

STAFF REPORT 10-13-2021 REGULAR MEETING

PREPARED BY: A. PHILLIPS

APPLICATION NUMBER: 21-7527

ADDRESS: 1441 BROOKLYN STREET (AKA KAUL GLOVE BUILDING)

HISTORIC DISTRICT: CORKTOWN

APPLICANT: JOHN P. BIGGAR, INTEGRITY BUILDING GROUP

PROPERTY OWNER: AMELIA ZAMIR, METHOD DEVELOPMENT

DATE OF PROVISIONALLY COMPLETE APPLICATION: 9-20-2021

DATE OF STAFF SITE VISIT: 9-30-2021

SCOPE: REVISION TO PREVIOUSLY APPROVED PROPOSAL FOR GENERAL REHABILITATION INCLUDING WINDOW AND DOOR REPLACEMENT

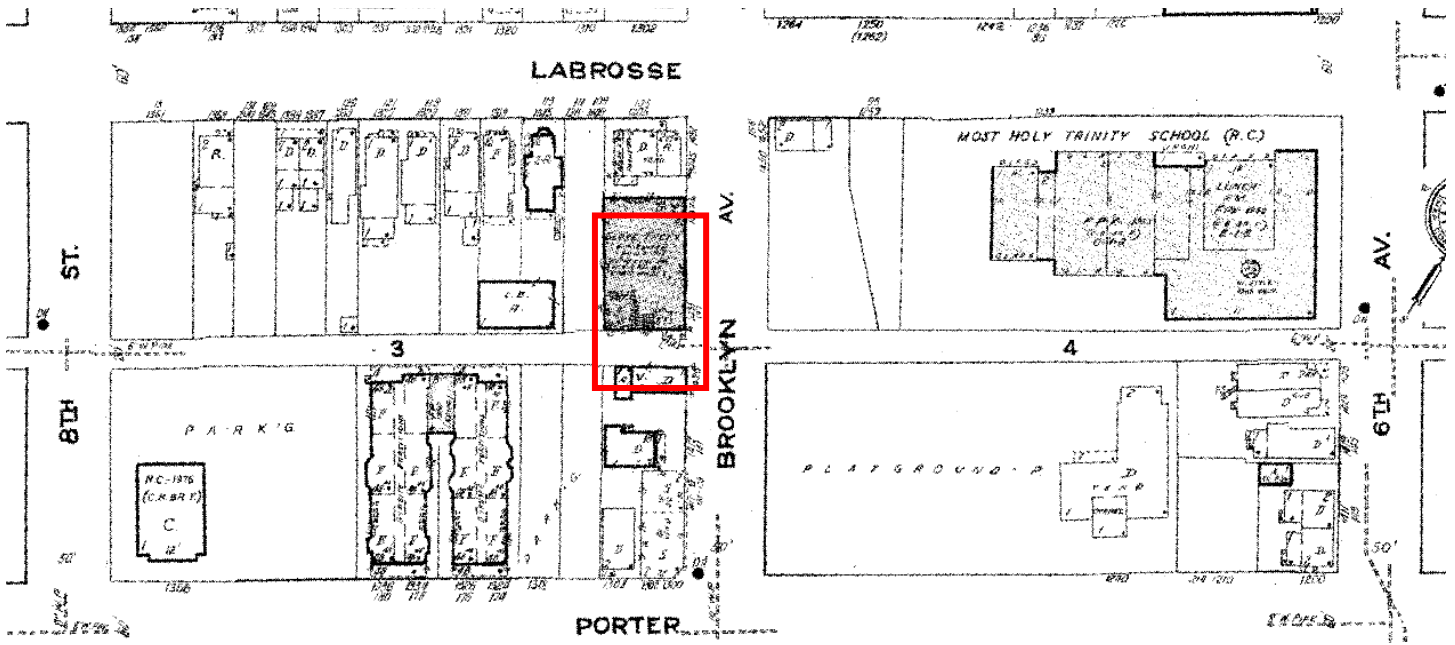
Note: this staff report was revised on 10/12/21 at 12:15 to reflect the correction that what is referenced as a new stair tower in the report is an existing hoistway and elevator machine room. Any reference to a new stair tower has been ~~struck out~~. This correction is visible on page 3 and page 6.

EXISTING CONDITIONS

The building located at 1441 Brooklyn Street is a 4-story commercial structure originally constructed as a factory for the Robert Keller Ink Company in 1917. The building later served as a factory for the Kaul Glove Company. The simple rectangular massing is constructed of a cast-in-place concrete structural frame supported by two-way structural concrete slab and columns. The exterior walls are constructed of masonry and the building is topped with a parapet wall, a simple cornice and a flat roof. Originally, the concrete frame featured large windows spanning the structural bays, however, at some point in the building's history those large openings were infilled with masonry and one small window per bay. It cannot be confirmed whether the infill happened before or after the designation of the district. The building is currently painted a light gray color, however, it is unknown as to whether the building was originally painted. A mural is located on the east elevation facing Brooklyn Street.



1441 Brooklyn. View from Brooklyn Street looking northwest. Photo taken by HDC staff, September 30, 2021.



Sanborn map of vicinity, post-1951.



East elevation and portion of north elevation.



South (alley) and west elevation.



West elevation and portion of north elevation.



North elevation

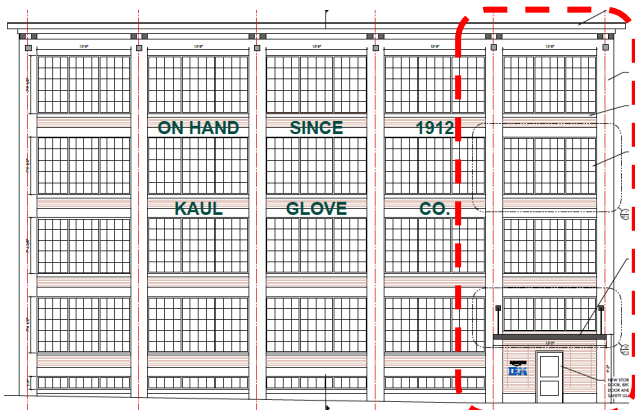
PROJECT DESCRIPTION

The applicant initially presented the general rehabilitation (including window replacement) to the Commission at the 7/8/2020 regular meeting. The application was approved with a few conditions related to the cleaning and painting of the masonry. See previous application and decision letter on the HDC website [here](#).

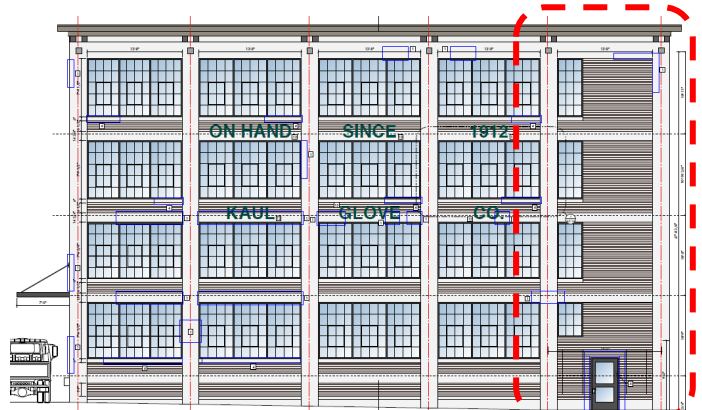
The applicant has revised the window proposal that was originally approved in 2020 and in the **current** application is seeking the Commission's approval for the proposed revisions to the window configurations and the revised window replacement product from what was originally approved. See the attached application materials for details.

STAFF OBSERVATIONS & RESEARCH

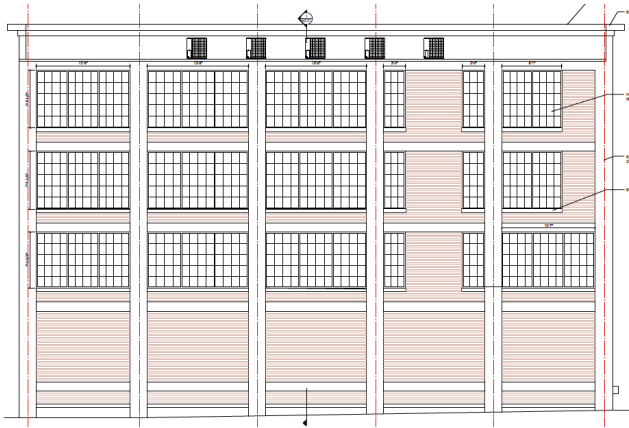
- Corktown Historic District was designated in 1984.
- Replacement window product has been revised from a Tubelite aluminum storefront system (color: anodized brown) to a Seal Craft custom aluminum window system (color: black) which includes portions of the larger window to operate, similar to historic steel windows. See additional details below and in the attached application documents.
- In addition to the revisions in window configuration/size and window product being proposed, staff observed the following additional modifications in the revised elevation drawings:
 - **East Elevation (Brooklyn Street)**
 - Removal of proposed awning over main entrance at northernmost bay
 - Addition of awning at rear (south) of building
 - ~~Lack of coordination across all elevations—the revised south elevation shows a new stair tower extending beyond the parapet line, however, none of the other elevations show the stair tower.~~
 - ****Note** – the revised configuration/size of all windows in the northernmost bay (see area circled in red dashed line below) is concerning to staff as the revised proportions are inappropriate for the primary façade of the building. The structural expression of the concrete frame and large apertures within the concrete frame is an important and distinctive character-defining feature of this building. It is staff's opinion that the revision to the proportions of the windows from what was approved in 2020 is inappropriate as it doesn't meet the Secretary of the Interior's Standards for Rehabilitation, in that it alters the defining characteristics of the building and does not retain the historic character of the property.
 - **East Elevation (Brooklyn Street)**
 - ~~Stair tower not shown~~
 - **North Elevation**
 - Removal of proposed awning over main entrance
 - ~~Stair tower not shown~~
 - **South Elevation (Alley)**
 - ~~Stair tower not shown~~
 - Addition of awning at eastern half of façade, over existing loading dock area
 - Revisions to door configurations at easternmost bay (existing loading dock area)
 - Two (2) opaque roll-up steel doors at western side approved in 2020 revised to roll-up doors incorporating glass panels.



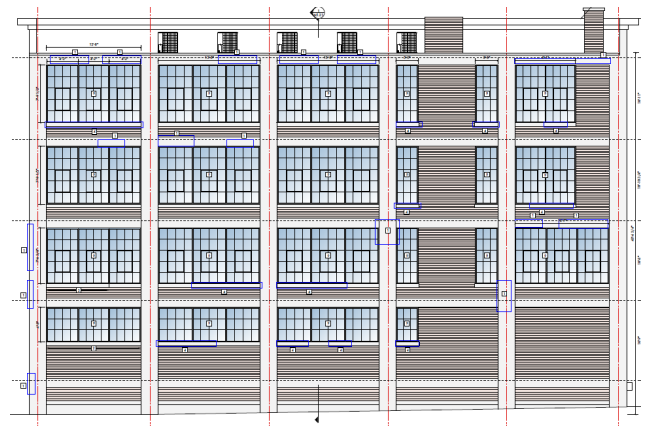
East Elevation (Brooklyn Street) approved in 2020.



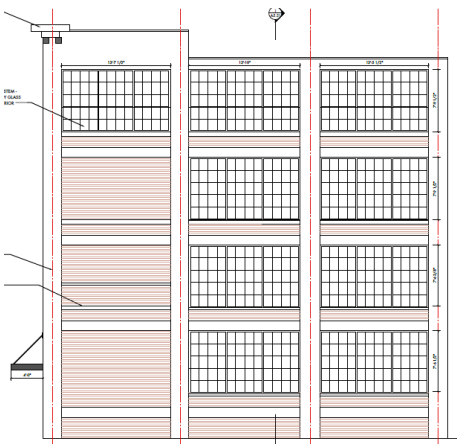
Current revision to elevation as part of current application.



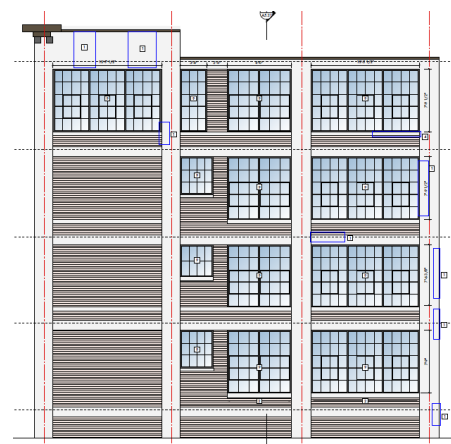
West Elevation approved in 2020.



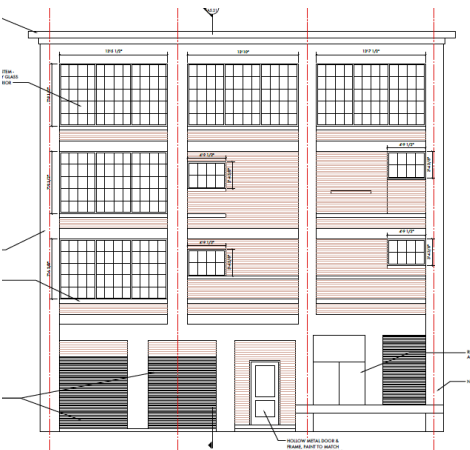
Current revision to elevation as part of current application.



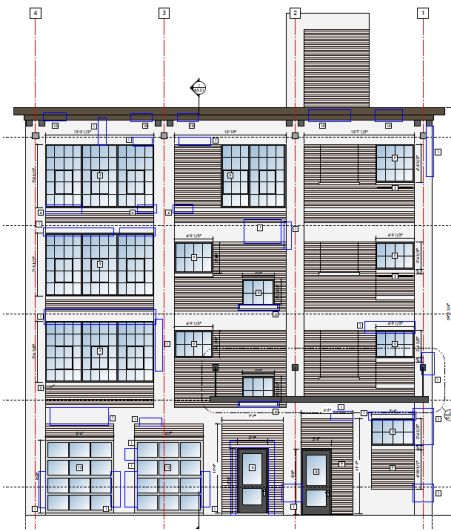
North Elevation approved in 2020.



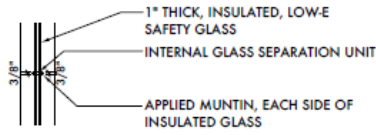
Current revision to elevation as part of current application.



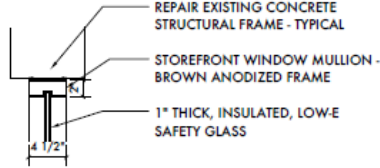
South Elevation (Alley) approved in 2020.



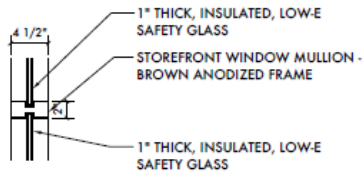
Current revision to elevation as part of current application.



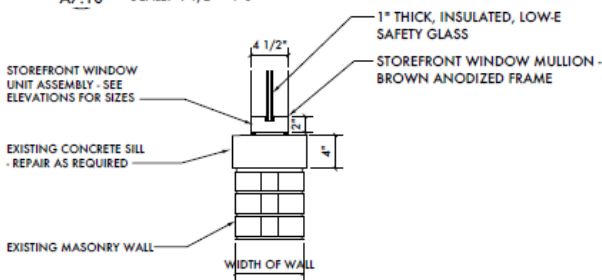
5 **DETAIL AT WINDOW JAMB/HEAD**
A7.10 SCALE: 1 1/2" = 1'-0"



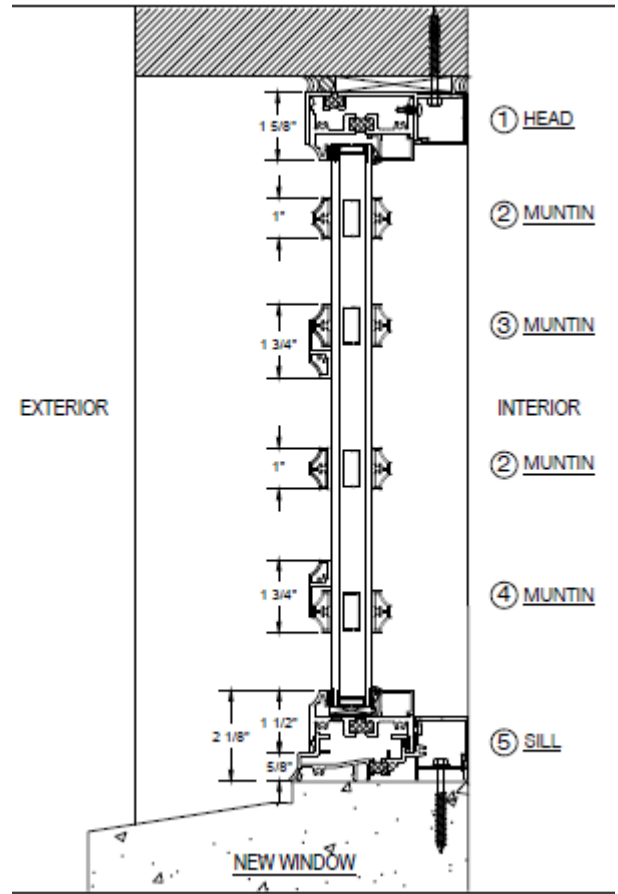
4 **DETAIL AT WINDOW JAMB/HEAD**
A7.10 SCALE: 1 1/2" = 1'-0"



3 **DETAIL AT WINDOW INTERMEDIATE MULLION**
A7.10 SCALE: 1 1/2" = 1'-0"

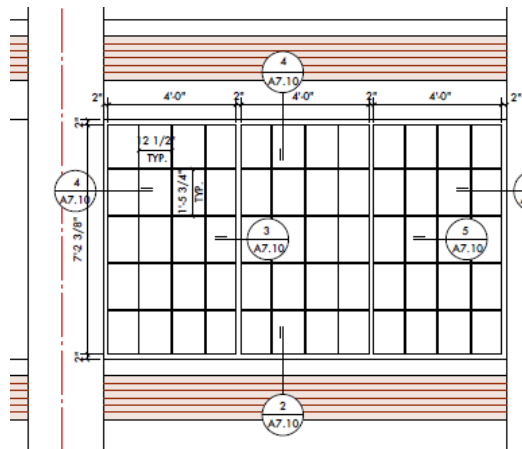


2 **DETAIL AT WINDOW BASE**
A7.10 SCALE: 1 1/2" = 1'-0"



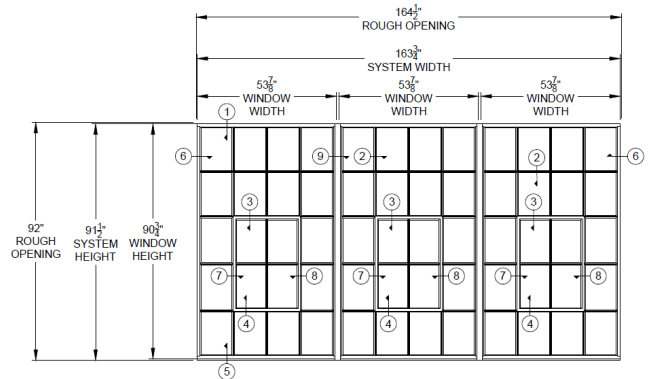
Window detail approved in 2020.

Current revision to window proposal as part of current application.



1 **ENLARGED DETAIL AT TYPICAL WINDOW**
A7.10 SCALE: 1/2" = 1'-0"

Window detail approved in 2020.



Current revision to window proposal as part of current application.

ISSUES

- **East Elevation (Brooklyn Street)**
 - Staff finds that the proposed revised configuration and size of all windows in the northernmost bay is inappropriate for the historic property, its site and setting as it alters the structural expression of the primary façade which characterizes the property and is not compatible with the architectural features of the building.
 - ~~The location of the proposed stair tower is inappropriate as its visibility at the primary façade is not compatible as it doesn't protect or preserve the historic integrity of the property and its environment.~~
- **West Elevation**
 - No issues
- **North Elevation**
 - No issues
- **South Elevation (Alley)**
 - No issues

RECOMMENDATION

Section 21-2-78, Determinations of Historic District Commission (Revised window size and configuration at northernmost bay of east elevation ~~and addition of stair tower at location proposed~~)

It is staff's opinion that the revised proposal for the windows at the northernmost bay of the east façade ~~and the addition of a stair tower~~, as proposed, alters features which characterize the property and is inappropriate with respect to the character of the property and its environment. Staff therefore recommends that the Commission issue a Denial for the proposed work because it does not meet the Secretary of the Interior's Standards for Rehabilitation, especially Standards:

(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Section 21-2-78, Determinations of Historic District Commission (Revised window size and configuration, revised replacement window product, and all revisions other than the window size/configuration of the northernmost bay of the east façade ~~and the addition of the stair tower~~)

It is staff's opinion that the revised proposal for the window size and configuration, the revised window size and configuration, the revised replacement window product, and all other revisions other than the window size and configuration at the northernmost bay of the east façade ~~and the addition of the stair tower~~, as proposed should qualify for a Certificate of Appropriateness. Staff recommends that the Commission approve a COA for the proposed application, as it meets the Secretary of the Interior's Standards and the Corktown Elements of Design.

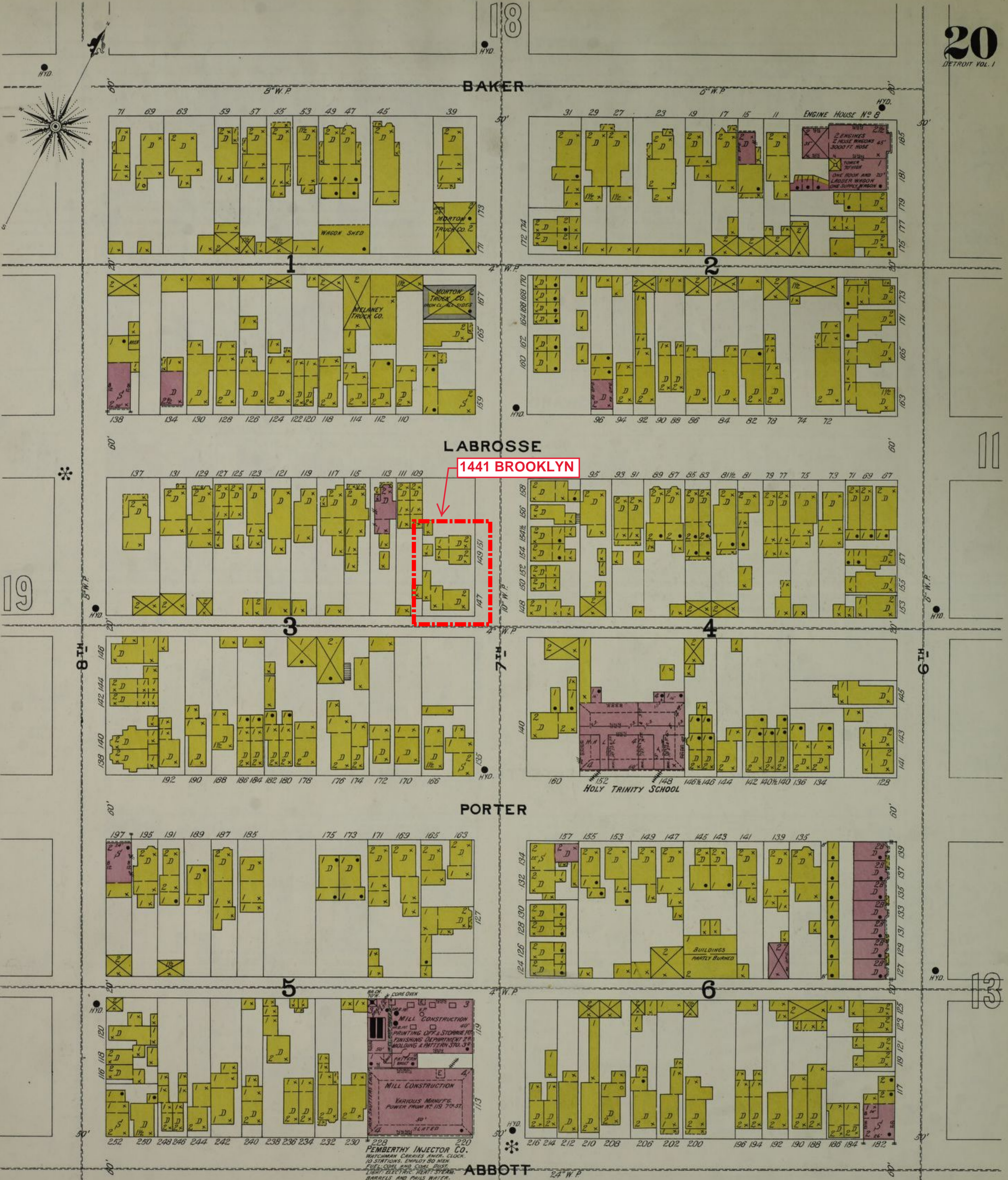
BAKER

LABROSSE

1441 BROOKLYN

PORTER

ABBOTT



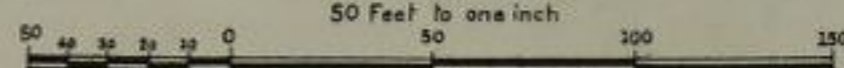
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11

13

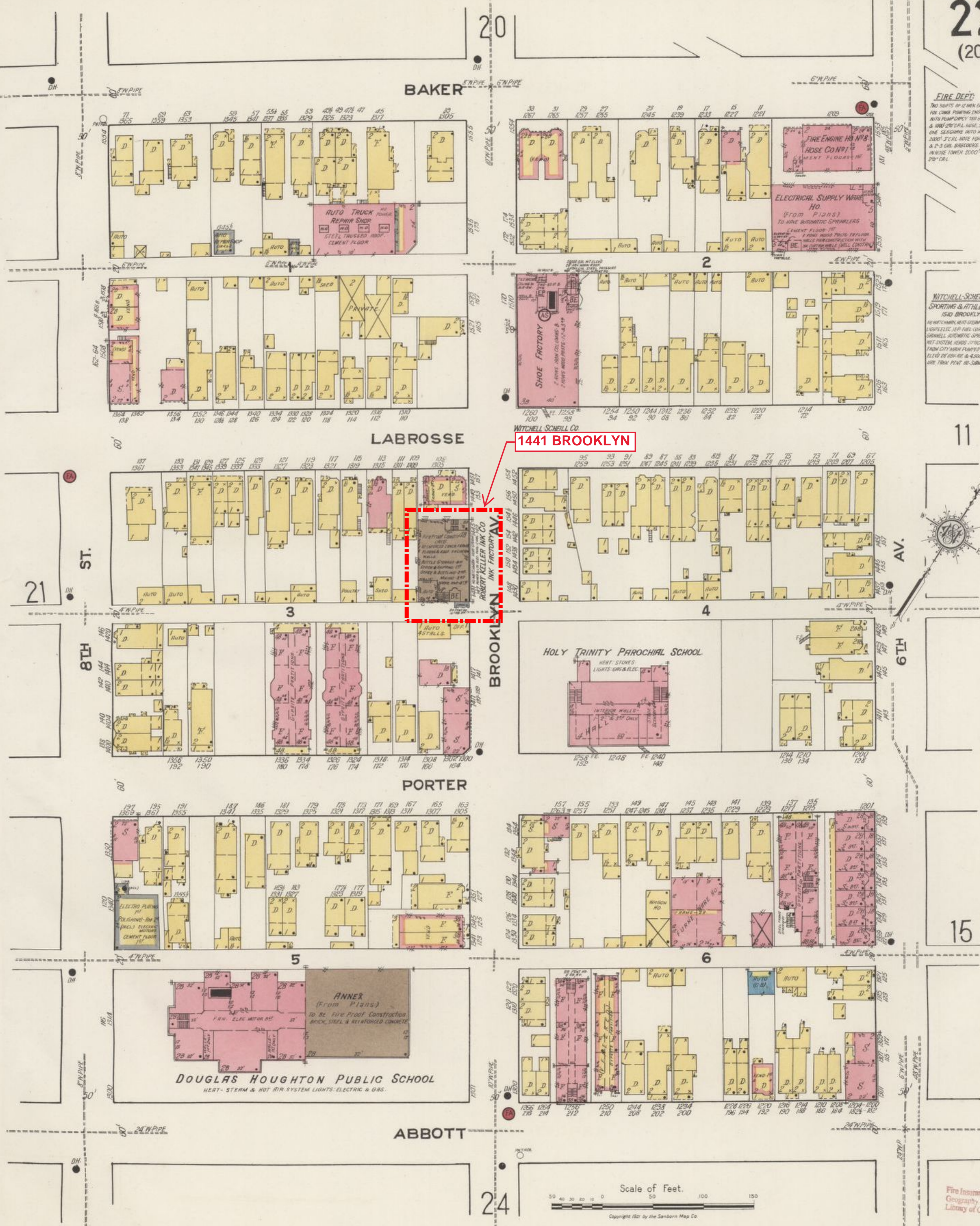
Scale of Map:

50 Feet to one inch

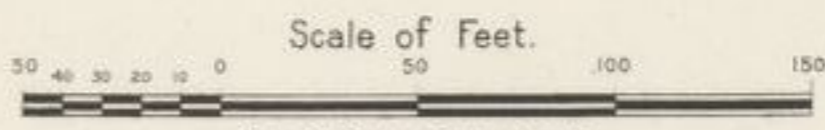


FIRE DEPT.
TWO SHIFTS OF MEN EACH ONE ARRIVES FOR COMB. PUMPING ENG. & HOSE TRUCK WITH PUMP CAPACITY 150 GALS. PER MINUTE & 1000' 2 1/2" C.I. HOSE, 2-5 GALS. BARRELS; ONE 50 GPM. AUTO HOSE TRUCK WITH 2000' 3" C.I. HOSE FOR FIRE BOAT LINE & 2-5 GALS. BARRELS; ADDITIONAL HOSE IN HOUSE WHEN 2000' 3" C.I. & 4000' 2 1/2" C.I.

WITCHELL-SCHILL CO. MFRS. SPORTING & ATHLETIC FOOTWEAR 1510 BROOKLYN AV.
NO WITCHELL HEAT-STEAM POWER-SEMI-ALUM. LIGHTS ELEC. JEP. FUEL COIL-CITY WATER GRINNELL AUTOMATIC SPRINKLER-DISH-WET SYSTEM HEADS-STRIPPED AND SUPPLY FROM CITY MAIN PUMPED TO TOWER ON W. FLOOR OF BLDG. AT 4-4500 ONE STEEL PRESSURE TANK PAINT IN SUB-BAS. STEAMER COOK



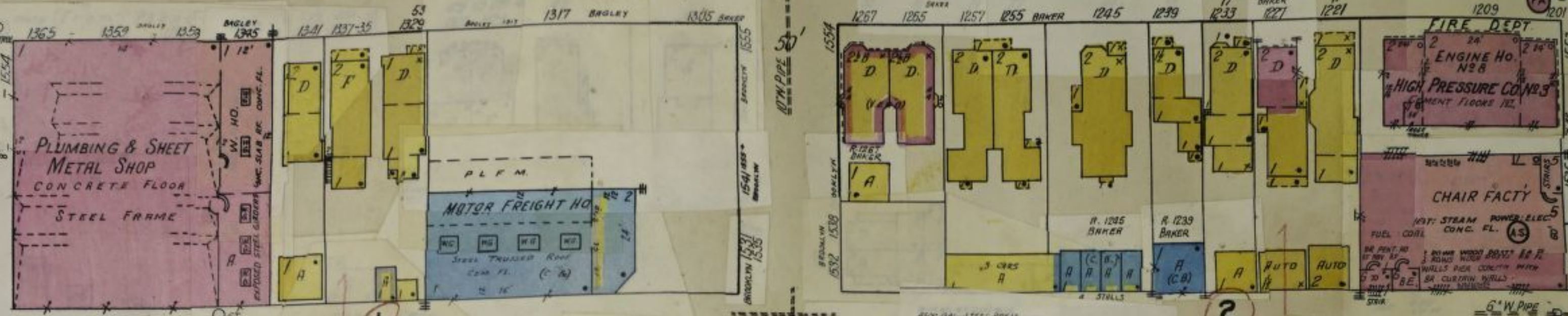
1441 BROOKLYN



Copyright 1921 by the Sanborn Map Co.

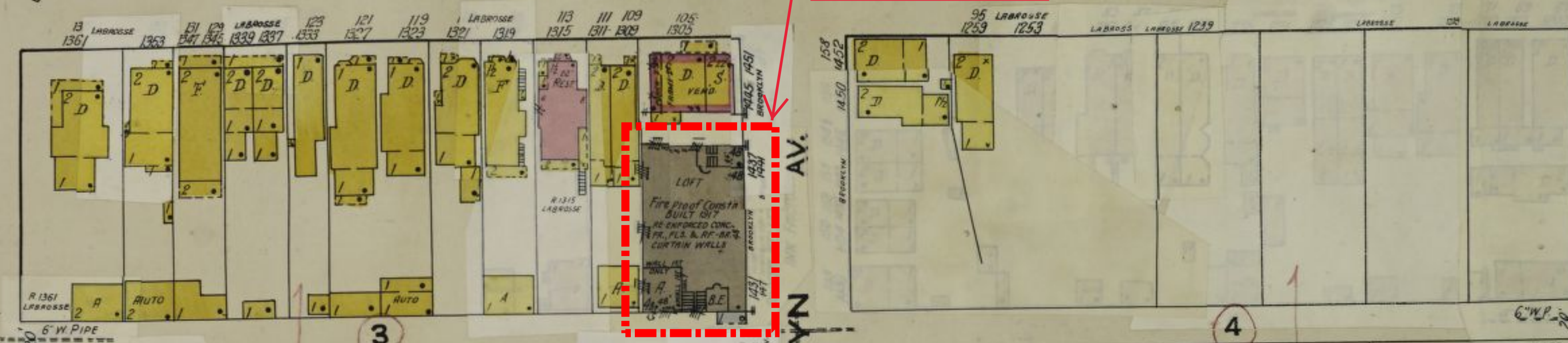
Fire Insurance Map Collection Geography and Map Division Library of Congress

BAGLEY (BAKER) AV.

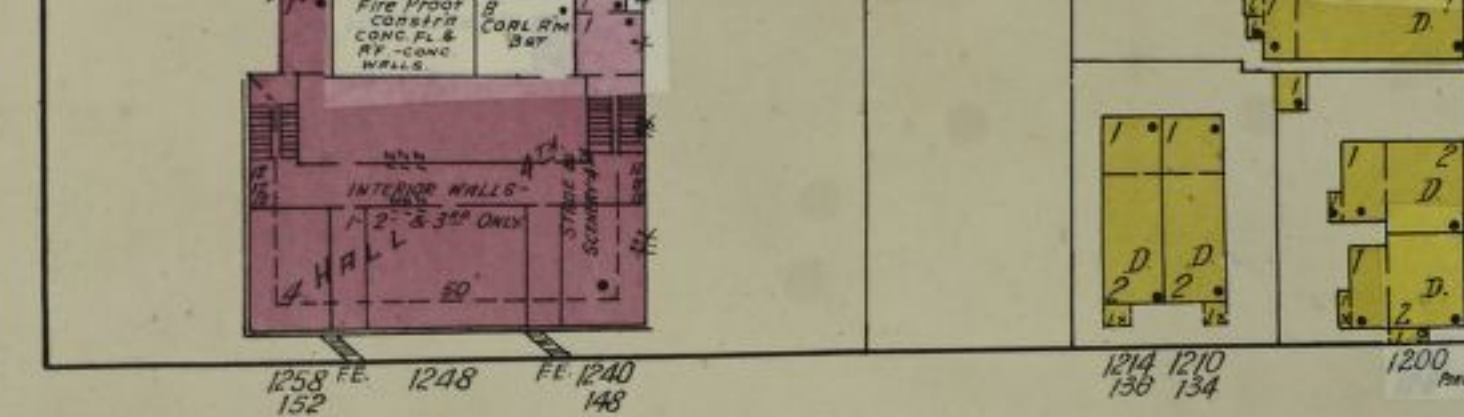


LABROSSE

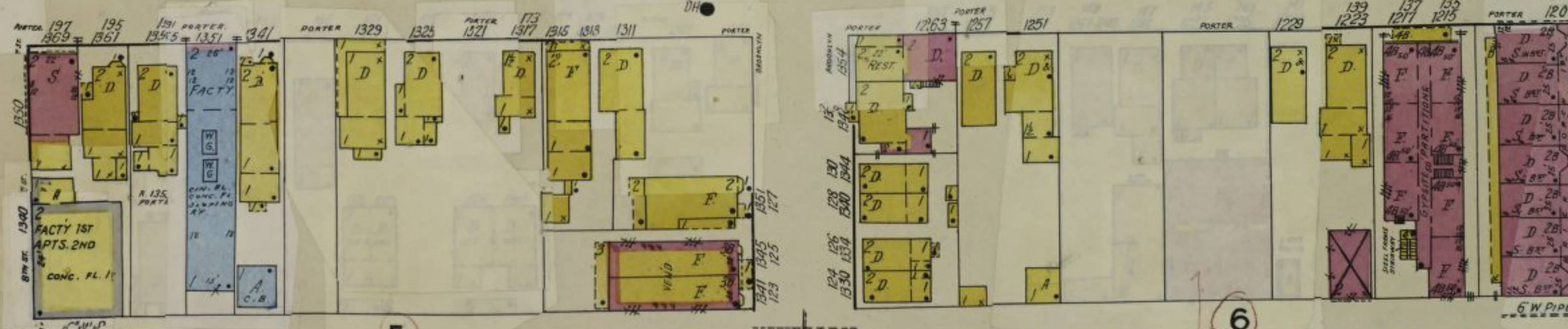
1441 BROOKLYN



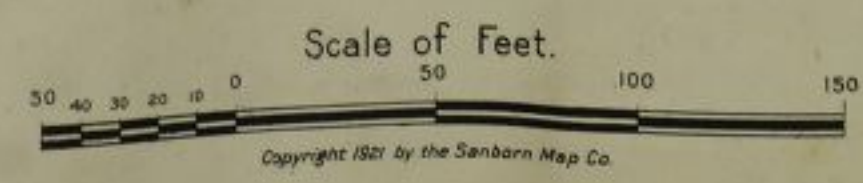
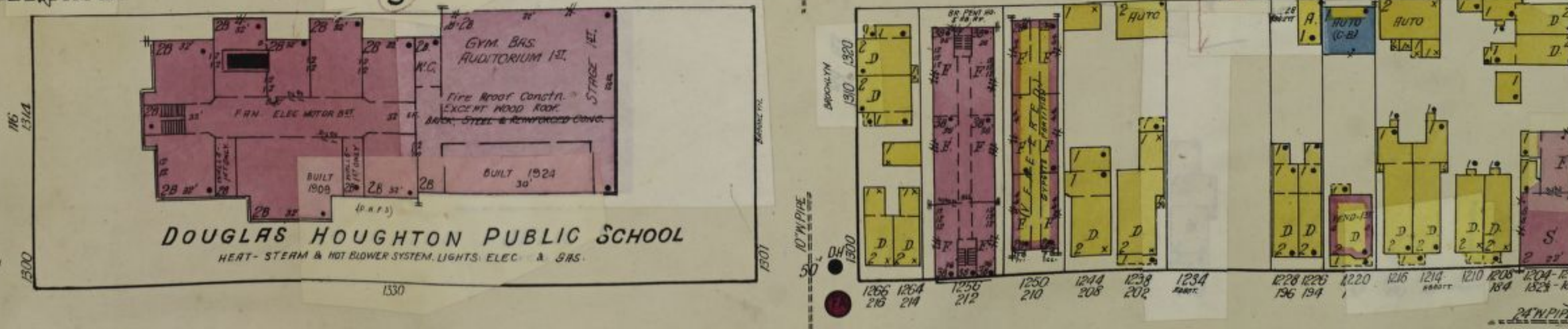
HOLY TRINITY PAROCHIAL SCHOOL



PORTER



ABBOTT



ON HAND

SINCE

1912

KAUL

GLOVE

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SINCE 1913
KAHL GLOVE CO.

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VINCENT MAZZO
313 704 2678

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DISPOSAL
313-664-0200



PRIORITY
waste
586-228-1200
www.PriorityWaste.com

STAFF SITE VISIT 9/30/2021



STAFF SITE VISIT 9/30/2021



STAFF SITE VISIT 9/30/2021



STAFF SITE VISIT 9/30/2021

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT
PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
 New Construction Demolition Addition Other: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

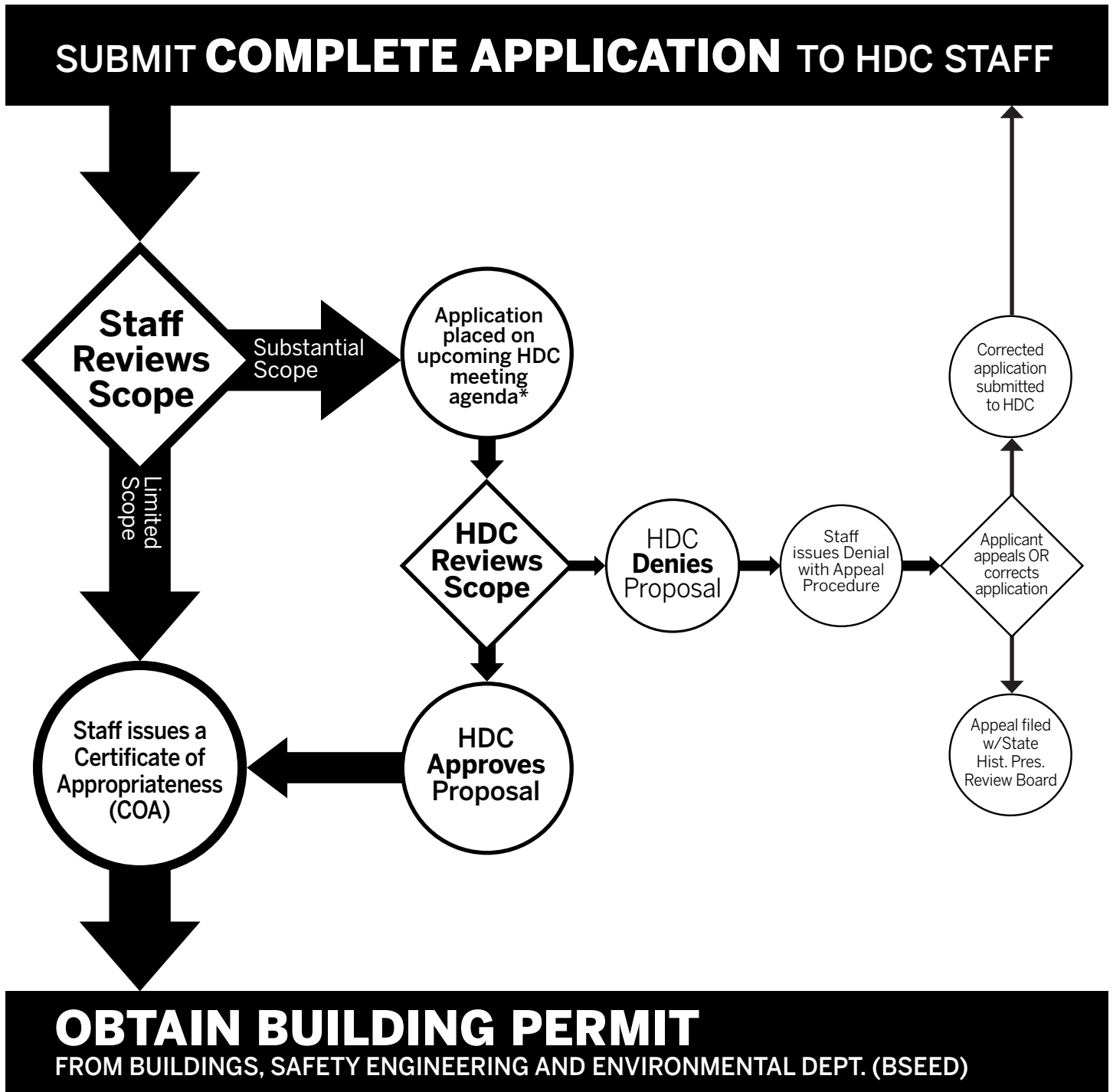
Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc



350 Madison Street, 4th Floor • Detroit, Michigan 48226
info@ibgdetroit.com • (313) 549-2790

Description of the Project:

NOTE: This information being submitted is for revisions related to the windows for the originally approved COA. The proposed change is from the Time-Life storefront window system without operable windows to the industrial sash style windows with an operable section as shown on the updated elevations and window details provided by Seal-Craft windows.

The building is being converted from its former factory use to commercial office space.

For the building exterior, the brick infill and glass block which was added into the structural frame openings will be removed. New industrial sash, aluminum frame windows, brown anodized, with simulated divided lites will be installed in all the concrete structural frame openings. These are manufactured by Seal-Craft Windows.

The original brick masonry courses at the floor level will be tuck-pointed and repaired.

Any damage to the concrete structural frame will be repaired.

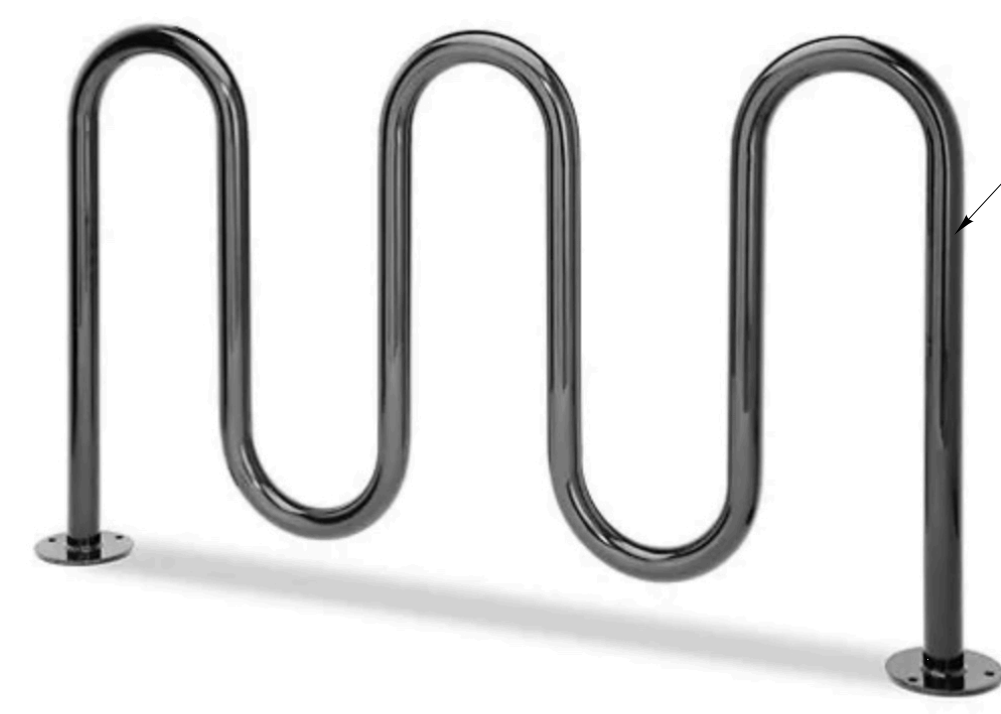
The entire building will be repainted in the light "battleship" gray which currently exists on the building.

On the interior, new mechanical, electrical and plumbing systems, will be installed throughout the building. Additionally, a fire sprinkler systems and fire detection and alarm/notification system will also be installed.

The concrete floor will be polished.

Minimal new walls will be constructed, primarily around the toilet and service core areas only.

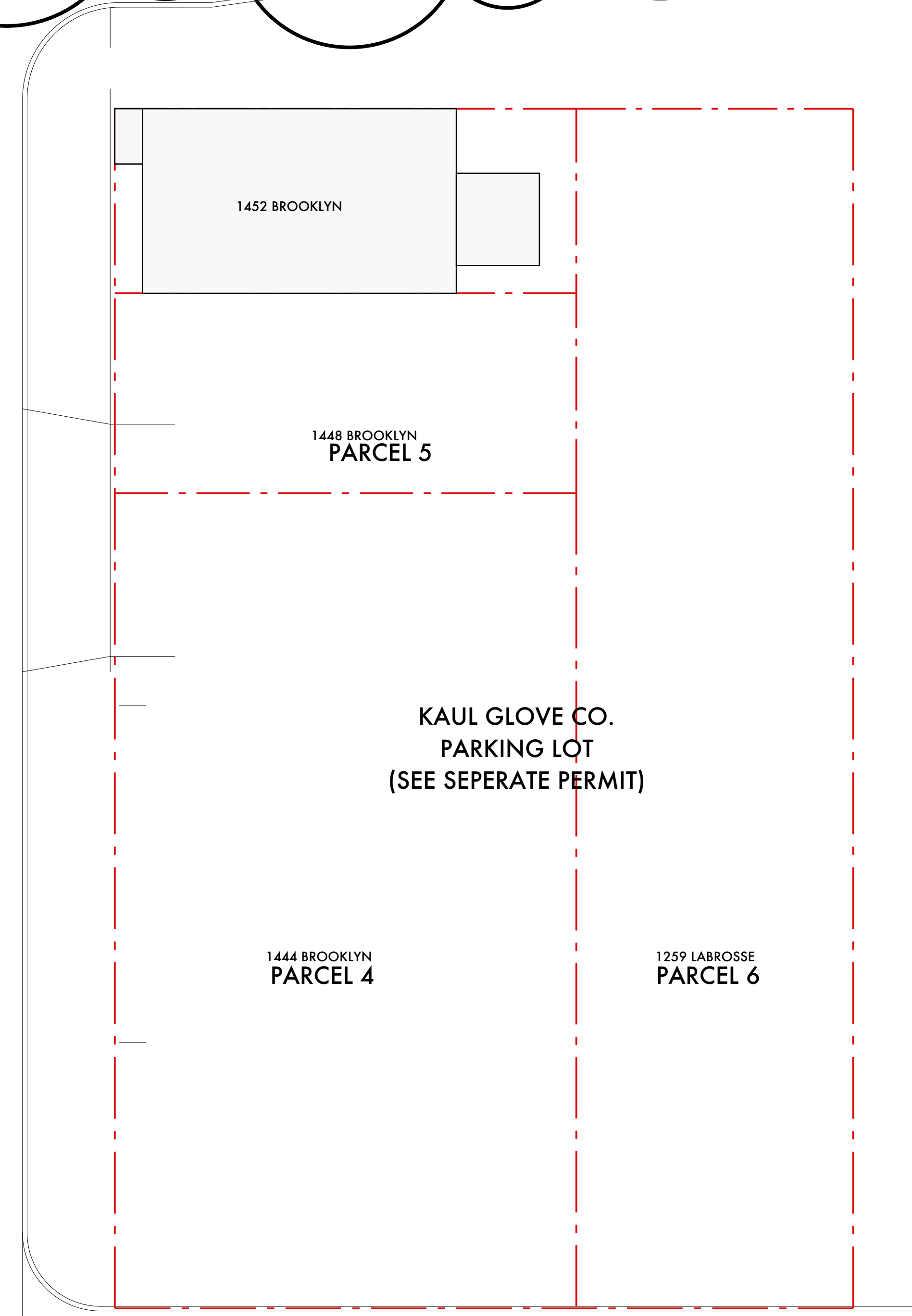
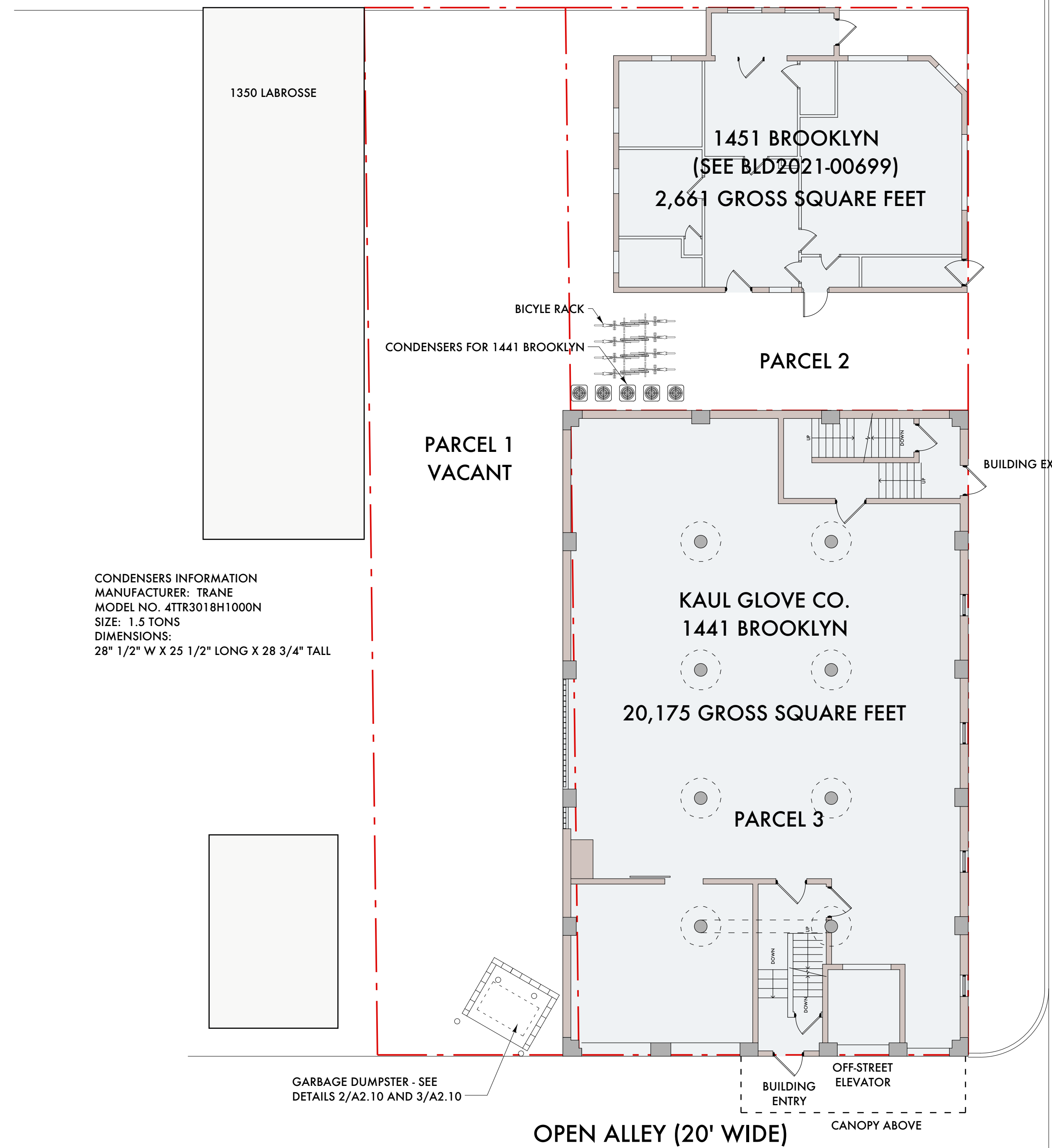
**SCOPE OF WORK:
SUBMITTED FOR FOR 1441 BROOKLYN ON PARCEL 3 ONLY. ALL OTHER
SITE WORK AND BUILDING WORK ON PARCELS 1, 2, 4, 5, & 6 HAS
BEEN SUBMITTED UNDER SEPARATE PERMITS.**



5-LOOP WAVE STYLE BICYCLE RACK
10 GAUGE, POWDER COAT METAL TUBE,
MINIMUM 2 3/8" Ø, BOLTED TO CONCRETE
SIDEWALK

LABROSSE STREET (60' WIDE)

6 BICYCLE RACK
A2.10 SCALE: 1/2" = 1'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
08/26/21	Parking Permit Revisions
08/02/21	Parking Permit
07/19/21	Parking Permit
06/01/21	Permits
05/23/21	Owner Review
03/12/21	Historic Commission Comments
03/02/21	Owner Review
02/17/21	Historic Commission (1309)
02/01/21	Permits (VOID)
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
12/17/20	Owner Review
12/01/20	BZA Updates
11/16/20	BZA Updates
06/19/20	BZA Submission
06/16/20	Historic Commission Review
06/08/20	Owner Review
Date:	Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
Detroit, Michigan 48226

studioONE : DETROIT

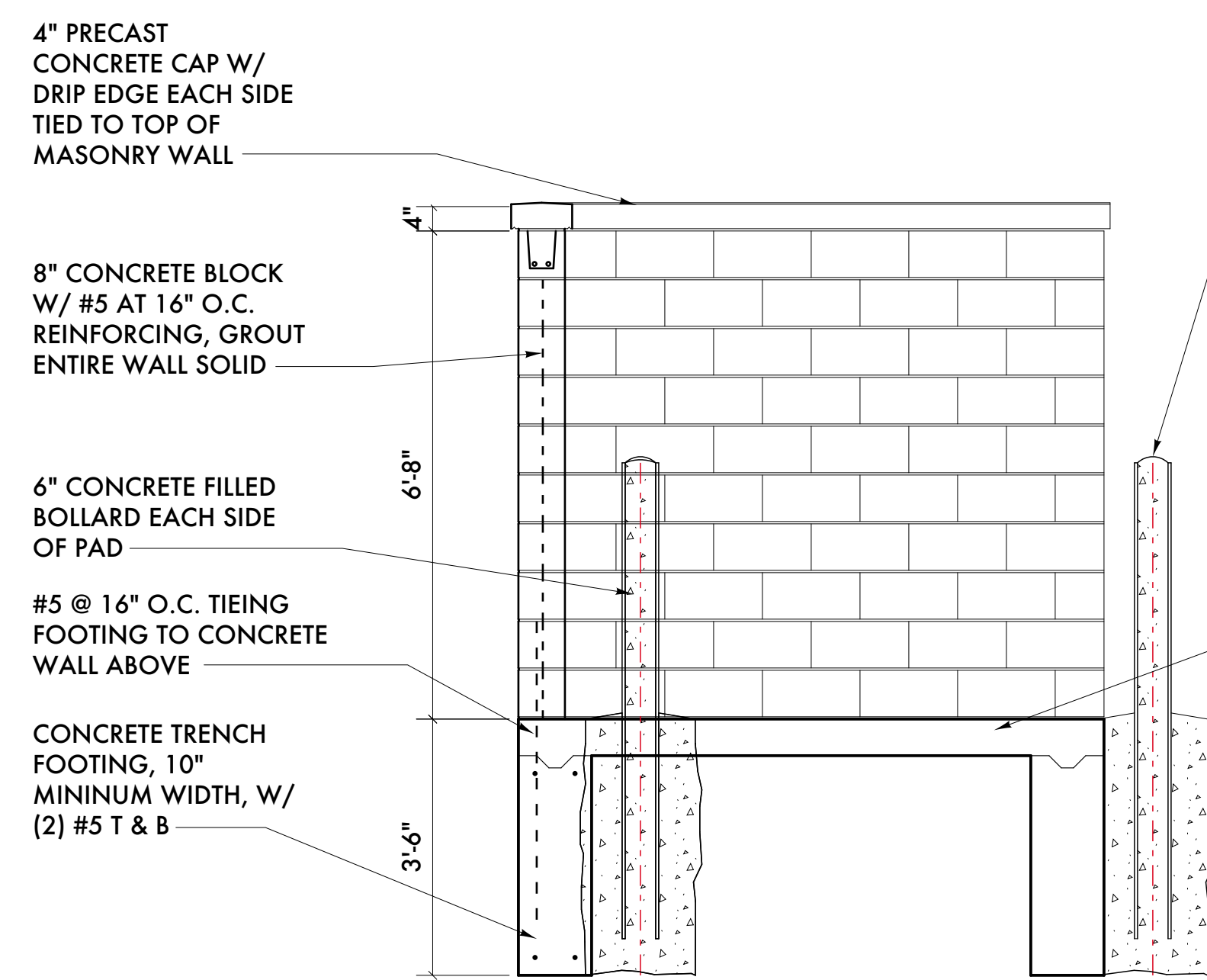
architectural
urban
interior DESIGN

330 Madison Avenue
4th Floor
Detroit, Michigan 48226

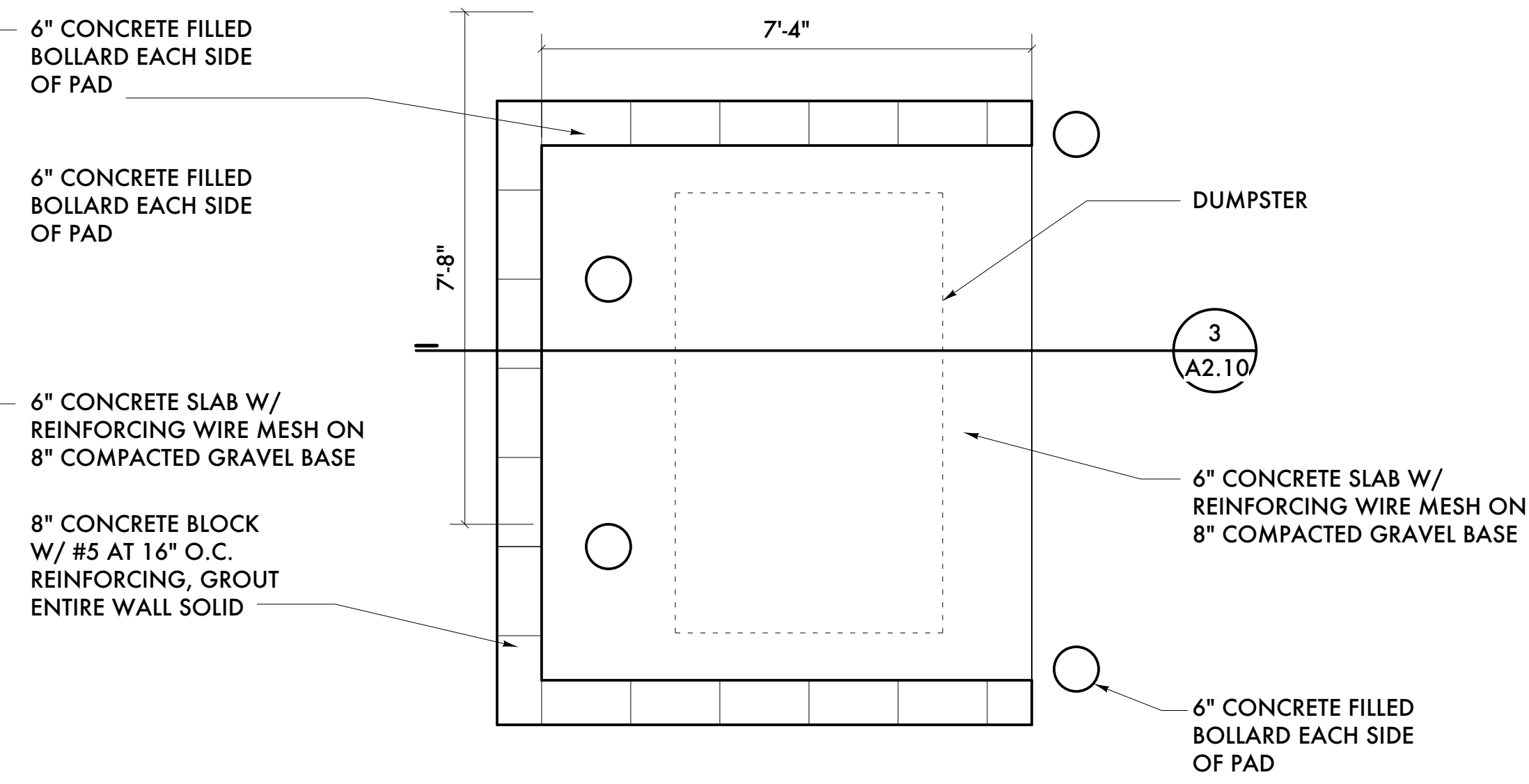
studioonedetroit.com
313.549.2790 [p]
jgb@ware-house.com

Project Number: 2019-
Sheet Title:
SITE PLAN

Sheet Number:
A2.10
© 2020 studioONE, llc



**3 SECTION/ELEVATION
AT DUMPSTER SCREEN**
A2.10 SCALE: 1/2" = 1'-0"



2 PLAN AT DUMPSTER SCREEN
A2.10 SCALE: 1/2" = 1'-0"

LEGAL DESCRIPTIONS:

LAND IN THE CITY OF DETROIT, WAYNE COUNTY, MI, DESCRIBED AS FOLLOWS:

PARCEL 1:
EAST ONE-HALF OF LOT 2 OF BLOCK 60, OF COL D BAKER FARM, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 17 OF DEEDS, PAGES 272 AND 273 AND IN LIBER 25 OF DEEDS, PAGE 424 OF WAYNE COUNTY RECORDS.

PARCEL 2:
NORTH 50 FEET OF LOT 1 OF BLOCK 60, OF COL D BAKER FARM, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 17 OF DEEDS, PAGES 272 AND 273 AND IN LIBER 25 OF DEEDS, PAGE 424 OF WAYNE COUNTY RECORDS.

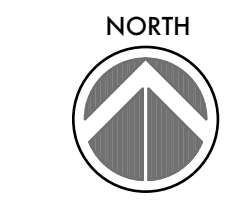
PARCEL 3:
THE SOUTH 80 FEET OF LOT 1 OF BLOCK 60, OF COL D BAKER FARM, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 17 OF DEEDS, PAGES 272 AND 273 AND IN LIBER 25 OF DEEDS, PAGE 424 OF WAYNE COUNTY RECORDS.

PARCEL 4:
WEST 30 FEET OF LOT 6 AND SOUTH 86.66 FEET OF LOT 7 OF BLOCK 54 OF SUBDIVISION OF LABROSSE FARM SOUTH OF CHICAGO ROAD, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 13 OF DEEDS, PAGES 85 THROUGH 88 OF WAYNE COUNTY RECORDS.

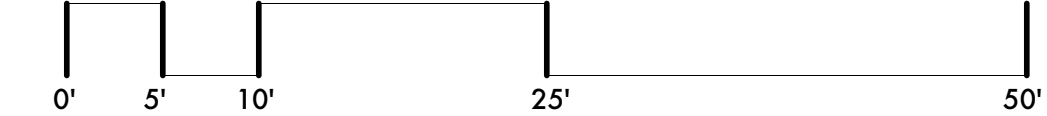
PARCEL 5:
SOUTH ONE-HALF OF THE NORTH ONE-THIRD OF LOT 7 OF BLOCK 54 OF SUBDIVISION OF LABROSSE FARM SOUTH OF CHICAGO ROAD, ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 13 OF DEEDS, PAGES 85 THROUGH 88 OF WAYNE COUNTY RECORDS.

PARCEL 6:
S LABROSSE W 30 FT 6 BLK 54 LABROSSE FARM L13 P85 DEEDS, W C R 6/6 30 X 130

BROOKLYN STREET (50' WIDE)



1 SITE PLAN
SCALE: 1" = 10'-0"



KEYED NOTES:

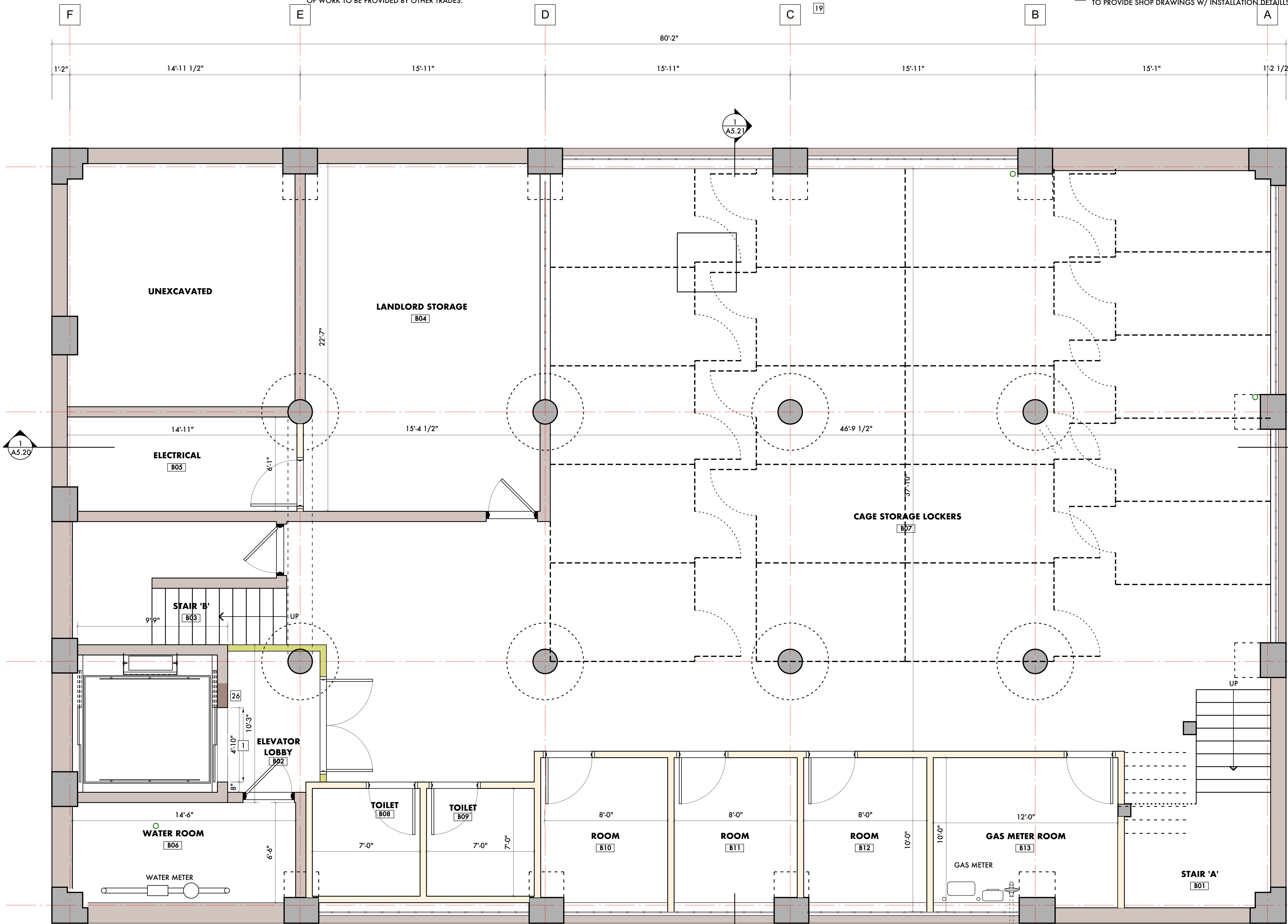
- 25 ALIGN NEW GYPSUM BOARD UNIT SEPARATION WALL ON CENTER OF EXISTING COLUMNS
- 26 INFILL AT FORMER ELEVATOR OPENING W/ BRACK MASONRY AS REQUIRED TO ACHIEVE FINAL ELEVATOR DOOR OPENING DIMENSIONS. OPTIONAL: FURRED GYPSUM BOARD OVER MASONRY ON SIDE OF WALL FACING ELEVATOR LOBBY OVER ENTIRE WALL CONTAINING OPENING.
- 27 SEE ELEVATOR AND PLUMBING DRAWINGS FOR SUMP AND DRAINS REQUIRED AT ELEVATOR PIT
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(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
3 5/8" METAL STUD
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
- B VERTICAL SEPARATION WALL
(2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,
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- C PLUMBING/UTILITY PARTITION
(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD
6" METAL STUD
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- D UNIT INTERIOR WALL
(WITH EXISTING CONSTRUCTION)
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EXISTING BRICK MASONRY WALL
- E EXISTING WALL TO REMAIN



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
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**Kaul Glove Building
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1441 Brooklyn
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studioONE : DETROIT

architectural
urban
interior
DESIGN

350 Madison Avenue
4th Floor
Detroit, Michigan 48226
studioonedetroit.com
313.447.3790 (t)
jgb@ware.house.com

Project Number: 2019-

**BASEMENT
FLOOR PLAN**

Sheet Number:

A3.10

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GENERAL NOTES:

- 5. PROVIDE TEAR-AWAY WHERE ALL GYPSUM BOARD WALLS MEETING EXISTING CONCRETE OR MASONRY WALL.
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**BASEMENT RENTABLE AREA = 3,484 SF
CODE OCCUPANT LOAD = (35) PERSONS
GROSS SQUARE FEET - 4,035 SF**

BASEMENT PLAN
SCALE: 3/8" = 1'-0"



KEYED NOTES:

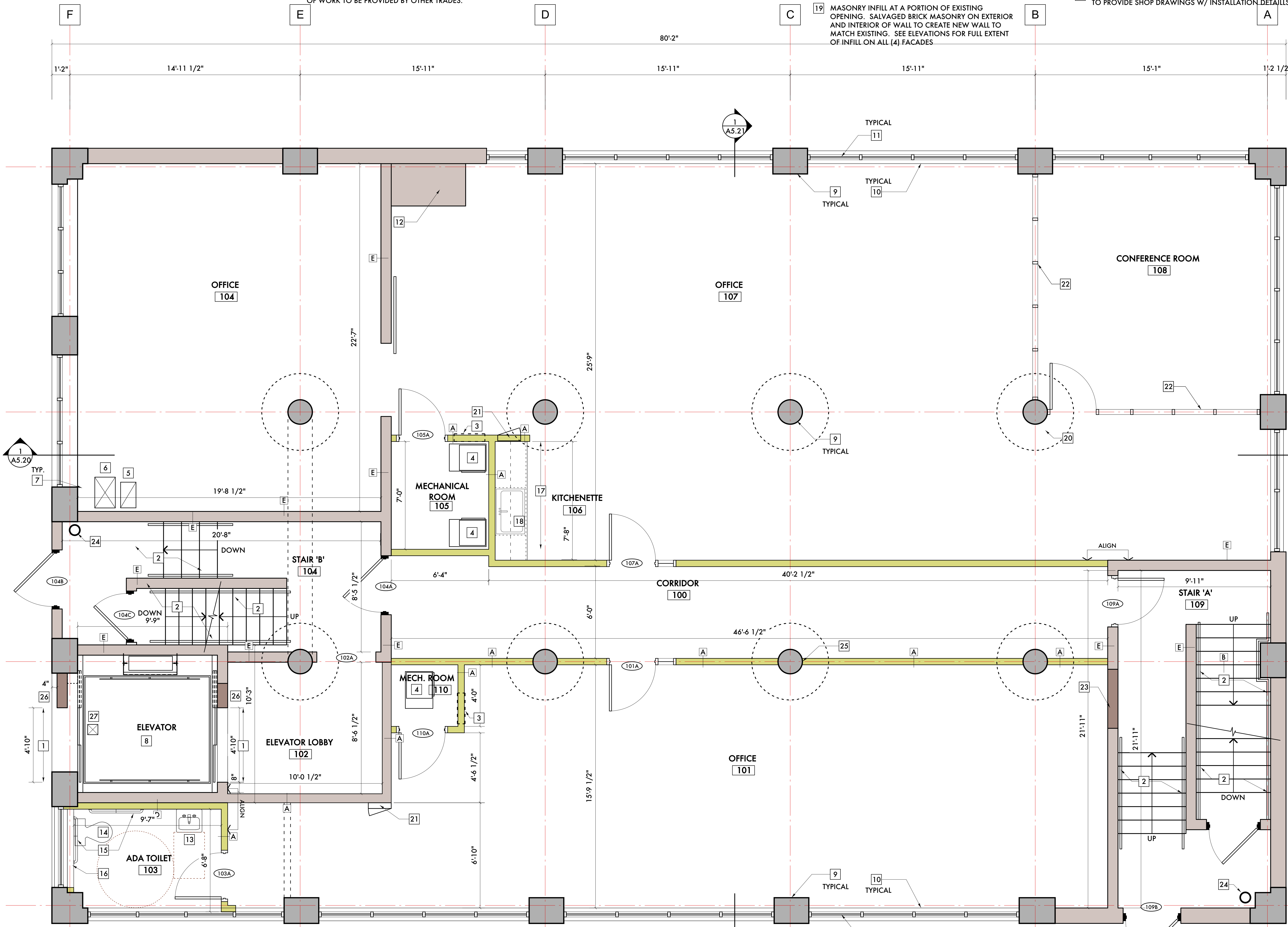
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1ST FLOOR PLAN
SCALE: 3/8" = 1'-0"

1ST FLOOR RENTABLE AREA = 2,814 SF
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GROSS SQUARE FEET - 4,035 SF



09/20/21	ADD #3 - SHPO/NPS Comments
09/09/21	ADD #2 - Code Review Comments
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Date: Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
Detroit, Michigan 48226

studioONE : DETROIT

architectural
urban
interior DESIGN

330 Madison Avenue
4th Floor
Detroit, Michigan 48226
313.447.3790
info@studioone.com

KEYED NOTES:

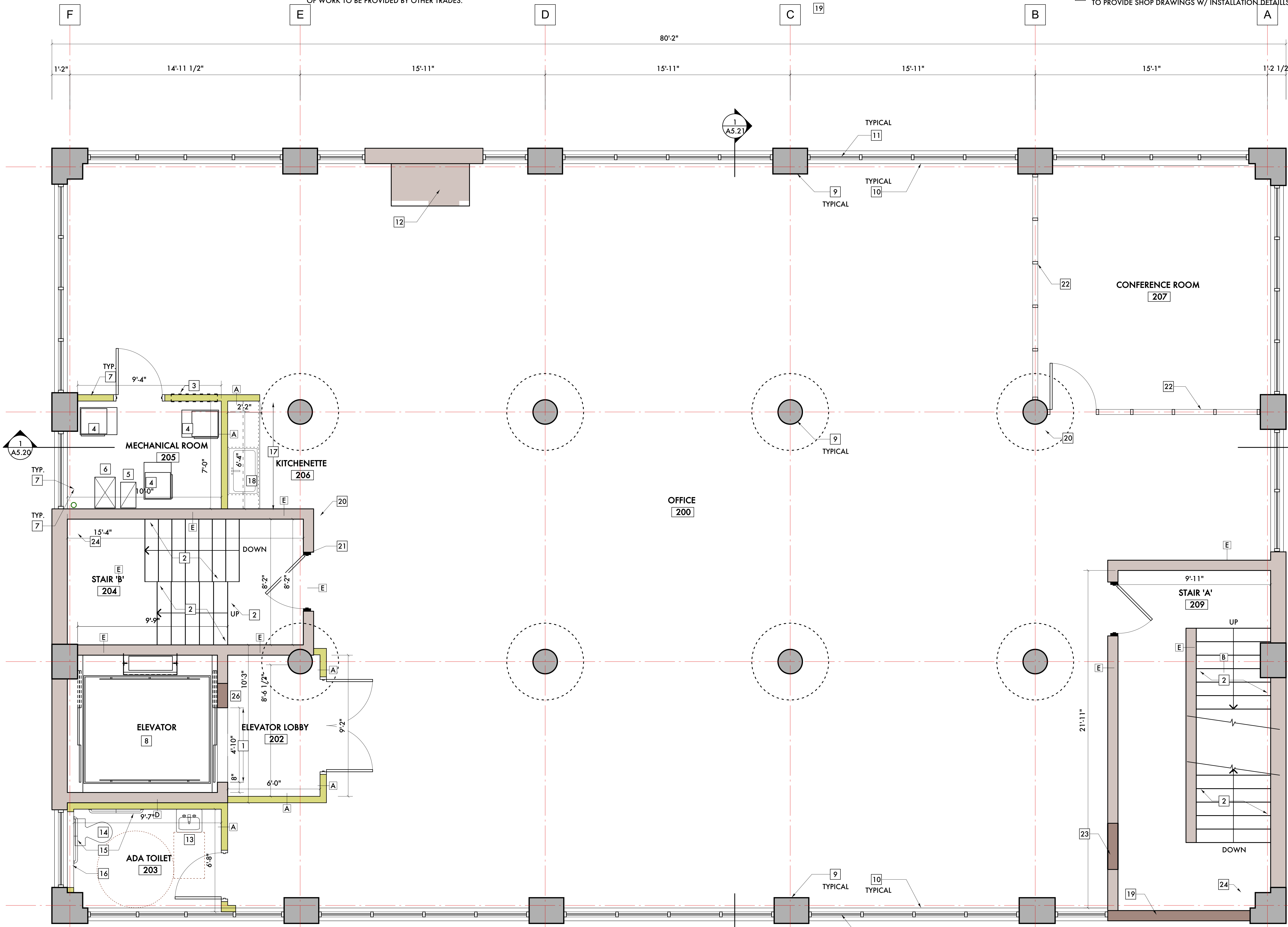
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2ND FLOOR PLAN
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studiozONE : DETROIT

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330 Madison Avenue
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313.447.3790 (p)
jbig@ware.house.com

Project Number: 2020-03
Sheet Title:
2ND FLOOR PLAN

KEYED NOTES:

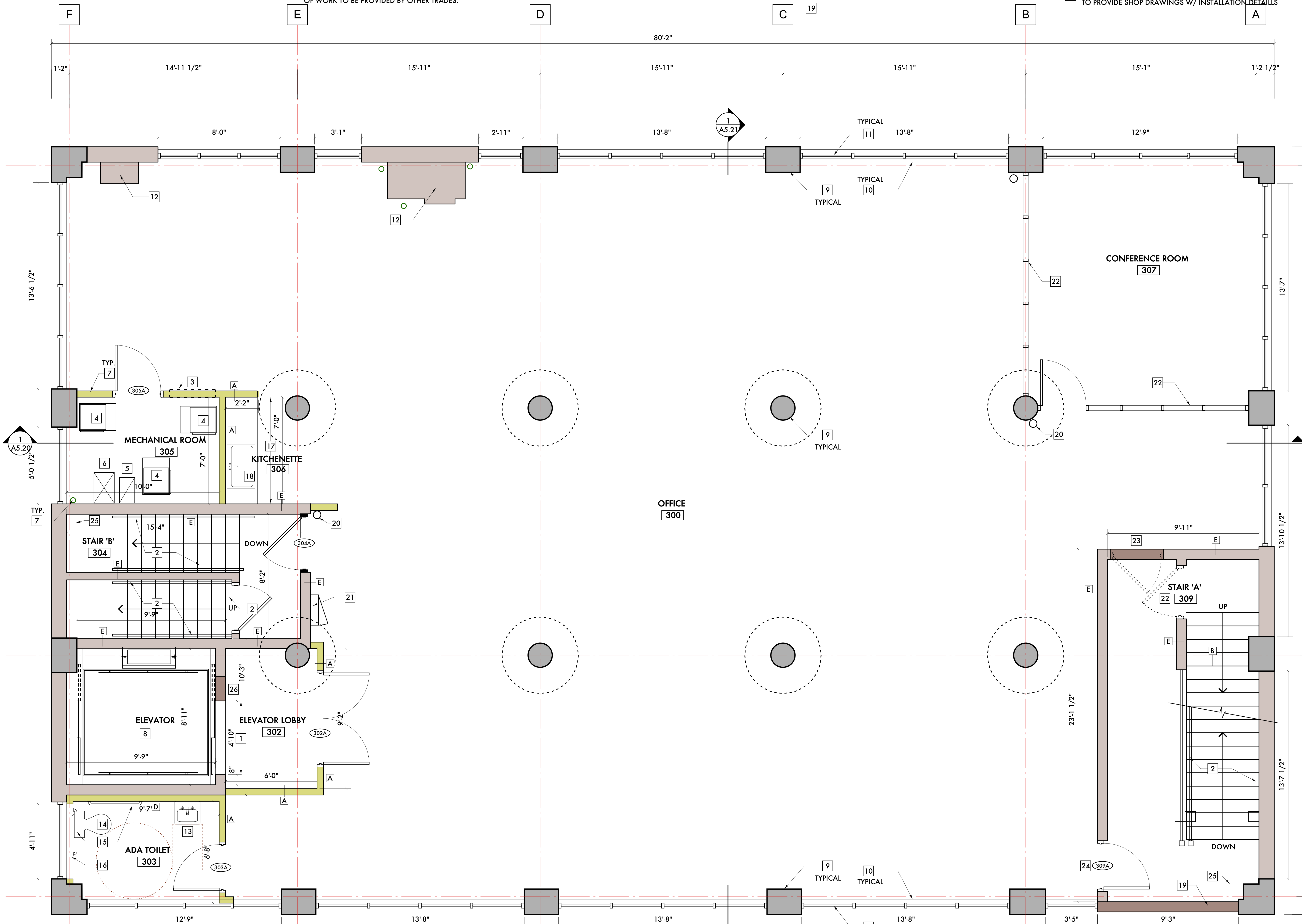
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- 8 NEW ELEVATOR IN EXISTING MASONRY SHAFT. COORDINATE W/ ELEVATOR MANUFACTURE ON REQUIRED ALTERATIONS FOR EXISTING SHAFT FOR COMPLIANCE W/ ELEVATOR CODE.
- 9 EXISTING CONCRETE STRUCTURAL FRAME/INTERIOR COLUMN
- 10 CONCRETE WINDOW SILL - REPAIR IN PLACE OR REPAIR, SEE GENERAL NOTES
- 11 INSULATED INDUSTRIAL STYLE GLASS WINDOW UNITS - SUPPLIER TO PROVIDE SHOP DRAWINGS W/ INSTALLATION DETAILS

- 1 COORDINATE W/ ELEVATOR SUPPLIER ON DIMENSIONS REQUIRED FOR ELEVATOR DOORS. REWORK MASONRY OPENING JAMBS AND RAISE LINTEL ABOVE DOOR OPENING AS NEEDED TO ACCOMMODATE DIMENSIONS REQUIRED FOR ELEVATOR DOORS. MINIMUM W8X10 LINTEL W/ MINIMUM 8" BEARING AT EACH END OF LINTEL
- 2 STEEL HANDRAIL, PAINTED, BOTH SIDES OF STAIRS, AT 36" ABOVE FRONT EDGE OF RISERS, GUARDS AT OPENINGS TO MAINTAIN MINIMUM 44" ABOVE FLOOR. PROVIDE BLOCKING IN ANY GYPSUM BOARD WALLS AS NEEDED FOR HANDRAIL ATTACHMENT.
- 3 HVAC RETURN DUCT OPENING. SEE MECHANICAL DRAWINGS FOR FINAL SIZE AND OPENING LOCATION.
- 4 HVAC FURNACE. COORDINATE LOCATION W/ MECHANICAL CONTRACTOR.
- 5 CUT OPENING IN EXISTING CONCRETE FLOOR/CEILING ASSEMBLY FOR EXHAUST AIR DUCT. SEE MECHANICAL DRAWINGS FOR FINAL DUCT SIZE. PROVIDE A UL APPROVED HORIZONTAL FIRE DAMPER ASSEMBLY AT THE FLOOR/CEILING PENETRATION AND INSTALL PER THE ASSEMBLY REQUIREMENTS..
- 6 CUT OPENING IN EXISTING CONCRETE FLOOR/CEILING ASSEMBLY FOR FRESH AIR DUCT TO FURNACES AND SPACE. SEE MECHANICAL DRAWINGS FOR FINAL DUCT SIZE. PROVIDE A UL APPROVED HORIZONTAL FIRE DAMPER ASSEMBLY AT THE FLOOR/CEILING PENETRATION AND INSTALL PER THE ASSEMBLY REQUIREMENTS..



WALL CONSTRUCTION

A	INTERIOR PARTITION (1) LAYER 5/8", TYPE 'X' GYPSUM BOARD 3 5/8" METAL STUD (1) LAYER 5/8", TYPE 'X' GYPSUM BOARD	
B	VERTICAL SEPARATION WALL (2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED, 3 5/8" METAL STUD, INSULATED (2) LAYERS 5/8", TYPE 'X' GYPSUM BOARD, PAINTED,	
C	PLUMBING/UTILITY PARTITION (1) LAYER 5/8", TYPE 'X' GYPSUM BOARD 6" METAL STUD (1) LAYER 5/8", TYPE 'X' GYPSUM BOARD	
D	UNIT INTERIOR WALL (WITH EXISTING CONSTRUCTION)	
E	(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD 3 5/8" METAL STUD, EXISTING BRICK MASONRY WALL	
	EXISTING WALL TO REMAIN	

GENERAL NOTES:

- 5. PROVIDE TEAR-AWAY WHERE ALL GYPSUM BOARD WALLS MEETING EXISTING CONCRETE OR MASONRY WALL.
- 6. DIMENSIONS PROVIDE ARE FOR INFORMATIONAL AND PRICING ONLY. BEFORE ANY CONSTRUCTION OF FABRICATION OF ITEMS/PIECES, CONTRACTOR/SUBCONTRACTOR RESPONSIBLE FOR VERIFICATION OF DIMENSIONS.
- 3. SEE SHEETS A8.80 AND A8.81 FOR FIRESTOPPING DETAILS. ALL VERTICAL FIRE SEPARATION WALLS ARE TO BE FIRESTOPPED W/ AN APPROVED ASSEMBLY WHERE IT MEETS THE FLOOR, EXISTING WALLS AND CONCRETE DECK ABOVE.
- 4. EXISTING CONCRETE FLOOR TO REMAIN. POLISH AND GRIND ENTIRE FLOOR AREA OUTSIDE OF STAIRS AND MECHANICAL ROOM. REMOVE ANY "OVERLAYS" AND PATCH AND REPAIR ANY FAILED AREAS BEFORE GRINDING.

- 1. INSPECT ALL EXISTING CONCRETE WINDOW SILLS AFTER DEMOLITION OF EXISTING OPENINGS TO THE NEW REVISED WINDOW DIMENSION. REPAIR ANY CRACKS IN WINDOW SILL. REPLACE W/ NEW CONCRETE WINDOW SILL IF ANY WINDOW SILL IS BEYOND REPAIR.
- 2. SEE ELEVATION DRAWINGS A5.00, A5.01, A5.02, A5.03, A5.10, A5.11, A5.12 AND A5.13 FOR REPAIR AT EXISTING STRUCTURAL FRAME AND MASONRY. AS PART OF THE WORK, INVESTIGATE THE STRUCTURAL CONCRETE FRAME AND INTERIOR MASONRY AFTER THE NEW WINDOW OPENING DEMOLITION AND MAKE ANY NECESSARY REPAIRS ON THE INTERIOR TO THE STRUCTURAL FRAME AND REMAINING MASONRY.

3RD FLOOR RENTABLE AREA = 3,242 SF
CODE OCCUPANT LOAD = (33) PERSONS
GROSS SQUARE FEET - 4,035 SF

3RD FLOOR PLAN
SCALE: 3/8" = 1'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
-	Engineering Review
04/05/21	SHPO
02/01/21	Permits
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
08/14/20	Owner Review

Date: Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
Detroit, Michigan 48226

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interior DESIGN

330 Madison Avenue
4th Floor
Detroit, Michigan 48226

studioonedetroit.com
313.447.3790 (toll free)
jbig@studioone.com

Project Number: 2020-03
Sheet Title:
3RD FLOOR PLAN

KEYED NOTES:

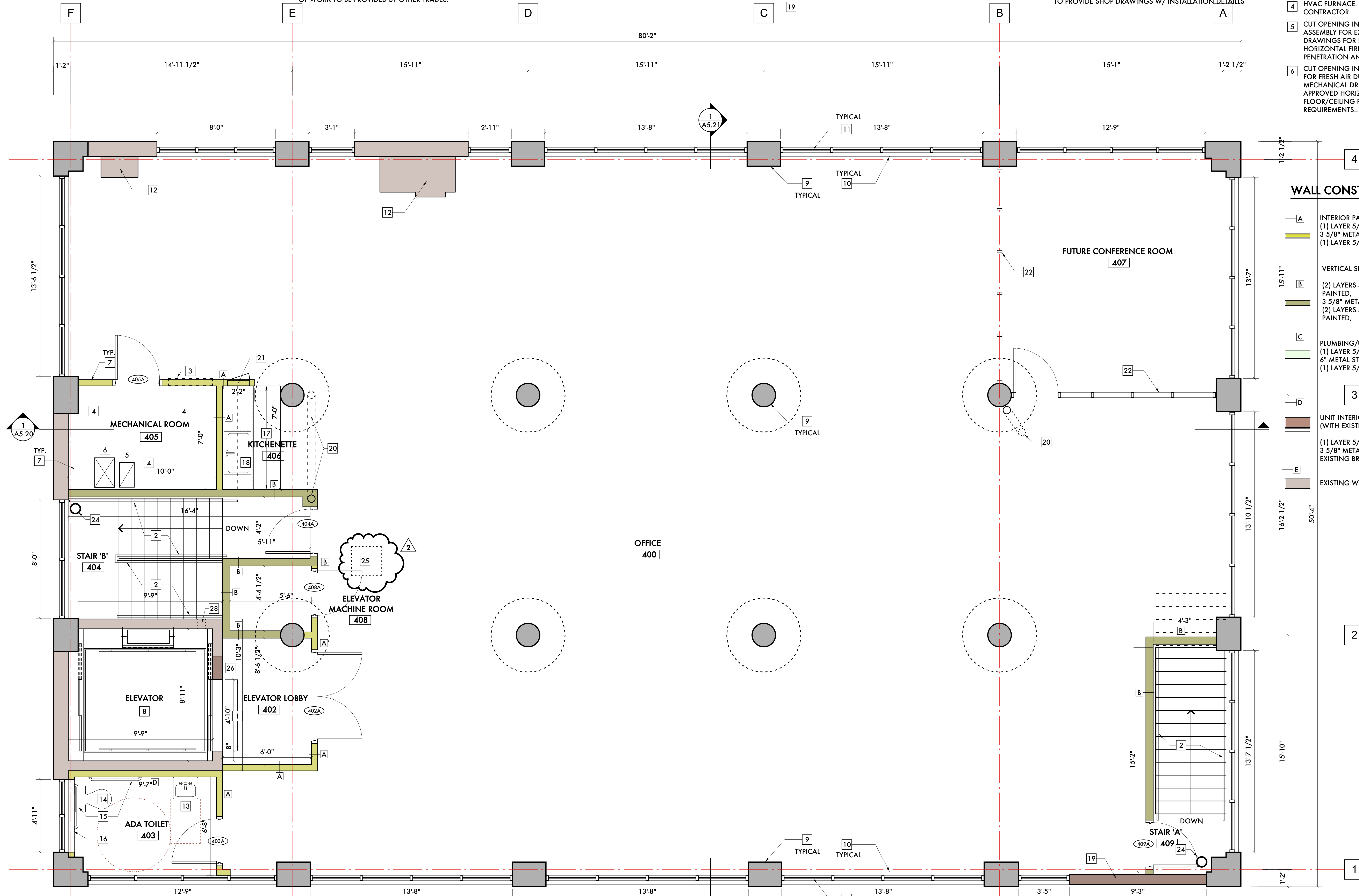
- 25 ALIGN NEW GYPSUM BOARD UNIT SEPARATION WALL ON CENTER OF EXISTING COLUMNS
- 26 INFILL AT FORMER ELEVATOR OPENING W/ BRACK MASONRY AS REQUIRED TO ACHIEVE FINAL ELEVATOR DOOR OPENING DIMENSIONS. OPTIONAL: FURRED GYPSUM BOARD OVER MASONRY ON SIDE OF WALL FACING ELEVATOR LOBBY OVER ENTIRE WALL CONTAINING OPENING.
- 27 SEE ELEVATOR AND PLUMBING DRAWINGS FOR SUMP AND DRAINS REQUIRED AT ELEVATOR PIT
- 28 PROVIDE 6" X 6" MINIMUM OPENINGS/CUT-OUTS IN EXISTING ELEVATOR SHAFT FOR ELEVATOR ELECTRICAL - SEE ELECTRICAL DRAWINGS.
- 29 SEE ELEVATOR DRAWINGS BY MANUFACTURER FOR FULL EXTENT OF WORK TO BE PROVIDED BY OTHER TRADES.

- 20 EXISTING ROOF CONDUCTOR TO REMAIN, INSULATE W/ VINYL CLAD INSULATION, SEE PLUMBING DRAWINGS
- 21 ELECTRICAL PANEL - SEE ELECTRICAL DRAWINGS
- 22 FUTURE INTERIOR STOREFRONT AT CONFERENCE ROOM BY OTHERS
- 23 INFILL AT FORMER DOOR OPENING. MASONRY INFILL W/ GYPSUM BOARD OR PLASTER FINISH OR (2) LAYERS OF GYPSUM BOARD EACH SIDE OF METAL STUD SUBRATE. MAINTAIN THE (2) HOUR FIRE RATING OF THE STAIR.
- 24 FIRE PROTECTION STANDPIPE - FIRE PROTECTION CONTRACTOR TO COORDINATE FINAL LOCATION SO AS TO NOT INTERFERE W/ REQUIRED MEANS OF EGRESS

- 12 EXISTING MASONRY CHIMNEY SHAFT TO REMAIN - INFILL AND PATCH ANY OPENINGS INTO SHAFT
- 13 WALL HUNG LAVATORY - PROVIDE BLOCKING IN WALL FOR HANGING SINK
- 14 FLOOR MOUNTED TOILET
- 15 ACCESSIBLE GRAB BARS - PROVIDE BLOCKING IN WALL FOR ATTACHMENT
- 16 CONTINUE WALL BELOW NEW WINDOW
- 17 BASE & UPPER CABINETS
- 18 SINGLE BASIN, STAINLESS STEEL SINK W/ SINGLE LEVER FAUCET
- 19

- 7 CORE EXISTING FLOOR/CEILING ASSEMBLY FOR FURNACE FLUES. PROVIDE UL APPROVED ASSEMBLY TO FIRESTOP THE PENETRATION. SEE SHEET A8.80 AND A8.81 FOR POSSIBLE ASSEMBLIES. NOTE: FIRE COLLARS MAY BE REQUIRED FOR ANY PVC PIPE PENETRATION.
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WALL CONSTRUCTION

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D	UNIT INTERIOR WALL (WITH EXISTING CONSTRUCTION)	
E	(1) LAYER 5/8", TYPE 'X' GYPSUM BOARD 3 5/8" METAL STUD, EXISTING BRICK MASONRY WALL	
	EXISTING WALL TO REMAIN	

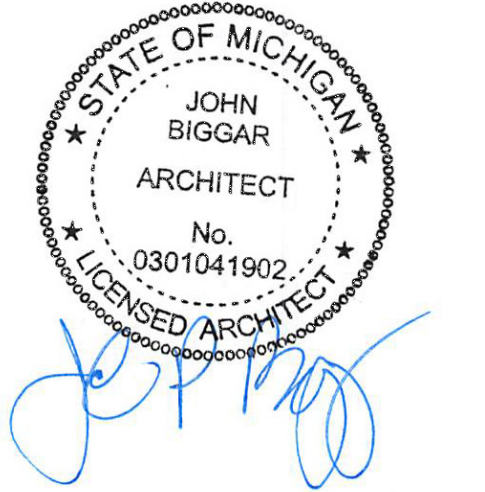
GENERAL NOTES:

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4TH FLOOR RENTABLE AREA = 3,409 SF
CODE OCCUPANT LOAD = (35) PERSONS
GROSS SQUARE FEET - 4,035 SF

4TH FLOOR PLAN
SCALE: 3/8" = 1'-0"



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
-	Engineering Review
04/05/21	SHPO
02/01/21	Permits (VOID)
01/27/21	BZA Updates
01/20/21	ADD #1 - Historic Commission
12/28/20	Historic Commission
02/16/20	Owner Review

Date: Issued For:

**Kaul Glove Building
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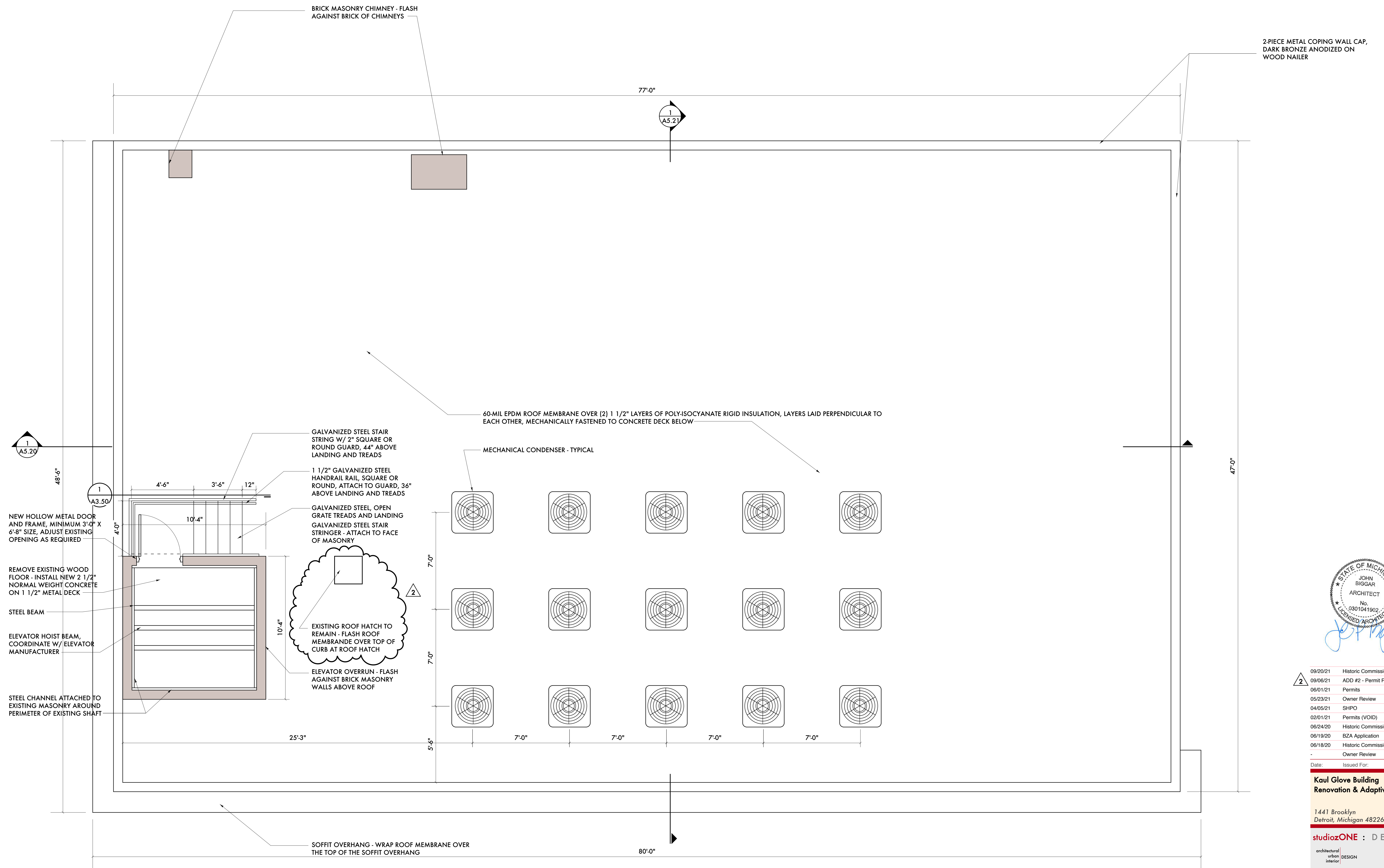
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interior DESIGN

330 Madison Avenue
4th Floor
Detroit, Michigan 48226

studiozonedetroit.com
313.447.3790 (toll free)
jg@studiozone.com

Project Number: 2020-03
Sheet Title:
4TH FLOOR PLAN



09/20/21	Historic Commission Review
09/06/21	ADD #2 - Permit Review Comments
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
06/19/20	BZA Application
06/18/20	Historic Commission Review
-	Owner Review

Date: Issued For:

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Project Number: 2020-03
Sheet Title:
ROOF PLAN

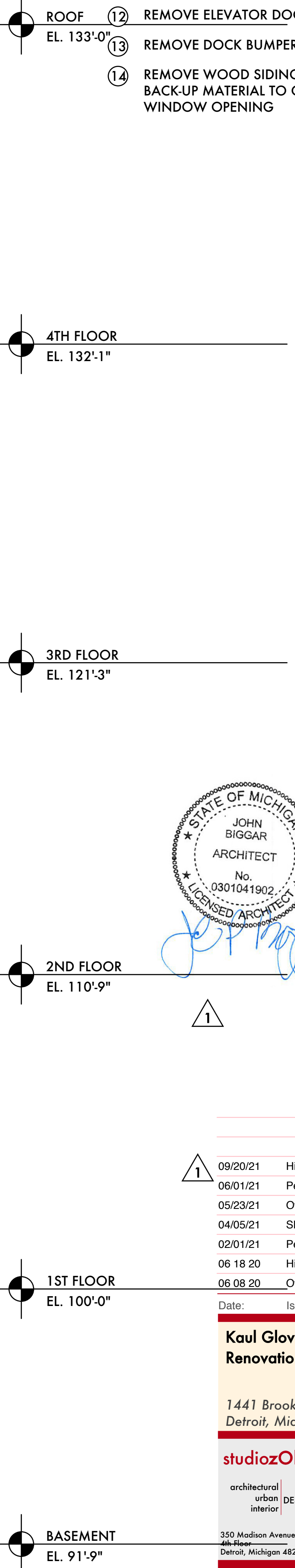
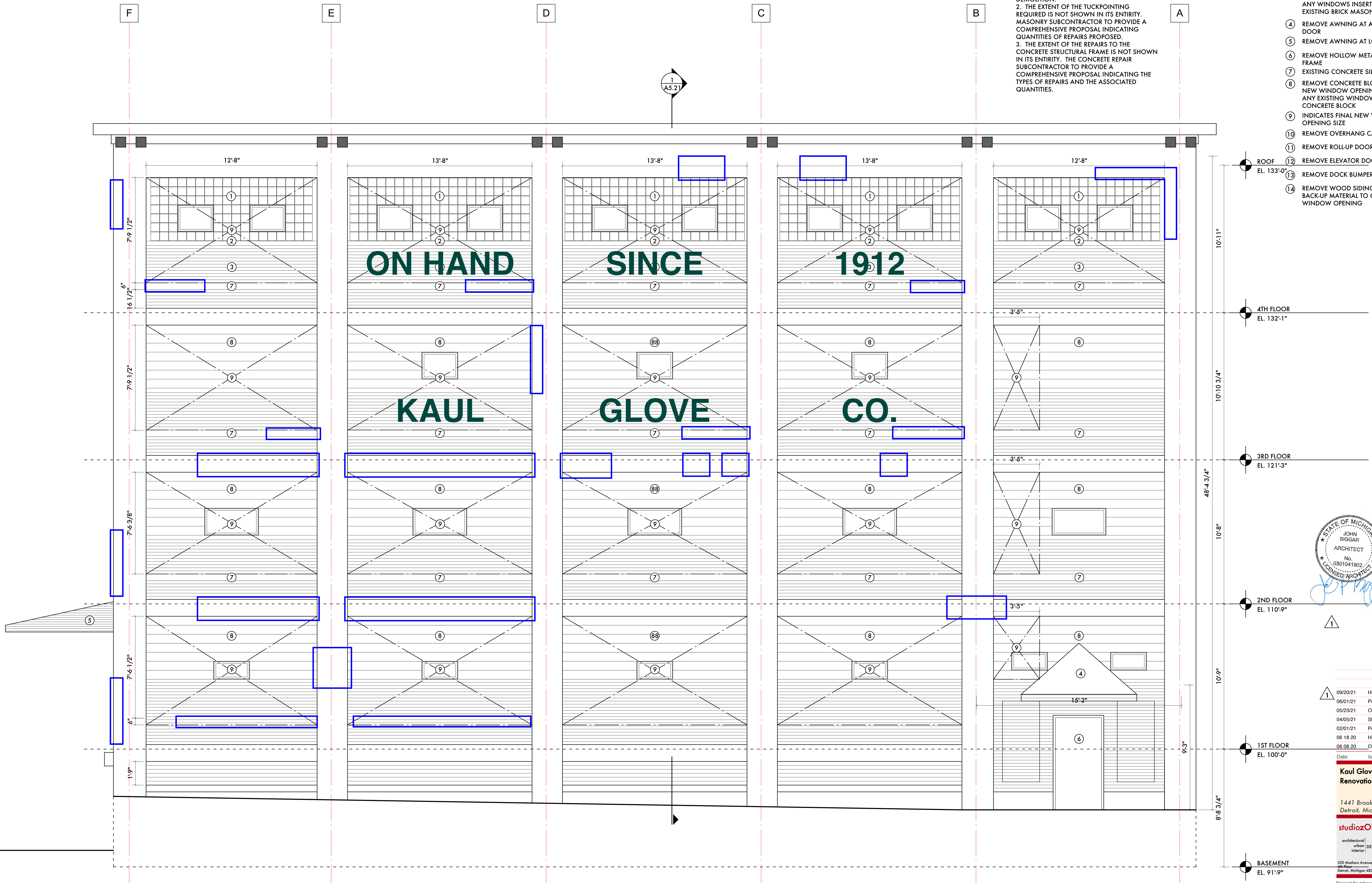
1 ROOF PLAN
SCALE: 1/8" = 1'-0"
0' 1' 2' 5' 10' 20'

GENERAL NOTES:

1. WINDOW OPENING SIZES SHOWN ARE APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD. FOR NEW WINDOW OPENINGS USING EXISTING SILLS, THE FINAL OPENING SIZE WILL BE BASED UPON THE EXISTING CONDITIONS ACHIEVED AFTER THE DEMOLITION.
2. THE EXTENT OF THE TUCKPOINTING REQUIRED IS NOT SHOWN IN ITS ENTIRETY. MASONRY SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING QUANTITIES OF REPAIRS PROPOSED.
3. THE EXTENT OF THE REPAIRS TO THE CONCRETE STRUCTURAL FRAME IS NOT SHOWN IN ITS ENTIRETY. THE CONCRETE REPAIR SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING THE TYPES OF REPAIRS AND THE ASSOCIATED QUANTITIES.

KEYED NOTES:

- 1 REMOVE WINDOW/GLASS BLOCK INCLUDING ANY INSERTED WINDOWS
- 2 REMOVE CONCRETE WINDOW SILL
- 3 REMOVE BRICK MASONRY TO CREATE NEW WINDOW OPENING INCLUDING ANY WINDOWS INSERTED INTO EXISTING BRICK MASONRY
- 4 REMOVE AWNING AT ABOVE ENTRANCE DOOR
- 5 REMOVE AWNING AT LOADING DOCK
- 6 REMOVE HOLLOW METAL DOOR AND FRAME
- 7 EXISTING CONCRETE SILL TO REMAIN
- 8 REMOVE CONCRETE BLOCK TO CREATE NEW WINDOW OPENING INCLUDING ANY EXISTING WINDOW INSERTED INTO CONCRETE BLOCK
- 9 INDICATES FINAL NEW WINDOW OPENING SIZE
- 10 REMOVE OVERHANG CANOPY
- 11 REMOVE ROLL-UP DOOR
- 12 REMOVE ELEVATOR DOORS
- 13 REMOVE DOCK BUMPER
- 14 REMOVE WOOD SIDING AND ALL BACK-UP MATERIAL TO CREATE NEW WINDOW OPENING



09/20/21	Historic Commission Review
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06 18 20	Historic Commission Review
06 08 20	Owner Review

Date: Issued For:

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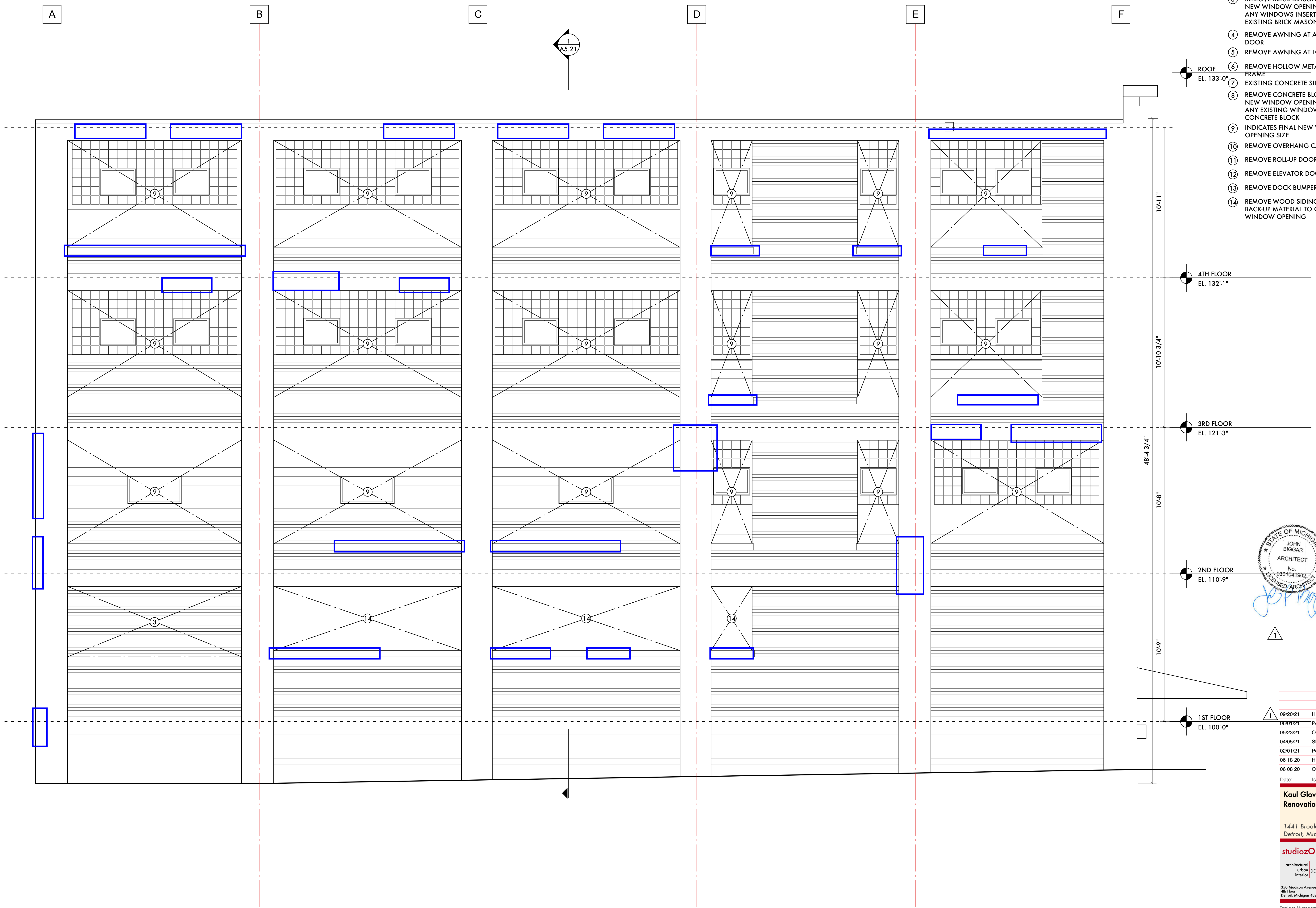
Project Number: 2019-

Sheet Title:

A BROOKLYN ELEVATION (EAST)
SCALE: 3/8" = 1' - 0"

KEYED NOTES:

- ① REMOVE WINDOW/GLASS BLOCK INCLUDING ANY INSERTED WINDOWS
- ② REMOVE CONCRETE WINDOW SILL
- ③ REMOVE BRICK MASONRY TO CREATE NEW WINDOW OPENING INCLUDING ANY WINDOWS INSERTED INTO EXISTING BRICK MASONRY
- ④ REMOVE AWNING AT ABOVE ENTRANCE DOOR
- ⑤ REMOVE AWNING AT LOADING DOCK
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- ⑩ REMOVE OVERHANG CANOPY
- ⑪ REMOVE ROLL-UP DOOR
- ⑫ REMOVE ELEVATOR DOORS
- ⑬ REMOVE DOCK BUMPER
- ⑭ REMOVE WOOD SIDING AND ALL BACK-UP MATERIAL TO CREATE NEW WINDOW OPENING



09/20/21	Historic Commission Review
05/07/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits
06 18 20	Historic Commission Review
06 08 20	Owner Review
Date:	Issued For:

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Project Number: 2019-
Sheet Title:

**EXISTING
ELEVATIONS**

Sheet Number:

A5.02

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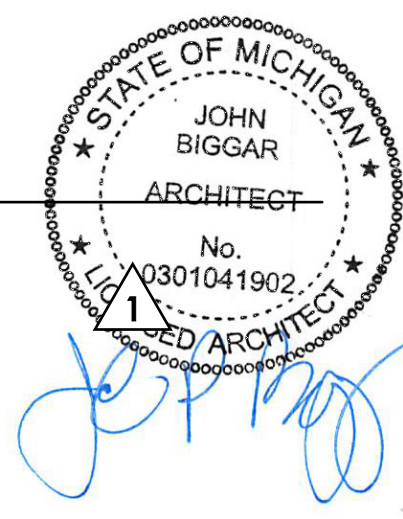
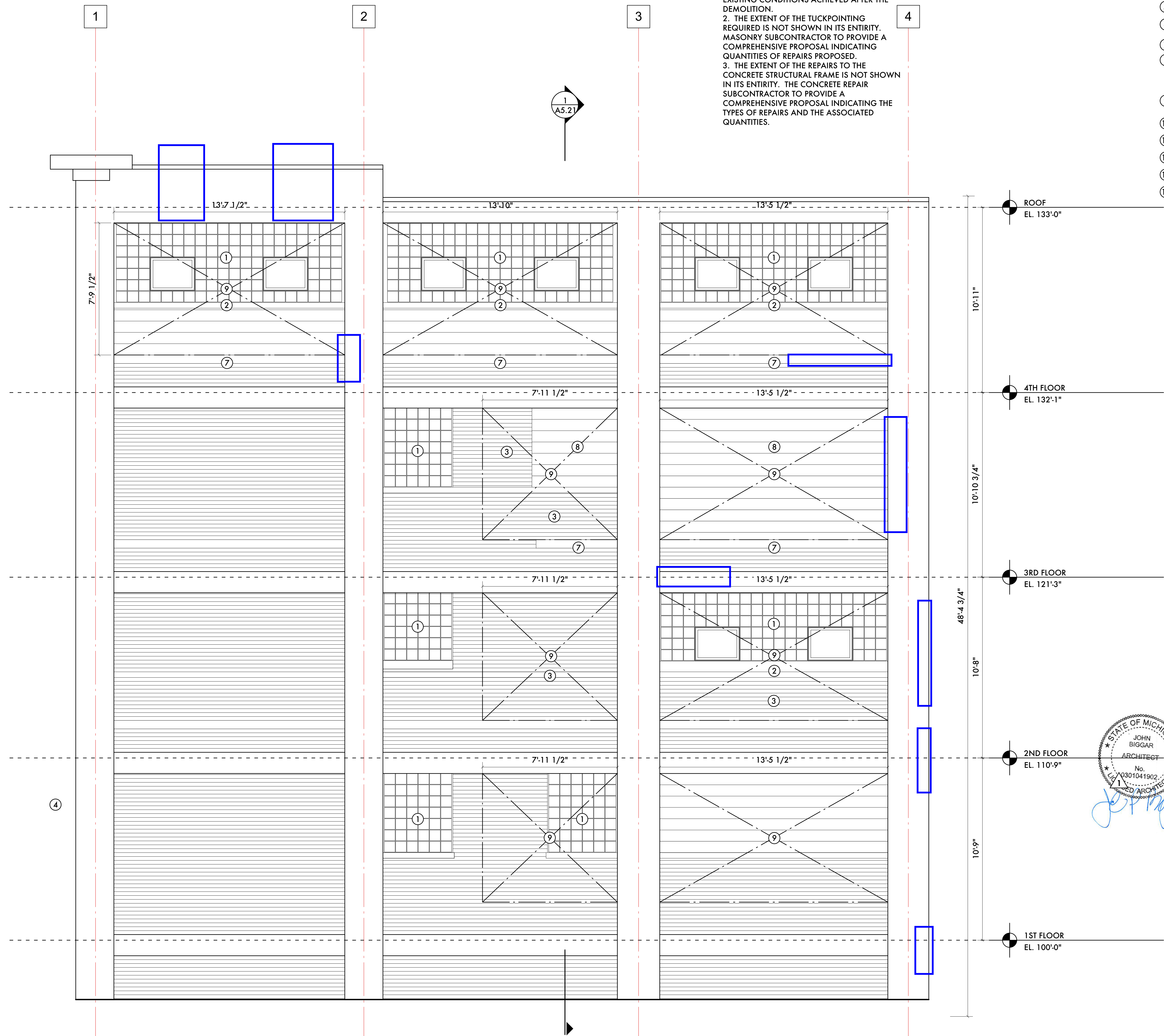


KEYED NOTES:

- ① REMOVE WINDOW/GLASS BLOCK INCLUDING ANY INSERTED WINDOWS
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- ⑬ REMOVE DOCK BUMPER
- ⑭ REMOVE WOOD SIDING AND ALL BACK-UP MATERIAL TO CREATE NEW WINDOW OPENING

GENERAL NOTES:

1. WINDOW OPENING SIZES SHOWN ARE APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD. FOR NEW WINDOW OPENINGS USING EXISTING SILLS, THE FINAL OPENING SIZE WILL BE BASED UPON THE EXISTING CONDITIONS ACHIEVED AFTER THE DEMOLITION.
2. THE EXTENT OF THE TUCKPOINTING REQUIRED IS NOT SHOWN IN ITS ENTIRETY. MASONRY SUBCONTRACTOR TO PROVIDE A COMPREHENSIVE PROPOSAL INDICATING QUANTITIES OF REPAIRS PROPOSED.
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09/20/21	Historic Commission Review
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits
06 18 20	Historic Commission Review
06 08 20	Owner Review
Date:	Issued For:

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Detroit, Michigan 48226

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350 Madison Avenue
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Detroit, Michigan 48226
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313.549.2790 (p)
jgb@ware.house.com

Project Number: 2019-
Sheet Title:

EXISTING ELEVATIONS

Sheet Number:

A5.03
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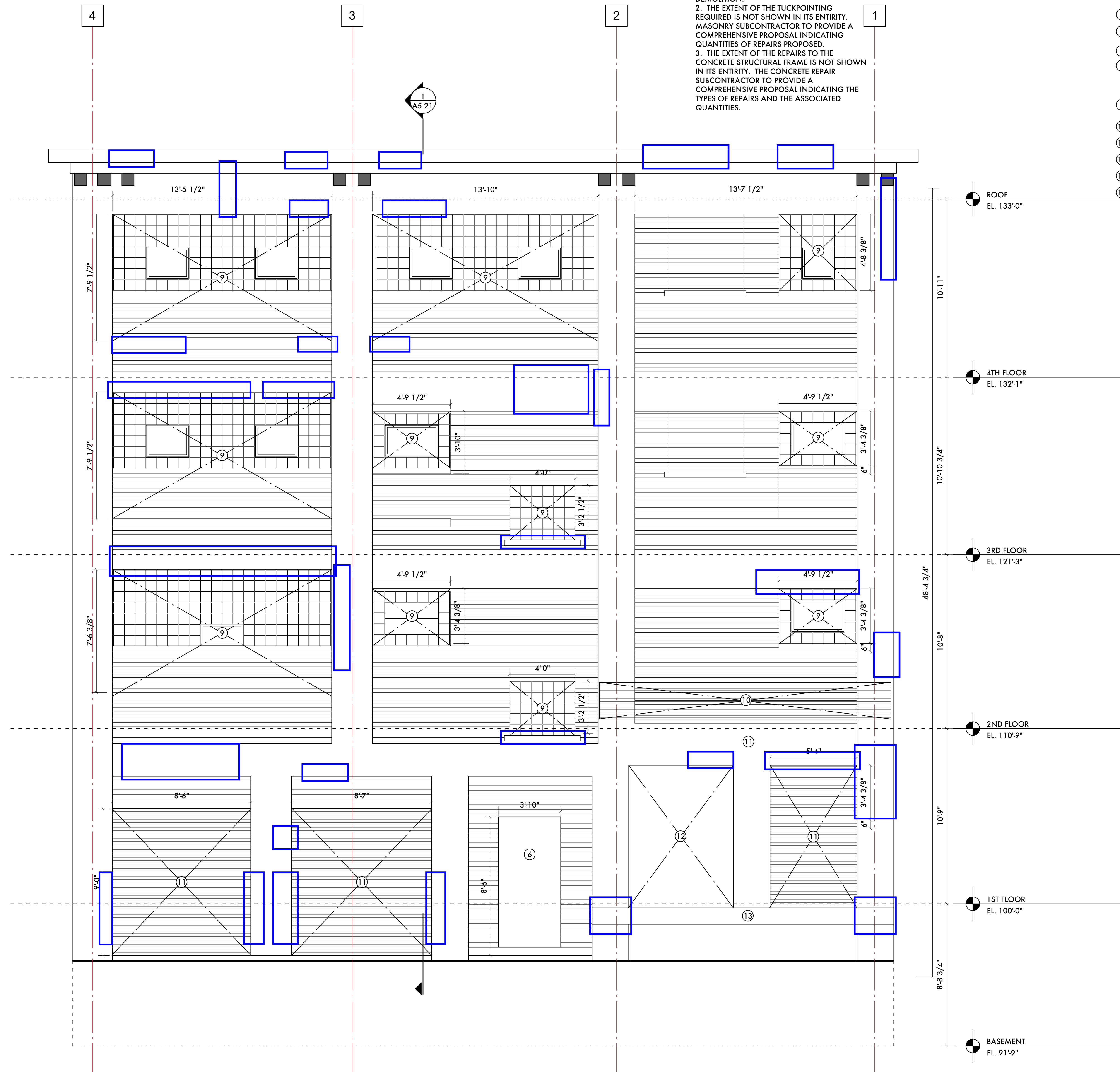


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B ALLEY ELEVATION (SOUTH)

SCALE: 3/8" = 1 - 0"



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Date:	Issued For:

**Kauli Glove Building
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Detroit, Michigan 48226

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350 Madison Avenue
Detroit, Michigan 48226
313.449.2790 (t)
jgb@warehouse.com

Project Number: 2020 - 03

**EXISTING & DEMOLITION
ELEVATIONS**

Sheet Number:
A5.01

GENERAL NOTES:

4. ENTIRE BUILDING, STRUCTURAL FRAME, BRICK MASONRY AREAS, ARE TO BE REPAINTED. PRIME AND SEAL ALL CONCRETE AND MASONRY. ALL MASONRY SURFACES TO BE REPAINTED SHOULD BE REPAINTED WITH A NON-WATERPROOF, BREATHABLE PAINT (I.E. SILICATE/MINERAL PAINT).

5. PAINTER TO SUBMIT FINAL PAINT COLOR MATERIALS AND SAMPLES FOR APPROVAL TO THE CITY OF DETROIT HISTORIC COMMISSION PRIOR TO PAINTING. COLOR TO BE A "BATTLESHIP GRAY".

6. CONCRETE AND MASONRY REPAIR AREAS SHOWN ARE FOR PRICING GENERAL REFERENCE ONLY. MASON AND CONCRETE REPAIR SUBCONTRACTOR TO DO A THOROUGH INVESTIGATION TO DETERMINE IF ANY OTHERS AREAS REQUIRE REPAIR BEFORE STARTING THE WORK.

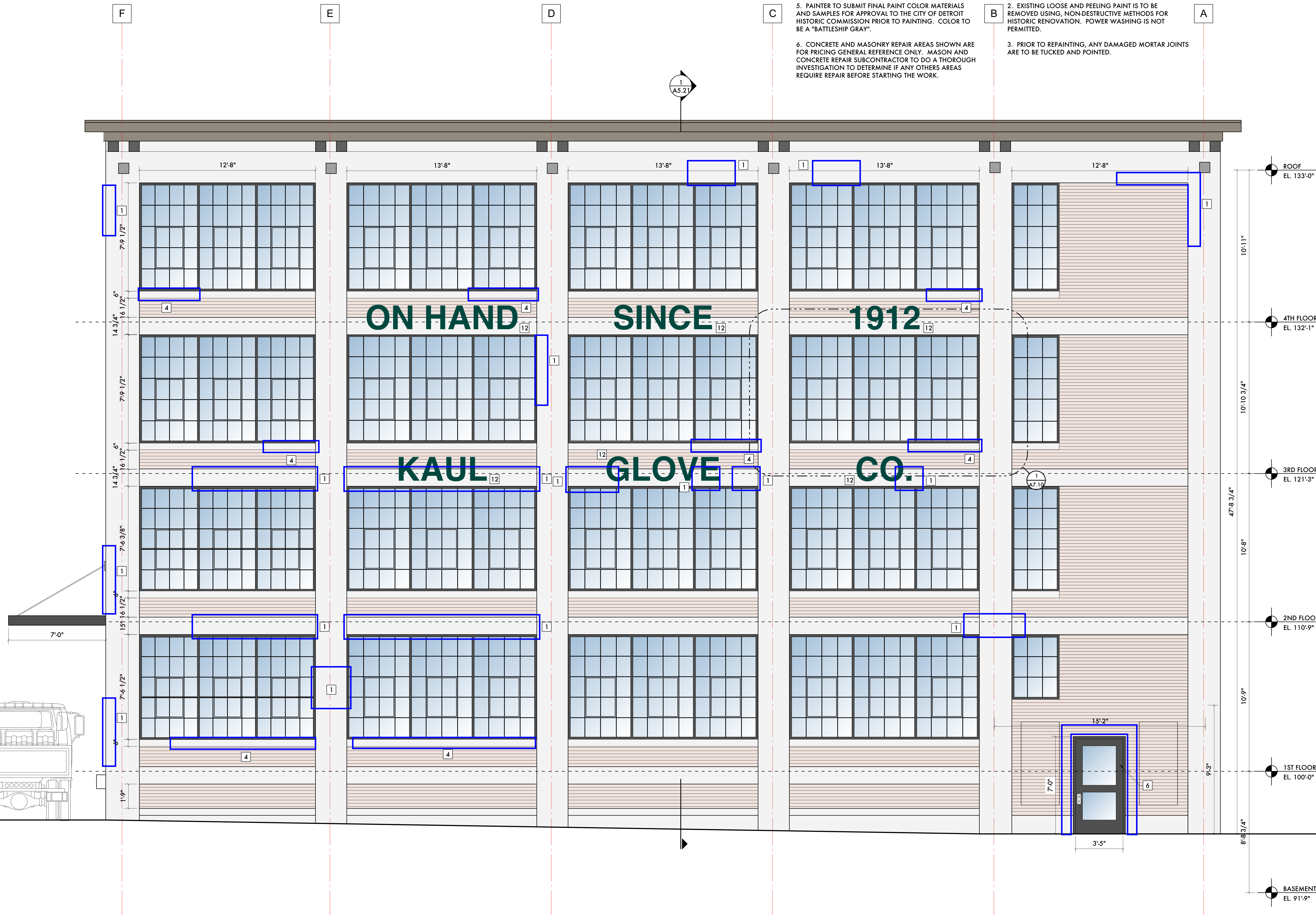
1. BASIS FOR DESIGN: WINDOW SYSTEM: SEAL-CRAFT FINISH: ANODIZED COLOR: BLACK OPERABLE UNITS: NONE MUNTINS: APPLIED, SIMULATED DIVIDED LITES

2. EXISTING LOOSE AND PEELING PAINT IS TO BE REMOVED USING, NON-DESTRUCTIVE METHODS FOR HISTORIC RENOVATION. POWER WASHING IS NOT PERMITTED.

3. PRIOR TO REPAINTING, ANY DAMAGED MORTAR JOINTS ARE TO BE TUCKED AND POINTED.

KEYED NOTES:

- 1 REPAIR EXISTING CONCRETE STRUCTURAL FRAME
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- 3 NEW BRICK PIER IN EXISTING WINDOW OPENING
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- 12 RE-INSTALL SALVAGED AND SAVED BUILDING SIGNAGE
- 13 GARAGE DOOR W/ INSULATED GLAZING



10/07/21	Historic Commission Review
09/20/21	Historic Commission Review
09/20/21	SHPO / NPS
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
06/19/20	BZA Application
06/18/20	Historic Commission Review
06/08/20	Owner Review

Date: Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
Detroit, Michigan 48226

studioONE : DETROIT

architectural
urban
interior DESIGN

350 Madison Avenue
Detroit, Michigan 48226
313.240.2760 |
jpb@wate-house.com

Project Number: 2020 - 03

Sheet Title:
ELEVATIONS

Sheet Number:
A5.10

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A BROOKLYN ELEVATION (EAST)
SCALE: 3/8" = 1'-0"

KEYED NOTES:

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PARAPET BEYOND (ALONG BROOKLYN STREET)

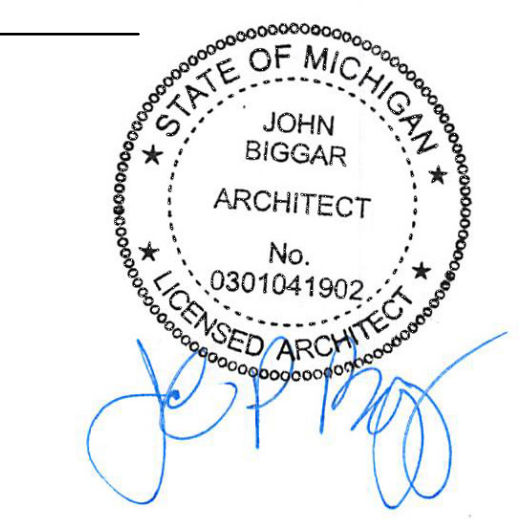
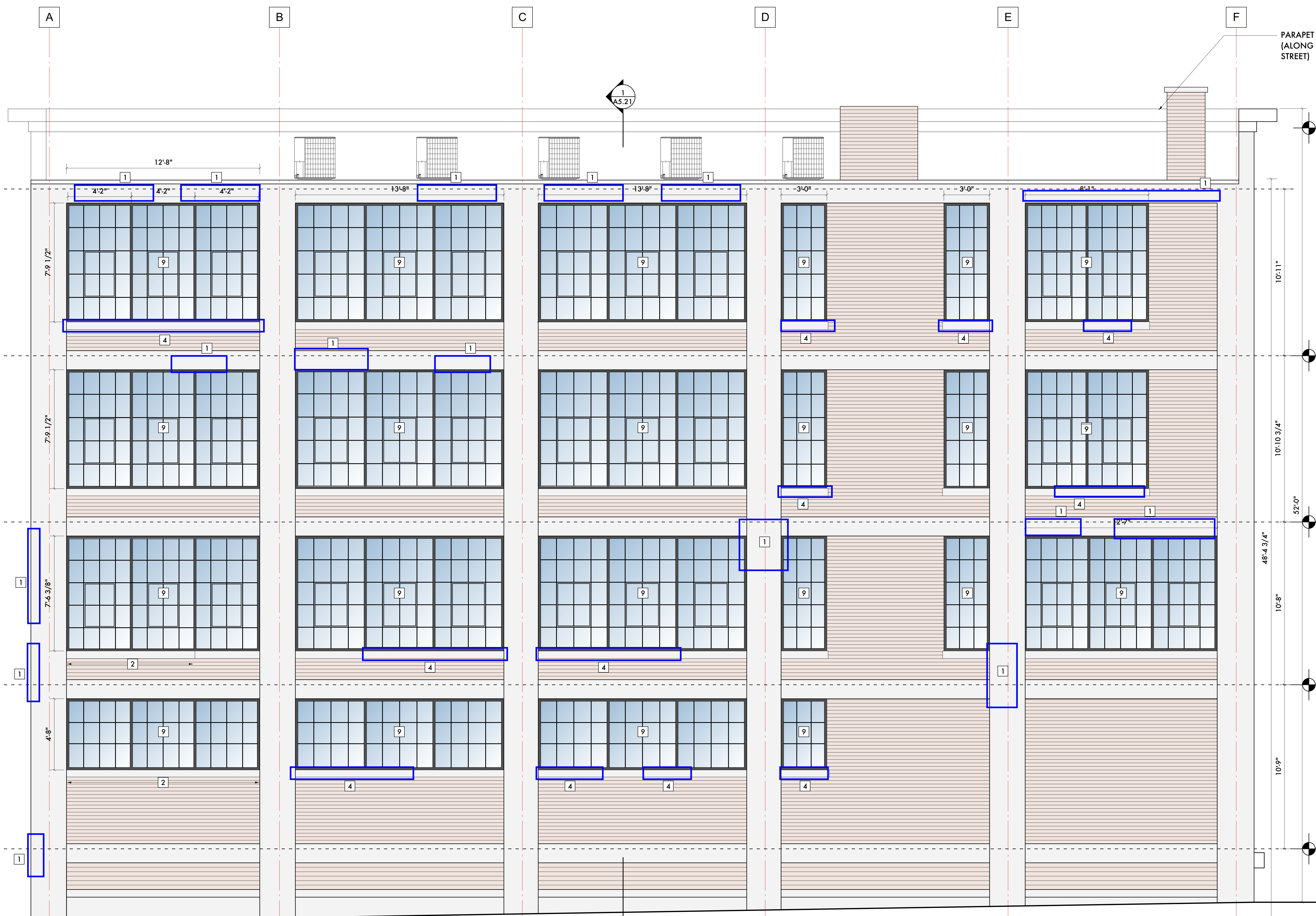
ROOF
EL. 133'-0"

4TH FLOOR
EL. 132'-1"

3RD FLOOR
EL. 121'-3"

2ND FLOOR
EL. 110'-9"

1ST FLOOR
EL. 100'-0"



10/07/21	Historic Commission Review
09/20/21	Historic Commission Review
09/20/21	SHPD / NPS
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPD
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review
Date:	Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
Detroit, Michigan 48226

studiozONE : DETROIT

architectural
urban DESIGN
interior

350 Madison Avenue
4th Floor
Detroit, Michigan 48226
studiozonedetroit.com
313.467.2700 (x)
jpb@warhouse.com

Project Number: 2020 - 03
Sheet Title:

ELEVATIONS

Sheet Number:

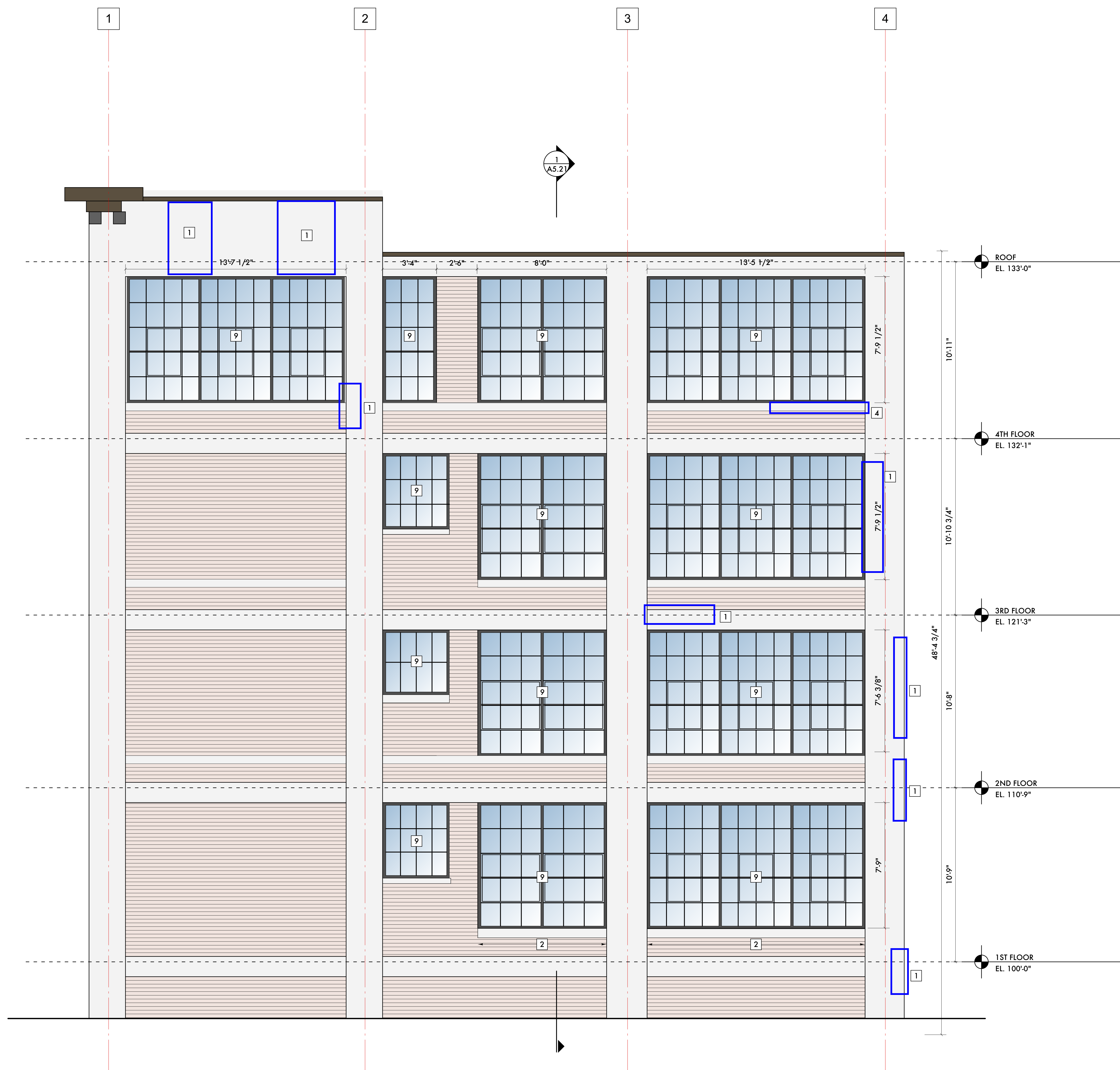
A5.11

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KEYED NOTES:

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10/07/21	Historic Commission Review
09/20/21	Historic Commission Review
09/20/21	SHPO / NPS
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
05/23/21	Owner Review
04/05/21	SHPO
02/01/21	Permits (VOID)
06/24/20	Historic Commission Review

Date: Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
Detroit, Michigan 48226

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architectural
urban
interior DESIGN

350 Madison Avenue
4th Floor
Detroit, Michigan 48226

studiozonedetroit.com
313.549.2790 [p]
jbig@www.studioz.com

Project Number: 2020 - 03

Sheet Title:
ELEVATIONS

Sheet Number:
A5.12

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KEYED NOTES:

- 1 REPAIR EXISTING CONCRETE STRUCTURAL FRAME
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10/07/21	Historic Commission Review
10/07/21	Elevator Revisions
09/20/21	Historic Commission Review
09/20/21	SHPO / NPS
09/06/21	ADD #2 - Code Review Comments
06/01/21	Permits
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350 Madison Avenue
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Detroit, Michigan 48226
studioonedetroit.com
313.249.2760 [p]
jpb@wade-house.com

Project Number: 2020 - 03

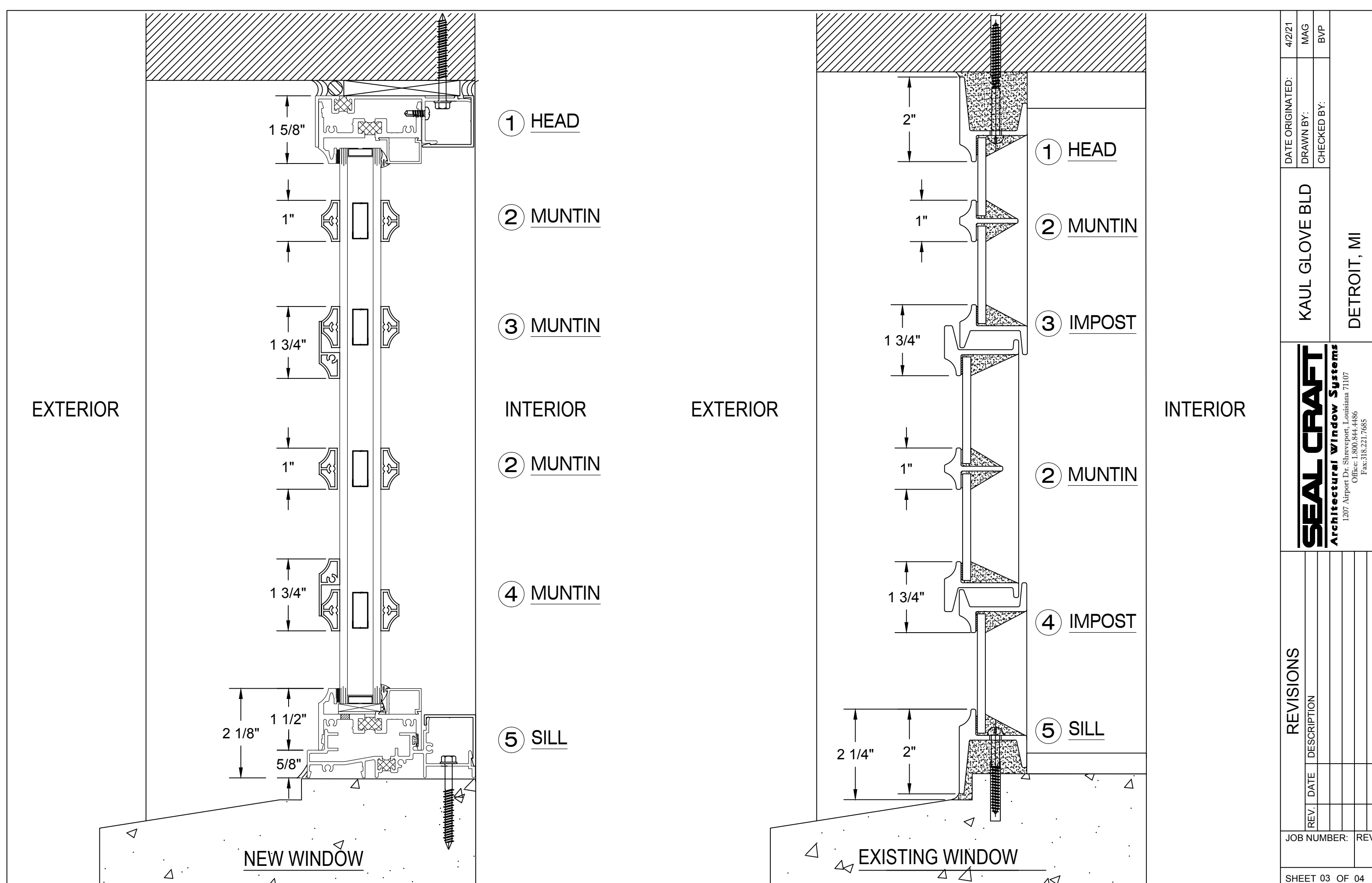
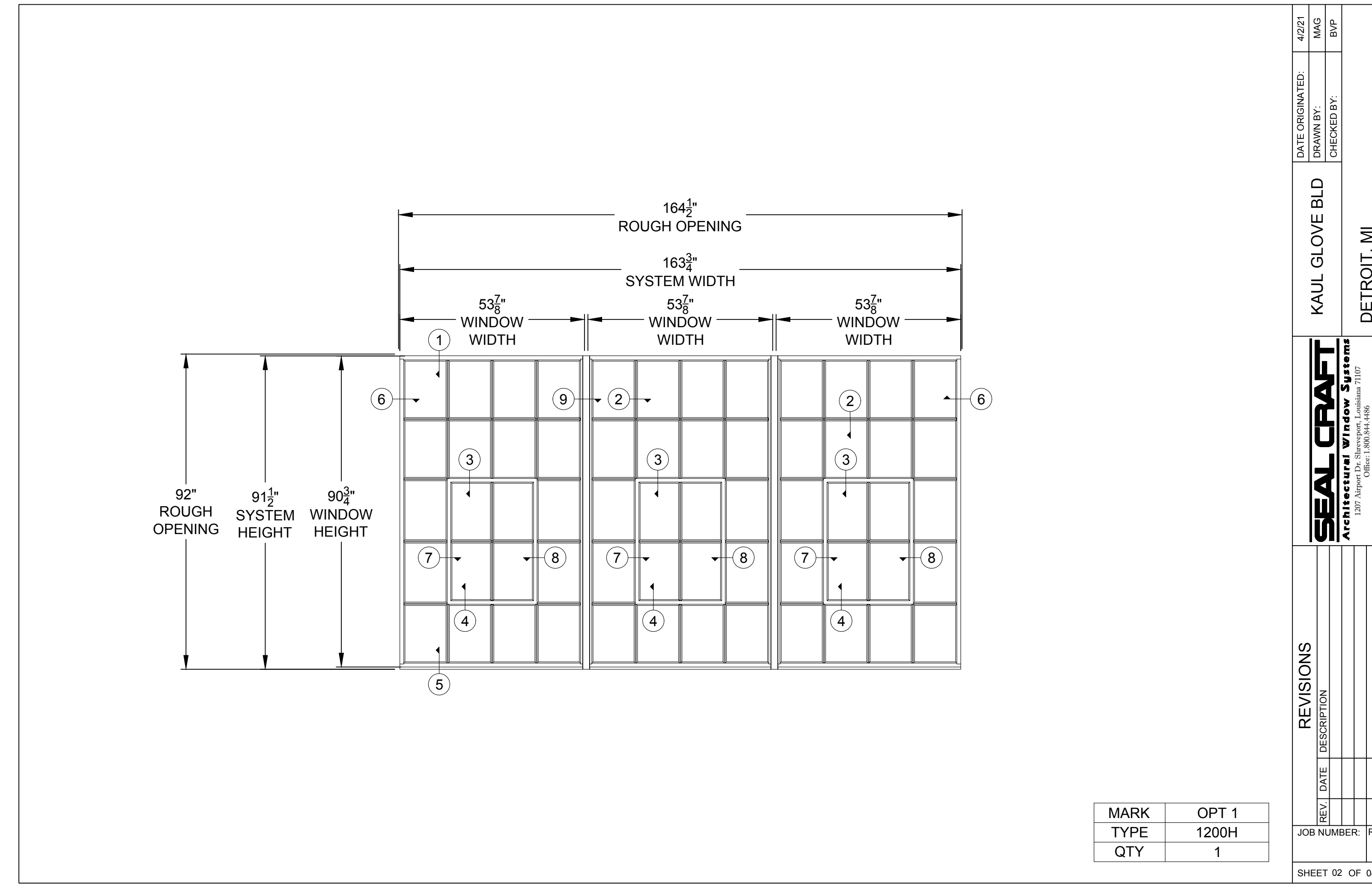
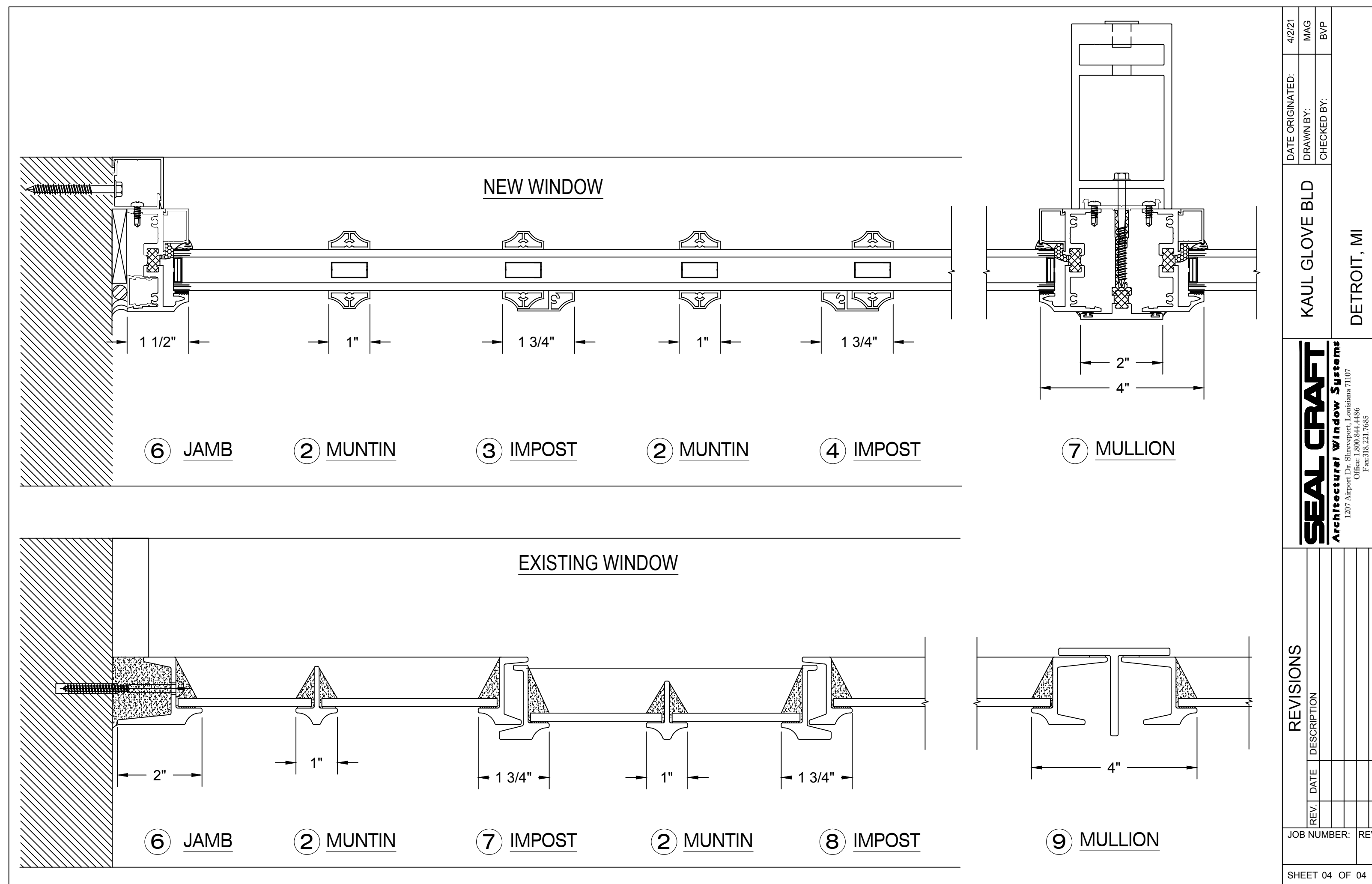
Sheet Title:

ELEVATIONS

Sheet Number:

A5.13

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KAUL GLOVE BUILDINGS DETROIT, MI

IMPORTANT NOTICES:

- The Client is responsible to verify accuracy on all dimensions and quantities on the submittal drawings.
- Approved or reviewed shop drawings will take precedence over specifications in case of a conflict.
- All elevations are as viewed from the exterior.
- These shop drawings are an interpretation of information which we have received in connection with this project. They may vary from the architectural drawings and/or field conditions and each detail must be thoroughly reviewed and approved by the architect. These shop drawings are supplied for the submittal and approval process. All parties involved shall review for respective applications.
- Prompt return of reviewed and approved drawing submittals is essential for expedient production scheduling for your order. Raw materials for your order will be ordered only upon receipt of approved submittal drawings. Our price is based on our shop drawings. Additions or deletions of detail changes may result in additional charges or production delays.
- Seal Crafts responsibility shall be limited to providing window products in accordance with approved shop drawings. Customer is responsible for verifying all information included in shop drawings is correct and accurate. Signing and returning these shop drawings to Seal Craft means that you have thoroughly reviewed them and accept responsibility for their accuracy.
- Seal Craft does not warrant build sizes for fit or against variations in opening sizes. Accuracy of all dimensions and installation engineering details are the sole responsibility of the purchaser and installing subcontractor.
- Seal Craft must be notified of field testing requirements before the order is placed. Field testing are to be pursuant to AAMA 502.08. Test pressure shall be based on the design pressure of the building and shall be calculated in accordance with AAMA 502.08. Testing shall be performed as quickly as possible after first window is installed.

WARRANTY:

- Seal Crafts warranty document is available at www.seal-craft.com.
- Seal Crafts warranty shall be null and void in cases where installation instructions are not followed, where products are installed into sub standard construction substrates or if there have been unauthorized modifications to the product or installation procedure.

SPECIAL INSTRUCTIONS TO INSTALLER:

- All window systems shall be installed pursuant to AAMA Publication IPCB-08, ASTM E 2112, and AAMA 2400-02. These documents can be located at www.seal-craft.com together with Seal Craft product specific installation and maintenance instructions.
- Installer must properly shim and adjust all windows for proper operation. Shim jambs of all windows at all fastener locations and especially at meeting rail of single and double hung windows.
- Customer to verify that all opening dimensions and existing wall conditions are acceptable to receive window installation if not, please notify general contractor or architect as appropriate.
- Installer is responsible for properly sealing around windows or anywhere there is an exterior joint that is not factory sealed or weather stripped.
- Installer is responsible to ensure that all window to subframe, panning, and mullion weather strip joints are fully compressed and sealed during field assembly.
- Seal fasteners at every location where fastener pierces sub sill of window system.
- Seal Craft does not provide fasteners, blocking, flashing, or insulation.
- Seal Craft will not be responsible for condensation at window sills due to sill pans supplied and installed by others.
- Type and placement of anchors as determined by others.

NOTICES:

- Ensure that the window installation subcontractor has been provided with a set of approved shop drawings for the project PRIOR to the commencement of installation activities.
- Should questions arise call 1-800-944-4486 before proceeding with installation.
- These shop drawings constitute the Copy Written intellectual property of Seal Craft and may not be divulged to parties other than the architect and installing subcontractor without explicit written approval by Seal Craft.

DELIVERY, UNLOADING, AND STORAGE:

- Before windows are delivered pre-plan for a suitable storage area to keep the window products secure, clean, dry, and protected from temperature extremes.
- Seal Craft will provide concise packing slips for all materials delivered. Ensure that materials are checked in and verified against the packing list.
- Any material shortages or damage must be noted on the drivers bill of lading or shipping ticket. In no case will Seal Craft acknowledge any freight claims made after 30 days past the delivery date.

PROJECT SPECIFIC SELECTIONS:

GLAZING REQUIREMENTS
 1/4" LOW E OVER 1/4" CLEAR
 272 #2

FINISH
 2603 BLACK 768

HOTEL PROJECTS:

- On all Horizontal Slider jobs (4100 Series) Sash stops to be installed in head only. Use provided screws. Installation of Sash stop in sill may block weep holes and cause water intrusion.
- Need screen springs in 1 height of screens (Jamb side).

SHOP DRAWING/SUBMITTAL REVIEW

REVIEWED AND APPROVED APPROVED WITH CHANGES NOTED
 REVISE AND RESUBMIT REJECTED

REVIEW IS FOR THE GENERAL CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SPECIFIC TO EXACT DIMENSIONS, DETAILS, AND QUANTITIES GIVEN IN THE SUBMITTED SHOPS.

BY: _____
 DATE: _____

DATE ORIGINATED: 4/21/21
 DRAWN BY: MAG
 CHECKED BY: BVP

KAUL GLOVE BLD
 DETROIT, MI

SEAL CRAFT
 Architectural Window Systems
 1327 Michigan Ave., Detroit, MI 48226
 Phone: 313.224.1400 Fax: 313.224.1400

REVISIONS

REV. DATE DESCRIPTION

JOB NUMBER: REV.

SHEET 01 OF 04



09/20/20 Historic Commission Review
 09/06/20 ADD #2 - Code Review Comments
 06/01/20 Permits
 05/23/21 Owner Review

Date: Issued For:

**Kaul Glove Building
Renovation & Adaptive Reuse**

1441 Brooklyn
 Detroit, Michigan 48226

studioONE : DETROIT

architectural
 urban
 interior DESIGN

350 Madison Avenue
 4th Floor
 Detroit, Michigan 48226
 studioonedetroit.com
 313.240.2760
 jpb@whe-house.com

Project Number: 2020 - 03

Sheet Title:

**WINDOW SYSTEM
BASIS OF DESIGN**

KAUL GLOVE BUILDINGS

DETROIT, MI

IMPORTANT NOTICES:

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G1 GLAZING REQUIREMENTS
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272 #2

FINISH
2603 BLACK 768

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- REVIEWED AND APPROVED APPROVED WITH CHANGES NOTED
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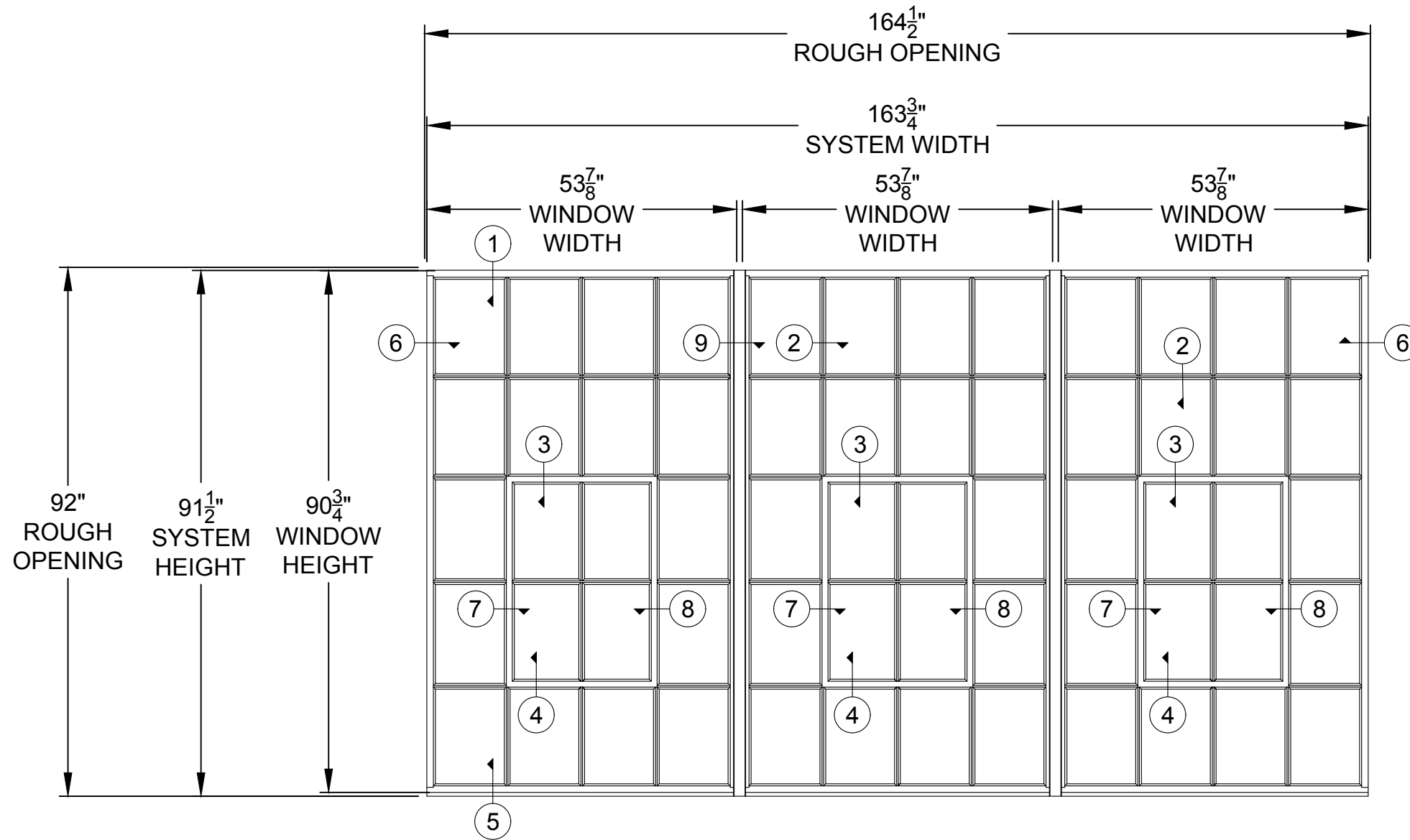
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DATE ORIGINATED:	4/2/21	DRAWN BY:	MAG	CHECKED BY:	BVP
KAUL GLOVE BLD			DETROIT, MI		
SEAL CRAFT Architectural Window Systems <small>1207 Airport Dr. Shreveport, Louisiana 71107 Office: 1.800.844.4486 Fax: 318.221.7685</small>					
REVISIONS	REV.	DATE	DESCRIPTION		
JOB NUMBER:			REV.		
SHEET 01 OF 04					



MARK	OPT 1
TYPE	1200H
QTY	1

REVISIONS							
	REV.	DATE	DESCRIPTION				
JOB NUMBER:		REV.					
SEAL CRAFT Architectural Window Systems <small>1207 Airport Dr. Shreveport, Louisiana 71107 Office: 1.800.844.4486 Fax: 318.221.7685</small>							
KAUL GLOVE BLD				DETROIT, MI			
DATE ORIGINATED:		DRAWN BY:		CHECKED BY:		4/2/21 MAG BVP	

EXTERIOR

1 5/8"

1"

1 3/4"

1"

1 3/4"

2 1/8"

1 1/2"

5/8"

NEW WINDOW

① HEAD

② MUNTIN

③ MUNTIN

INTERIOR

② MUNTIN

④ MUNTIN

⑤ SILL

EXTERIOR

2"

1"

1 3/4"

1"

1 3/4"

2 1/4"

2"

EXISTING WINDOW

① HEAD

② MUNTIN

③ IMPOST

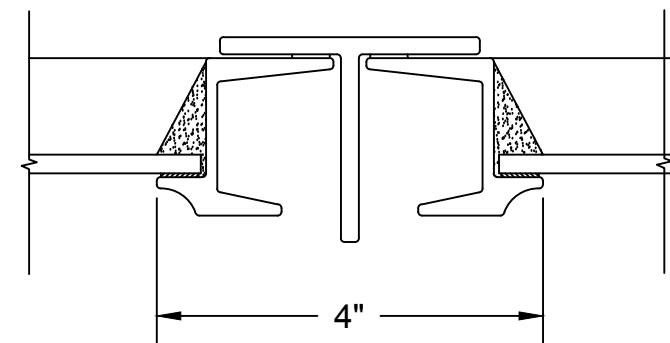
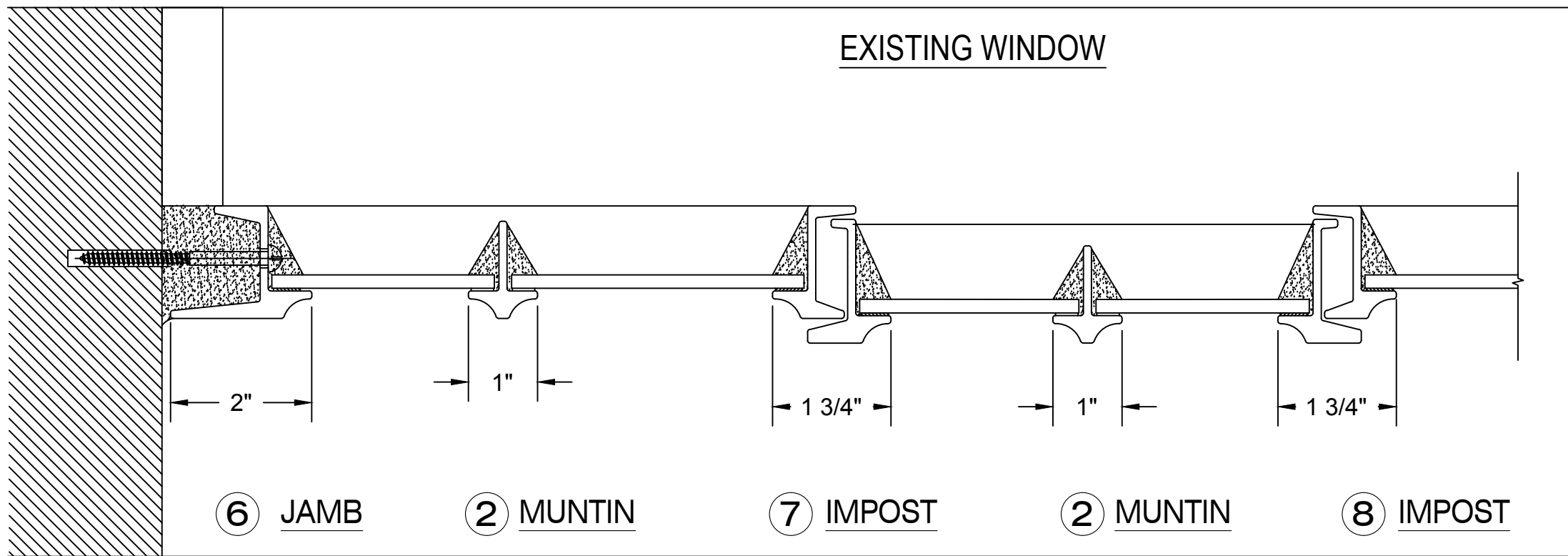
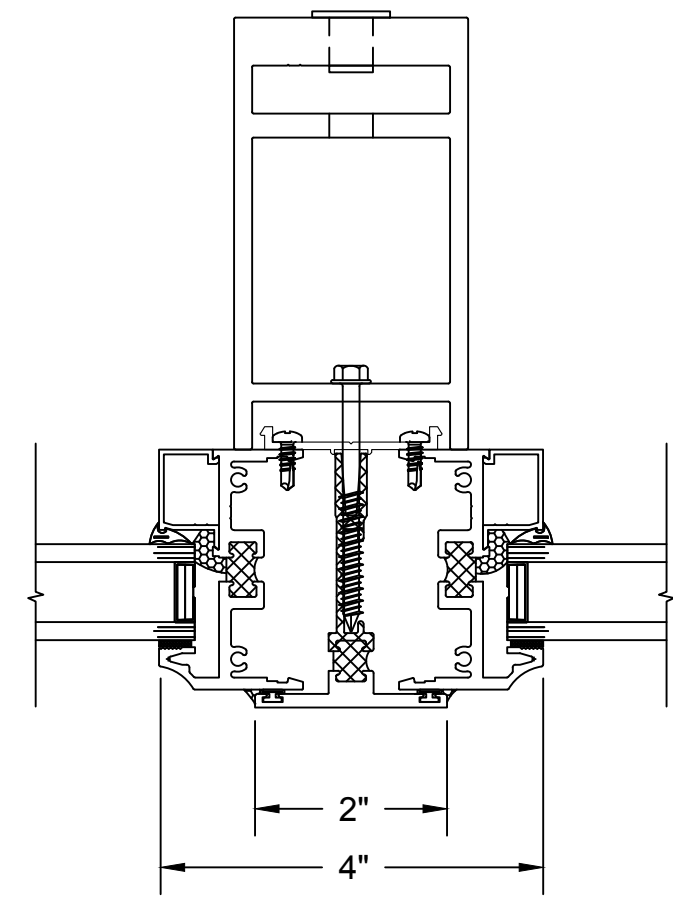
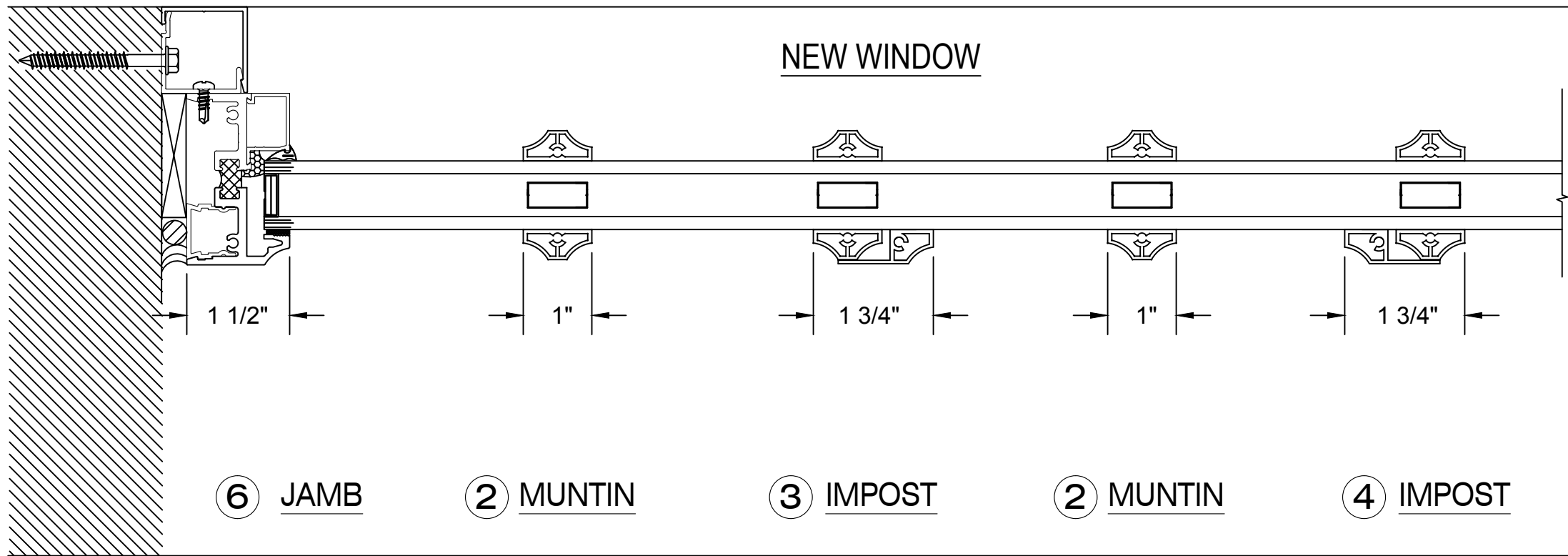
② MUNTIN

④ IMPOST

⑤ SILL

INTERIOR

DATE ORIGINATED:	4/2/21	DRAWN BY:	MAG	CHECKED BY:	BVP
KAUL GLOVE BLD			DETROIT, MI		
SEAL CRAFT Architectural Window Systems 1207 Airport Dr. Shreveport, Louisiana 71107 Office: 1.800.844.4486 Fax: 318.221.7685					
REVISIONS					
REV.	DATE	DESCRIPTION			
JOB NUMBER:			REV.		
SHEET 03 OF 04					



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 CHECKED BY: BVP

KAUL GLOVE BLD
 DETROIT, MI

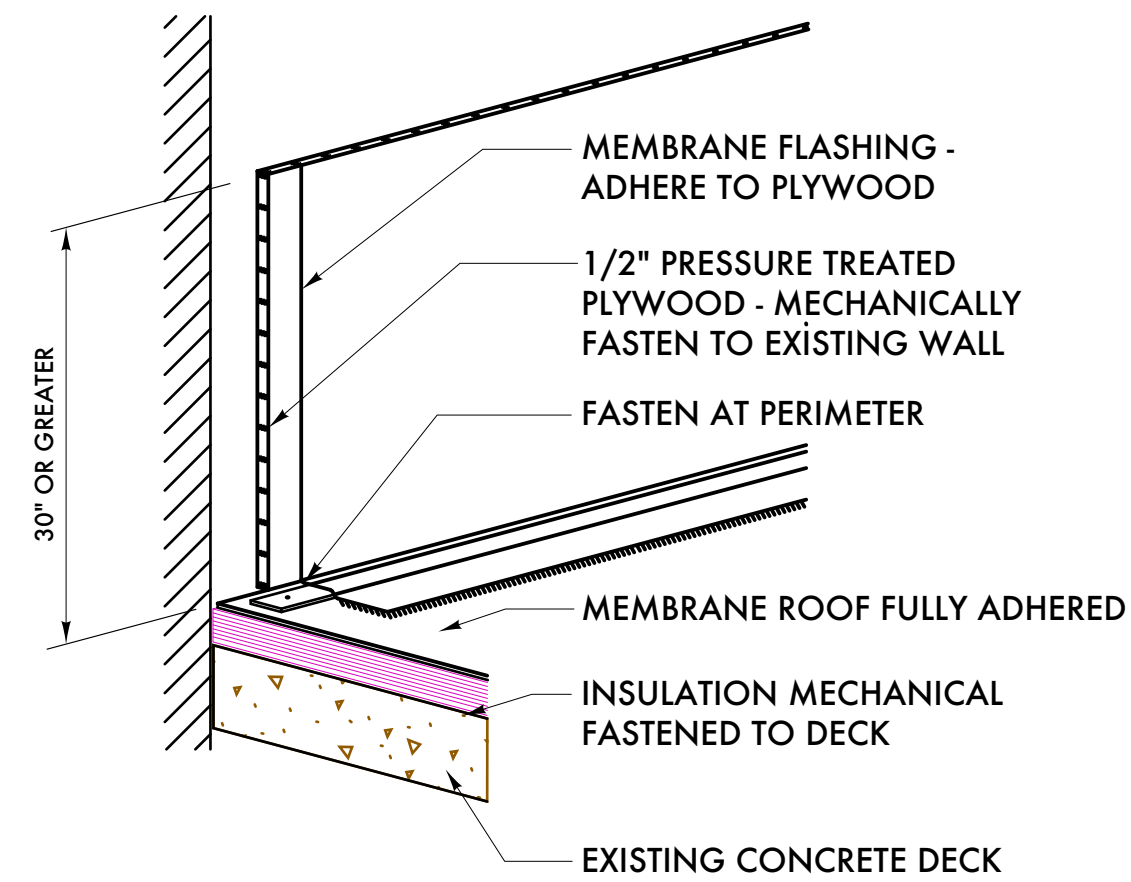
SEAL CRAFT
Architectural Window Systems
 1207 Airport Dr. Shreveport, Louisiana 71107
 Office: 1.800.844.4486
 Fax: 318.221.7685

REVISIONS	
REV.	DESCRIPTION

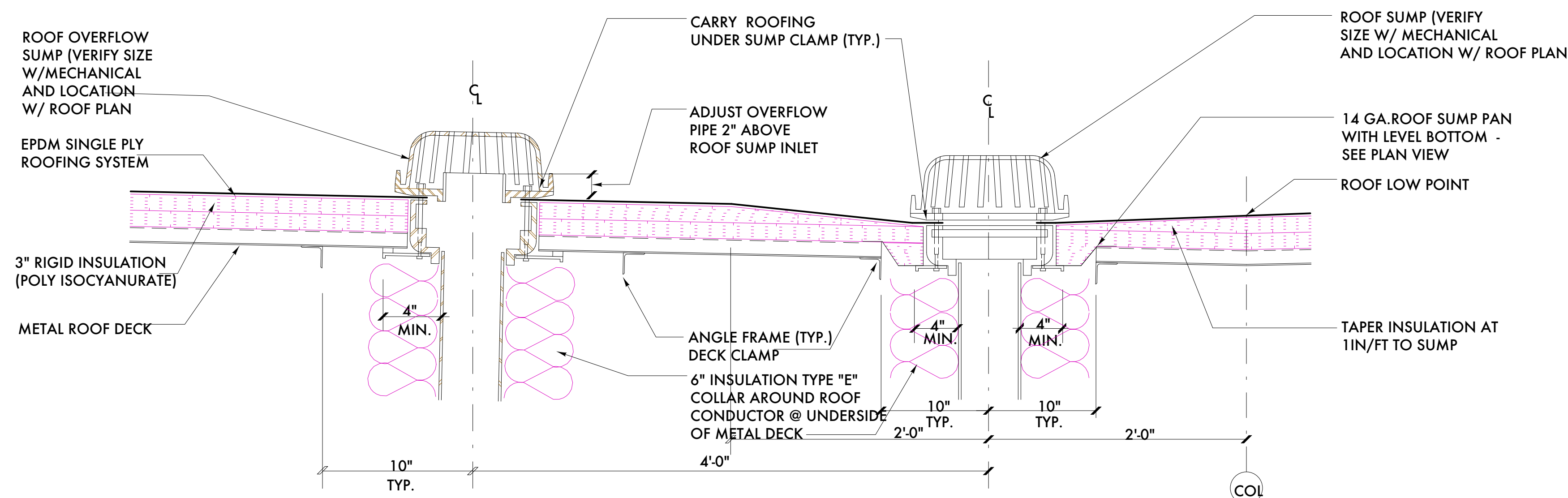
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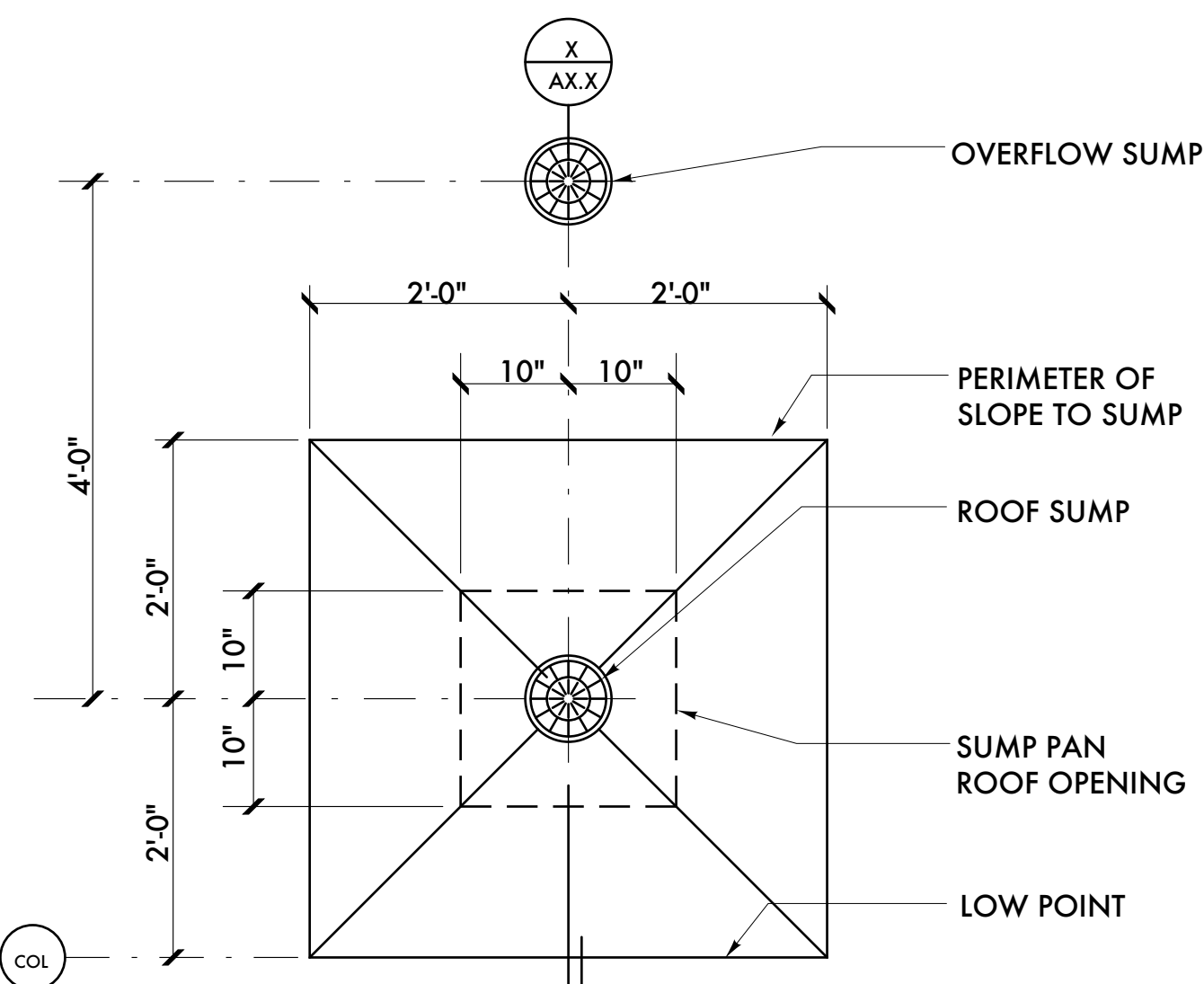
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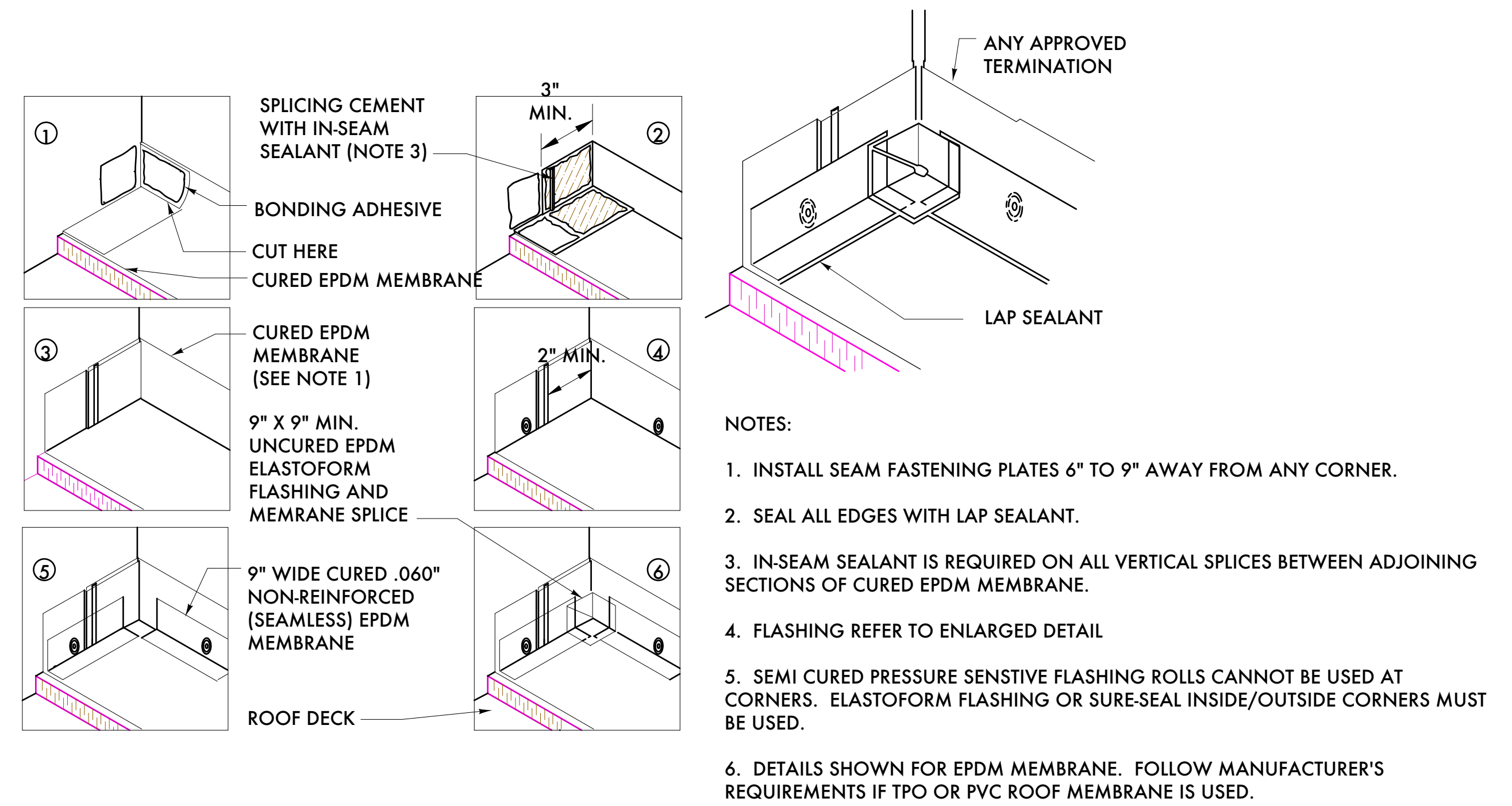
6 SECTION/DETAIL AT ROOF PARAPET
 A7.11 SCALE: 3/4" = 1 - 0"



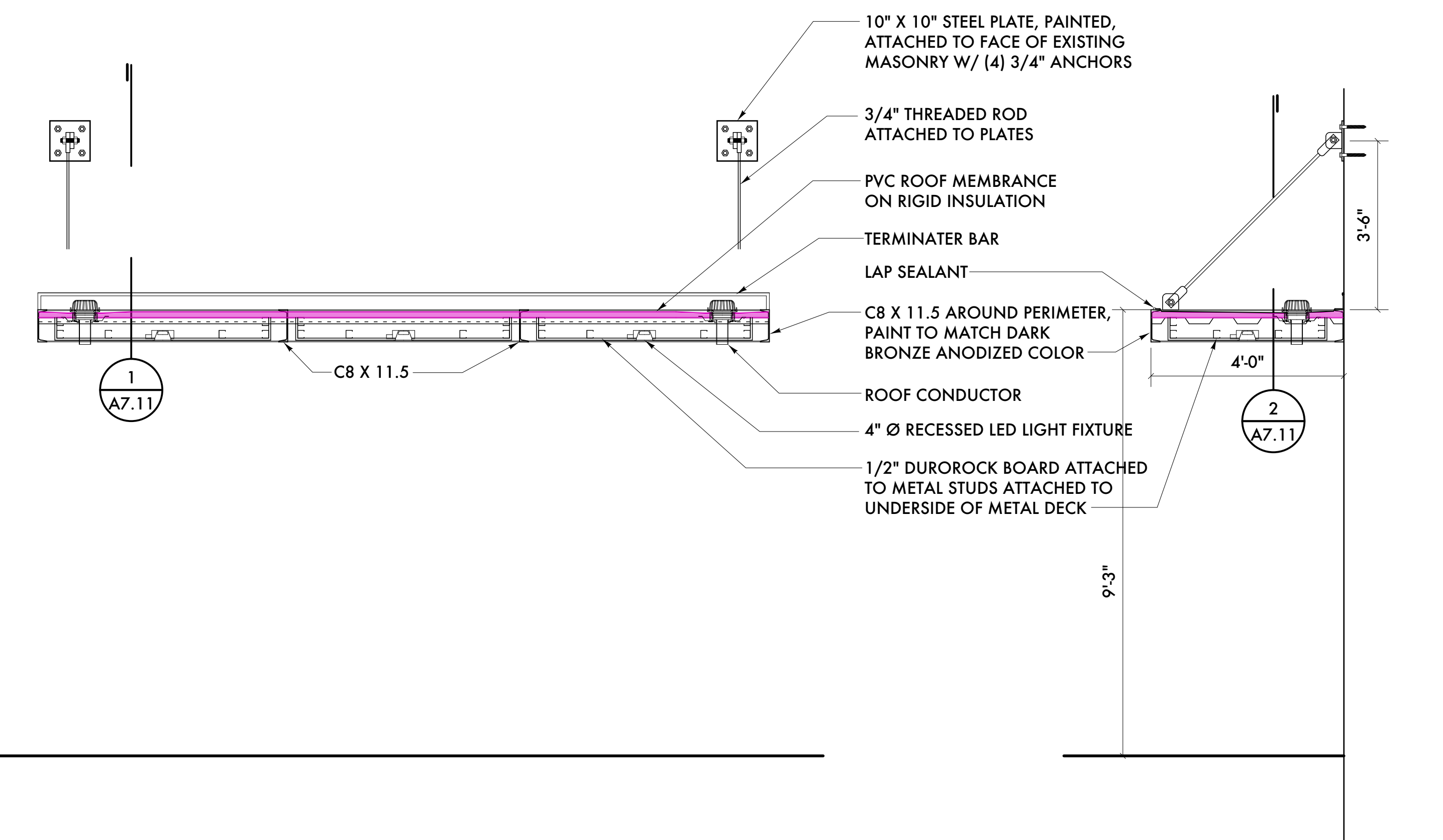
6 SECTION/DETAIL AT ROOF DRAIN
 A7.11 SCALE: 1/2" = 1 - 0"



5 ROOF DRAIN PLAN DETAIL
 A7.11 SCALE: 1/2" = 1 - 0"

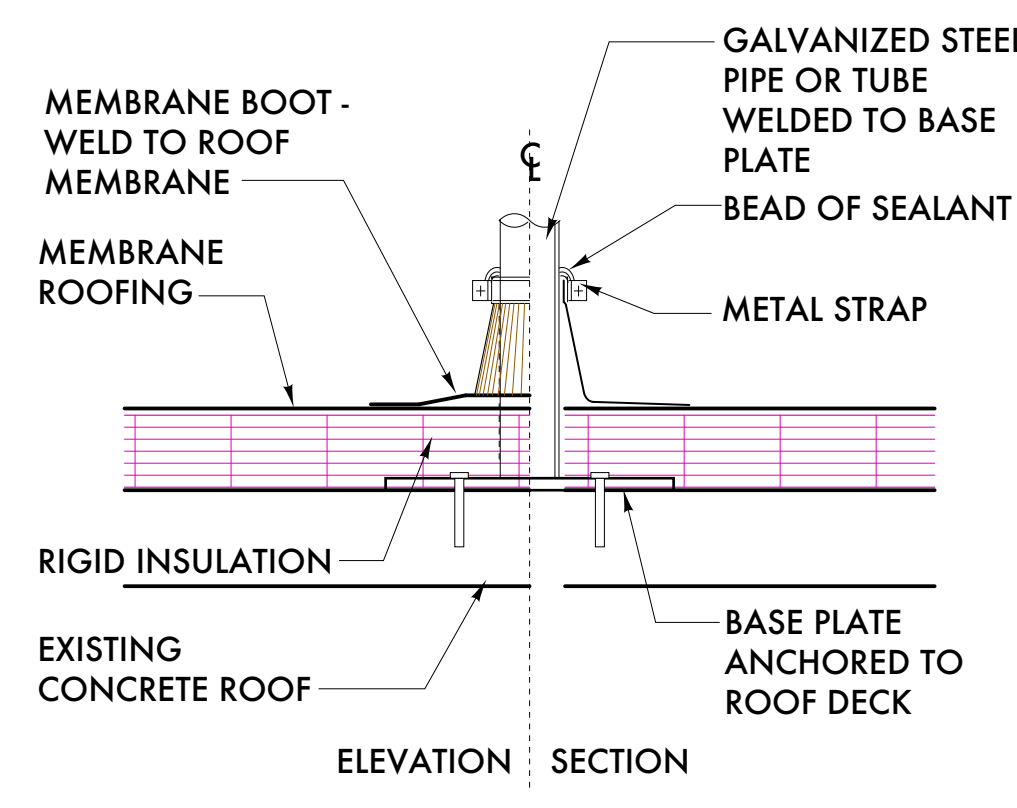


6 ROOF MEMBRANE DETAILS
 A7.11 SCALE: 3/4" = 1 - 0"

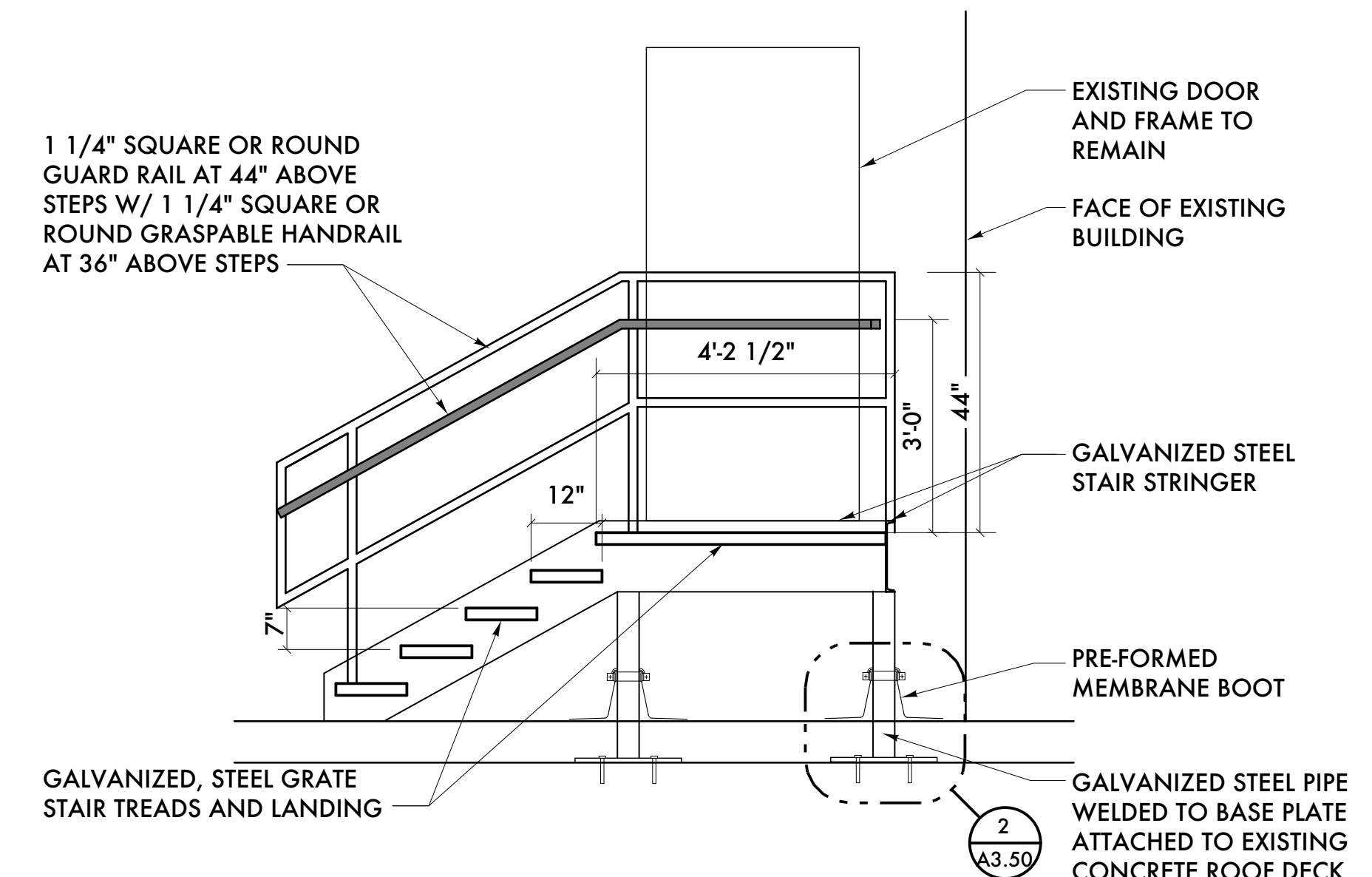


4 SECTION/DETAIL AT ALLEY ENTRANCE CANOPY
 A7.11 SCALE: 1/2" = 1 - 0"

3 SECTION/DETAIL AT ALLEY ENTRANCE CANOPY
 A7.11 SCALE: 1/2" = 1 - 0"



2 ROOF BOOT DETAIL
 A7.11 SCALE: 1/2" = 1 - 0"



1 SECTION AT SERVICE STEPS
 A7.11 SCALE: 1/2" = 1 - 0"



10/07/21 Historic Commission Review
 09/06/21 ADD #2 - Code Review Comments
 06/01/20 Permits
 05/23/21 Owner Review
 Date: Issued For:
**Kaul Glove Building
 Renovation & Adaptive Reuse**
 1441 Brooklyn
 Detroit, Michigan 48226
studiozONE : DETROIT
 architectural urban interior DESIGN
 350 Madison Avenue
 4th Floor
 Detroit, Michigan 48226
 studiozonedetroit.com
 313.340.2760 | jpb@wade-house.com

Project Number: 2020 - 03
 Sheet Title:
EXTERIOR DETAILS

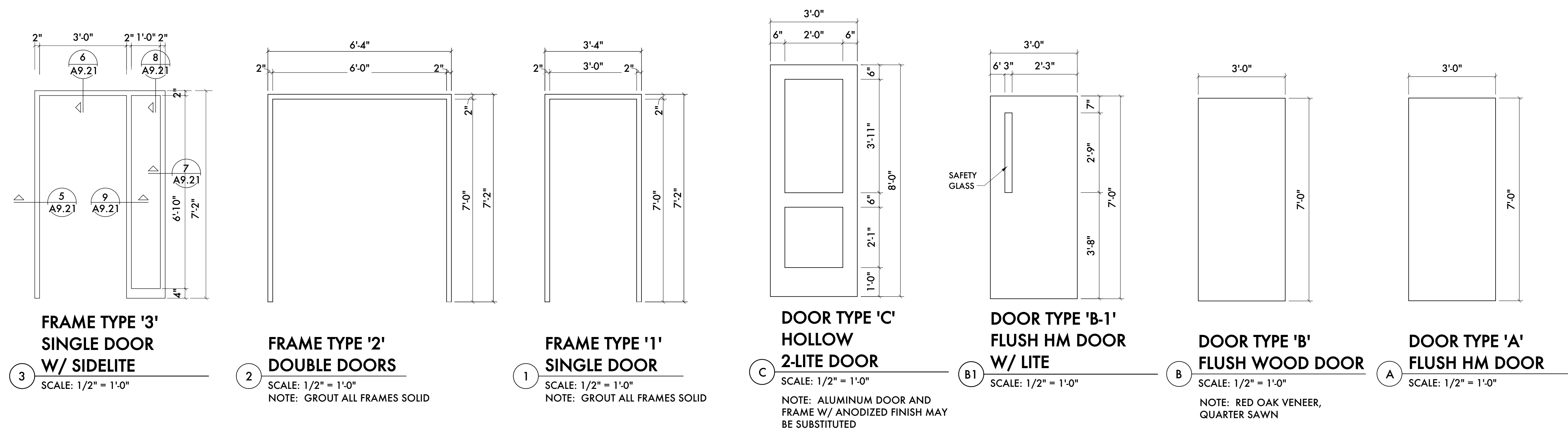
ENTRY DOOR & FRAME
BASIS OF DESIGN:

DOOR FRAME:
MANUFACTURER: CECO (ASSA ABLOY)
SERIES: SQ
TYPE: MITERED AND WELDED CORNERS
THICKNESS: 16 GAUGE, GALVANIZED
DEPTH: MATCH WALL THICKNESS, MINIMUM 5 3/4"
COLOR: PAINT TO MATCH BLACK ANODIZED

DOOR:
MANUFACTURER: CECO (ASSA ABLOY)
SERIES: 1 3/4" REGENT (R) HONEYCOMB CORE
TYPE: FLUSH PANEL STEEL DOOR
DOOR DESIGN: TYPE G
THICKNESS: 18 GAUGE, GALVANIZED

GARAGE DOOR
BASIS OF DESIGN:

MANUFACTURER: WAYNE DALTON
MODEL: 8850 SERIES ALUMINUM
SERIES: DOUBLE WIDE FRAME, (3 PANEL),
POLYURETHANE FILLED RAILS AND STILES
COLOR: BLACK ANODIZED
GLASS: CLEAR, 1/2" INSULATED



DOOR SCHEDULE																			
FLOOR	DOOR NUMBER	TYPE	CARD READER	ROOM NUMBER / NAME	DOOR DESCRIPTION			DOOR	FRAME			DETAILS				LABEL	HARDWARE SET	REMARKS	DOOR NUMBER
					MATERIAL	FINISH	SIZE - WIDTH X HEIGHT X THICKNESS		MATERIAL	FINISH	ELEV	HEAD	JAMB	SILL	PARTITION				
BASEMENT	B03A	DEMO EX. - NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	1		B03A
	B04A	DEMO EX. - NEW		LANDLORD STORAGE	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	2		B04A
	B05A	DEMO EX. - NEW		ELECTRICAL ROOM	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B	3		B05A
	B06A	DEMO EX. - NEW		WATER METER ROOM	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B	4		B06A
	B08A	NEW		TOILET	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	5		B08A	
	B09A	NEW		TOILET	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	5		B09A	
	B10A	NEW		ROOM #1	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	2		B10A	
	B11A	NEW		ROOM #2	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	2		B11A	
	B12A	NEW		ROOM #3	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	2		B12A	
	B13A	NEW		GAS METER ROOM	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	6		B13A	
1ST FLOOR	102A	NEW		ELEVATOR LOBBY	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	8		102A
	102B	NEW		ELEVATOR LOBBY	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	C	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B	8		102A
	103A	NEW		TOILET	WOOD	STAINED	3'-0" X 7'-0" X 1 3/4"	A	KNOCK-DOWN	PREFINISHED BAKED ENAMEL	1	-	-	-	B	5		103A	
	104A	NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	C	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	9		104A
	104B	NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	10		104B
	104C	NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	9		104C
	105A	NEW		MECHANICAL ROOM	WOOD	STAINED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	4		105A
	107A																		
	109A	DEMO EX. - NEW		STAIR 'A'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	9		109A
	109B	NEW		STAIR 'A'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	C	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	10		109B
109C	DEMO EX. - NEW		STAIR 'A'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	6/A9.20	6/A9.20	15/A9.20	EXISTING MASONRY WALL	B/90	9		109C	
110A	NEW		MECHANICAL ROOM	WOOD	STAINED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	4		110A	
2ND FLOOR	202A	NEW		ELEVATOR LOBBY	HOLLOW METAL	PAINTED	(2) 3'-0" X 7'-0" X 1 3/4"	B	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	11		202A
	203A	NEW		TOILET	KNOCK-DOWN	STAINED	3'-0" X 7'-0" X 1 3/4"	A	KNOCK-DOWN	PREFINISHED BAKED ENAMEL	1	-	-	-	B	5		203A	
	204A	NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	-	-	-	EXISTING MASONRY WALL	B/90	1		204A
	205A	NEW		MECHANICAL ROOM	WOOD	STAINED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	4		205A
	209A	NEW		STAIR 'A'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	-	-	-	EXISTING MASONRY WALL	B/90	1		209A
3RD FLOOR	302A	NEW		ELEVATOR LOBBY	HOLLOW METAL	PAINTED	(2) 3'-0" X 7'-0" X 1 3/4"	B	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	11		302A
	303A	NEW		TOILET	KNOCK-DOWN	STAINED	3'-0" X 7'-0" X 1 3/4"	A	KNOCK-DOWN	PREFINISHED BAKED ENAMEL	1	-	-	-	B	5		303A	
	304A	NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	-	-	-	EXISTING MASONRY WALL	B/90	1		304A
	305A	NEW		MECHANICAL ROOM	WOOD	STAINED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	4		305A
	309A	NEW		STAIR 'A'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	-	-	-	EXISTING MASONRY WALL	B/90	1		309A
4TH FLOOR	402A	NEW		ELEVATOR LOBBY	HOLLOW METAL	PAINTED	(2) 3'-0" X 7'-0" X 1 3/4"	B	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	11		402A
	403A	NEW		TOILET	KNOCK-DOWN	STAINED	3'-0" X 7'-0" X 1 3/4"	A	KNOCK-DOWN	PREFINISHED BAKED ENAMEL	1	-	-	-	B	5		403A	
	404A	NEW		STAIR 'B'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	-	-	-	EXISTING MASONRY WALL	B/90	1		404A
	405A	NEW		MECHANICAL ROOM	WOOD	STAINED	3'-0" X 7'-0" X 1 3/4"	A	HOLLOW METAL	PAINTED	1	-	-	-	B	C/20	4		405A
	409A	NEW		STAIR 'A'	HOLLOW METAL	PAINTED	3'-0" X 7'-0" X 1 3/4"	B-1	HOLLOW METAL	PAINTED	1	-	-	-	EXISTING MASONRY WALL	B/90	1		409A



10/07/21 Historic Commission
10/07/21 Elevator Revisions
06/01/21 Permits
05/23/21 Owner Review
02/01/21 Permits (VOID)

Date: Issued For:

Kaul Glove Building
Renovation & Adaptive Reuse

1441 Brooklyn
Detroit, Michigan 48226

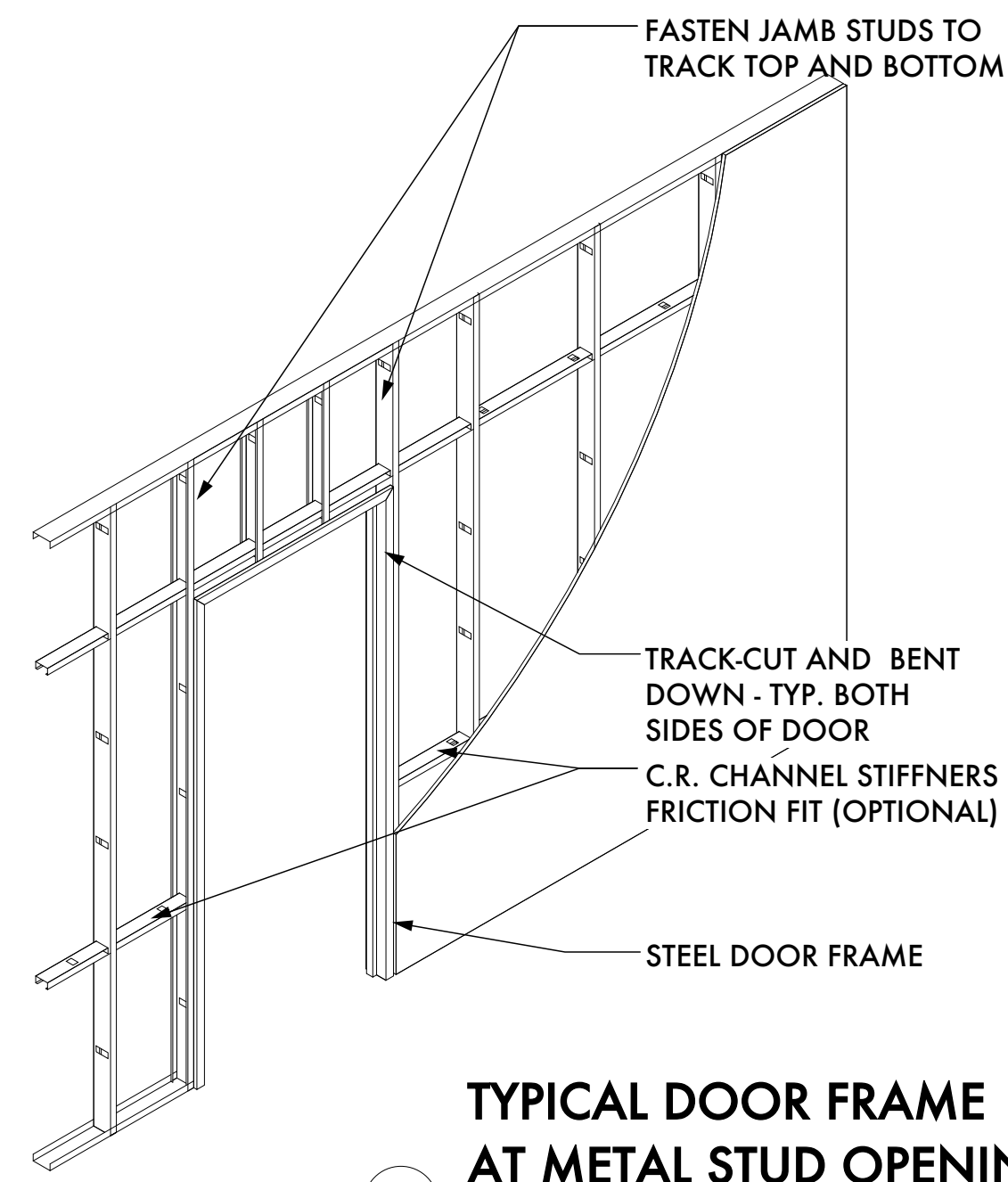
studioONE : DETROIT
architectural | urban | interior | DESIGN

330 Madison Avenue
4th Floor
Detroit, Michigan 48226
313.549.2790 [p]
gbl@www.studioone.com
studio@detroitmi.com

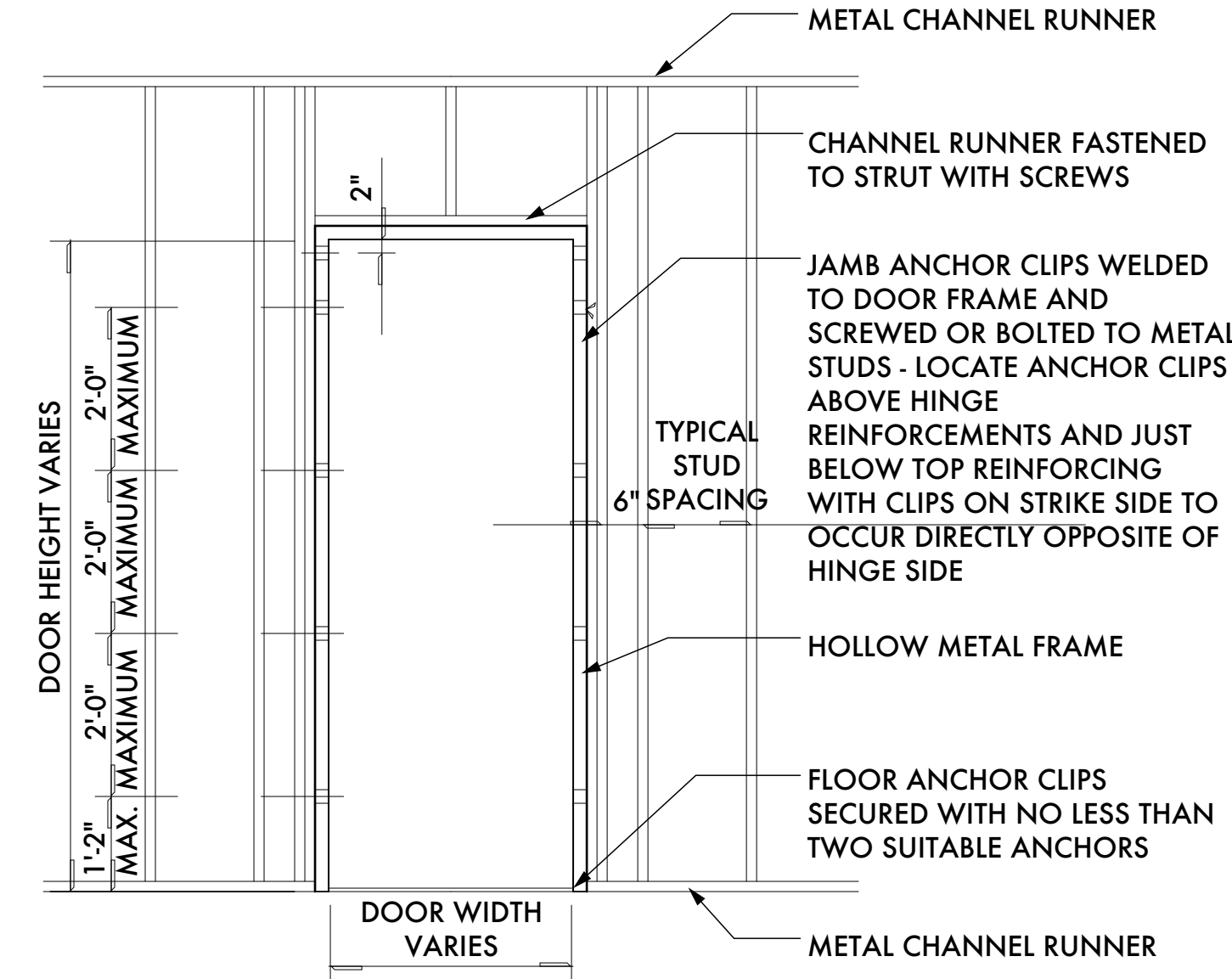
Project Number: 2020-03
Sheet Title:
DOOR HARDWARE SCHEDULE

Sheet Number:
A9.20

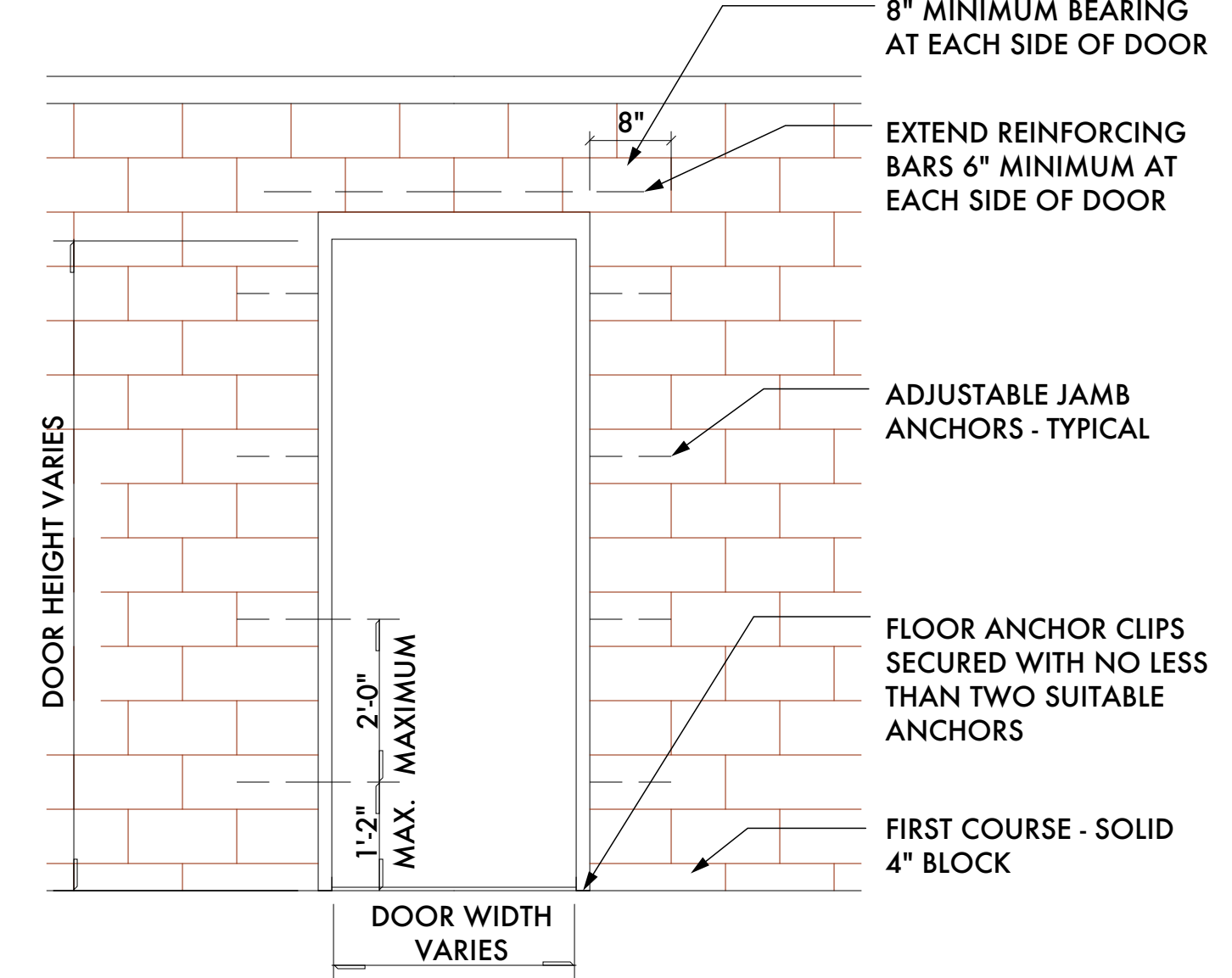
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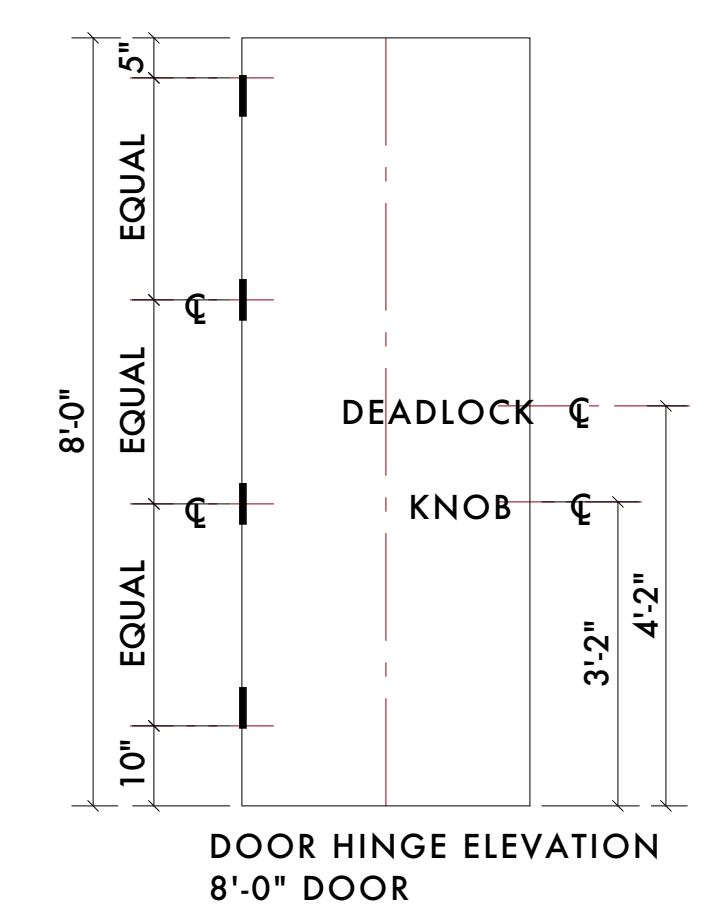
14 TYPICAL DOOR FRAME AT METAL STUD OPENING



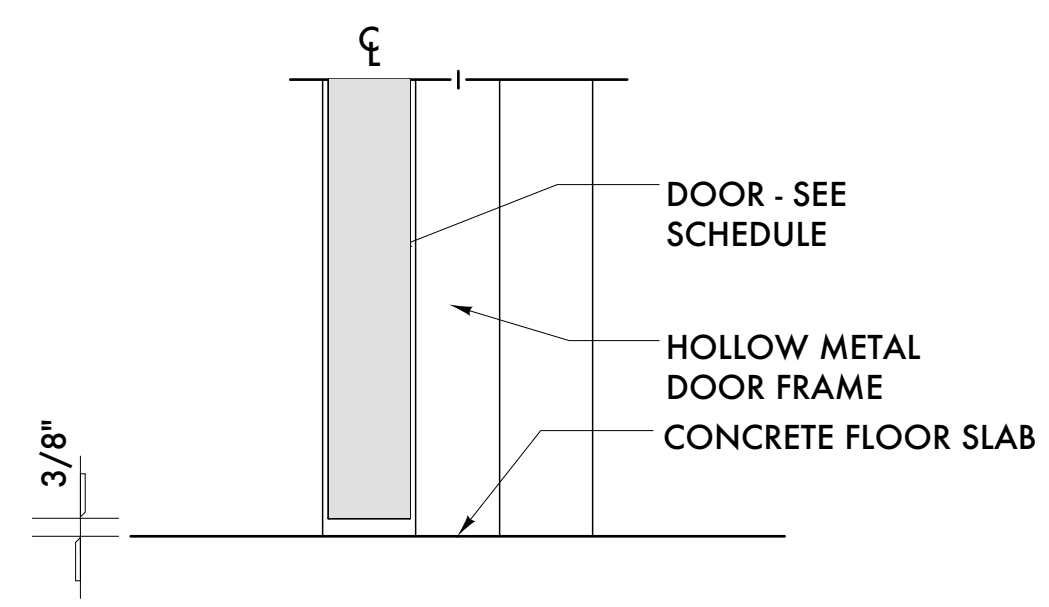
13 TYPICAL DOOR FRAME AT METAL STUD OPENING



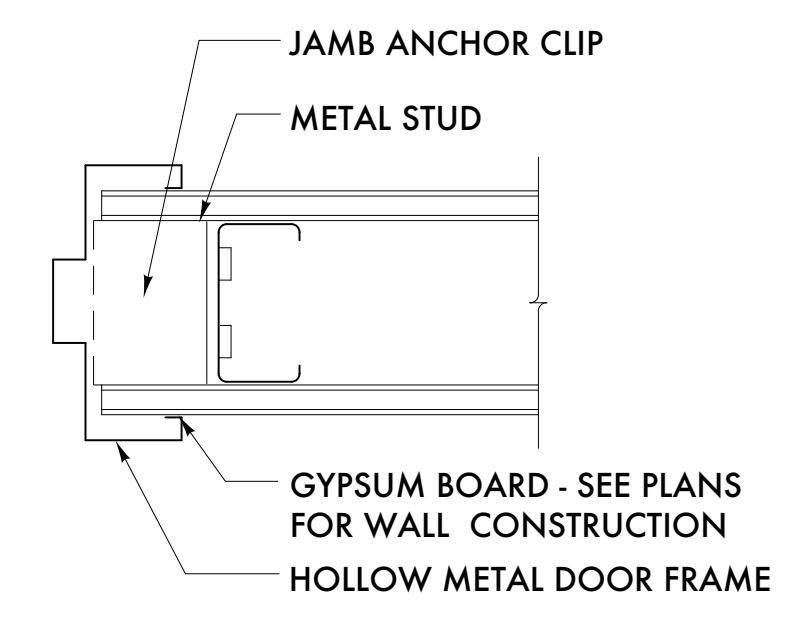
12 TYPICAL DOOR FRAME AT MASONRY OPENING



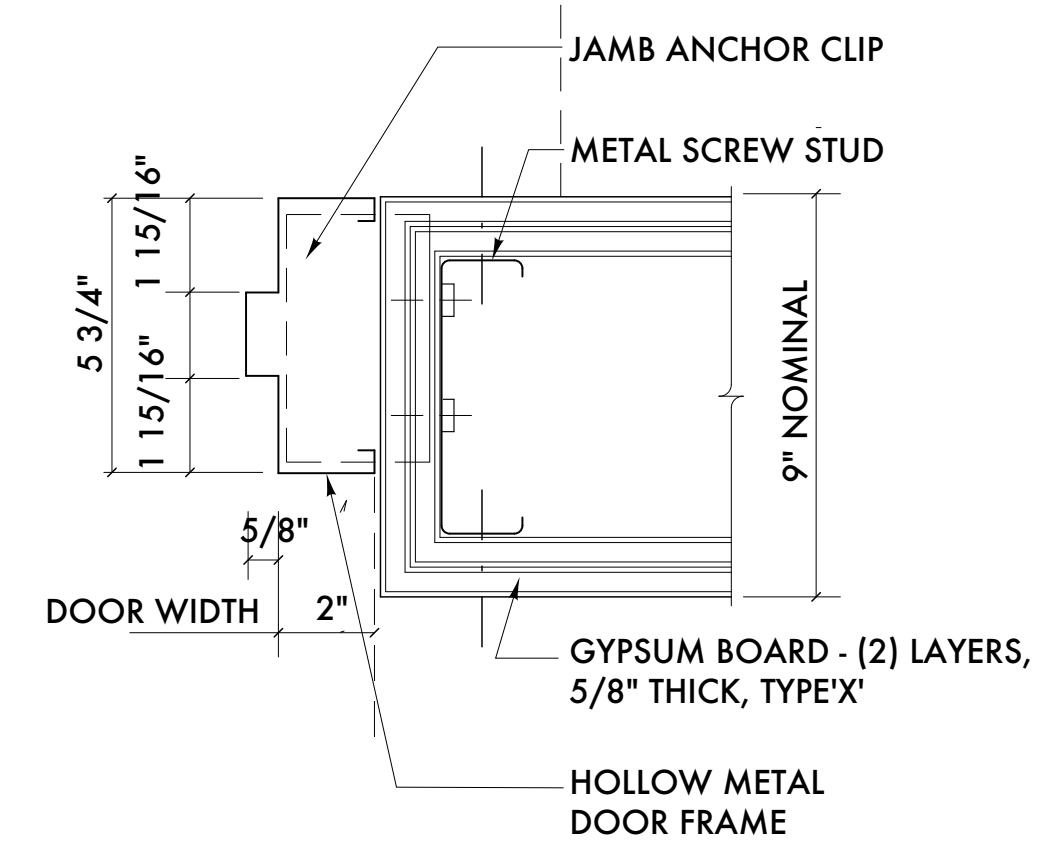
11 DOOR HINGE LOCATIONS



15 DOOR SILL TRANSITION W/ CONCRETE BOTH SIDES



7 DETAIL AT DOOR JAMB/HEAD AT GYPSUM BOARD WALL



6 DETAIL AT DOOR JAMB/HEAD AT GYPSUM BOARD WALL

Kaul Glove Building - 08 71 00 Door Hardware Specifications

Hardware Set 9 - Rim Panic w/ Classroom Trim [Lock / Unlock] + Closer			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Rim Panic Device 6200RF	32D	PDQ
1 ea.	Classroom Trim 6EW 08 PHL	26D	PDQ
1 ea.	Closer 7101 BC EDA (push side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Wall / Floor Stop - 1407 / 1441 -type as required	26D	Don Jo
Hardware Set 10 - Rim Panic w/ Classroom Trim [Lock / Unlock] + Closer Stop			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Rim Panic Device 6200RF	32D	PDQ
1 ea.	Classroom Trim 6EW 08 PHL	26D	PDQ
1 ea.	Closer 7101 BC SCS Stop (push side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Threshold S205A	AL	Reese
1 ea.	Sweep 354C -Mount pull side	AL	Reese
1 set	Weatherstrip by 855C (mount prior to closer shoe)	AL	Reese
1 ea.	Rain Drip 201C	AL	Reese
Hardware Set 11 -Auto-Flushbolts + Passage Set (Always Unlocked) + Closer Stops			
6 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 set	HM Automatic Door Flushbolts 93102	26D	PDQ
1 ea.	Dust Proof Strike 909	26D	PDQ
1 ea.	Passage Set GT 126 PHL FRL	26D	PDQ
1 ea.	Coordinator CORXX x 2 Mounting Brackets MB0X + Filler	689	PDQ
2 ea.	Closer 7101BC SCS Stop (push side mount)	689	PDQ
2 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 set	Smoke Seal 797B	Black	Reese
1 set	Smoke Flex Astragals 964C x 964C	AL	Reese

END OF SECTION 08 71 00

Kaul Glove Building - 08 71 00 Door Hardware Specifications

Hardware Set 4 - Storeroom Lock [Always Locked] + Closer Stop			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Storeroom Lockset GT 115 PHL	26D	PDQ
1 ea.	Closer 7101BC PA SCS Stop (push side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 set	Smoke Seal 797B	Black	Reese
Hardware Set 5 - Privacy Set [Lock / Unlock] + Closer			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Privacy Set GT 176 PHL	26D	PDQ
1 ea.	Closer 5501BC PA regular arm (pull side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Wall Stop 1407	26D	Don Jo
Hardware Set 6 - Storeroom Lock [Always Locked] + Closer			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Storeroom Lockset GT 115 PHL	26D	PDQ
1 ea.	Closer 7101BC PA regular arm (pull side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Wall Stop 1407	26D	Don Jo
Hardware Set 7 - Entry Lock [Lock / Unlock] + Closer			
3 ea.	Butt Hinge 35STBB 4545 NRP	32D	PDQ
1 ea.	Entry Lock GT 116 PHL	26D	PDQ
1 ea.	Closer 7101BC PA regular arm (pull side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Floor Stop 1441	26D	Don Jo
1 set	Smoke Seal 797B	Black	Reese
Hardware Set 8 - Passage Set (Always Unlocked) + Closer			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Passage Set GT 126 PHL	26D	PDQ
1 ea.	Closer 7101BC EDA (push side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Wall Stop 1407	26D	Don Jo

Kaul Glove Building - 08 71 00 Door Hardware Specifications

General notes:

- Contractor shall verify all existing field conditions and notify architect immediately if that which exists differs from that which is shown on drawings.
- All work to comply with current Federal, State and Local codes, laws and ordinances. The requirements of ICC/ANSI A117.1 and the Americans with disabilities act (ADA) are to be fully satisfied. All work shall meet the most stringent requirements of both including, but not limited to clearances, limitations, accessories, etc.
- These drawings are prepared in accordance with the limited services for which the architect was contracted. The architect makes no representation that the interpretation of these documents will result in complete compliance with the ADA.
- All doors required to be labeled shall be set in labeled frames and identified with UL label and be provided with approved self-closing devices and positive latching hardware.
- All designated exit doors shall be equipped with the required egress hardware.
- Furnish hardware as scheduled without substitution, no alternates will be approved.
- Provide combined cylinders and cut keys; keyed to owners' Master System. Include key conference and key system schedule. Furnish a keyed cylinder and two cut keys for each locking device specified.
- Provide one each Telikee Regent Series Wall Key Cabinet. Provide a Complete System; including all accessories -key gathering envelopes, hook labels, permanent key tags, temporary key tags, signature receipt forms, visible index and instruction book. Provide with capacity for 150 percent of the number of locks required for the project.
- Furnish and provide all necessary reinforcements, brackets, fasteners, spacers and fillers to provide a complete functioning opening.
- Provide complete shop drawings, submittals and cut sheets complying with DHI prescribed methods and vertical format double spaced hardware schedule.
- Hardware Sets:

Hardware Set 1 - Rim Panic w/ Passage Trim [Always Unlocked] + Closer			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Rim Panic Device 6200RF	32D	PDQ
1 ea.	Passage Trim 6EW 14 PHL	26D	PDQ
1 ea.	Closer 7101BC PA regular arm (pull side mount)	689	PDQ
1 ea.	Kickplate 90 10 x 2" LDW B4E	32D	Don Jo
1 ea.	Wall / Floor Stop - 1407 / 1441 -type as required	26D	Don Jo
Hardware Set 2 - Entry Lock [Lock / Unlock]			
3 ea.	Butt Hinge 35STBB 4545 NRP	32D	PDQ
1 ea.	Entry Lock GT 116 PHL	26D	PDQ
1 ea.	Wall Stop 1407	26D	Don Jo
Hardware Set 3 - Storeroom Lock [Always Locked]			
3 ea.	Butt Hinge 35STBB 4545 NRP	26D	PDQ
1 ea.	Storeroom Lockset GT 115 PHL	26D	PDQ
1 ea.	Wall Stop 1407	26D	Don Jo



06/01/21 Permits
05/23/21 Owner Review
02/01/21 Permits (VOID)
Date: Issued For:
Kaul Glove Building
Renovation & Adaptive Reuse
1441 Brooklyn
Detroit, Michigan 48226
studiozONE : DETROIT
architectural | DESIGN
urban | interior
330 Madison Avenue 313.549.2790 [p]
4th Floor gbd@www-studioz.com
Detroit, Michigan 48226 studiozonedetroit.com

Project Number: 2020-03
Sheet Title:

DOOR HARDWARE SPECIFICATION

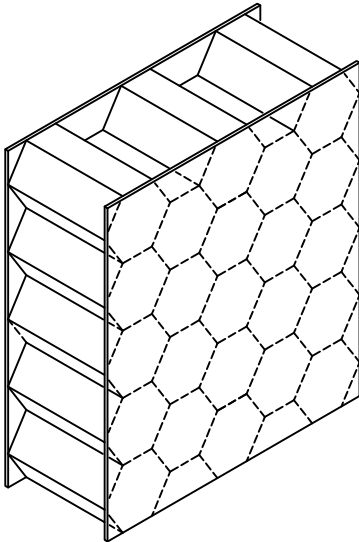
Sheet Number:
A9.21
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ASSA ABLOY

D1-1

1-3/4" REGENT (RI) HONEYCOMB CORE DOORS

FLUSH AND EMBOSSED PANEL STEEL DOORS
BEVELED LOCK EDGE, HANDED

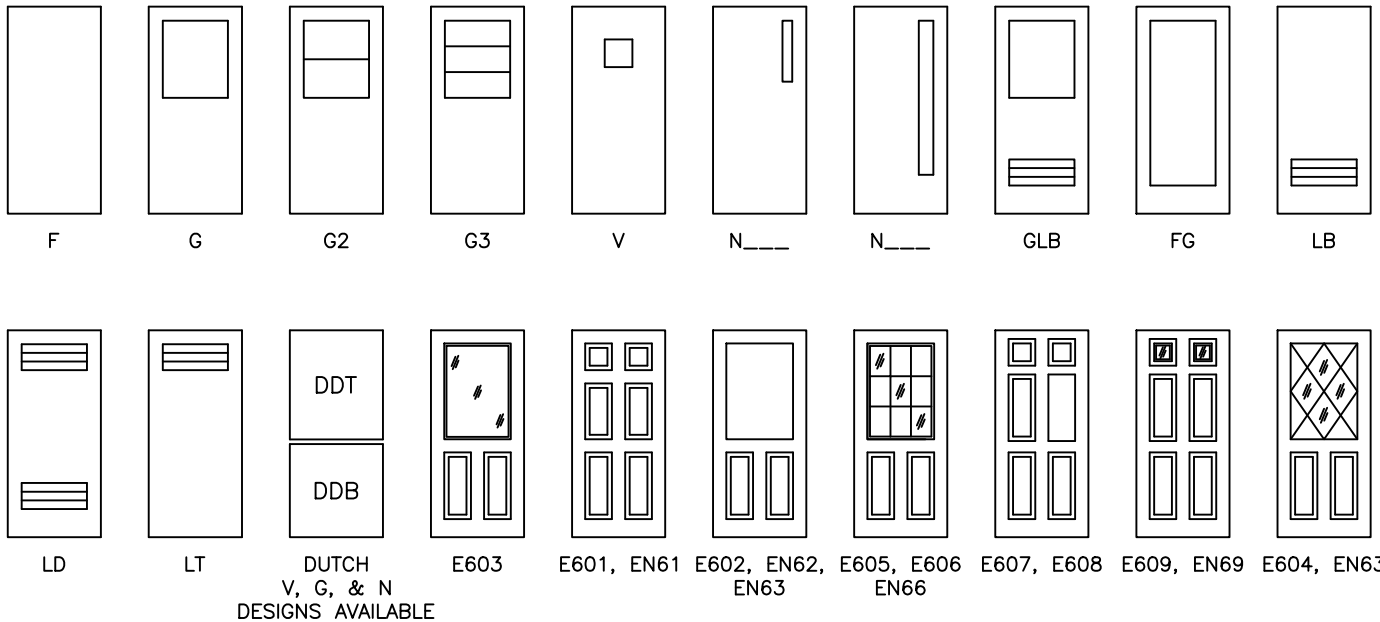


*Kraft fiber honeycomb slab,
bonded to the inside of both
face sheets with a water
resistant, contact adhesive.*

Suggested Use:

*Interior or Exterior ...
Office, Motel/Hotel, Apartment,
Urban Renewal, Health Care,
Institutional, Mercantile,
Public Utility, Factory, or Warehouse.*

DOOR DESIGNS



EMBOSSSED 6 PANEL ORDER CODES AND DOOR WIDTHS	
2'6", 2'8" NARROW 6 PANEL	2'8", 3'0" STD. 6 PANEL
EN61	E603
EN62	E601
EN63	E602
EN66	E605
E607	E606
E608	E607
EN69	E608
EN63	E609
E603	E604

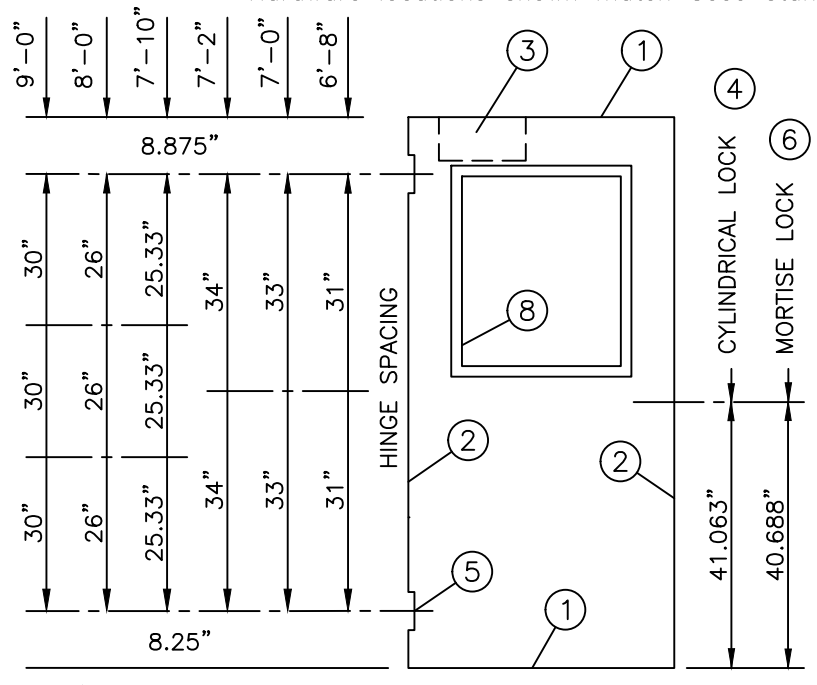
6 PANEL	
MAX. SIZE	3'0"x7'0"
MIN. SIZE	2'6"x6'8"

**ALL 6 PANEL EMBOSSED DESIGNS WILL
BE CENTER EDGE SEAM CONSTRUCTION.**

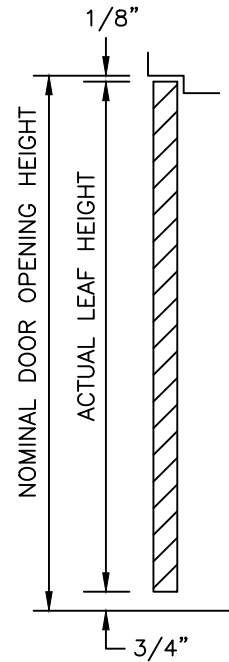
07/14/20

D1-2

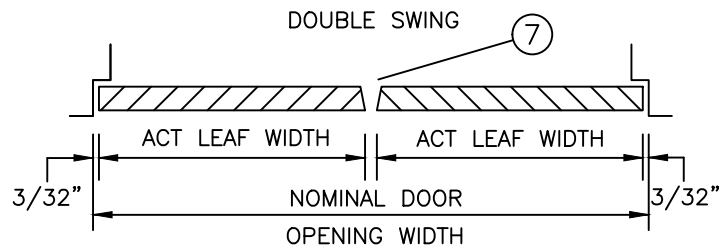
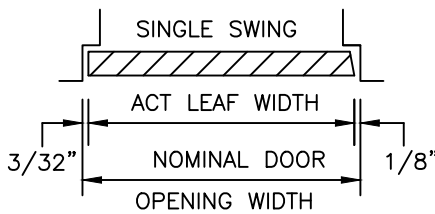
Hardware locations shown match Ceco standard frames.



DOOR ELEVATION



VERTICAL SECTION

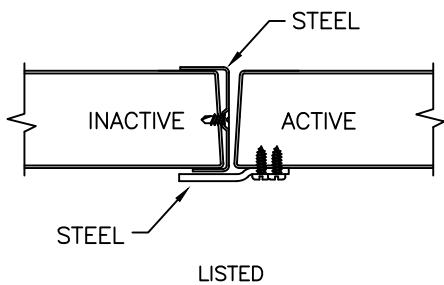


HORIZONTAL SECTIONS

(Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)

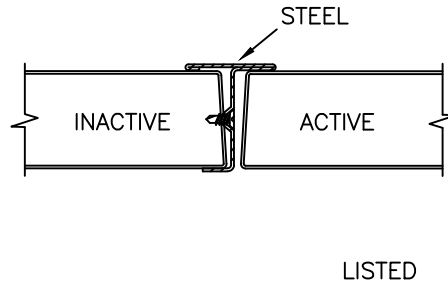
OVERLAPPING ASTRAGAL 4441
FOR 1-3/4" THICK DOORS

⑦



OVERLAPPING ASTRAGAL 4471
FOR 1-3/4" THICK DOORS

⑦



07/13/20



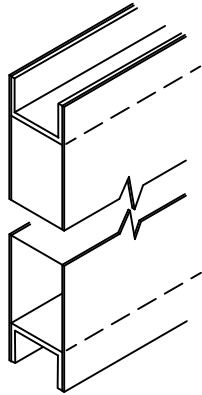
D1-3

16 GAGE STEEL END CHANNELS

WELDED
TO BOTH
FACE SHEETS

INVERTED
TOP AND
BOTTOM

OPTIONAL TOP AND
BOTTOM CAPS ARE AVAILABLE



①

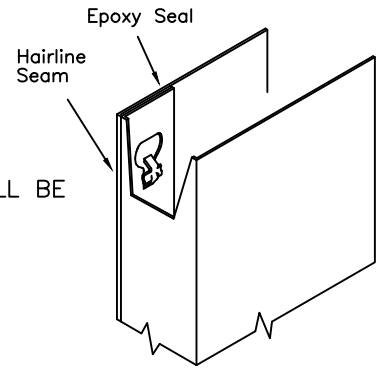
VERTICAL EDGES

MECHANICALLY
INTERLOCKED
HEMMED EDGES

14 GAGE DOORS WILL BE
CENTER EDGE SEAM
CONSTRUCTION

OPTIONAL:
SEAMLESS (WELDED
OR BODY FILLER)

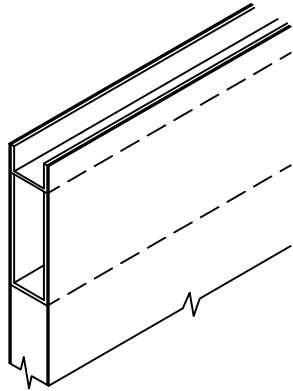
ALL 6 PANEL EMBOSSED DESIGNS
WILL BE CENTER EDGE SEAM CONSTRUCTION.



②

CLOSER REINFORCEMENT (OPTIONAL)

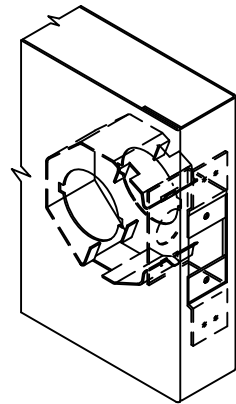
14 GAGE STEEL
CHANNEL 20" LONG



③

LOCK PREPARATION GOV. 160/161 CYLINDRICAL TYPE

(LC1)
(ANSI A115.2)
2-3/4"
BACKSET

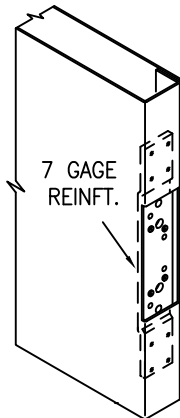


④

HINGE PREPARATION

4-1/2 OR 5 IN.
HIGH, STANDARD
OR HEAVY WEIGHT,
FULL MORTISE
HINGES

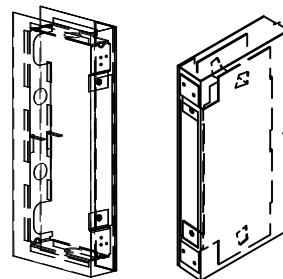
HINGE EDGE IS HANDED
AND NOT BEVELED.



ANSI A156.7
TEMPLATE

⑤

LOCK PREPARATION GOV. 86, ANSI/BHMA A115.1 MORTISE TYPE



(LMO)

NOTE: EITHER OF THE LOCK
REINFORCEMENTS/
GUARDS SHOWN MAY
BE INSTALLED WITH
ANY MORTISE LOCK
PREPARATION.

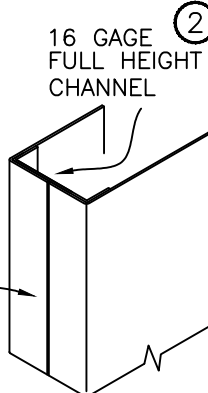
⑥

LOCK EDGE IS BEVELED
1/8" in 2" (1:16)

VERTICAL EDGES

ALL 6 PANEL
DESIGNS ARE
CENTER EDGE
SEAM CONSTRUCTION
14 GAGE WILL BE
CENTER EDGE SEAM
CONSTRUCTION

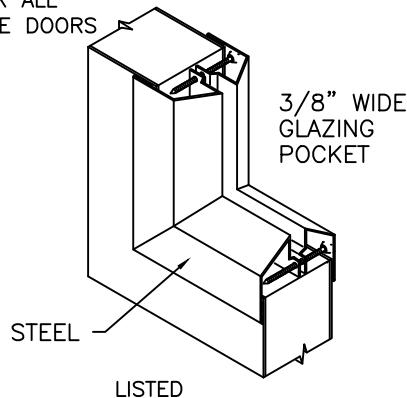
WELD SEAMLESS AND
BODY FILLER
SEAMLESS
IS OPTIONAL



②

GLAZING TRIM SlimTrim

FOR ALL
FIRE DOORS

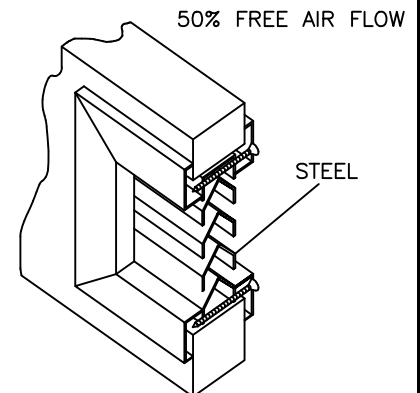


3/8" WIDE
GLAZING
POCKET

⑧

FIXED SLAT TYPE LOUVER 4634

FOR 1-3/4" THICK
DOORS



⑨

07/14/20

CecoDoor

ASSA ABLOY

(Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)

Experience a safer
and more open world

D1-4

STANDARD SIZES NOMINAL DOOR OPENING

WIDTH		HEIGHT
SINGLE	DOUBLE	
2'-0"	4'-0"	
2'-4"	4'-8"	
2'-6"	5'-0"	6'-8"
2'-8"	5'-4"	7'-0"
2'-10"	5'-8"	7'-2"
3'-0"	6'-0"	7'-10"
3'-4"	6'-8"	8'-0"
3'-6"	7'-0"	9'-0"
3'-8"	7'-4"	
3'-10"	7'-8"	
4'-0"	8'-0"	

FIRE DOORS

LABELING AGENCIES:

- UNDERWRITERS LABORATORY
- WARNOCK HERSEY
- FACTORY MUTUAL

TEST: UL10C, UL10B, UL1784,
& NFPA 252

- RATING: 20 MIN, 3/4 HR, 1 HR, 1-1/2 HR, OR 3 HR
- MAX. SIZE: 4'0" x 9'0" SINGLE
8'0" x 9'0" PAIR
- DESIGNS: F, FG, G, N, & V

Not all ratings are available
in all sizes, designs and
materials.

PRODUCT SPECIFICATIONS:

1-3/4" Thick steel doors shall be as manufactured by Ceco Door Products. Doors shall conform to the Steel Door Institute guide specification, ANSI A250.8; see chart below for performance classifications.

REGENT doors are made full-flush or (optional) seamless style. Face sheets are commercial quality cold rolled steel conforming to ASTM A1008 ...or (optional) hot-dipped galvanized or galvanized steel conforming to ASTM A924 and A653 -- see chart below.

Regent full-flush doors have mechanically interlocked, hemmed, hairline seams on vertical edges and have no visible seams on faces. Embossed 6 panel doors will have center edge seam construction. Doors specified "seamless" have no visible seams on faces or vertical edges (S.D.I. Model 2). A one piece, kraft honeycomb core is securely bonded to both face sheets under pressure with contact adhesive. The top and bottom door edges are closed with 16 gage steel channels welded to both face sheets.

Hardware Provisions: Hinge preparations are handed. Hinge edges are mortised for 4-1/2" or 5" high, standard and heavy weight hinges (specify which). 7 gage steel hinge reinforcements are welded inside the door edge and are drilled and tapped for fasteners in accordance with ANSI A156.7. The lock edge has a standard bevel (1:16) and is prepared for Gov. series 86, 160/161, or 90 locks in accordance with ANSI A115 (specify which). Optional closer reinforcement is a 14 gage steel channel.

Paint: 1-3/4" steel doors shall be provided with one coat of oven-cured neutral color primer paint. Primer coat shall conform with ANSI A250.10. The primer coat is a preparatory base for necessary finish painting. "Colorstyle" finish coat is also available from a selection of standard colors (optional). Colorstyle finish is electrostatically applied, oven-cured urethane enamel, and shall conform to ANSI A250.3. For accurate color selectors ask for a Ceco Colorstyle chart.

MATERIAL

DOOR FACE SHEETS	LEVEL	C.R.	GALV		RECOMMENDED DOOR FRAME MATERIAL
			A60	G90	
20 Gage Steel (4080 max.)	Standard Duty	N/A	STD	N/A	16 Gage Steel
18 Gage Steel	Heavy Duty	STD	OPT	OPT	16 Gage Steel
16 Gage Steel	Extra Heavy Duty	STD	OPT	OPT	16 or 14 Gage Steel
14 Gage Steel	Maximum Duty	STD	OPT	OPT	14 or 12 Gage Steel

PERFORMANCE

Sound Transmission Class:	STC 32 (F Design, 18 Gage Face Sheets, ASTM E90 & E413 [Fully Operable])
Physical Endurance /Level:	Meets ANSI A250.4 Performance Test, 20 GAGE: Level B (500,000 Cycles); 18 and 16 Gage: Level A (1,000,000 Cycles)

(Conversion: 1" = 25.4 mm, e.g., 1-3/4" = 44.45 mm)



07/13/20

Wayne
Dalton[®]
GARAGE DOORS

M O D E L

8850

CONTEMPORARY ALUMINUM
Central and East Region Availability

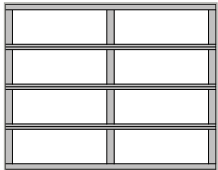


Black powder coated aluminum, White Laminated glass

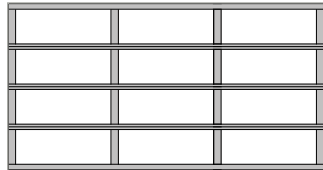


1 Choose Your Style

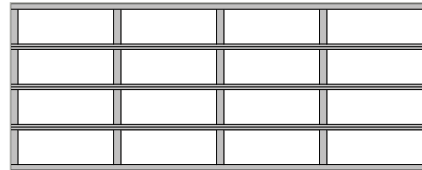
Standard Frames



8' Wide (2 panel)*



9'-12' Wide (3 panel)



Over 12' Wide (4 panel)

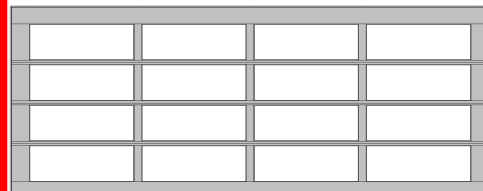
Double-wide Frames



8' Wide (2 panel)*

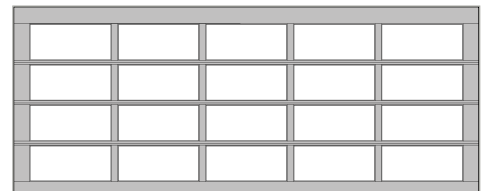


9' Wide (3 panel)



16' Wide (4 panel)

Due to the weight of this door, it is only offered in the 6" frame.



18' Wide (5 panel)**

Panel spacing drawings shown are for illustrative purposes only and do not reflect actual stile and rail dimensions. 8" double wide rails and double end stiles apply only to larger doors and not available as options for smaller single doors.

If you are ordering a 16'3" or wider door as well as a single door, check with your dealer to ensure that the door frames match.

*2 panel wide is optional for 9' doors.

**Due to the weight of the 18' wide (5 panel) door, it is only offered in an 8" frame.



Brown painted aluminum, Satin Etched glass

2 Choose Your Color

Anodized Finishes

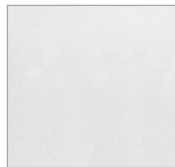


Clear (Standard)

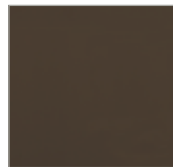


Bronze

Painted Finishes



White

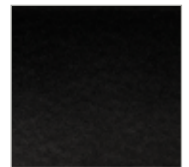


Brown

Powder Coat Finishes



Dark Bronze



Black



Black

RAL Powder Coat Finishes

Select from approximately 200 powder coat color options to best match your home.

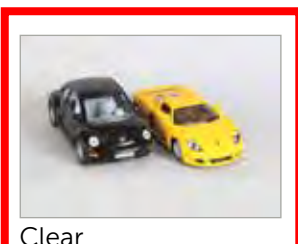


Actual colors may vary from brochure due to fluctuations in the printing process. Always request a color sample from your Wayne Dalton dealer for accurate color matching.



Bronze anodized aluminum, Satin Etched glass

3 Choose Your Glass



Clear



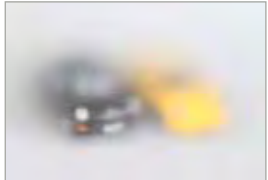
Green Tinted



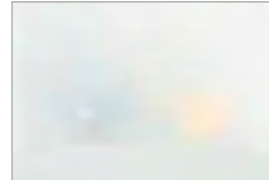
Gray Tinted



Bronze Tinted



Satin Etched



White Laminated



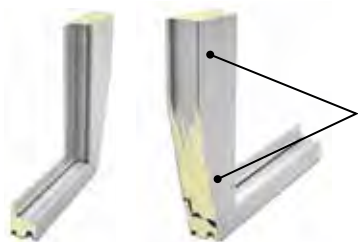
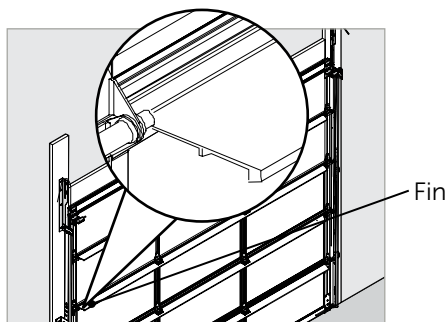
Obscure

Most panel styles are also available in both single pane and insulated configurations.

stylish.
colorful.
contemporary.

So versatile they are the perfect enhancement to your home's glass expanses and patios—beautifully fusing indoor and outdoor spaces.

Wayne Dalton Contemporary Aluminum doors, constructed with a rugged, anodized aluminum frame, feature equal panel spacing for a clean modern look.



Optional polyurethane insulation adds R-value* of up to 4.06



PERFORMANCE FEATURES

- Tongue-and-groove joints provide a great weather barrier
- Flexible vinyl bottom seal helps prevent dirt and elements from entering your garage
- Designed to be easy to maintain
- Constructed with rugged, anodized aluminum frame with equal panel spacing
- Reinforcing fins along with heavy-duty track and brackets help provide years of smooth, trouble-free operation (The fins are the extruded part of the door section that are not visible through the glass)
- Chose a 25,000 high cycle spring for almost twice the life of a standard torsion spring

R-VALUES OF INSULATED 8850	9X7 DOOR	16X7 DOOR	9X8 DOOR	16X8 DOOR
1/2" insulated glass Solar Ban 70XL argon filled (R=3.125)	4.06	4.05	3.97	3.96
1/2" insulated glass (R=1.75) with polyurethane filled rails and stiles	2.87	2.86	2.76	2.74
1/2" insulated glass Low E (R=2.38) with polyurethane filled rails and stiles	3.42	3.40	3.31	3.30

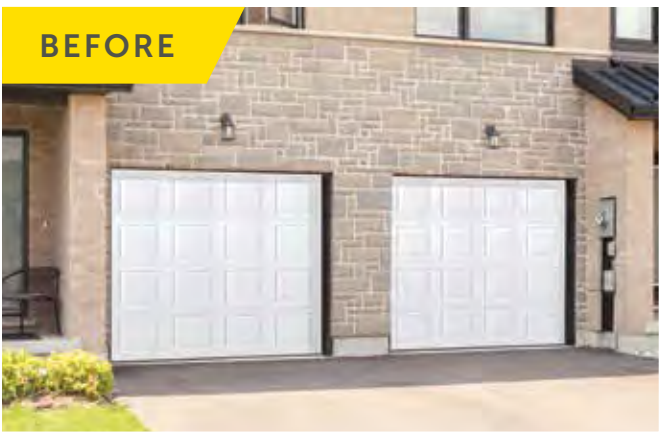


Model 8850 offers a five-year limited warranty on the aluminum and one-year limited warranty on the glass. See full text of warranty for details.

* Wayne Dalton uses a calculated door section R-value for our insulated doors.

AFTER

BEFORE



Black powder coat, Satin Etched glass



Garage Door Design Center

To see this door on your home, visit wayne-dalton.com, or download our app, and try our Garage Door Design Center. Upload a photo of your home and experiment with panel designs, color options, window styles and decorative hardware designs. Instant curb appeal awaits you with just a click of your mouse.

Wayne Dalton
GARAGE DOORS

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