

**STAFF REPORT:** 11/10/2021 MEETING  
**APPLICATION NUMBER:** #21-7582, #21-7583  
**ADDRESS:** 9710 & 9730 W OUTER DRIVE  
**HISTORIC DISTRICT:** ROSEDALE PARK  
**APPLICANT:** NICOLE FRICKE  
**PROPERTY OWNER:** REBECCA KENDERES  
**DATE OF PROVISIONALLY COMPLETE APPLICATION:** 10/18/2021  
**DATE OF STAFF SITE VISIT:** 10/22/2021

**PREPARED BY:** D. RIEDEN

**SCOPE:** REHAB OF BUILDINGS, REPLACE WINDOWS, NEW ADA RAMP

### **EXISTING CONDITIONS**

This site consists of two buildings on two parcels facing east on W. Outer Drive. A shared parking lot, accessible from Minock Street to the west, allows for rear entrance to both buildings. A bricked garage sits near the north property line. A concrete walk from the parking lot, between the two buildings connects to the public sidewalk on Outer Drive, which leads to the front entrances to each building. Both buildings are surrounded by a modest landscape of evergreen foundation plantings, lawn and a shade maple in the rear. The western edge of the Rosedale Park Historic District lies immediately west of the buildings, but does not reach the western edge of this property on Minock Street.

Built in 1939, the colonial style property at 9730 W Outer Drive is a 3-story apartment with 23 residential units is constructed in a horseshoe shape, forming a front courtyard where the front entrance sits under fixed radius head steel windows and a colonial revival pediment. Clad in brick with corner detailing, stone banding and keystones, this structure features wood-clapboard gables at each wing. Double hung and fixed steel windows with single pane annealed glass are distributed throughout the building. The rear elevation has a three bay windows and a recessed entrance under a brick archway.

To the north, 9710 W Outer Drive was built in 1940 and shares similar colonial style elements. This 3-story apartment has 10 residential units and also faces east. Under a centered gabled, asphalt shingled roof, the brick on wood stud wall construction features stoned details at fixed radius head steel windows in the front and rear, stone stills and stone corner details. A wood detailed pediment overhangs the front entrance with rectangular transom and sidelights. A steel and wood canopy shelters the rear entrance. Double-hung wood windows with true divided light muntins are featured on the front elevation, with the exception of steel windows at bathrooms and the lowest level. The brick shed house along the south elevation was created at a later date to shelter the gas meter.



*Site Photo 1, by Staff October 22, 2021: (East) front elevation of 9730 W Outer Dr.*



*Site Photo 2, by Staff October 22, 2021: (East) front elevation of 9710 W Outer Dr.*

This property has no previous HDC approvals listed on the Detroit Property Information System (DPI).





## PROPOSAL

The applicant provided an application for the proposed scope items with the goal to update systems and features, increase functionality and introduce accessibility. All listed items refer to both buildings unless noted. See also applicant photos and attachments:

1. Restore the existing masonry (brick), utilizing repointing, tuckpointing, and cleaning as necessary
2. Replace the existing leaky (non-historic) asphalt shingle roof in kind
3. Replace the existing deteriorated wood and steel windows with double hung thermally-broken aluminum windows and install thermally-broken windows at new openings for new Level 00 units
4. Install new accessible ramp and railing at 9730 new accessible entry
5. Replace existing 9710 steel & wood canopy in kind, and install similar new canopy at new 9730 accessible entry; install downspout at both canopies for water mitigation
6. At 9730 front entry, remove & replace existing concrete landing in kind & restore historic light fixture
7. Replace all other light fixtures at entrances with new; install new exterior sconce at new accessible entry; remove building-mounted security lights; install new security lighting at parking lot & ramp
8. Repair existing historic woodwork at front entries of 9710 & 9730
9. Scrape and paint all exterior doors, wood features, and gutters; paint and install new 8"x8" brick vents per res. unit in brick facades (avoid front facade) where brick vent is not already existing.

(SEE FIG 3 FOR FOLLOWING)

10. Install new security fence at perimeter of parking lot and ramp with pedestrian swing gate and remote operated vehicular gates; existing sections of fence on-site to remain.
11. Remove & replace narrow gray concrete pathway between buildings with accessible path (5'-0"W)
12. Re-stripe (to 90 degree spaces & (2) accessible spaces) and reconfigure curbs at existing parking lot to match unit count; remove and replace concrete as needed at parking lot to properly grade
13. Repair pathway and sidewalk near 9730 front entry; remedy utility cap trip hazard at 9710 front entry
14. Regrade site to slope away from buildings where necessary; remove existing landscaping in order to regrade and replace with similar
15. Construct new masonry dumpster enclosure to house (3) 2 yd dumpsters to serve both buildings
16. Install (35) condensing units at grade (1 per unit); install metal panel enclosure to secure and screen ten (10)

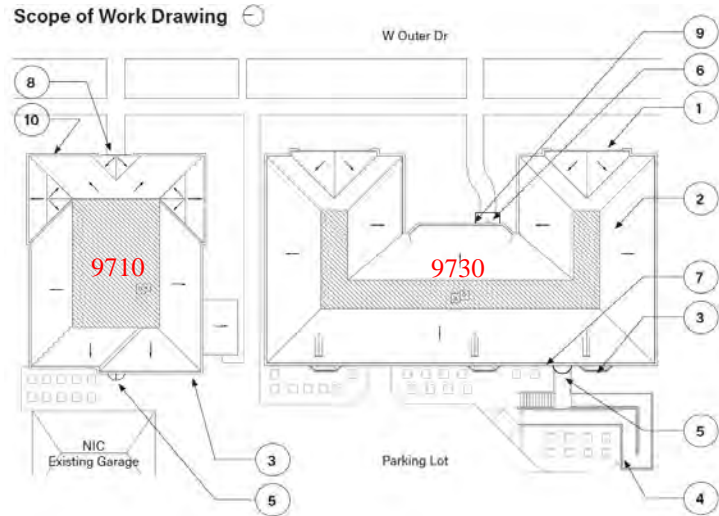


Figure 2 by applicant, Scope of Work map showing work items listed for buildings 9710 and 9730 W Outer Dr.

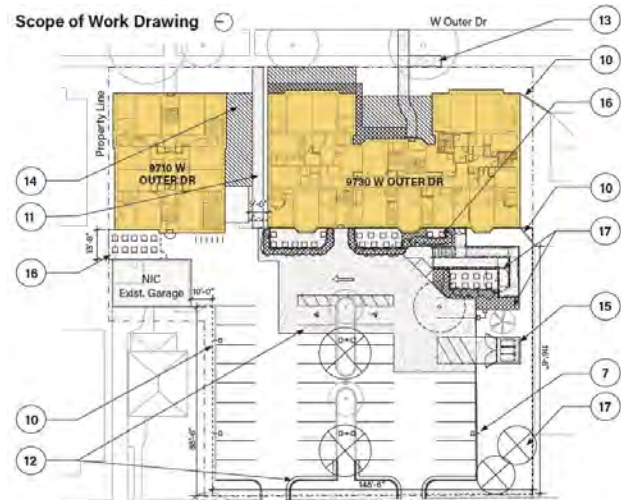


Figure 3 by applicant, continuation of Scope of Work map showing work items listed for buildings 9710 and 9730 W Outer Dr on a proposed site plan.

condensing units to service 9710; install ACBandit (or similar) security cages at remaining condensing units and plant living screens around each condensing unit cluster

17. Restore any disturbed areas with lawn; remove two (2) trees to accommodate ramp, install parking lot & site deciduous trees (Red Sunset Maple, Autumn Brilliance Serviceberry, American Hophornbeam); other new plantings (crosshatch) include shrubs (Annabelle Hydrangea, Kelsey Dwarf Dogwood, Dense Yew, Hicks Yew) and perennials (Happy Returns Daylily, Pardon Me Daylily, Russian Sage)

## STAFF OBSERVATIONS AND RESEARCH

- According to the applicant, this rehabilitation project is undertaken by the Grandmont Rosedale Park Collective which is pursuing historic tax credits. This project has undergone a preliminary review with the State Historic Preservation Office (SHPO).
- On the October 22, 2021 site visit, staff observed combinations of wood, aluminum and steel (basement) windows throughout both buildings. Some wood sills showed signs of rot, some metal window frames were bent from the window opening. The front façade shows signs that shutters were removed.
- Staff reviewed the extensive 277 page application, which includes the following reports:
  - Scope of work items with supporting details and drawings.
  - Intoto Studio's extensive window replacement and vent installation guide with diagrams, and a brief on each window of both buildings.
  - Intoto Studio's Condition Assessment Report (CAR) July 2021, starting on page 213.
  - Product specifications, starting on page 232.
  - Blackberry Window and Door Systems' Historic Window Site Review and Survey, starting on page 246.
  - Intoto Studio's window schedule and window condition list, starting on page 262.
  - Blackberry's field sketches of window details, starting on page 270.
  - Proposed and existing window details and window specs, starting on page 275.
- Staff noted in the Blackberry Report that all steel and wood windows in both buildings (with the exception of the fixed radius head steel windows) are recommended for full replacement because they do not lend themselves to restoration. The report describes the restoration methods for steel and wood double hung windows, but then states that these methodologies cannot be met due to poor conditions and unavailability of replacement parts due to obsolete design. Only the fixed radius head steel window units located in the common area stair wells are recommended to be retained. This report does offer window paint and repair options. However, the report states that these options do not address the inherent issues with the window's poor operation, long term durability and energy efficiency. (See pages 246-251) It is staff's opinion that the NPS Standards, "*which are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility*" may not meet the technical feasibility aspect because these specific window designs (with exception of the fixed windows), which are now considered obsolete, are not able to be rehabilitated in a reasonable manner. Please note that staff has requested more description on the "steel tape" system described on page 247, but has not yet receive this information. Given the idiosyncratic nature of this little-used system, staff is inclined to agree with the consultant's recommendation.
- Staff observed that the proposed windows closely match the existing windows in their operation, configuration, and design. The proposed windows' profile, head, meeting rail, and sill closely match the dimensions, within approximately ¼" (with the exception of the jamb, which is within ¾"), of the original windows. Materially, both the wood and steel windows that are proposed for replacement would be thermally-broken aluminum windows, which staff believes is an appropriate material if the Commission were to approve this replacement.
- Staff requested more information regarding the use of true divided light muntins on the front façade of 9710 and whether the existing mullions would be reused or replacing them with a factory mulled unit. The applicant stated that custom profiles will be created and the drawings will be forthcoming. The applicant clarified that they introduce to replace mullions with factory-mulled units to ensure best possible fit and thermal performance. The applicant clarified that the muntins are 3-part SDL pattern to match existing.





- Staff reviewed the proposed site plan (see fig.2) and the location of the maple tree, which staff verified upon a site visit, appears to be a healthy, 6” caliper red maple. Although just outside of the historic district boundary, staff observed that there are no other trees on this property of this size could be potentially considered a character defining feature of the landscape. Staff also observed that this tree could be retained if one parking space were sacrificed and the curb line adjusted outside of the tree’s dripline or retained at its current location. The proposed ramp does not appear to have impact on this tree’s current location. Staff requested a response from the applicant on the potential adjustment of the site plan to retain this tree and has not yet received a response at the time of this report.

## ISSUES

- It is staff’s opinion that the removal of original windows, in most cases would destroy the original *scale, design, and materiality* of this historic property. However, with the exception of the fixed steel windows, it is staff’s opinion that the repair of these windows may not be technically feasible and therefore replacement as described in this proposal would meet the Secretary of the Interior's Standards for Rehabilitation under application of the “reasonableness” standard found in 36 CFR 67,7 (b), ie., “*The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.*”
- It is staff’s opinion that the fixed radius head steel window units located above the front and rear entrance of 9710 W Outer Drive and over the front entrance of 9730 W Outer Drive are character-defining features that should be retained. Staff recommends that the repair of these windows is appropriate.
- It is staff’s opinion that the proposed locations of new brick vents are appropriate.
- It is staff’s opinion that there is not enough information to warrant the opening of a new door on the second floor, and the proposed ramp does not meet the NPS Preservation Brief 32 to first consider use of the building’s existing entrances. Therefore, staff finds that this proposed new opening is not appropriate.
- It is staff’s opinion that healthy shade trees greater than a 6” caliper contribute to the character of Rosedale Park and should be retained to contribute to the District’s “park-like setting” as described in *General environment character of Rosedale Park’ Elements of Design* (See Section 21-2-199 (d)22).
- Staff found no issues with the remaining scope items.

## RECOMMENDATION

### Section 21-2-78, Determination of Historic District Commission

#### Recommendation #1: Rear door opening and ramp:

Staff finds that the unnecessary addition of a new opening and ramp to the second floor door does not meet the recommendations outlined in NPS Preservation Brief #32 and reduces the historic character of this property.

Staff therefore recommends that the Commission issue a Denial for the above work item, as it does not meet the Secretary of the Interior's Standards for Rehabilitation, specifically Standards:

*2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

#### Recommendation #2: Repair and replacement of windows, repair of roofs, masonry, canopies, entrances, light fixtures, woodwork, painting, pathways and sidewalks, regrading, and the installation of 35 condensing units with



screens, security gate, lighting, parking lot re-striping, dumpster enclosure:

It is staff's opinion that the proposed repair of the fixed radius head steel windows and replacement of remaining windows, repair of roofs, masonry, canopies, entrances, light fixtures, woodwork, painting, pathways and sidewalks, regrading, and the installation of 35 condensing units with screens, security gate, lighting, parking lot re-striping, dumpster enclosure as per attached proposal retains and preserves the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation.













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THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

DATE: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS(ES): \_\_\_\_\_ AKA: \_\_\_\_\_

PARCEL ID: \_\_\_\_\_ HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration <i>(3+ scope items)</i>	<input type="checkbox"/> Site Improvements <i>(landscape, trees, fences, patios, etc.)</i>	

BRIEF PROJECT DESCRIPTION: \_\_\_\_\_ The renovation seeks to celebrate the historic occupancy and features of these two buildings, while increasing functionality and introducing accessibility. \_\_\_\_\_

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner       Contractor       Tenant or  
Business Occupant       Architect/Engineer/  
Consultant

NAME: \_\_\_\_\_ COMPANY NAME: Grandmont Rosedale Park Collective

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: becki@grandmontrosedale.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application**  
(highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO: [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**



# P2 - BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_

## PROPERTY INFORMATION

Address: \_\_\_\_\_ Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_

AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_

Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Are there any existing buildings or structures on this parcel?  Yes  No

## PROJECT INFORMATION

**Permit Type:**  New  Alteration  Addition  Demolition  Correct Violations

Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_

Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

**Description of Work** (Describe in detail proposed work and use of property, attach work list)

MBC use change  No MBC use change

**Included Improvements** (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building

Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

**Estimated Cost of Construction** \$ \_\_\_\_\_ By Contractor \$ \_\_\_\_\_ By Department

### Structure Use

Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_

Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.** (Building Permit Application Continues on Next Page)

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Permit #: \_\_\_\_\_ Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

**Revised Cost** (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_





**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Permit Applicant)

Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.







Nicole Fricke &lt;nicole@intotostudio.com&gt;

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**9710 & 9730 W Outer Dr - Upcoming HCD Submission**

7 messages

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**Nicole Fricke** <nicole@intotostudio.com>

Wed, Aug 4, 2021 at 4:22 PM

To: rossj@detroitmi.gov

Cc: Benjamin Ellefson &lt;ben@intotostudio.com&gt;, Christoph Ibele &lt;christoph@intotostudio.com&gt;

Good Afternoon Jennifer,

We are working on a renovation project in the Rosedale Park Historic District with the Grandmont Rosedale Park Collective and are looking to submit a project review request on August 16th to the Historic District Commission.

The renovation revolves around two multifamily residential buildings, 9710 and 9730 W Outer Dr. The occupancy isn't changing and most renovations will occur in the interiors. Exterior renovations consist of window replacement, exterior lighting fixture replacement, and brick restoration. A couple existing units are being retrofitted into accessible units which necessitate the addition of a ramp at the back of 9730 W Outer Dr.

Kristine Kidorf is consulting on this project as we are pursuing historic tax credits. We've had a preliminary meeting with Robb from SHPO to review the design as well.

We're wondering if you could please let us know what we'll need to provide along with the project review request. It would be great to have a conference call to discuss. Please let us know of your availability.

Thank you very much!

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**NICOLE FRICKE**

(313)400-6419

nicole@intotostudio.com

www.intotostudio.com

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**Jennifer Ross** <rossj@detroitmi.gov>

Thu, Aug 5, 2021 at 3:48 PM

To: Nicole Fricke &lt;nicole@intotostudio.com&gt;

Cc: Benjamin Ellefson &lt;ben@intotostudio.com&gt;, Christoph Ibele &lt;christoph@intotostudio.com&gt;, "Historic District Commission (Staff)" &lt;hdc@detroitmi.gov&gt;

Hi Nicole,

Thanks for reaching out. The following info is required for your application.

-Completed HDC Project Review Request Form. Specifically, please complete the top two sections on page 1 and complete the highlighted portions of pages 2 and 3. Also please provide the info outlined in the checklist at the bottom of page 1:

[https://detroitmi.gov/sites/detroitmi.localhost/files/forms/2021-07/01\\_HDC%20Project%20Review%20Request.pdf](https://detroitmi.gov/sites/detroitmi.localhost/files/forms/2021-07/01_HDC%20Project%20Review%20Request.pdf).

-For the windows which are proposed for replacement, please provide the following:

Photos - PDF or JPEG:



**From:** [Christoph Ibele](#)  
**To:** [Dan Rieden](#)  
**Cc:** [Nicole Fricke](#)  
**Subject:** [EXTERNAL]Re: [EXTERNAL]Re: HDC: 9710 & 9730 W Outer Dr  
**Date:** Thursday, October 28, 2021 6:07:54 PM

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Hi Dan,

- Question 1: by split we mean that the sill has completely separated - that it has split through. Fissure means that there are deep grooves in the sill that have opened up along the grain at least 0.125" wide and 0.25" deep, but that the sill has not yet split through completely
- Question 2: as far as I can tell, the only existing replacement is window S16, Type O1, which is a mulled unit on the east (Outer Dr) elevation of 9730 at the garden level. So in other words, 9710 (which is 60% wood and 40% steel) is 100% original windows; 9730 (which is 100% steel) is 100% original windows on the north, west and south elevations, and 96% original windows on the east (Outer Dr) elevation
- Questions 3 and 5: the products we're proposing are used regularly for historic projects, and some of the required profiles (brick mould, muntin, mullion, etc), require a proposed custom die. So we're still waiting for a drawing of these custom profiles to be created - I can provide these drawings as soon as they're available. In the meantime I've added exterior views of the base products on pages 13, 14 and 16. Not all sections will not be 1 over 1; they will match the existing muntin patterning shown on the Window Types & Schedules sheet (A4.0.1), p262 of the document. Muntins will be 3-part simulated divided lites (SDL) with an external muntin bar on both the outside and inside of the window
- Question 4: please see link below to updated pdf - hopefully this clears up the confusion
- Question 6: we intend to replace mullions with factory-mulled units to help ensure the best possible fit and thermal performance

Here is the link to download the revised file:

<https://we.tl/t-tlEgFP7sBB>

Any questions feel free to let me know  
Thanks,

Christoph Ibele  
[intotostudio.com](http://intotostudio.com)  
313-474-2758

On Tue, Oct 26, 2021 at 1:11 PM Nicole Fricke <[nicole@intotostudio.com](mailto:nicole@intotostudio.com)> wrote:

Good Afternoon Dan,

We've received your requests for further information and will respond by the end of the day Thursday.

Thank you,



On Tue, Oct 26, 2021 at 12:54 PM Dan Rieden <[riedenda@detroitmi.gov](mailto:riedenda@detroitmi.gov)> wrote:

Good morning Nicole,

We have a few questions after an initial review. Most of these questions refer to the PDF titled "HDC supporting docs".

- Can you define the difference between "split" and "fissure" as cited on page 11.
- Please provide a list of what percentage of windows are original, per building, per elevation. Please break it down by original wood windows and original metal windows. We'd like to have a total of what is the total number of original windows per building.
- Please provide an exterior view of the proposed windows, particularly those that match the sill detail on page 13. This can be a catalogue image that matches what is being proposed.
- Page 15 is an example where some headers don't appear to match the content. The header says "wood" the content says "steel". Also, not clear on the existing vs proposed sections on the steel drawing. Need clear labels. So as to not confuse the Commission, please review the document for these labels, correct and resend PDF.
- These section profiles appear to be missing the muntins and mullions. We'd like to see the existing and proposed profiles for these too. All sections appear to be 1 over 1... is this true?
- With regards to mullions, are you retaining existing mullions or replacing them as a factory mullied unit, as might be shown in B1 on page 261. Please clarify.

These are the questions we have to date, would you be able to respond by end of day Thursday?

Thank you!

**Daniel Rieden** PLA/ASLA

Lead Landscape Architect | Historic Preservation Team

Planning & Development Department | City of Detroit

Coleman A. Young Municipal Center, 2 Woodward Avenue, Suite 808, Detroit, MI 48226

Phone: 313.224.1357

Email: [riedenda@detroitmi.gov](mailto:riedenda@detroitmi.gov)

Website: [Detroitmi.gov/pdd](http://Detroitmi.gov/pdd)

**Michael E. Duggan, Mayor**

In order to ensure your safety and ours during the COV-ID 19 pandemic, the Historic Preservation Team will be working remotely.



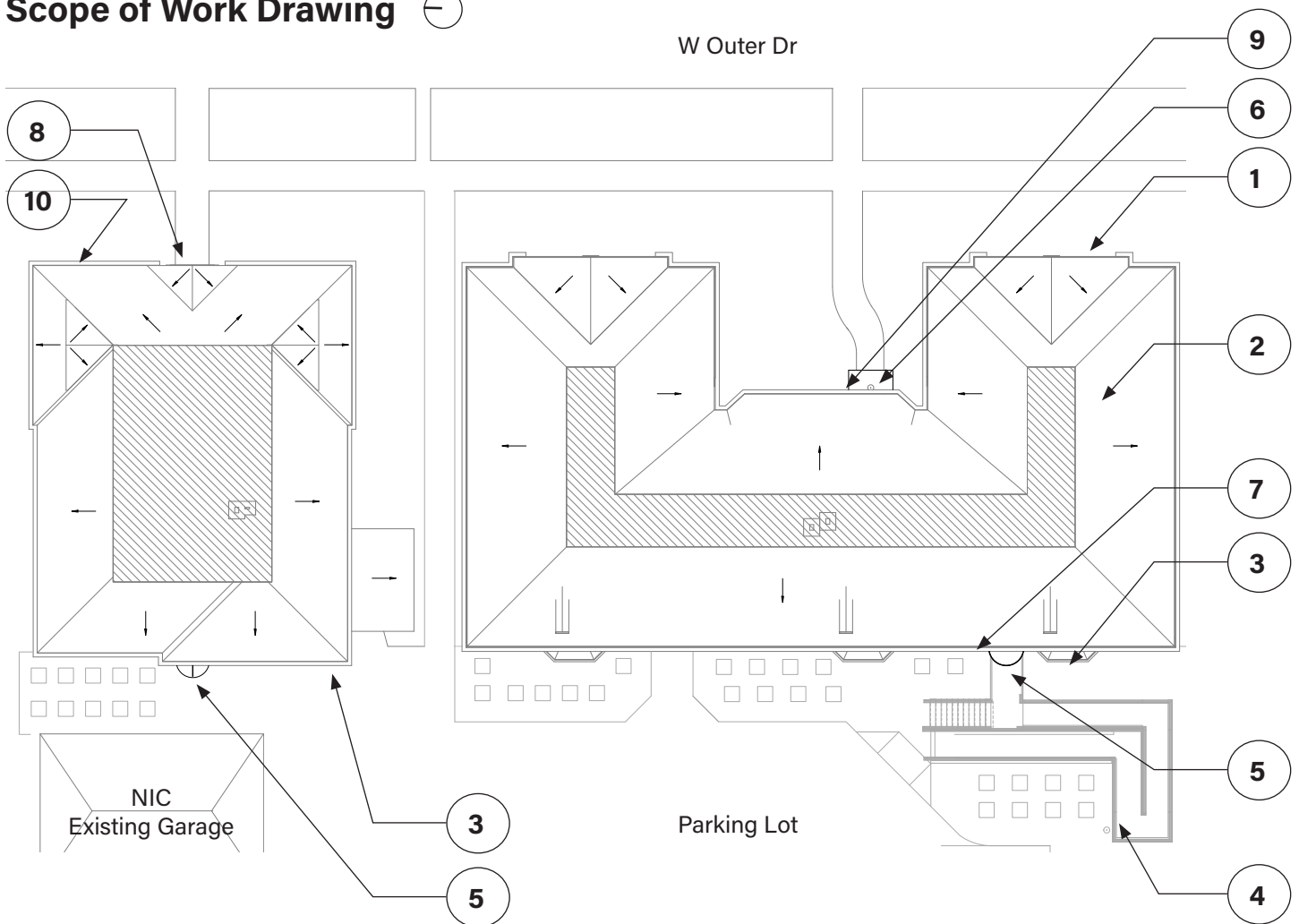
## Description of Project\_Permit Work List

This project a rehabilitation being undertaken by Grandmont Rosedale Park Collective. The goal of the project is to celebrate the historic presence, features, and use of the buildings, while updating systems, increasing functionality, and introducing accessibility.

The scope of work includes the following; notes pertain to both buildings U.N.O:

1. Restore the existing masonry (brick), utilizing repointing, tuckpointing, and cleaning as necessary
2. Replace the existing leaky (non-historic) asphalt shingle roof in kind
3. Replace the existing deteriorated wood and steel windows with double hung thermally-broken aluminum windows and install thermally-broken windows at new openings for new Level 00 units
4. Install new accessible ramp and railing at 9730 new accessible entry
5. Replace existing 9710 steel & wood canopy in kind, and install similar new canopy at new 9730 accessible entry; install downspout at both canopies for water mitigation
6. At 9730 front entry, remove & replace existing concrete landing in kind & restore historic light fixture
7. Replace all other light fixtures at entrances with new; install new exterior sconce at new accessible entry; remove building-mounted security lights; install new security lighting at parking lot & ramp
8. Repair existing historic woodwork at front entries of 9710 & 9730
9. Scrape and paint all exterior doors, wood features, and gutters; paint and install new 8"x8" brick vents per res. unit in brick facades (avoid front facade) where brick vent is not already existing

## Scope of Work Drawing

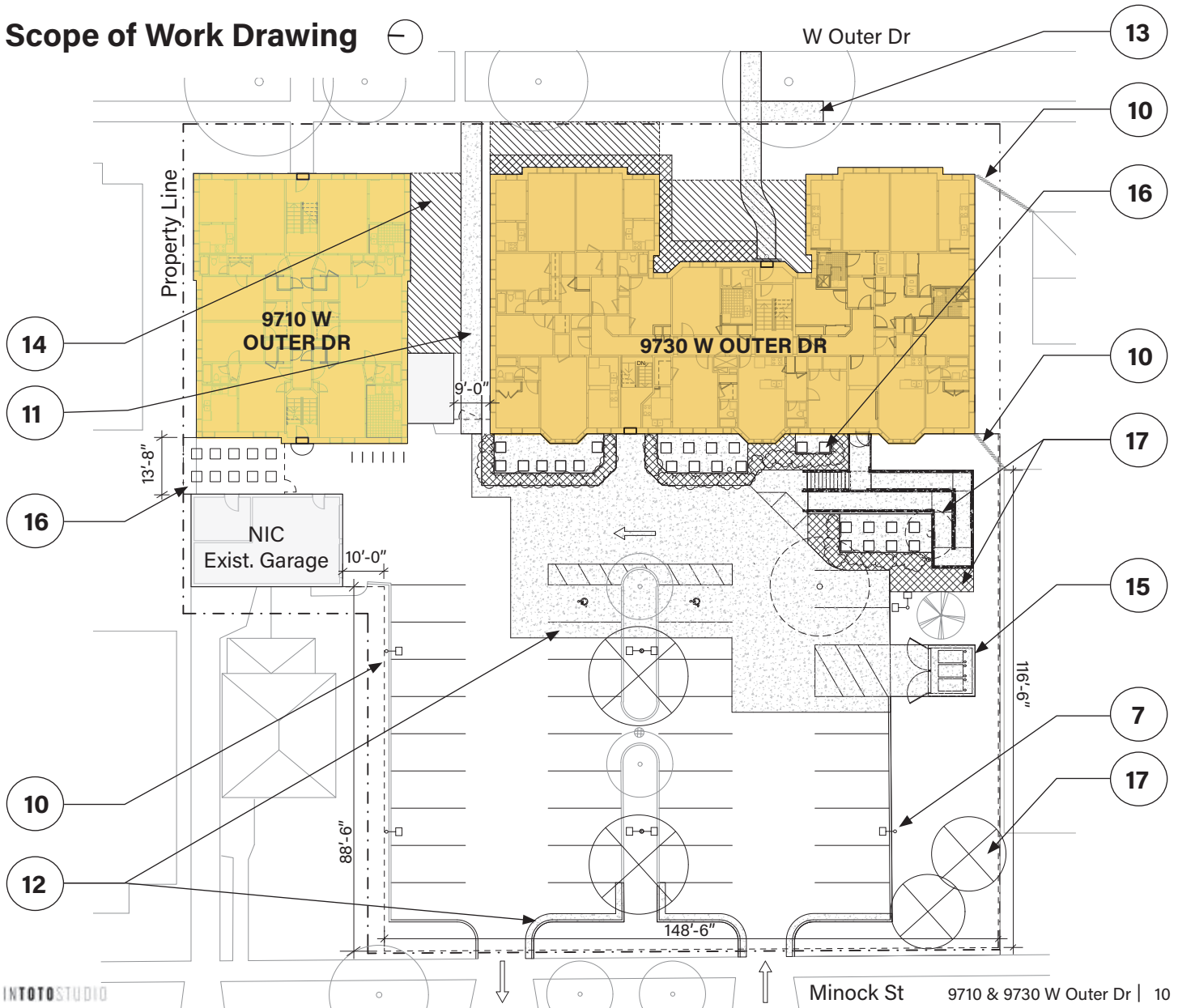




## Description of Project Cont\_Permit Work List

10. Install new security fence at perimeter of parking lot and ramp with pedestrian swing gate and remote operated vehicular gates; existing sections of fence on-site to remain
11. Remove & replace narrow gray concrete pathway between buildings with accessible path (5'-0"W)
12. Re-stripe (to 90 degree spaces & (2) accessible spaces) and reconfigure curbs at existing parking lot to match unit count; remove and replace concrete as needed at parking lot to properly grade
13. Repair pathway and sidewalk near 9730 front entry; remedy utility cap trip hazard at 9710 front entry
14. Regrade site to slope away from buildings where necessary; remove existing landscaping in order to regrade and replace with similar
15. Construct new masonry dumpster enclosure to house (3) 2 yd dumpsters to serve both buildings
16. Install (35) condensing units at grade (1 per unit); install metal panel enclosure to secure and screen (10) condensing units to service 9710; install ACBandit (or similar) security cages at remaining condensing units and plant living screens around each condensing unit cluster
17. Restore any disturbed areas with lawn; remove (2) trees to accommodate ramp, install parking lot & site deciduous trees (Red Sunset Maple, Autumn Brilliance Serviceberry, American Hophornbeam); other new plantings (crosshatch) include shrubs (Annabelle Hydrangea, Kelseyi Dwarf Dogwood, Dense Yew, Hicks Yew) and perennials (Happy Returns Daylily, Pardon Me Daylily, Russian Sage)

## Scope of Work Drawing





## Detailed Scope of Work

### Existing Wood Window Replacement

See Appendix for Window Assessment from Blackberry



9710 W Outer Dr existing conditions, wood windows

9710 W Outer Dr Existing Wood Windows  
Wood construction with steel lintels and stone sills, *highlighted in red*, save for bathroom and Level 00 windows of steel construction.

### Cause for Replacement

- Some exterior sills are split, allowing water to enter the building envelope
- The majority of sills are fissured, causing dry rot and material breakdown
- The operability of the windows ranges from inconsistent to very difficult
- They use a tape balance system that is not readily replaced without potential damage to the master frame
- The jamb liner/weatherstrip is in poor conditions and is not a product that is available for replacement
- All windows require re-glazing with new glazing compound, and existing material is unable to be removed without damage to the sashes and breaking the glass
- The glazing compound is falling out and breaking down on all sashes
- The paint is peeling
- The caulking is failing and falling out
- The storm windows are in poor condition with many broken track guides and failing corner joinery, allowing water to get trapped on the exterior sills, and dry rot and decay in 30-40% of the openings
- A true restoration process is not able to be implemented for these windows. Painting and Glazing Repair can be done; however, this approach does not address the described window issues.

### Replacement Method

- All existing window components to be removed and disposed of; abatement may be required. Wood blocking to be set in the jamb cavity to fill the weight box void.
- New windows to be set with exterior aluminum brickmould and sill components replicating historic exterior casework. New Double Hung or Single Hung windows would be set and fastened in place. Prior to this install all cavities would be insulated.
- Windows would be cleaned, adjusted, and the perimeter caulked at the masonry intersection. New casework would be installed and finished.

### Cost Estimate Comparison (all windows)

- Replacement:  
\$94k [wood] + \$45k [9710 steel] + \$261k [9730 steel]  
+ \$19k [new openings] + \$10k [repair fixed decorative windows]  
= **\$429,000** [total]
- Paint & Glazing Repair:  
\$49.5k [wood] + \$37k [9710 steel] + \$165k [9730 steel]  
+ \$19k [new openings] + \$10k [repair fixed decorative windows]  
= **\$280,500** [total]

\* Note: Cost estimate includes material, tax on material, labor (non-union, non-prevailing wage), employment cost, insurance, staging, shop drawings & supervision. Cost estimate does NOT include new casework or associated painting in replacement est; neither interior painting, balance repair, or new storms in painting & glazing repair



## Detailed Scope of Work

### Existing Steel Window Replacement

See Appendix for Window Assessment from Blackberry



9710 W Outer Dr existing conditions, steel windows

9710 & 9730 W Outer Dr Existing Steel Windows  
Steel construction set in wood framed, masonry opening with stone sills, *highlighted in red*; include all bathroom, Level 00, & 9730 windows.

### Cause for Replacement

- The weather stripping is rusted and the tape balancers are typically bent, crimped, or torn, making the operation and sash movement stiff and resistant
- There isn't a tight seal at the points of weatherstripping between the sash and master frame causing air infiltration and condensation, which has caused corrosion on the interior painted surfaces
- The exterior paint is worn, peeling, and/or allowing rust and corrosion to bleed thru to the surface
- The butt joint tubular steel framing has mild-to-heavy corrosion at the exterior sill, the sash, and frame joinery
- The storm windows have many broken track guides and failing corner joinery, trapping water on the exterior sill creating rust and corrosion
- The glazing compound is falling out and failing on all sashes
- The exterior perimeter caulking is failing and coming loose from the masonry
- The locks are bent/broken in over 80% of all windows
- These windows do not lend themselves to restoration, as the components are in poor condition and no replacement parts are available; leaving the sashes in place will not resolve the described issues

### Replacement Method

- All existing window components to be removed and disposed of; abatement may be required. Wood blocking to be set in the jamb cavity.
- Repair fixed decorative windows in the common area stairs wells only.
- New windows to be set directly in the masonry openings and anchored to the wood blocking. Prior to this installation all voids would be insulated.
- Interior plaster returns to be repaired.
- Perimeter caulking to be applied on the interior and exterior, and windows to be cleaned and adjusted.

### Cost Estimate Comparison (all windows)

- Replacement:  
\$94k [wood] + \$45k [9710 steel] + \$261k [9730 steel]  
+ \$19k [new openings] + \$10k [repair fixed decorative windows]  
= **\$429,000** [total]
- Paint & Glazing Repair:  
\$49.5k [wood] + \$37k [9710 steel] + \$165k [9730 steel]  
+ \$19k [new openings] + \$10k [repair fixed decorative windows]  
= **\$280,500** [total]

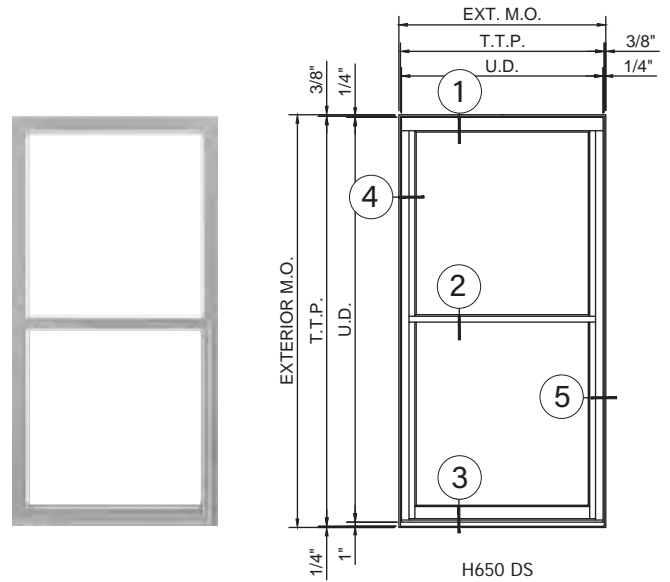
\* Note: Cost estimate includes material, tax on material, labor (non-union, non-prevailing wage), employment cost, insurance, staging, shop drawings & supervision. Cost estimate does NOT include new casework or associated painting in replacement est; neither interior painting, balance repair, or new storms for painting & glazing repair est.



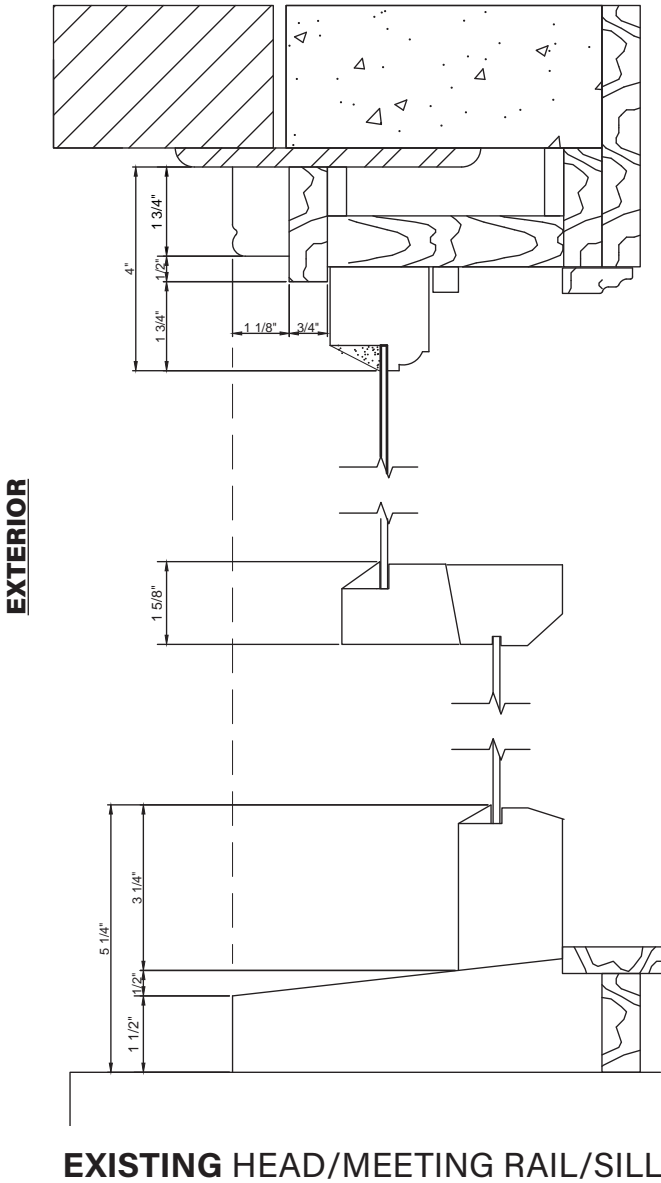
# Existing Wood Window Replacement

## Existing & Proposed Details

Proposed wood window replacement: Quaker H650 DS, thermally-broken aluminum window with custom brick mould, muntins (3-part SDL, pattern to match existing) and mullions (where applicable). This approach will provide a well-functioning, energy efficient replication of the original windows.

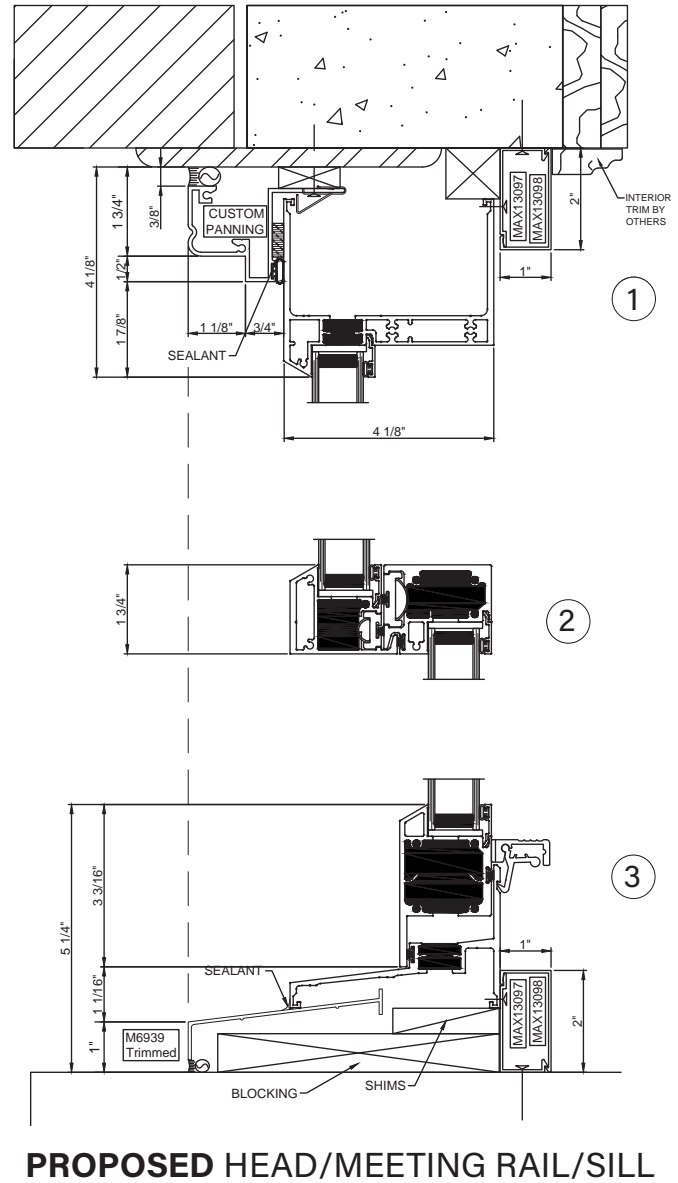


H650 DS



**EXTERIOR**

**EXISTING HEAD/MEETING RAIL/SILL**

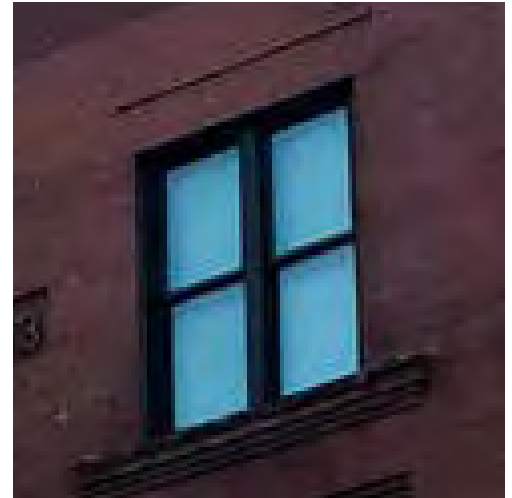
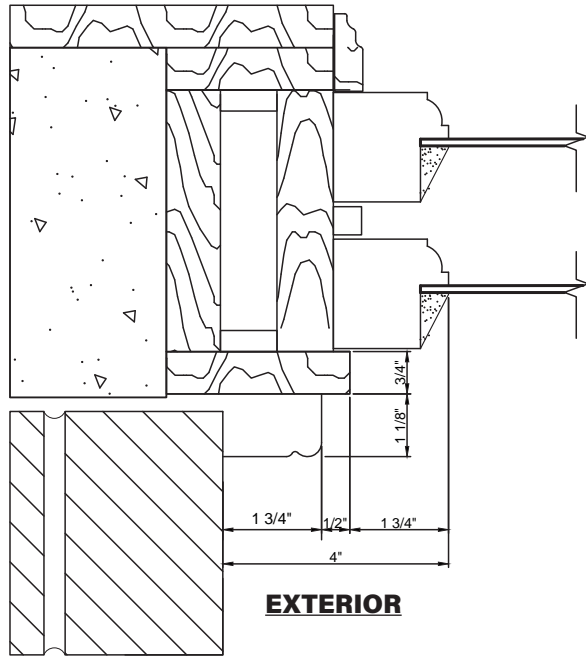


**PROPOSED HEAD/MEETING RAIL/SILL**



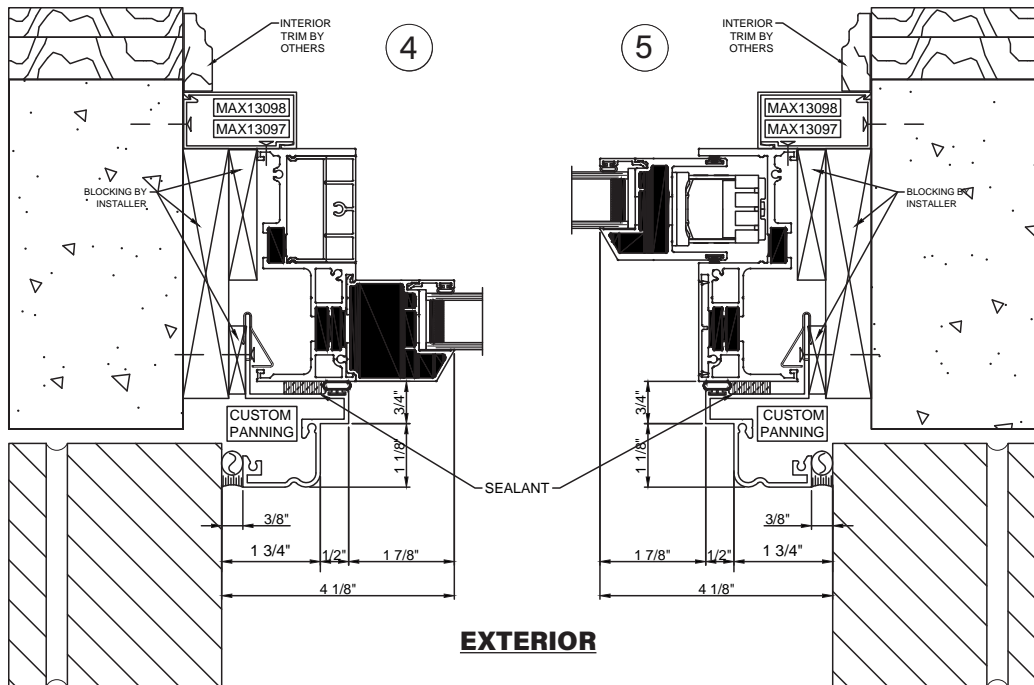
# Existing Wood Window Replacement

## Existing & Proposed Details Cont.



Exterior view, Quaker Series H650  
(Asteri Apts, Utica NY)

### EXISTING JAMB



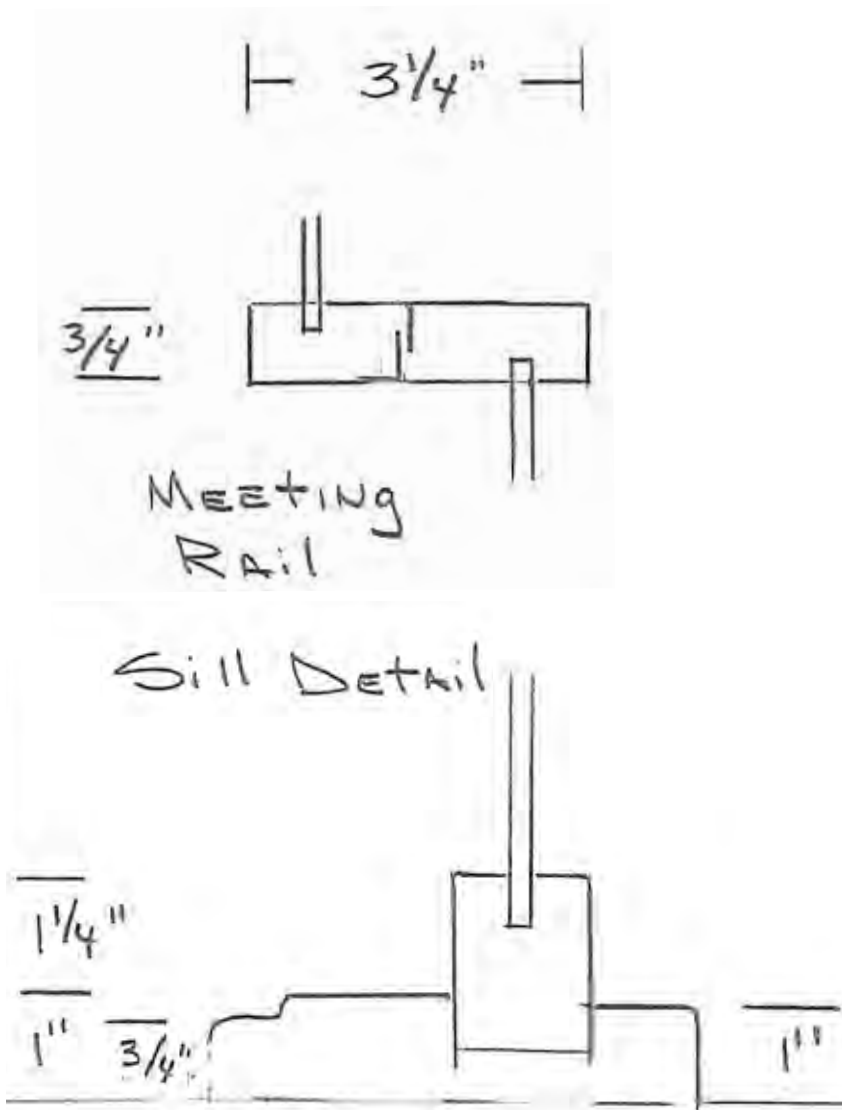
### PROPOSED JAMB



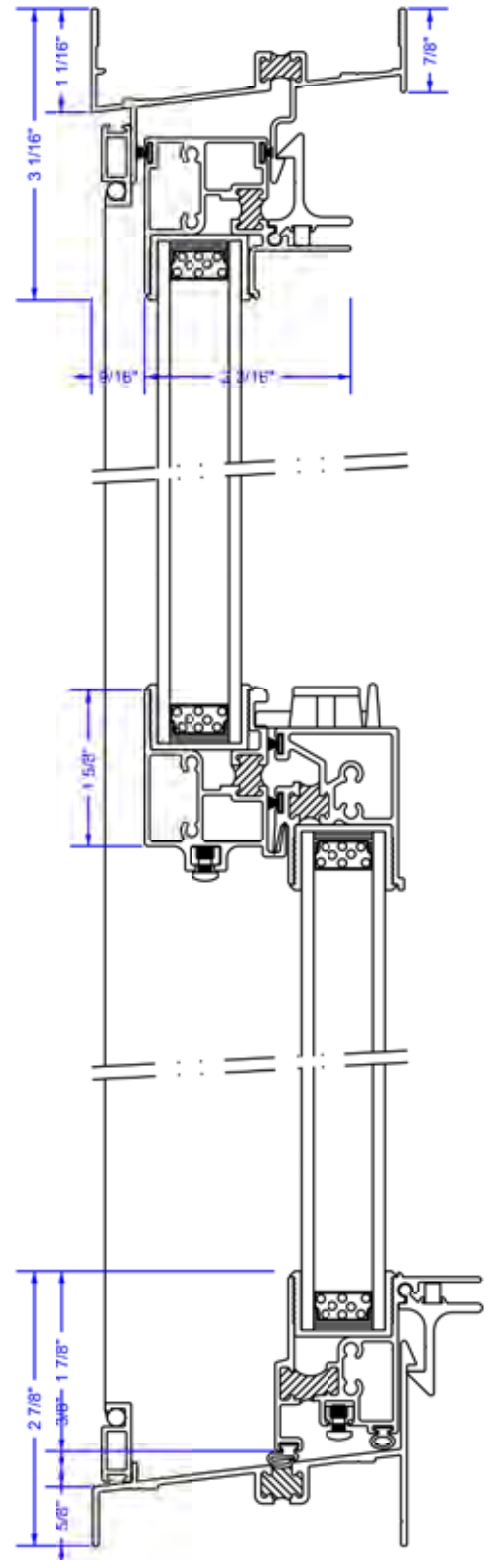
# Existing Steel Window Replacement

## Existing & Proposed Details

Proposed steel window replacement:  
 Thermal Windows, Inc. Series 700 double hung thermally broken aluminum window with custom brick mould, muntins (3-part SDL, pattern to match existing) and mullions (where applicable). This approach will provide a well-functioning, energy efficient replacement of the original windows with the closest available profile to existing. See appendix.



**EXISTING HEAD/MEETING RAIL/SILL**

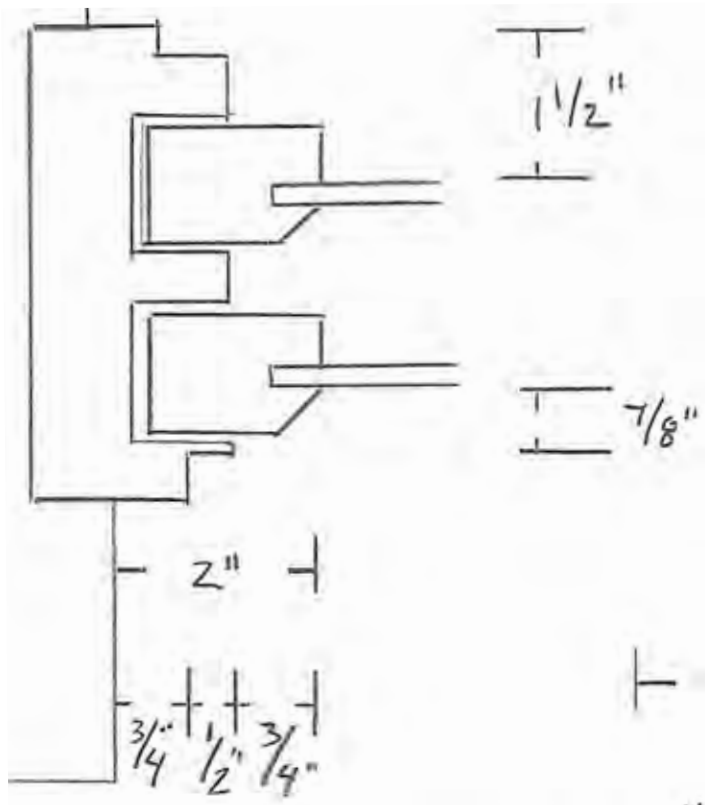


**PROPOSED HEAD/MEETING RAIL/SILL**



# Existing Steel Window Replacement

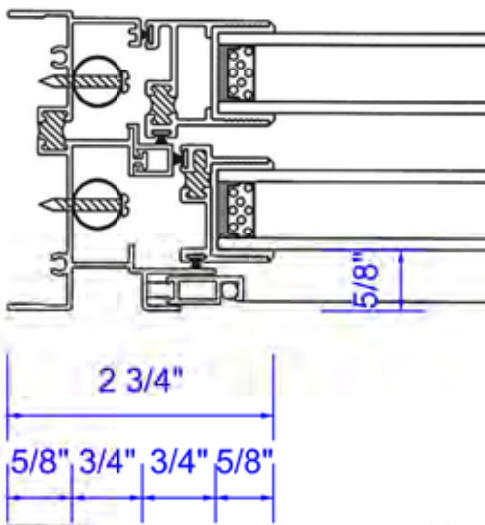
Existing & Proposed Details Cont.



**EXISTING JAMB**



Exterior view, Thermal Windows Series 700  
(Palace Apts, Tulsa OK)

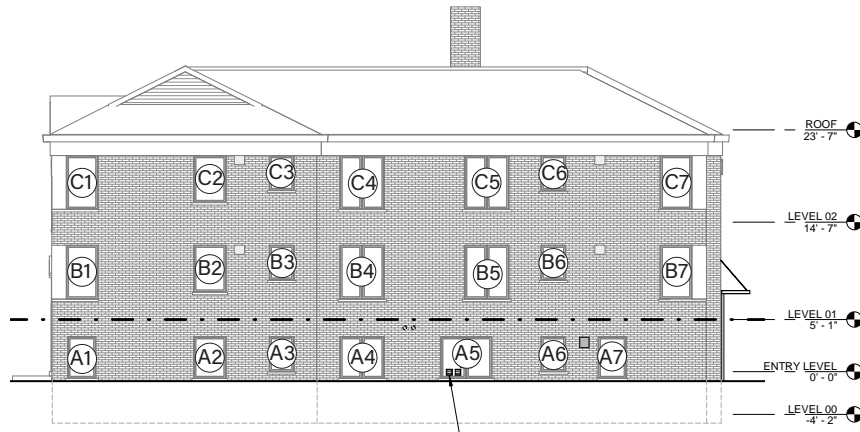


**PROPOSED JAMB**



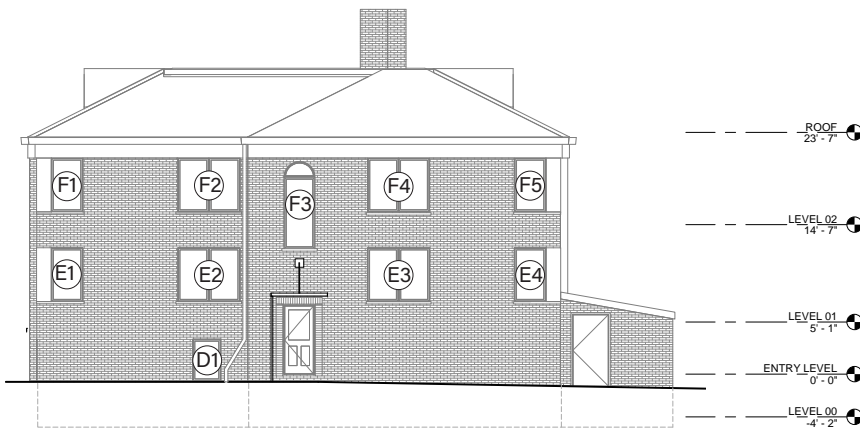
# Window Replacement

## 9710 W Outer Dr Elevations - Existing + New



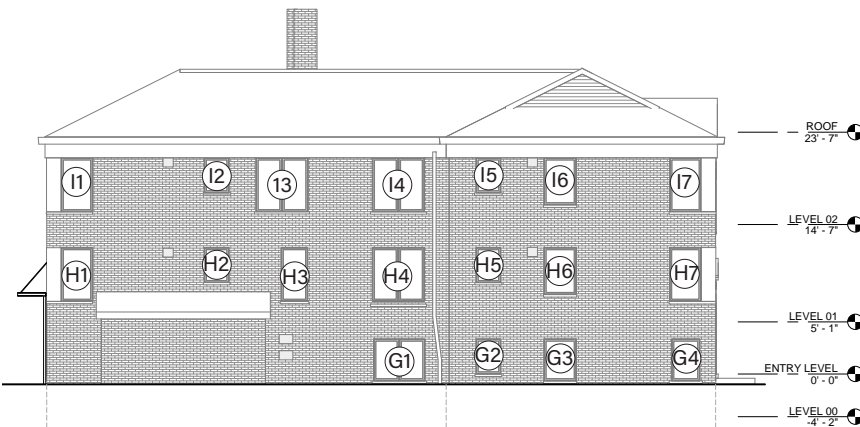
### North Elevation

- All existing wood and steel windows to be replaced
- All window locations to remain as existing
- No new window openings
- New louvered dryer vents at A5 for new W/D at Laundry
- Existing brick vents to remain & new vent added for mech.



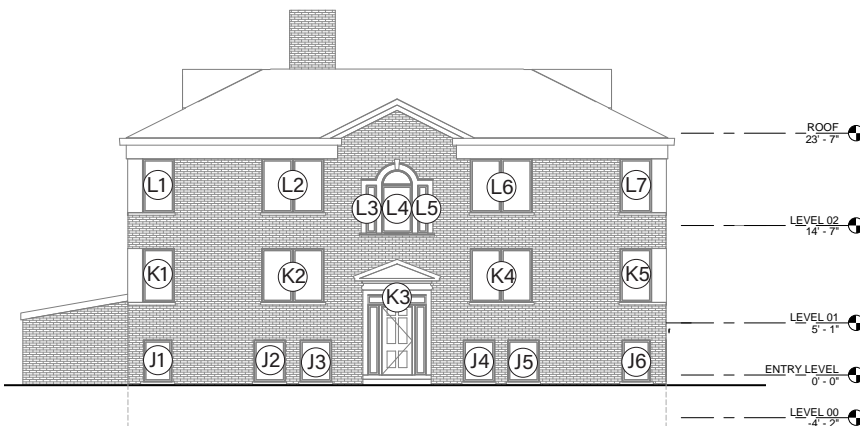
### West Elevation

- All existing wood and steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- All window locations to remain as existing
- No new window openings



### South Elevation

- All existing wood and steel windows to be replaced
- All window locations to remain as existing
- No new window openings
- Existing brick vents to remain



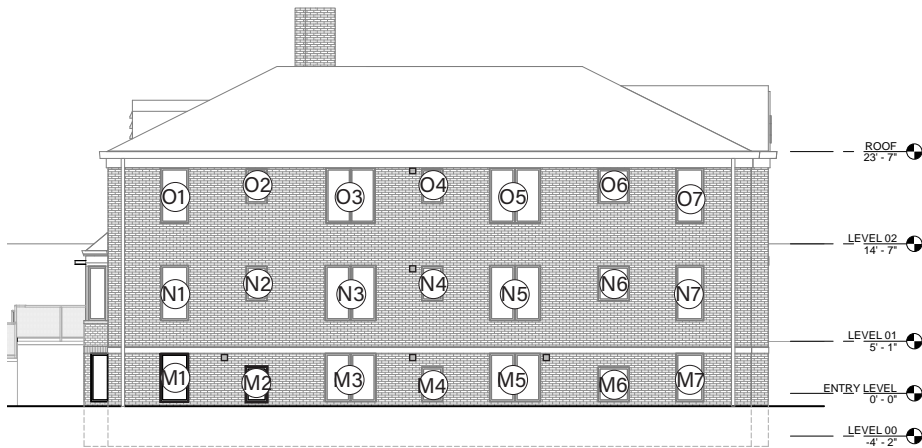
### East Elevation

- All existing wood and steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- All window locations to remain as existing
- No new window openings



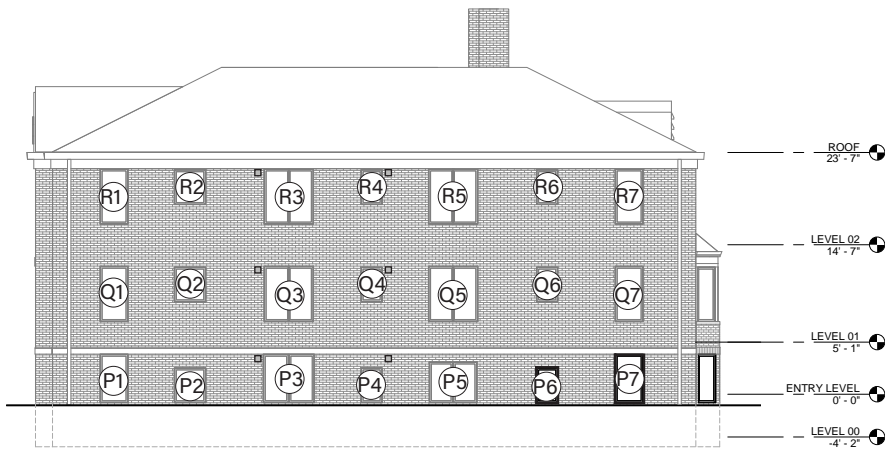
# Window Replacement

## 9730 W Outer Dr Elevations - Existing + New



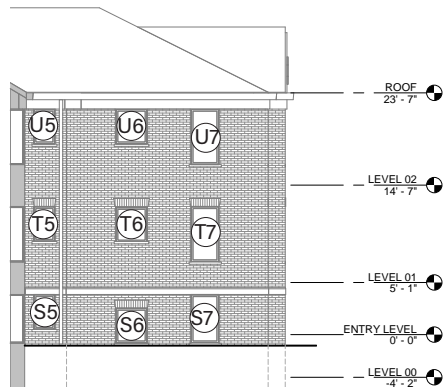
### South Elevation

- All existing steel windows to be replaced & existing window locations to remain
- New window openings at M1 & M2 at existing masonry wall (see photos, pg 3) Remove existing masonry for openings
- New brick vents installed



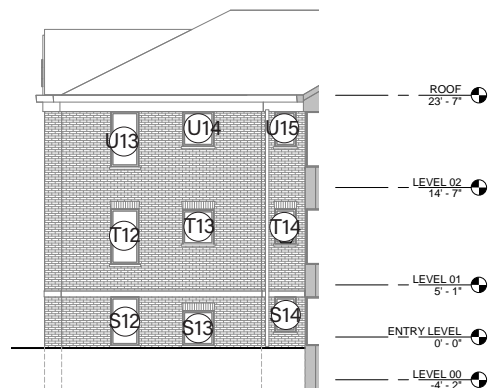
### North Elevation

- All existing steel windows to be replaced & existing window locations to remain
- New window openings at P6 & P7 at exist. masonry wall (see photos, pg 3)
- Remove existing masonry to create openings
- New brick vents installed



### South Courtyard Elevation

- All existing steel windows to be replaced & existing window locations to remain
- No new window openings



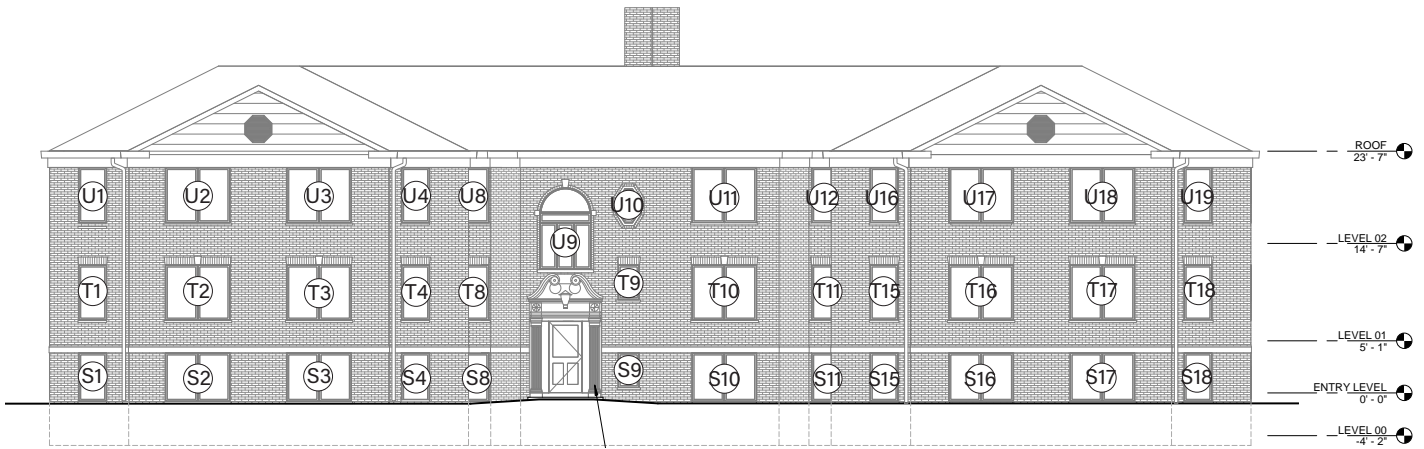
### North Courtyard Elevation

- All existing steel windows to be replaced & existing window locations to remain
- No new window openings



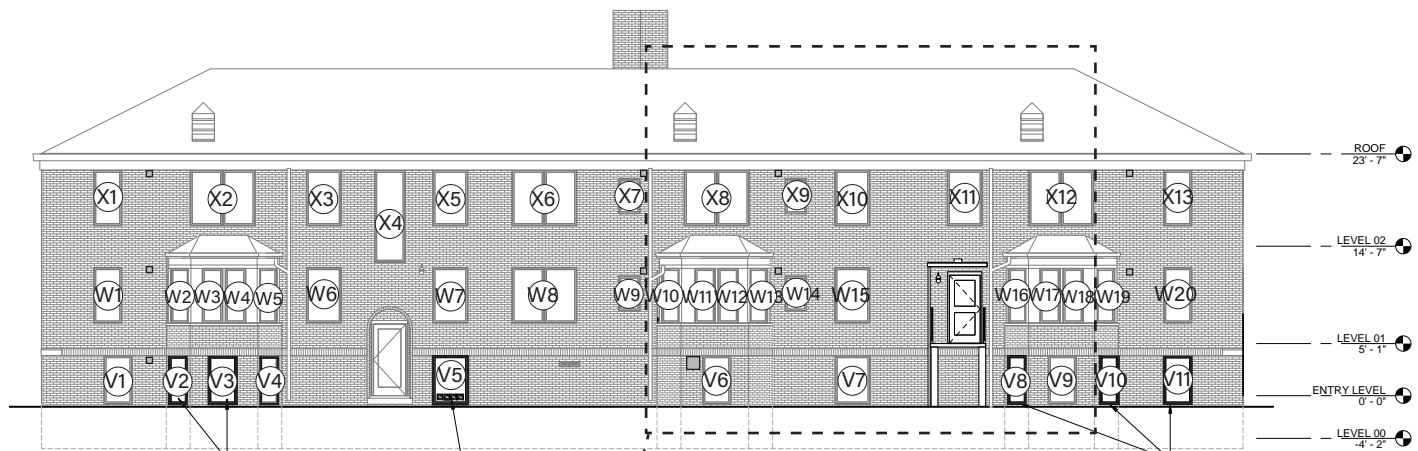
# Window Replacement

## 9730 W Outer Dr Elevations - Existing + New



### East Elevation

- All existing steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- No new window openings & existing window locations to remain



### West Elevation

- All existing steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- Existing window locations to remain as existing, excluding (2) existing windows to be demolished for new accessible entry & ramp (see Demo Elevation & pg 1)
- New window openings at V2, V3, V4, V5, V8, V10, V11 & new door at existing masonry wall (see photos, pg 1)
- Remove existing masonry for openings
- New brick vents installed



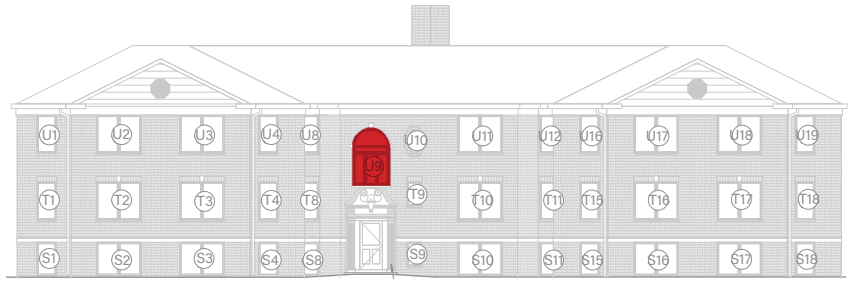
**Demolition Elevation**  
@ New Accessible Entry

See Appendix for Structural Assessment



# Window Repair

## Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



### Window U9, Type S5

- Existing Fixed Window at Common Area Stairwell to be repaired
- See Appendix for Window Schedule & Measurements
- See Window Assessment & Survey by Blackberry in appendices for further details and information





## Detailed Scope of Work

### Roof Replacement



*Level 02 ceiling, water damage    proposed asphalt shingle type*

### Shingle Roof Replacement

- Due to existing roof leaks in multiple locations and the age of the existing roof, the gray asphalt shingle roof will be replaced in kind
- See photo of one of several instances of water damage caused by roof leaks (left)
- See photo of existing roof color & materials (top)



### Gutters

- Repair existing gutters where separating and replace fascia where deteriorated (see photo of existing condition, left)
- Clean and paint

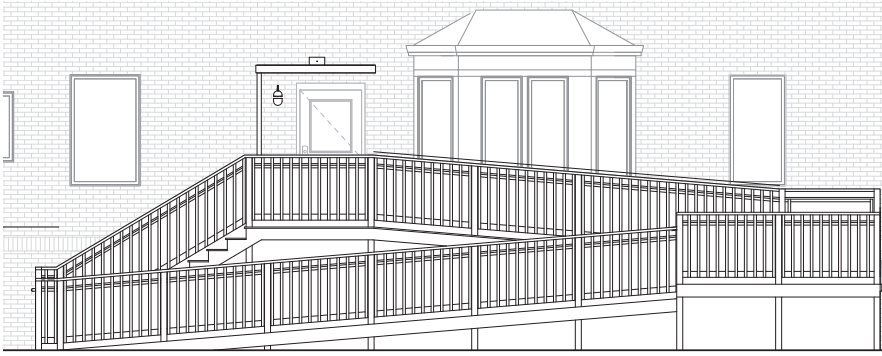


### Dormers

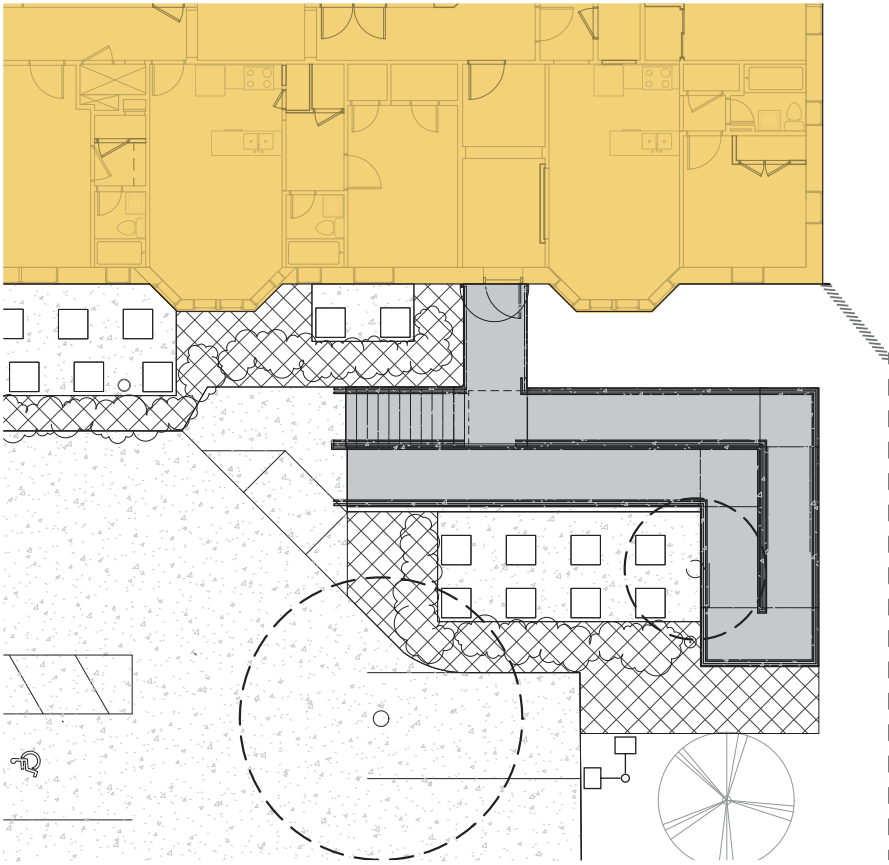
- Repair existing dormers (see photo of existing condition, left)
- Scrape and paint



## Detailed Scope of Work



*proposed elevation*



*proposed plan*

## New Accessible Ramp

- New barrier free, wood construction ramp (highlighted in gray in plan) with wood railing and stair
- Railing verticals play contrastingly off of masonry horizontals of the historic buildings



*proposed new canopy at 9730 W Outer Dr*

## Canopies

- Reconstruct existing tie back canopy at 9710 of like materials: flat metal canopy
- Construct new canopy of similar materials: flat metal canopy
- Install canopy into mortar joints
- Install & paint new aluminum downspouts at both canopies for proper drainage



## Detailed Scope of Work

### Exterior Light Fixtures



*existing conditions*



#### 9730 Front Entry

- Fixture Restoration
- Rewire and replace bulb with 3000K LED



*existing conditions*



*proposed*

#### 9710 Front Entry

- New fixture; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6"W X 7.25"H
- See appendix for cut sheet



*existing conditions*



*proposed*

#### 9730 Back Entry

- New fixture at back entry door; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Niveous LED Outdoor Flush-mount by dweLED, Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 45000 hours, White Aluminum, Mouth Blown Etched Glass, Dimensions: 6"H, 6" Diameter, Weight 2.38Lbs
- See appendix for cut sheet



# Detailed Scope of Work

## Exterior Light Fixtures



existing conditions



proposed

### 9710 Back Entry

- New fixture; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6" W X 7.25" H
- See appendix for cut sheet



proposed sketch



proposed

### New Accessible Entry

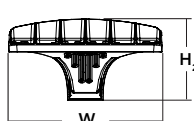
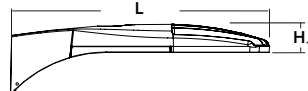
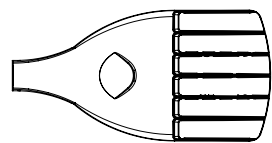
- New wall sconce at new entry
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt, 3000K LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6" W X 7.25" H
- See appendix for cut sheet



existing conditions

### Parking Lot Islands

- New LED Shoebox fixtures at perimeter of parking lot and positioned to light the ramp
- Proposed Product: D-Series Size 0 LED Area Luminaire, EPA: 0.95 sf, 16 lbs, Dimensions: 26" L x 13" W x 3" H - 7" H
- See appendix for cut sheet



proposed

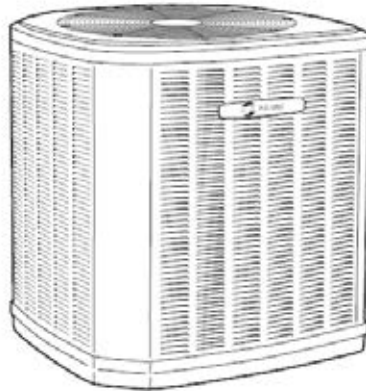


## Detailed Scope of Work

### Proposed Condensing Units, Screens, & Fences



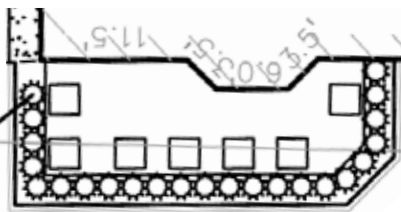
*proposed security cage*



*proposed condensing unit*



*living screen, Hicks Yew*



*proposed cond. unit plan*

### Cond. Units & Security Cages

- Proposed one new air-to-air condensing unit per residential unit; air conditioning is not existing
- ACBandit security cages (pictured, left) or similar, bolt condensing units to concrete using steel straps to discourage theft
- See pgs 9&10 for location on-site

### Living Screens

- Hicks Yew functions as living screens at perimeter of clusters of condensing units
- See pgs 9&10 for location on-site



*proposed security fence*

### New Security Fence & Screened Enclosure

Install new security fence at perimeter of parking lot and ramp, abutting existing chain link fence (neighbor). Product: Riverdale Mills, WireWall, cut to 6'H, 10.5G Steel, Black PVC Coating, Welded Wire Mesh system

Install new 6'H metal panel enclosure to screen & secure & allow ventilation to (10) condensing units at 9710: McNICHOLS Wire Mesh, Carbon Steel, Cold Rolled, Mill Finish, Woven-Lockcrimp Weave, 1/2" x 1/2" Opening (Square), 0.120" (11 Gauge) Thick Wire Diameter, 65% Open Area, Hot Dip Galvanized, welded 2x2 HSS frame



*proposed screen panel effect*

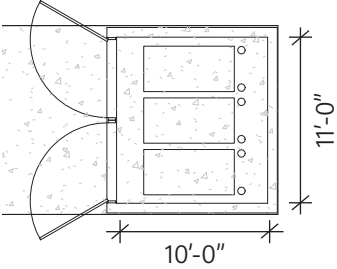
See scope of work drawing on pg 10 and Appendix for cut sheets.



## Detailed Scope of Work



proposed CMU color



proposed enclosure plan



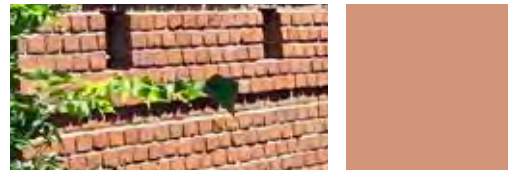
proposed gate

## New Dumpster Enclosure

- New 6'H masonry dumpster enclosure with opaque doors on 6" concrete pad to house (3) 2-yard dumpsters
- Dumpster Enclosure Gates: Ametco, Shadow 100, double swing gates, electro-forged welded steel fencing, fixed louver design, 1 31/32" X 1/16" formed main bar & 5/32" round cross bar to provide 100% direct visual screening, includes posts, frame, hinges, panels, pad-lockable slide and cane bolts, Galvanized and Powder Coated Light Gray, Overall Dimensions: 11' X 6', 3.5 lbs
- Masonry to be Fendt 8x4x16 CMU, smooth finish, color 4076 (inspired by existing stone detail of buildings) mortar to be of like color

## Exterior Paint

- Paint exterior woodwork, exterior doors, dormers, gutters, fascia, downspouts
- The selected dark blue hue enhances the buildings' presence, grounding and highlighting trim and detailing
- Color: Inkwell SW 6992



- Paint brick vents (see photo of brick color and existing recessed brick vents)
- Color: SW to match "cleaned" brick color



## General Paint Specs

Primers: SW exterior grade All Surface Enamel Latex Primer - A41W01210  
 Sherwin Williams (SW) Exterior Latex Wood Primer - B42W08141

Paint: SW Duration Exterior Acrylic Latex - K32W00251; Sheen: Satin

Surface preparation: Protect surfaces not to be painted; clean surfaces by removing dirt, existing paint, rust, and other foreign matter with rag or brush; clean steel and aluminum surfaces in accordance with SSPC SP1 (solvent cleaning). Completely dry surfaces before painting.

Application: Apply primer and paint per manufacturer's recommendations; apply one coat of primer on all unpainted surfaces and two paint finish coats on all surfaces; allow recommended dry time between coats; ensure coating is uniform and free from drips, runs, waves, brush marks or variation in color, texture, or finish.



## Detailed Scope of Work

### Brick Restoration & Cleaning

Exterior brick walls are generally in good condition: masonry is generally uncracked; mortar joints appear sound; no evidence of excessive repointing; bricks don't appear to be distressed. General cleaning of the brick is needed as well, evidenced by discoloration. The gentlest, least invasive means possible to be used to clean the existing brick. A 9' x 9' area to be tested with water and natural bristle brush cleaning first. Water or steam may be used. Extra low pressure (i.e. no more than 100 psi) to be used first. If this doesn't work, the pressure may be increased up to 400 psi. If these methods don't work, Prosoco EK Restoration Cleaner (Enviro Klean), a mild pH neutral detergent cleaner may be used. If this method doesn't work either, Prosoco Sure Klean, a mild acidic cleaner may be used, but only after successfully testing an area of brick and stone with this cleaner.



### Tuckpointing

- Tuckpointing is needed in small areas throughout the brick facades of both buildings
- Examples of areas in need of tuckpointing\_9710 W Outer Dr
- (see photos of existing conditions, left)



### Repointing

- Repointing is required at 9730 at the chimney (see photo of existing condition, left)
- Repointing is required at water damaged section of masonry at 9710 back entry (see photo of existing condition, left)
- Mortar will match existing in strength, color, and profile

### Appendix to Follow

- CUT SHEETS
- STRUCTURAL ASSESSMENT
- WINDOW ASSESSMENT, SCHEDULES & DETAILS



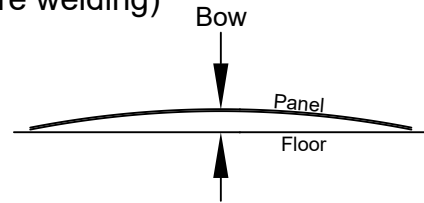




**Production Specifications:**

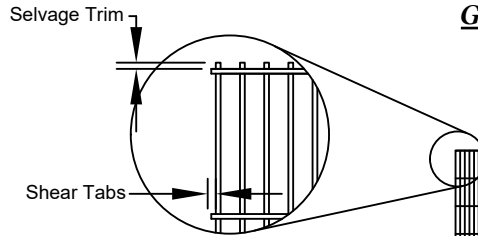
Panel dimensions and spaces expressed as center-to-center of wires.

- Core Wire: Nominal 10.5g (0.128" +/- 0.002" before welding)
- Dimensional Tolerance: +/- 1/4"
- Spacing Tolerance: +/- 1/16"
- Permissible Vertical Bow: 2" →
- Permissible Wire Straightness Deviation: 1/16"
- Selvage Trim: 0 min / 1/32" max
- Shear Tabs: 0 min / 1/8" max
- Est. weight per panel: 134.35 lbs



Customer Drawing Approval:

Name: \_\_\_\_\_ Date: \_\_\_\_\_

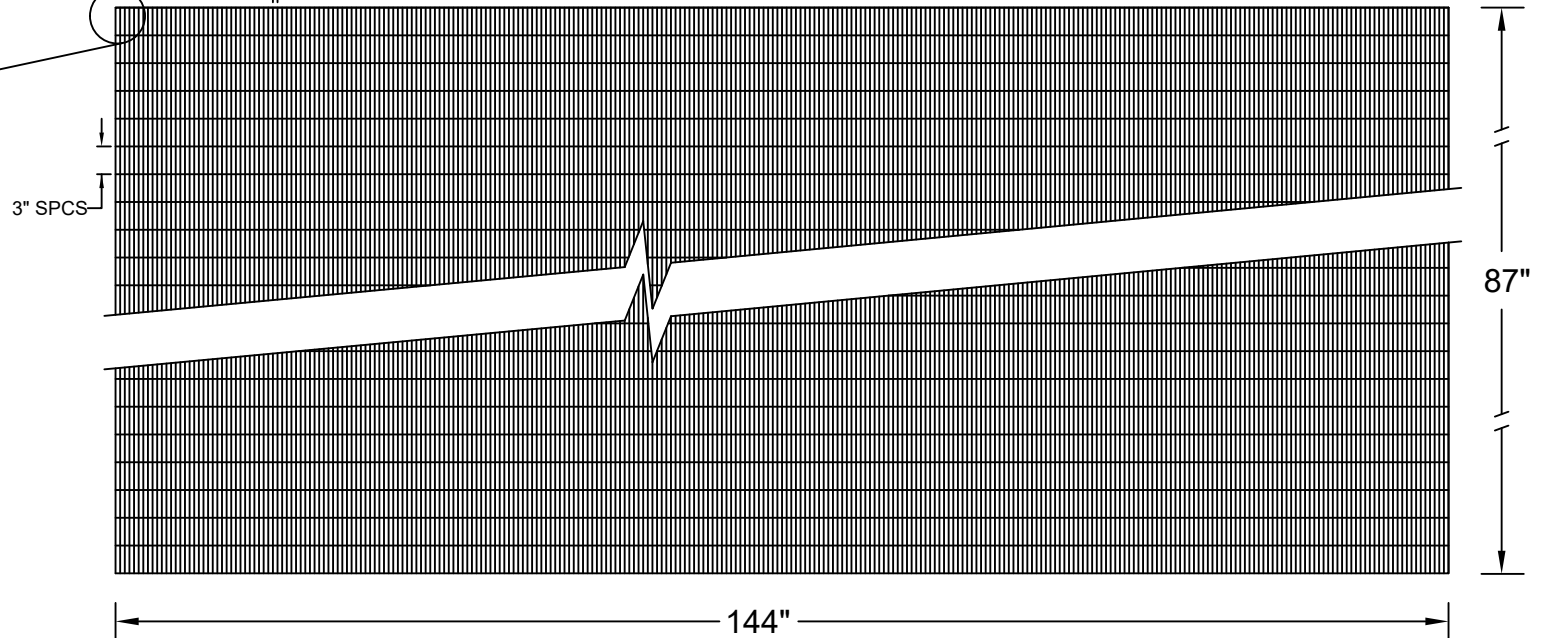


**Galvanized - Compliant to ASTM A-641**

**PVC Coating - Compliant to ASTM**

**A-974**

→ 0.5" SPCS



**IF IN DOUBT-ASK**

		LTR	REVISION		ECN	APP	DATE	
THIS DRAWING IS THE PROPERTY OF RIVERDALE MILLS CORPORATION AND CONTAINS PROPRIETARY INFORMATION PROTECTED BY COPYRIGHT AND/OR TRADE SECRET LAWS. NEITHER THIS DRAWING NOR ITS CONTENTS MAY BE DISCLOSED OR REPRODUCED BY ANY MEANS WHATSOEVER, IN WHOLE OR IN PART, WITHOUT THE PRIOR, WRITTEN CONSENT OF RIVERDALE MILLS CORP.	MATERIAL	10.5G PLAIN STEEL, GAW, BLACK PVC WELDED WIRE MESH		DRAWN JMH CHECKED	DATE 6/6/18	<b>RIVERDALE</b> RIVERDALE MILLS CORPORATION NORTHBRIDGE, MA 01534 TITLE 87" x 144" Black PVC Panel		
	CUSTOMER			APPROVED				
	FILE: P053010587012F1	DIMENSIONS SHOWN ARE AFTER PLATING OR FINISHING.		SCALE	DO NOT SCALE DWG	NTS	DWG NO.	P053010587012F1





SKU  
BVE808

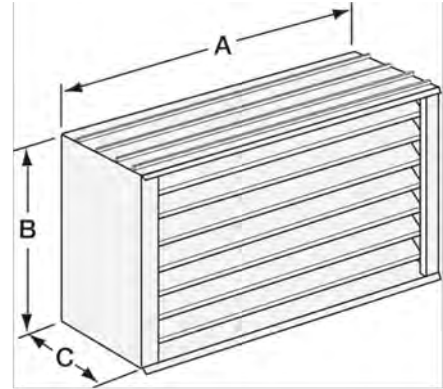
Job Name:  
Mark:  
Submitted By:  
Date: 10/18/2021

## Extruded Aluminum Brick Vent, 8 In Sq



Brick vents provide a permanent means of ventilation for crawl spaces, hung ceilings, incinerator rooms, chimney flues, foundations, pipe spaces and corridors. Extruded construction provides a quality finished appearance. A high water stop at the rear and deep overlapping blades with storm stops provide maximum resistance to rain and weather.

- Anodized aluminum construction
- Built in aluminum mesh insect screen



A	B	C
8.125 in	7.75 in	4 in

### Performance Characteristics

No Fan Curve Available.

### Construction Features

Frame Material	Heavy gauge extruded 6063T5 aluminum
Frame Gauge	0.125
Frame Type	No Flange
Blade Material	Heavy gauge extruded 6063T5 aluminum
Blade Gauge	0.125

### California Residents

**⚠ WARNING**

This product can expose you to chemicals including cadmium used in the processing of corrosion resistant metal and fasteners, which is known to the State of California to cause cancer and birth defects or other reproductive harm. For more information visit [www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov)

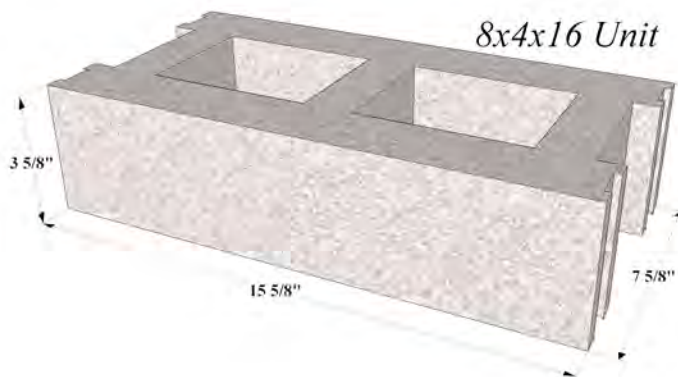
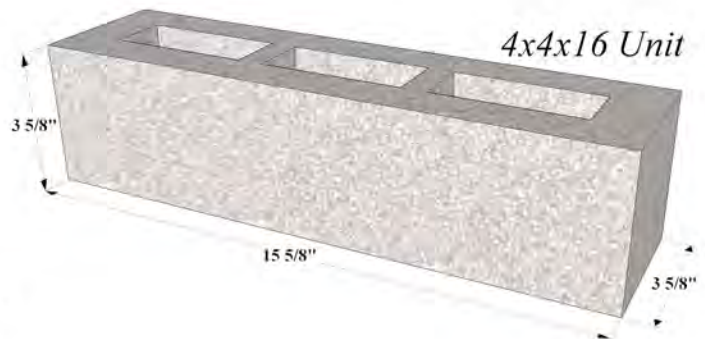


**DESIGN SPECIFICATIONS**

Smart Brick CMU's are manufactured to exceed existing ASTM specifications for compressive strength, absorption, dimensions, and aggregates. Consult your Fendt sales representative for specific information.

**SHAPES & SIZES**

Smart Brick CMU's are manufactured in a variety of thicknesses and shapes to facilitate proper masonry construction. See diagrams and listings for dimensions and available fittings.



**COLORS**

Smart Brick CMU's are manufactured in a variety of colors, including standard grey, solid colors, and blended colors. Custom colors are available where project size warrants. Color selection should be made from actual block chip/sample, and should take into account permissible shade variations that are inherent with concrete masonry products.

**WATER REPELLENCY**

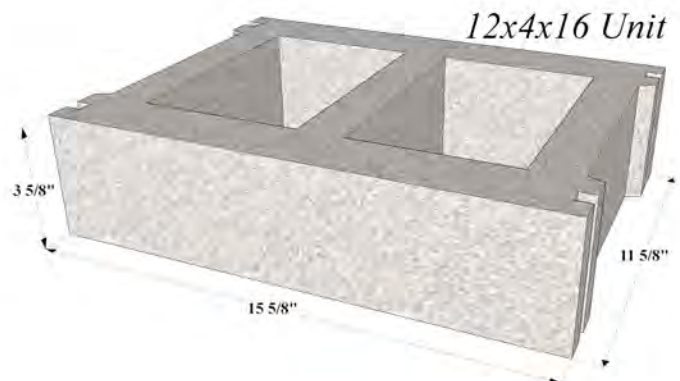
Various water repellent systems are available for concrete masonry units, including integral repellents and exterior surface-applied sealants. Contact your Fendt sales representative for more information.

**CLEANING**

All specialty concrete masonry units shall be cleaned with a mild solution of a masonry cleaner to remove normal stains and any efflorescence which may occur with any new masonry construction.

**INSULATION**

Smart Brick CMU's are available with factory-installed polystyrene inserts, or may be insulated on-site with granular-fill insulation. Contact your Fendt sales representative for more information.



**AVAILABLE SIZES**

- 4" x 4" x 8"
- 4" x 4" x 12"
- 4" x 4" x 16"
- 8" x 4" x 16"
- 12" x 4" x 16"

**FIRE RATINGS**

Fendt Builder's Supply, Inc. will provide written certification verifying the fire-rating on any unit, in compliance with the design criteria accepted by the Michigan State Fire Marshall, outlined in the Michigan Masonry Council's Tech Bulletin 1.1, Oct. 1977, "Recommended Practices for the Specification of Fire Resistance Ratings".



**FARMINGTON HILLS LOCATION**

22005 GILL RD  
 FARMINGTON HILLS, MI 48335  
 OFFICE (248) 474-3211  
 FAX (248) 474-8110



**ANN ARBOR LOCATION**

3285 W LIBERTY RD  
 ANN ARBOR, MI 48103  
 OFFICE (734) 663-4277  
 FAX (734) 663-6515



# GENERATION LIGHTING

## 8753-34: One Light Outdoor Wall Lantern



### Dimensions:

<b>Width:</b>	6"	<b>Extends:</b>	7"
<b>Height:</b>	7 1/4"	<b>Wire:</b>	6 1/2"
<b>Weight:</b>	1.1 lbs.	<b>Mounting Proc.:</b>	Center Lock-Up
		<b>Connection:</b>	Mounted To Box

### Bulbs:

1 - Medium A19 60w Max. 120v - Not included

### Features:

- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

### Material List:

1 Body - Polycarbonate - Black

### Safety Listing:

Safety Listed for Wet Locations

### Instruction Sheets:

Trilingual (English, Spanish, and French) (990W8301-875\_)

**Collection:** Outdoor Wall

Black Polycarbonate and White Glass Outdoor Lantern Globe.

Single Light Outdoor Wall Lantern with Black Polycarbonate finish and White Glass globe.

Featured in the decorative Outdoor Wall collection

1 A19 Medium 60 watt light bulb

white glass diffuser

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

**UPC #:**785652875335

**Finish:** Black (12)

### Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	White	1					6				

### Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	4 3/4	4 1/2	5 1/2		2 1/4	5

### Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	8753-34	1	785652875335	10.25	7.25	7.25	0.312	1.5	175	Yes
Master Pack	8753-34	12	10785652875332	24.25	15.5	21.25	4.622	19.45	175	Yes
NJ Pallet		180		48	40	69.25	76.944	306		No
NV Pallet		252		48	40	5	5.556	401.1		No





# D-Series Size 0 LED Area Luminaire

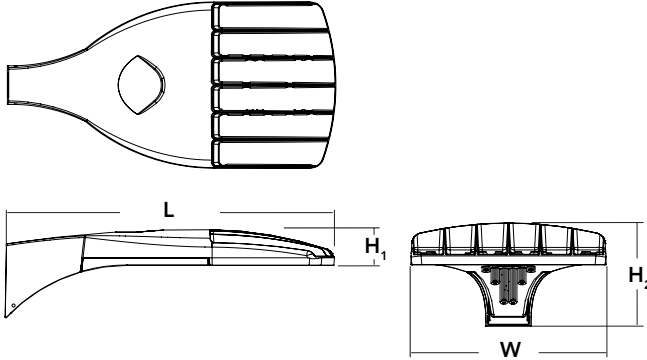


Buy American

d<sup>series</sup>

## Specifications

EPA:	0.95 ft <sup>2</sup> (.09 m <sup>2</sup> )
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height <sub>1</sub> :	3" (7.62 cm)
Height <sub>2</sub> :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE:** DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED						
Series	LEDs	Color temperature	Distribution		Voltage	Mounting
DSX0 LED	<b>Forward optics</b>	30K 3000 K	T1S Type I short (Automotive)	T5S Type V short <sup>3</sup>	MVOLT (120V-277V) <sup>5,6</sup>	<b>Shipped included</b>
	P1 P5	40K 4000 K	T2S Type II short	T5M Type V medium <sup>3</sup>	XVOLT (277V-480V) <sup>7,8,9</sup>	SPA Square pole mounting
	P2 P6	50K 5000 K	T2M Type II medium	T5W Type V wide <sup>3</sup>	120 <sup>6</sup>	RPA Round pole mounting <sup>10</sup>
	P3 P7 <sup>1</sup>		T3S Type III short	BLC Backlight control <sup>4</sup>	208 <sup>6</sup>	WBA Wall bracket <sup>3</sup>
	P4 <sup>1</sup>		T3M Type III medium	LCCO Left corner cutoff <sup>4</sup>	240 <sup>6</sup>	SPUMBA Square pole universal mounting adaptor <sup>11</sup>
	<b>Rotated optics</b>		T4M Type IV medium	RCCO Right corner cutoff <sup>4</sup>	277 <sup>6</sup>	RPUMBA Round pole universal mounting adaptor <sup>11</sup>
	P10 <sup>2</sup> P12 <sup>2</sup>		TFTM Forward throw medium		347 <sup>6</sup>	<b>Shipped separately</b>
	P11 <sup>2</sup> P13 <sup>1,2</sup>		T5VS Type V very short <sup>3</sup>		480 <sup>6</sup>	KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>12</sup>

Control options		Other options	Finish (required)
<b>Shipped installed</b>		<b>Shipped installed</b>	DDBXD Dark bronze
NLTAIR2 nLight AIR generation 2 enabled <sup>13,14</sup>	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>19,20</sup>	HS House-side shield <sup>22</sup>	DBLXD Black
PIRHN Network, high/low motion/ambient sensor <sup>15</sup>	PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>19,20</sup>	SF Single fuse (120, 277, 347V) <sup>6</sup>	DNAXD Natural aluminum
PER NEMA twist-lock receptacle only (control ordered separate) <sup>16</sup>	PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>19,20</sup>	DF Double fuse (208, 240, 480V) <sup>6</sup>	DWHXD White
PER5 Five-pin receptacle only (control ordered separate) <sup>16,17</sup>	PIRH1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>19,20</sup>	L90 Left rotated optics <sup>2</sup>	DDBTXD Textured dark bronze
PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) <sup>16,17</sup>	FAO Field adjustable output <sup>21</sup>	R90 Right rotated optics <sup>2</sup>	DBLBXD Textured black
DMG 0-10V dimming extend out back of housing for external control (control ordered separate) <sup>18</sup>		DDL Diffused drop lens <sup>22</sup>	DNATXD Textured natural aluminum
		HA 50°C ambient operations <sup>1</sup>	DWHGXD Textured white
		BAA Buy America(n) Act Compliant	
		<b>Shipped separately</b>	
		BS Bird spikes <sup>23</sup>	
		EGS External glare shield	





## FEATURES & SPECIFICATIONS

### INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft<sup>2</sup>) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

### nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

### LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/support/customer-support/terms-and-conditions](http://www.acuitybrands.com/support/customer-support/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# Niveous LED Outdoor Flushmount/Wall Sconce

By dweLED

Niveous LED Outdoor Flushmount/Wall Sconce

By dweLED

## Product Options

**Size:** Small , Medium , Large

**Color Temperature:** 2700 , 3000 , 3500

## Details

- Can be installed as a ceiling fixture or a wall sconce
- Aluminum canopy construction
- Rated for use in closets
- No transformer required
- Designed in 2016
- Finish: White
- Material: Aluminum
- Shade Material: Mouth Blown Etched Glass
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100 - 10%
- Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

## Dimensions

Small Option Fixture: Height 6", Diameter 6", Weight 2.38Lbs

Medium Option Fixture: Height 9", Diameter 9", Weight 4.89Lbs, 5.07Lbs

Large Option Fixture: Height 12.75", Diameter 12", Weight 8.22Lbs

## Lighting

- Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 2700K Lifespan: 45000 hours
- Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 45000 hours
- Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 45000 hours
- Medium Option: 18 Watt (1600 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 2700K Lifespan: 45000 hours
- Medium Option: 18 Watt (1600 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 45000 hours
- Medium Option: 18 Watt (1600 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 45000 hours
- Large Option: 24 Watt (2229 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 45000 hours

## Additional Details

**Product URL:**

<https://www.lumens.com/niveous-led-outdoor-flushmount-wall-sconce-by-dweled-WACP122458.html>

**Rating:** ETL Listed Wet

**Product ID:** WACP122458



**Notes:**

**Prepared by:**

**Prepared for:**

**Project:**

**Room:**

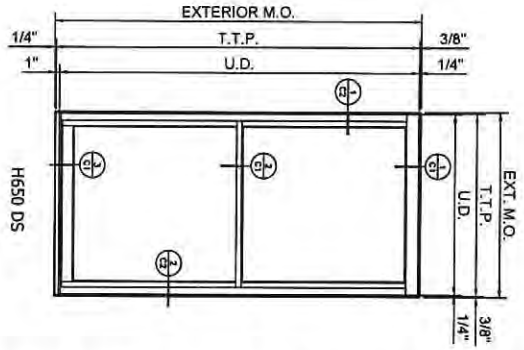
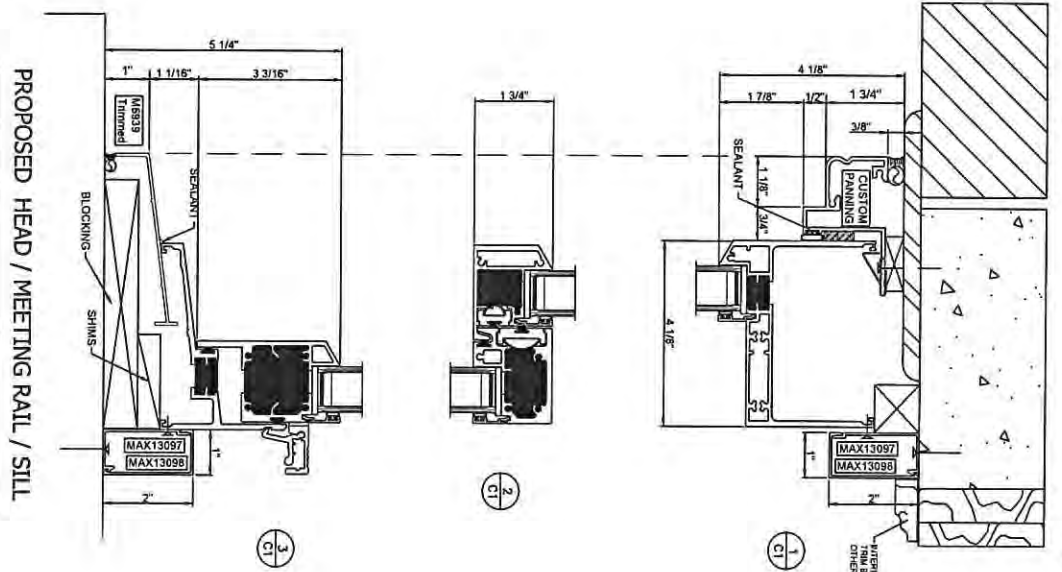
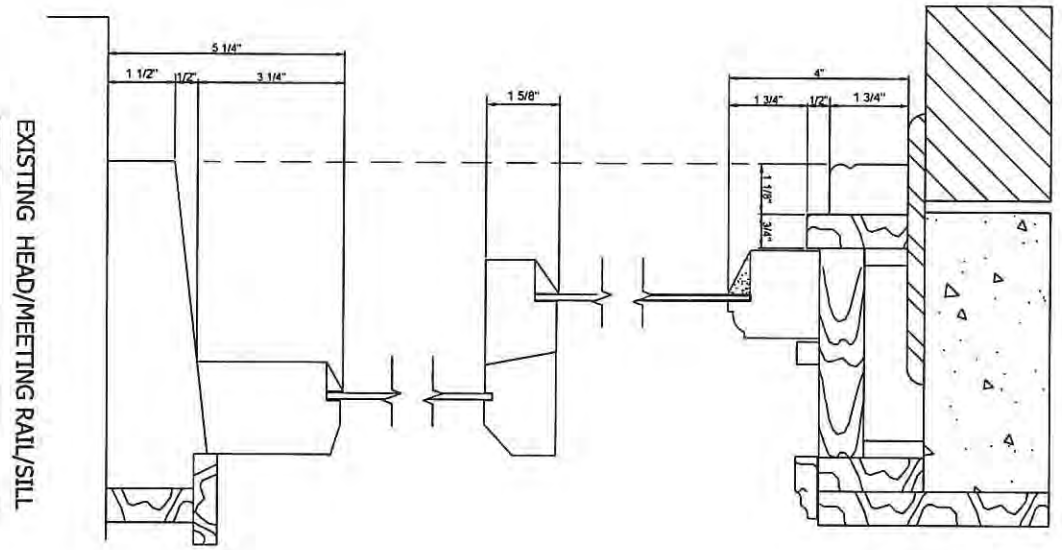
**Placement:**

**Approval:**





**EXTERIOR**

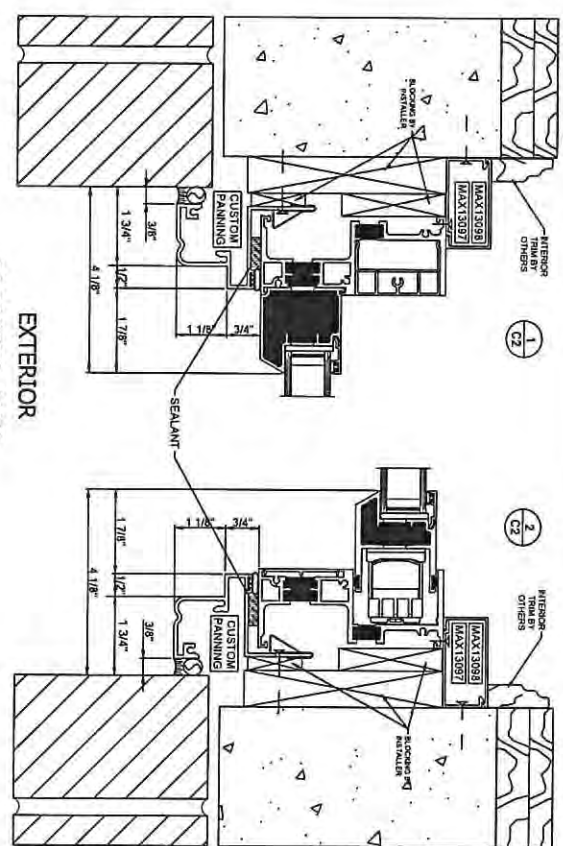


INSTALLER AND/OR OWNER MUST VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WINDOW FRAME AND SILL. ALL DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WINDOW FRAME AND SILL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE WINDOW FRAME AND SILL.

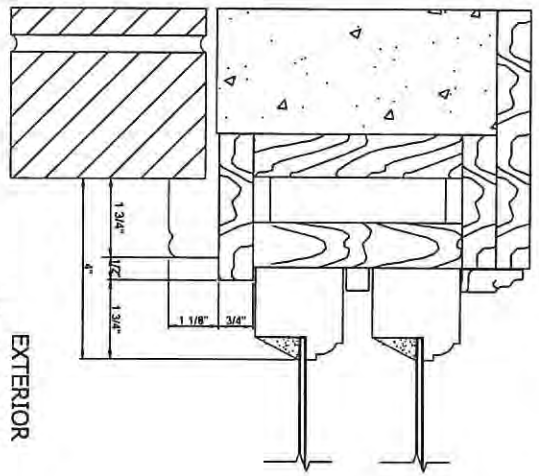
**NOTICE:**  
QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.

<p>PHONE (573)-744-5211 FAX (573)-744-5586 COMMERCIAL FAX (573)-744-5822 aen@quakerwindows.com</p>	<p>Drawn By: <b>DG</b> Checked By: <b>AGN</b></p>	<p>Scale: <b>3/8"=1"</b> Sheet #: <b>C1</b></p>	<p>Description: <b>CUT DETAILS</b></p> <p>QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, &amp; INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.</p>	<p>Project Name: <b>OUTER DRIVE COMPARISONS 9710 - 9730</b></p>

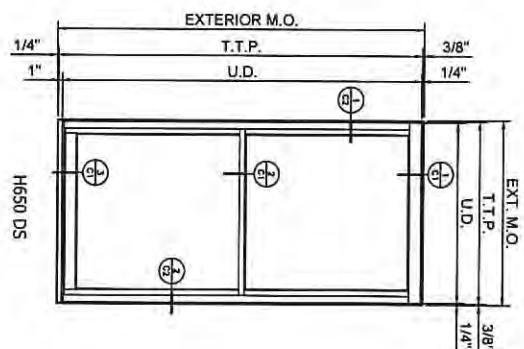




EXTERIOR  
PROPOSED JAMB



EXTERIOR  
EXISTING JAMB



**NOTICE:**  
QUAKER DOES NOT SHIP ANY PARTS, SHIMS, BRACKETS, OR SEALANTS, UNLESS OTHERWISE NOTED.  
**VERIFY INSTALLATION**  
VERIFY WALL DETAILS  
SEALANT INSTALLMENT ON EXCEEDS  
ASTM SPECIFICATIONS  
PROVIDE ADEQUATE BLOCKING TO  
SUPPORT THE SILL OF THE WINDOW  
MAKING FLANGES AND DRIP CAPS  
INTEGRAL OR APPLIED SO NOT  
TAKEN THE PLACE OF WINDOW  
FLANGES OR DRIP CAPS  
FLANGES AND DRIP CAPS  
MAY BE USED AND SEALS WITH  
MAKING FLANGES AND DRIP CAPS  
FOR PROTECTION AGAINST WATER  
AND AIR INTRUSION AROUND THE  
WINDOW FRAME  
SEALANT IS NOT TO BE APPLIED TO  
PROPERTY DAMAGE

<p>PHONE (573)-744-5211 FAX (573)-744-5566 COMMERCIAL FAX (573)-744-5822 abcuener@quakerwindows.com</p>	<p>Scale: 3/8"=1" Sheet # C2</p>		<p>DESCRIPTION: <b>CUT DETAILS</b></p> <p>QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, &amp; INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.</p>	<p>Project Name: <b>OUTER DRIVE COMPARISONS 9710 - 9730</b></p>
	<p>Drawn By: DG Checked By: AGN</p>	<p>504 Highway 63 South Freeburg, MO 65035</p>		



# Series 700 Double Hung

CSI Division 08 51 13 - Aluminum Windows

12805 E. 31st St.  
Tulsa, OK 74146  
Phone: (800) 259-7580  
Fax: (918) 665-2197

## Style • Quality • Performance

### Standard Features

- 3 1/4" frame depths available
- 14 standard powder coat colors
- Full range of Anodized and AAMA 2605 finishes available
- Lock-out tilt latches
- Operable sashes tilts in for easy cleaning
- Sealed 7/8" insulated glass for optimum thermal efficiency
- Extruded screen frame
- Carbon Steel spiral sash balances
- High-density pile weatherstripping with mylar fin
- Center camp locks plus hidden security locks

### Performance

- AAMA Rating: CW-PG-30 Size: 56x91
- Air Infiltration (CFM): 0.16
- Water Resistance (PSF): 6.06
- Structural (PSF): 60.15
- STC range: 30-34
- \*U-Factor: .49 / .41
- \*SHGC: .28 / .26
- \*VT: .51 / .47
- CRF: 59 / 56

\*NFRC simulation results from certified testing labs.  
Variety of glazing combinations available.



**The Palace Apartments**  
Tulsa, OK  
Bone White Powder Coat



**Albertville High School**  
Albertville, AL  
Bone White Powder Coat



**Bennett Hall**  
Stillwater, OK  
Creme Powder Coat