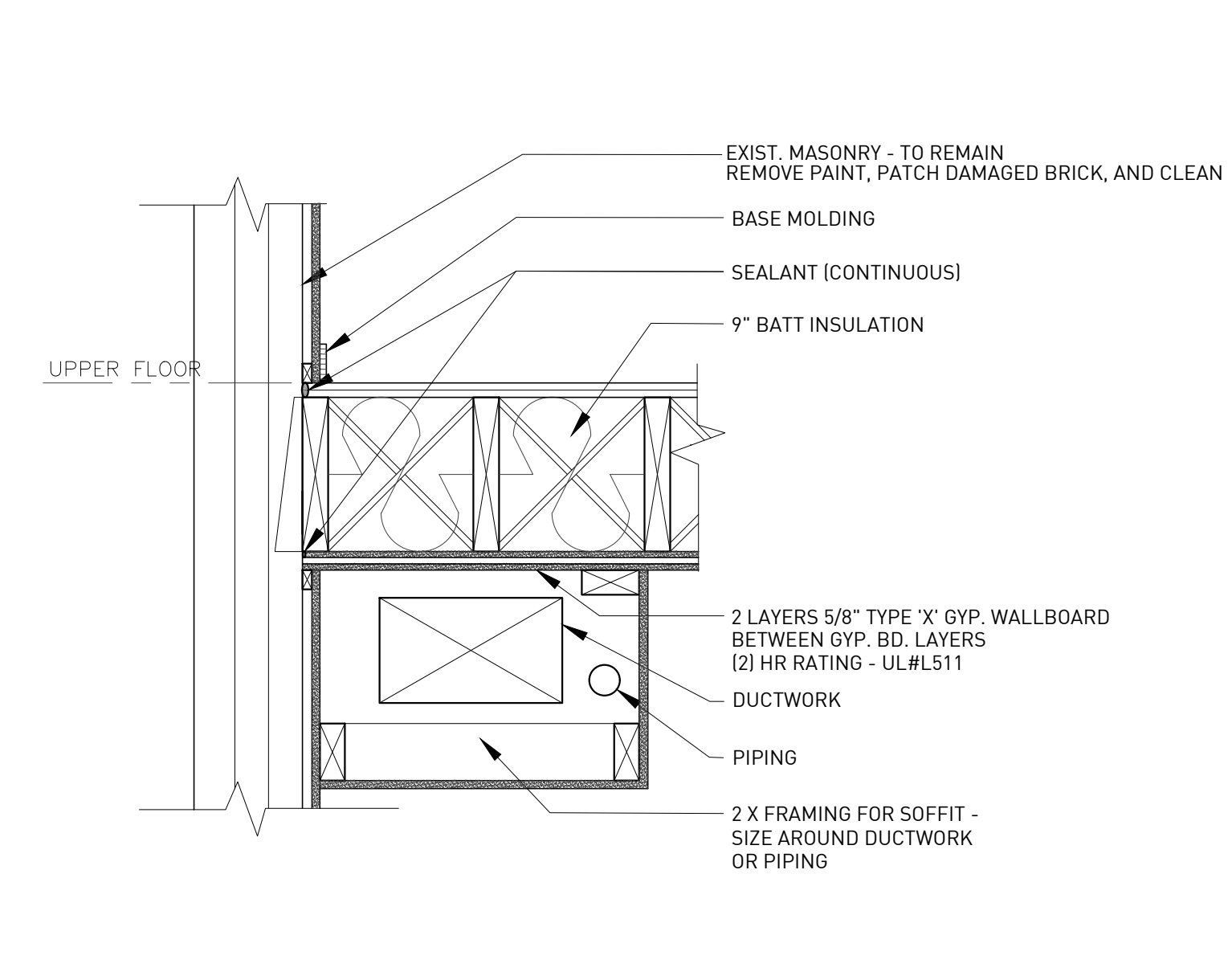
MEP ENGINEER
SYSTEMS SOLUTION
4850 Rochester Road, Suite A Troy, MI 48065
313.221.9933 ss@systemsolution.net



1 NEW HANDRAIL SECTION
ORIGINAL IMAGE SCALE: 3" = 1'-0"

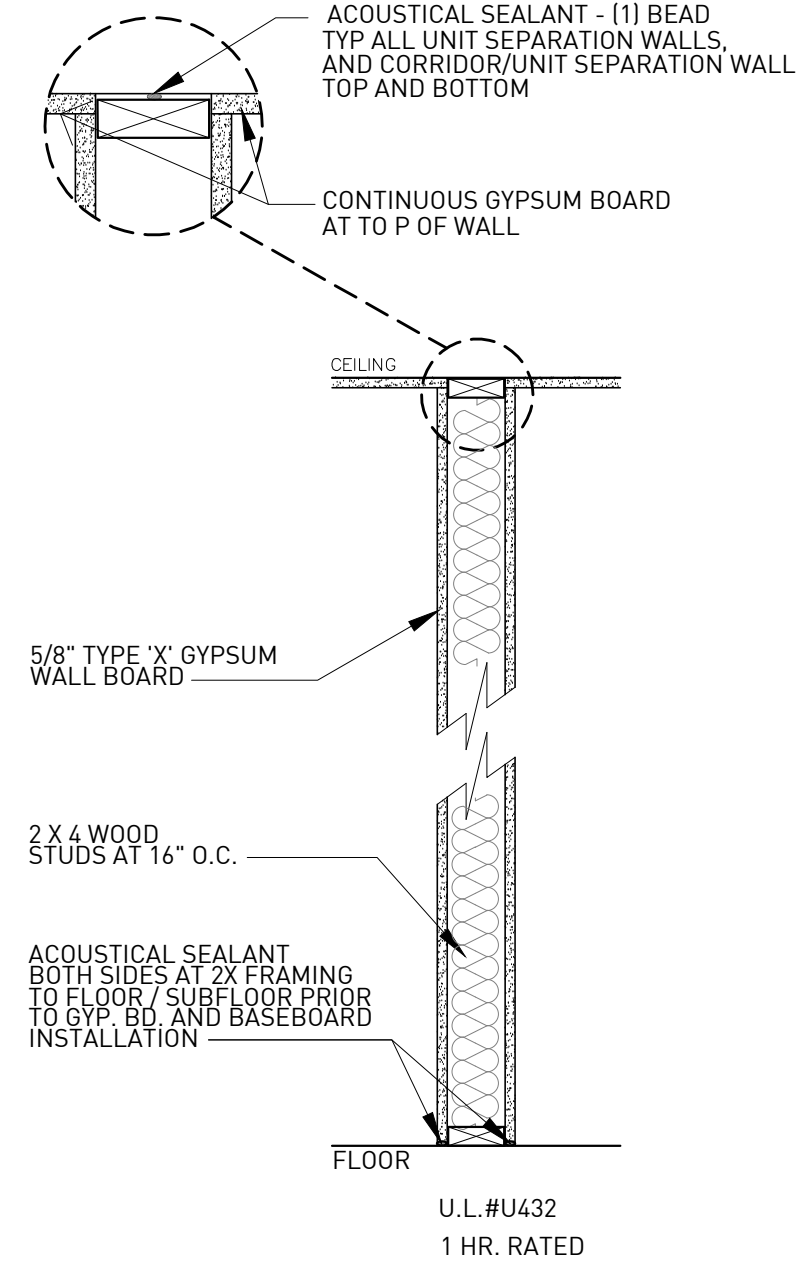


3 STAIR DETAIL
ORIGINAL IMAGE SCALE: 1-1/2" = 1'-0"

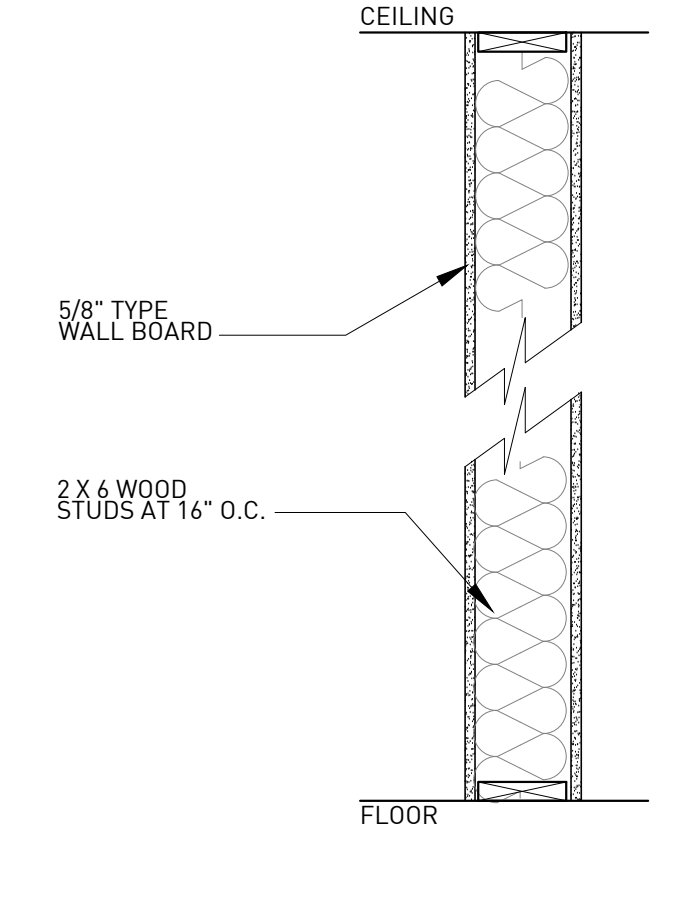


4 INTERIOR SOFFIT
ORIGINAL IMAGE SCALE: 1" = 1'-0"

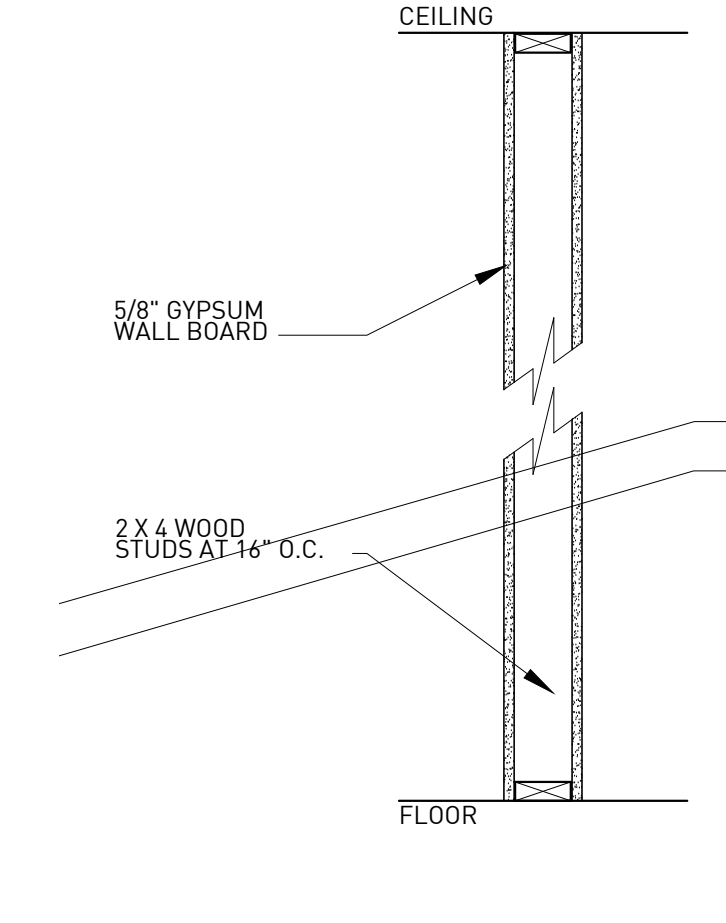
2 NEW HANDRAIL PLAN
ORIGINAL IMAGE SCALE: 3" = 1'-0"



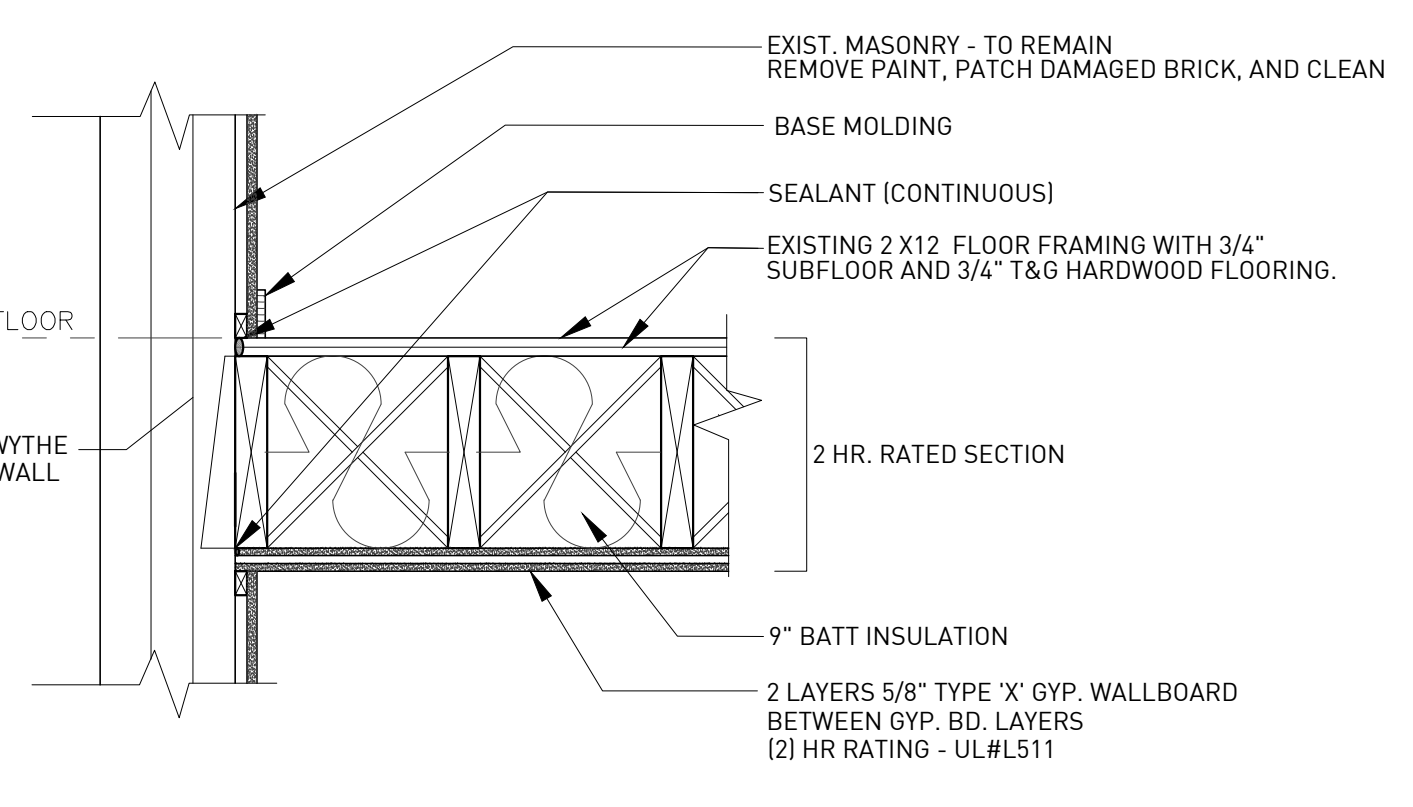
6 RATED INTERIOR WALL
ORIGINAL IMAGE SCALE: 1" = 1'-0"



7 PLUMBING WALL
ORIGINAL IMAGE SCALE: 1" = 1'-0"



8 NEW INTERIOR WALL
ORIGINAL IMAGE SCALE: 1" = 1'-0"



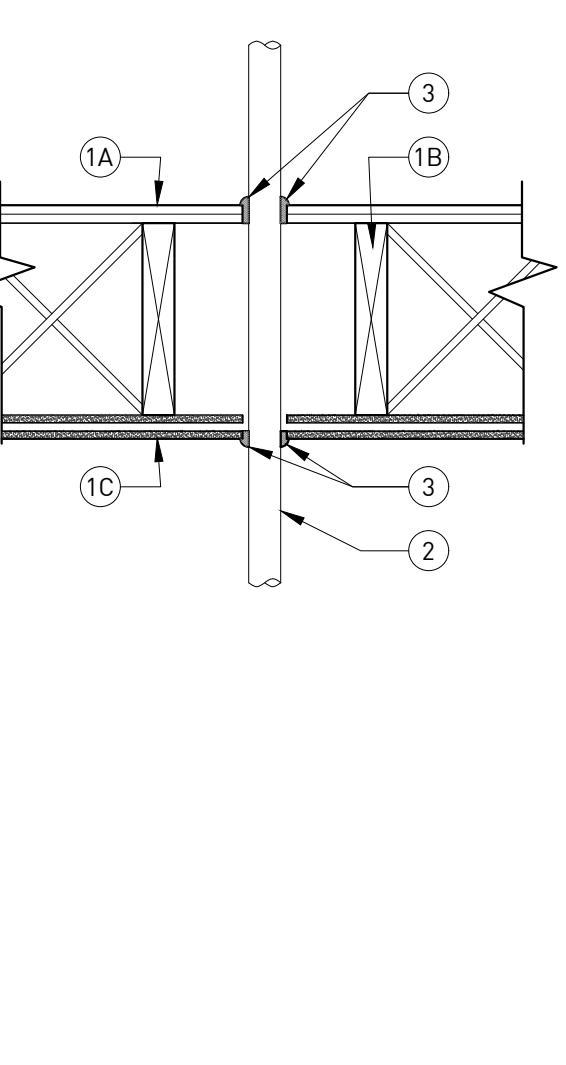
5 RATED INTERIOR FLOOR SYSTEM
ORIGINAL IMAGE SCALE: 1" = 1'-0"



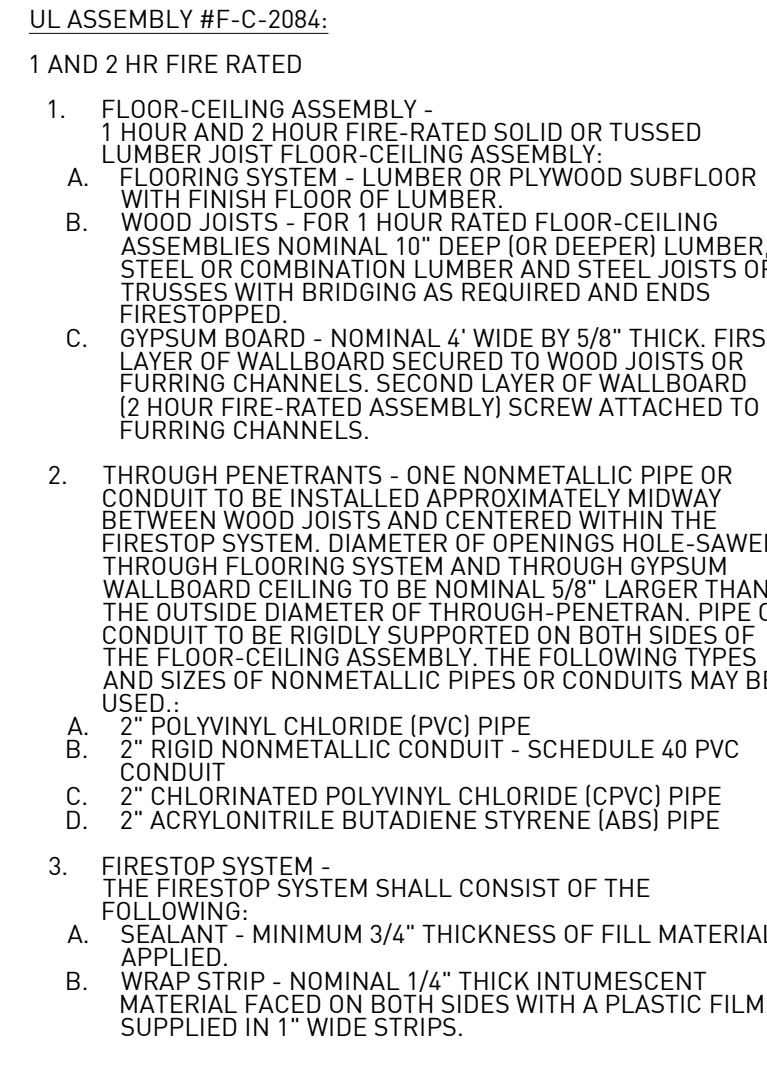
9 CHASE WALL
ORIGINAL IMAGE SCALE: 1" = 1'-0"



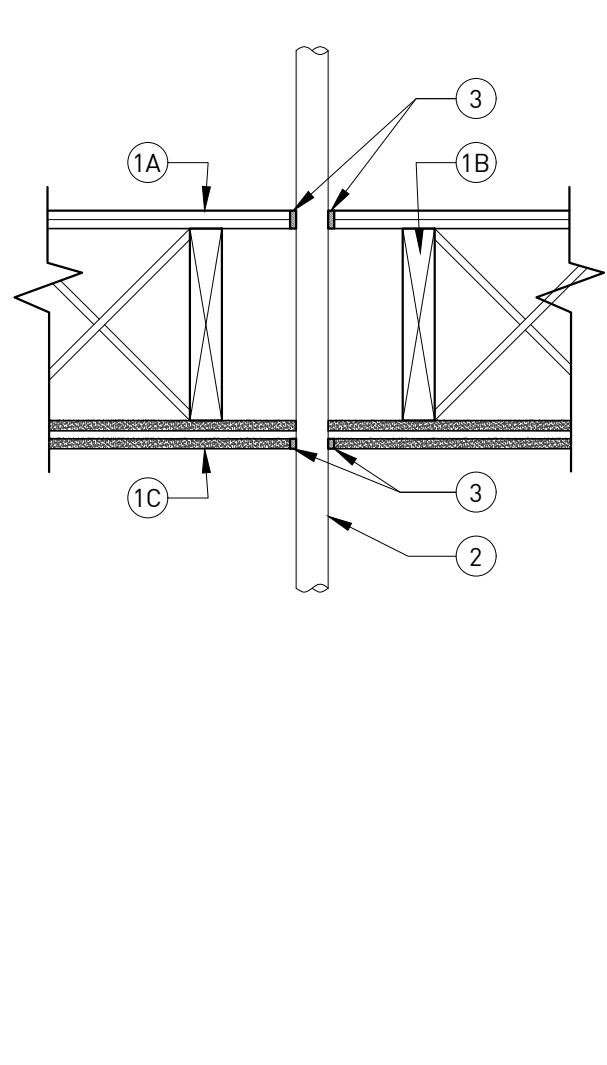
10 NEW INTERIOR WALL
ORIGINAL IMAGE SCALE: 1" = 1'-0"



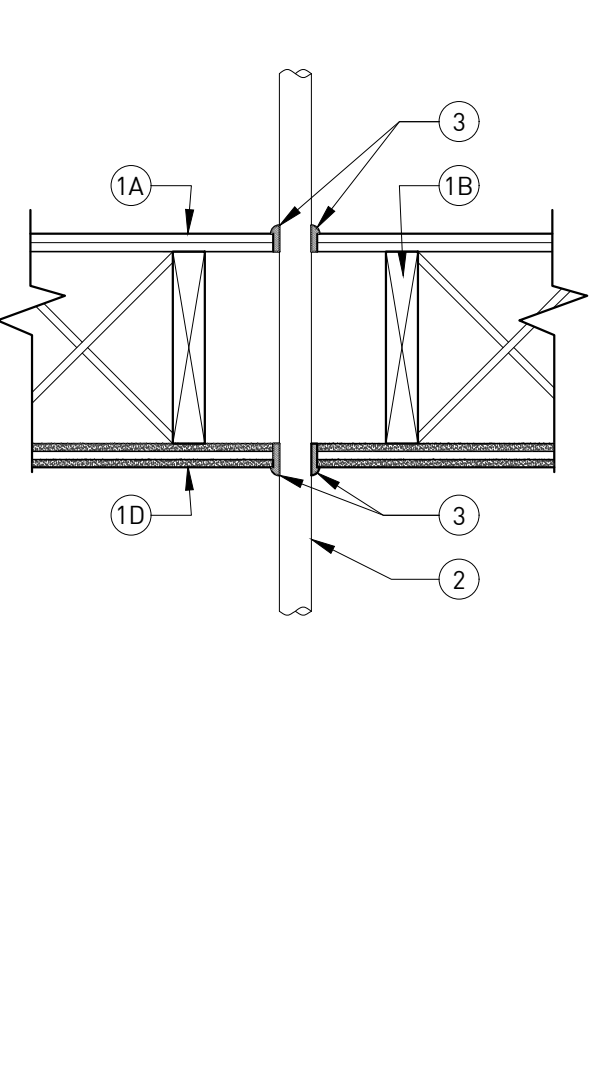
11 RATED FLOOR PENETRATION
ORIGINAL IMAGE SCALE: 1" = 1'-0"



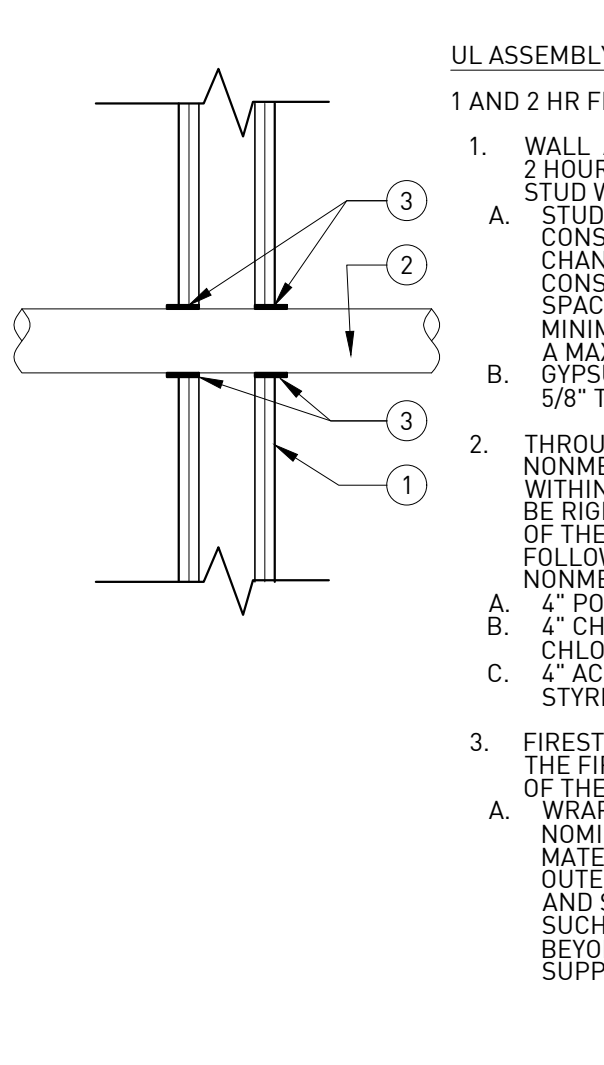
12 RATED FLOOR PENETRATION
ORIGINAL IMAGE SCALE: 1" = 1'-0"



13 RATED FLOOR PENETRATION
ORIGINAL IMAGE SCALE: 1" = 1'-0"



14 RATED FLOOR PENETRATION
ORIGINAL IMAGE SCALE: 1" = 1'-0"



15 RATED WALL PENETRATION
ORIGINAL IMAGE SCALE: 1" = 1'-0"

UL ASSEMBLY #F-C-2084:
1 AND 2 HR FIRE RATED
1. FLOOR-CEILING ASSEMBLY - 1 HOUR OR 2 HOUR FIRE-RATED SOLID OR TUSSED LUMBER JOIST FLOOR-CEILING ASSEMBLY.
A. FLOORING SYSTEM - LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER.
B. WOOD JOISTS - FOR 1 HOUR RATED FLOOR-CEILING ASSEMBLY: NOMINAL 10" DEEP (OR DEEPER) LUMBER, STEEL OR COMBINATION LUMBER AND STEEL JOISTS OR TRUSSES WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED.
C. GYPSUM BOARD - NOMINAL 4" WIDE BY 5/8" THICK. FIRST LAYER OF WALL BOARD SECURED TO WOOD JOISTS OR FURRING CHANNELS. SECOND LAYER OF WALL BOARD (2 HOUR FIRE-RATED ASSEMBLY) SCREW ATTACHED TO FURRING CHANNELS.
2. THROUGH PENETRANTS - ONE NONMETALLIC PIPE OR CONDUIT TO BE INSTALLED APPROXIMATELY MIDWAY BETWEEN WOOD JOISTS AND CENTERED WITHIN THE FIRESTOP SYSTEM. DIAMETER OF OPENINGS HOLE-SAWED THROUGH FLOORING SYSTEM AND THROUGH GYPSUM WALL BOARD CEILING TO BE NOMINAL 5/8" LARGER THAN THE OUTSIDE DIAMETER OF THROUGH-PENETRANT PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF THE FLOOR-CEILING ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF NONMETALLIC PIPES OR CONDUITS MAY BE USED:
A. 2" POLYVINYL CHLORIDE (PVC) PIPE
B. 2" RIGID NONMETALLIC CONDUIT - SCHEDULE 40 PVC CONDUIT
C. 2" CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE
D. 2" ACRYLONITRILE BUTADIENE STYRENE (ABS) PIPE
E. 2" ELECTRICAL NONMETALLIC TUBING (ENT) PIPE
3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. SEALANT - MINIMUM 3/4" THICKNESS OF FILL MATERIAL APPLIED.
B. WRAP STRIP - NOMINAL 1/4" THICK INTUMESCENT MATERIAL FACED ON BOTH SIDES WITH A PLASTIC FILM SUPPLIED IN 2" WIDE STRIPS.
C. STEEL COLLAR - NO. 28 GAUGE GALVANIZED STEEL COLLAR SHALL BE NOMINAL 2" DEEP WITH 1/4" WIDE BY 1/4" LONG ANCHOR TASS ON 4" CENTERS FOR SECUREMENT TO THE WALL.

UL ASSEMBLY #F-C-2421:
1 HR FIRE RATED
1. FLOOR-CEILING ASSEMBLY - 1 HOUR FIRE-RATED SOLID OR TUSSED LUMBER JOIST FLOOR-CEILING ASSEMBLY.
A. FLOORING SYSTEM - LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER.
B. WOOD JOISTS - NOMINAL 10" DEEP (OR DEEPER) LUMBER, STEEL OR COMBINATION LUMBER AND STEEL JOISTS OR TRUSSES WITH BRIDGING AS REQUIRED AND FIRESTOPPED.
C. GYPSUM BOARD - NOMINAL 4" WIDE BY 5/8" THICK.
2. THROUGH PENETRANTS - ONE NONMETALLIC PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR ASSEMBLY.
A. 4" POLYVINYL CHLORIDE (PVC) PIPE
B. 2" RIGID NONMETALLIC CONDUIT - SCHEDULE 40 PVC CONDUIT
C. 4" CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE
D. 2" ACRYLONITRILE BUTADIENE STYRENE (ABS) PIPE
E. 2" ELECTRICAL NONMETALLIC TUBING (ENT) PIPE
3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. SEALANT - MINIMUM 3/4" THICKNESS OF FILL MATERIAL APPLIED.
B. WRAP STRIP - NOMINAL 1/4" THICK INTUMESCENT MATERIAL FACED ON BOTH SIDES WITH A PLASTIC FILM SUPPLIED IN 2" WIDE STRIPS.
C. STEEL COLLAR - NO. 28 GAUGE GALVANIZED STEEL COLLAR SHALL BE NOMINAL 2" DEEP WITH 1/4" WIDE BY 1/4" LONG ANCHOR TASS ON 4" CENTERS FOR SECUREMENT TO THE WALL.

UL ASSEMBLY #L511:
2 HR FIRE RATED
1. FLOOR-CEILING ASSEMBLY - 1 HOUR FIRE-RATED SOLID OR TUSSED LUMBER JOIST FLOOR-CEILING ASSEMBLY.
A. FLOORING SYSTEM - LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER.
B. WOOD JOISTS - CEILING ASSEMBLIES: MINIMUM 7" x 10" LUMBER, STEEL OR COMBINATION LUMBER AND STEEL JOISTS OR TRUSSES WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED.
C. GYPSUM BOARD - TWO (2) LAYERS OF NOMINAL 4" WIDE BY 5/8" THICK. FIRST LAYER OF WALL BOARD SECURED TO WOOD JOISTS OR FURRING CHANNELS. SECOND LAYER OF WALL BOARD ATTACHED TO RESILIENT FURRING CHANNELS.
2. THROUGH PENETRANTS - ONE NONMETALLIC PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR ASSEMBLY.
A. 4" POLYVINYL CHLORIDE (PVC) PIPE
B. 2" RIGID NONMETALLIC CONDUIT - SCHEDULE 40 PVC CONDUIT
C. 4" CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE
3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. SEALANT - MINIMUM 3/4" THICKNESS OF FILL MATERIAL APPLIED.

UL ASSEMBLY #F-C-2046:
1. FLOOR-CEILING ASSEMBLY - THE FIRE-RATED WOOD JOIST FLOOR-CEILING ASSEMBLY SHALL BE CONSTRUCTED OF THE MATERIALS AND IN THE MANNER SPECIFIED IN DESIGN NO. 305, L511 OR L536 IN THE UL FIRE RESISTANCE DIRECTORY, AS SUMMARIZED BELOW:
A. FLOORING SYSTEM - LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER, PLYWOOD OR FLOOR CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOMINAL 2x4 LUMBER SPACED 16" O.C. STEEL STUDS TO BE A MINIMUM OF 2-1/2" WIDE AND SPACED 4" MAXIMUM OR 24" O.C.
B. WOOD JOISTS - NOM 2 BY 10 IN. LUMBER JOISTS SPACED 14 IN. O.C. WITH NOM 1 BY 3 IN. LUMBER BRIDGING AND WITH ENDS FIRESTOPPED.
C. GYPSUM BOARD - NOM 4 FT WIDE BY 5/8 IN. THICK AS SPECIFIED IN THE INDIVIDUAL FLOOR-CEILING DESIGN. FIRST LAYER OF WALL BOARD NAIL TO WOOD JOISTS. SECOND LAYER OF WALL BOARD SCREW ATTACHED TO FURRING CHANNELS. MAX DIAM OF CEILING OPENING IS 4 IN.
2. THROUGH PENETRANTS - ONE NONMETALLIC PIPE OR CONDUIT TO BE INSTALLED APPROXIMATELY MIDWAY BETWEEN WOOD JOISTS AND CENTERED WITHIN THE FIRESTOP SYSTEM. THE ANNUAL SPACE BETWEEN PIPE OR CONDUIT AND PERIPHERY OF OPENING SHALL BE MIN 1/2 IN. TO MAX 1-1/8 IN. PIPE OR CONDUIT TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF THE FLOOR-CEILING ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF NONMETALLIC PIPES OR CONDUITS MAY BE USED:
A. 4" POLYVINYL CHLORIDE (PVC) PIPE
B. 2" RIGID NONMETALLIC CONDUIT - SCHEDULE 40 PVC CONDUIT
C. 4" CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE
3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. SEALANT - MINIMUM 3/4" THICKNESS OF FILL MATERIAL APPLIED.

UL ASSEMBLY #F-C-2277:
1 AND 2 HR FIRE RATED
1. WALL ASSEMBLY - 2 HOUR FIRE-RATED GYPSUM BOARD / STUD WALL ASSEMBLY.
A. STUDS - WALL FRAMING SHALL CONSIST OF EITHER WOOD OR STEEL CHANNEL STUDS. WOOD STUDS TO CONSIST OF NOMINAL 2x4 LUMBER SPACED 16" O.C. STEEL STUDS TO BE A MINIMUM OF 2-1/2" WIDE AND SPACED 4" MAXIMUM OR 24" O.C.
B. GYPSUM BOARD - NOMINAL 4" WIDE BY 5/8" THICK
2. THROUGH PENETRANTS - ONE NONMETALLIC PIPE TO BE CENTERED WITHIN THE FIRESTOP SYSTEM. PIPE TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF THE WALL ASSEMBLY. THE FOLLOWING TYPES AND SIZES OF NONMETALLIC PIPES MAY BE USED:
A. 4" POLYVINYL CHLORIDE (PVC) PIPE
B. 4" CHLORINATED POLYVINYL CHLORIDE (CPVC) PIPE
C. 4" ACRYLONITRILE BUTADIENE STYRENE (ABS) PIPE
3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. WRAP STRIP - TWO LAYERS OF NOMINAL 1/4" THICK INTUMESCENT MATERIAL WRAPPED AROUND THE OUTER CIRCUMFERENCE OF THE PIPE AND SLIP INTO THE ANNUAL SPACE SUCH THAT WRAP STRIP EXTENDS 3/4" BEYOND BOTH SURFACES OF THE WALL, SUPPLIED IN 2" WIDE STRIPS.

DATE	DESCRIPTION
1.	

REVISIONS

DATE

DESCRIPTION

1.

Brian ✓
MAR 2 1983 ✓
MICHIGAN HISTORY DIVISION

28 FEB 1983

Mr. William M. Worden
Staff Director
Historic Designation Advisory Board
City of Detroit
202 City County Building
Detroit, MI 48226

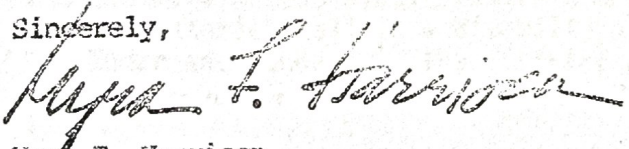
Dear Mr. Worden:

This is to notify you as duly authorized representative that the ~~New Center~~ ~~Historic District~~ of Detroit, Michigan, has been certified by the Secretary of the Interior for purposes of §2124 of the Tax Reform Act of 1976, §§701 (f) and 315 of the Revenue Act of 1978, and §§212 and 214 of the Economic Recovery Tax Act of 1981 as meeting substantially all the requirements for listing of districts in the National Register of Historic Places.

Individual property owners of depreciable buildings within this district can qualify for the Federal tax incentives by filling out Parts 1 and 2 of a Historic Preservation Certification Application (sample enclosed) and submitting them to the State Historic Preservation Officer (SHPO). In Michigan the SHPO is Dr. Martha Bigelow, Michigan History Division, Department of State, 208 North Capitol Street, Lansing, MI 48918. Additional application forms are available from the SHPO. For optimum results it is important that these applications be submitted as early as possible in the planning of a rehabilitation project.

Review Boards and Commissions should become familiar with the Secretary of the Interior's "Standards for Rehabilitation" (copy enclosed). These standards are used by the Secretary in certifying rehabilitation work for the tax incentives of the Tax Reform Act. Both the SHPO and this office are available to advise individuals and organizations in this matter.

If you have any questions, please call Cynthia MacLeod of this office at (215) 597-5129.

Sincerely,


Myra F. Harrison
Assistant Regional Director
Office of Cultural Programs

Enclosure

cc: NR/WASO
MI SHPO

(DISTRICT)