

STAFF REPORT: 05-12-21 MEETING

PREPARED BY: A. DYE

APPLICATION NUMBER: 21-7222

ADDRESS: 1920 ATKINSON

HISTORIC DISTRICT: ATKINSON AVENUE

APPLICANT: EMILY PETERSON, NEPELU, INC.

PROPERTY OWNER: EMILY PETERSON, NEPELU, INC.

DATE OF PROVISIONALLY COMPLETE APPLICATION: 04-19-21

DATE OF STAFF SITE VISIT: 04-28-21

SCOPE: REHABILITATE HOUSE FOR ADAPTIVE REUSE AS RESTAURANT/APTS; BUILD EXTERIOR PATIO AT REAR

EXISTING CONDITIONS

The 2-1/2 story house at 1920 Atkinson was constructed in 1920. While the overall form of the house is traditional, the siting of this house is atypical in that the front door is located on the west/side elevation so the façade facing the street is actually a side elevation. The house is faced with dark brown brick laid in a Flemish bond pattern; black asphalt shingles cover the roofs.



The roof form is uniquely designed to give the effect of a gambrel roof. A pent roof extends around the west, south and east elevations creating a dominant, yet minimally detailed, architectural component that forms a strong division between the first and second floors. A repeated element on the house is the pediment, which is placed at the top of each gable and within each pent roof. The pediments on the east and west elevations denote the front and rear entrances. The pediment on the south/front elevation serves as a purely decorative element. Its central placement within the symmetrical façade leads staff to believe the existing door replaced a window at some point in time.

A raised platform starting at the front entrance extends to the southwest corner where it turns and extends the entire south elevation. A rounded bump-out of the porch is centrally placed on the front/south elevation.

The dominate pattern of the multi-paned (upper and lower sash) double-hung wood windows is twelve-over-twelve, however the rear bay windows are nine-over-nine and the few small windows are either six-over-six or four-over-four. Soldier, single or double rowlock courses of brick top each window opening, while deeply profiled sills further exaggerate the dimensionality of each window opening.





The rear elevation of the church building at 9321 Rosa Parks



Top: HDC staff photos, April 28, 2021.
Left: Designation Photo, HDAB, 1984
Right: City of Detroit Parcel Viewer

The house is sandwiched between two narrow walkways that lead from the sidewalk to the front and rear doors. Currently there is no garage and the rear yard is covered with concrete.

As seen in the top left photo, the driveway to the east of the house is misleading as it appears as though it is part of the 1920 Atkinson lot due its close adjacency and because it turns to the left behind the house, ending at the concrete covered rear yard (top right photo). However, the designation photo (above left) shows a chain link fence separating 1920 Atkinson from 9321 Rosa Parks Boulevard. This property division is further substantiated by the Detroit Parcel Viewer map (above right).

PROPOSAL

The applicant is seeking the Commission's approval for the rehabilitation and adaptive reuse of the house (first floor as restaurant, upper floors as residential apartments), the construction of a rear yard patio and pergola that will connect to the patio at the adjacent property (9321 Rosa Parks Boulevard), and the construction of three parking spaces at the alley for the use of the residential apartments.

1920 Atkinson and 9321 Rosa Parks are owned by the same entity. It is the owner's intention (stated within their narrative) to create a larger community gathering space than what is currently available at 9321 Rosa Parks. The list of work items for 1920 Atkinson was copied from the applicant's narrative. Staff's additions to the scope of work were taken from the applicant's drawings, as well as from the applicant's reply to staff questions (*italic type*).

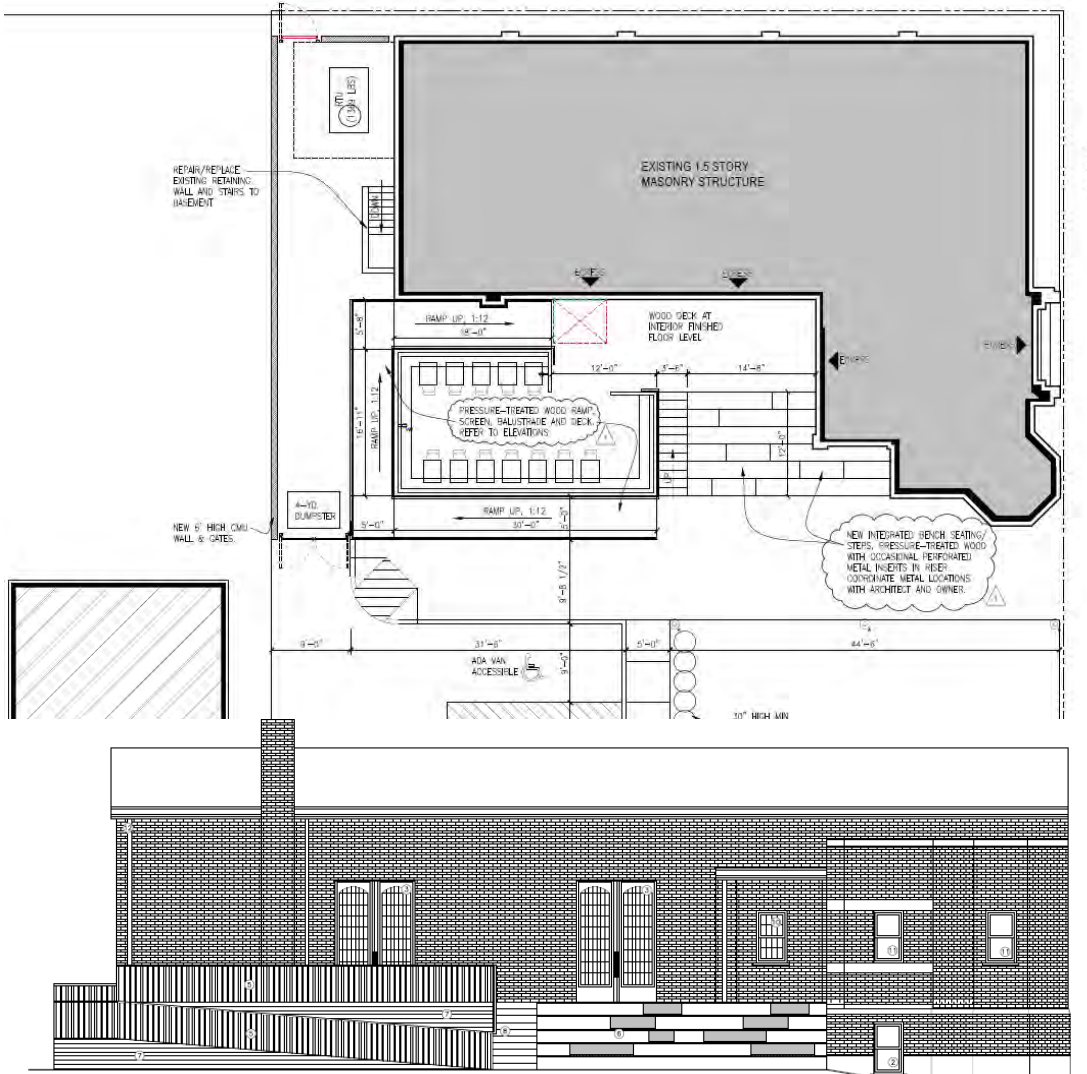
- 01: All Windows will be either repaired to previous historic condition or rebuilt using the same materials and will be painted with historical colors per drawing set.
 - A. Including trim, sash, and sills to match existing profiles.
 - *Sash to be painted B:18 Dark Reddish Brown; Trim to be painted A:8 Blackish Green*
 - *Window sash for window opening W22 is no longer present; a metal frame for the three-part unit remains.*
- 02: Elimination of an Existing Window (DW) for New Residential Door Entrance (103) at the back of the building.
 - A. New door sill height.
- 03: Move the Door (103) higher and further west to accommodate the new Residential Door Entrance (103) at the back of the building.
- 04: Replace All Exterior Doors (See Drawings).
 - A. Door 100, 102, 103 to be commercial grade with weatherstrip, sweep, and threshold. Paint historical colors per drawing set.
 - B. Door 104 & 105. Paint historical colors per drawing set.
 - B. Trim to match existing profile and lite configuration to mimic adjacent windows. Paint historical colors per drawing set.
 - *New doors will be fiberglass. Door design - flush panel with glass opening (four-over-six pattern) on upper-half of door. Doors will be built by historic window contractor and true divided lights will fill the glass area.*
- 05: Front Porch to be Rebuilt and Widened in Same Materials as Existing.
 - *One set of stairs to be added to the front elevation porch at the southeast corner.*
 - *Existing porch will not be removed. It will remain at the same height and become four feet wider.*
- 06: Demolished Rear Porch will be removed. New Wood Deck for Outdoor Patio with Pergola.
- 07: New ADA Ramp Connected to Existing Ramp at 9321 Rosa Parks (*this is explained under staff research*)
- 08: Tuck Pointing and Repair of Existing Masonry as Needed.
- 09: Existing Gutters to be Repaired and Painted A:8 Blackish Green
- 10: *Construct three parking spaces at rear of lot between back of enclosed deck/pergola and alley.*

STAFF OBSERVATIONS AND RESEARCH

- The Atkinson Historic District was established in 1984.
- Detroit Parcel Viewer shows the zoning of 1920 Atkinson as R-1, but the applicant confirmed they obtained a zoning change to SD-1 (which would match the zoning classification for 3921 Rosa Parks). Per the City of Detroit Code, Sec. 50-11-201: *"The SD1 Special Development District is designed to encourage a*

complementary mixture of small-scale pedestrian and transit-oriented uses that are compatible in a neighborhood setting. It is intended to ensure a neighborhood character and place a proper balance of activities within walking distance of one another while serving the day-to-day needs of residents.”

- The rehabilitation and adaptive use of the structure (from a church to a coffee shop/community gathering space) at 9321 Rosa Parks Boulevard, the construction of an exterior deck and wheelchair ramp at the south/side elevation, and a parking lot within the open corner area of the parcel, was reviewed and approved by the Commission at its May 10, 2017 meeting. Design revisions to the deck and wheelchair ramp were reviewed and approved by the Commission at its June 26, 2019 meeting.



Site Plan and elevation from application reviewed/approved by HDC at the June 26, 2019 meeting.
Photo below: Taken by HDC staff during 04/28/2021 site visit for 1920 Atkinson.



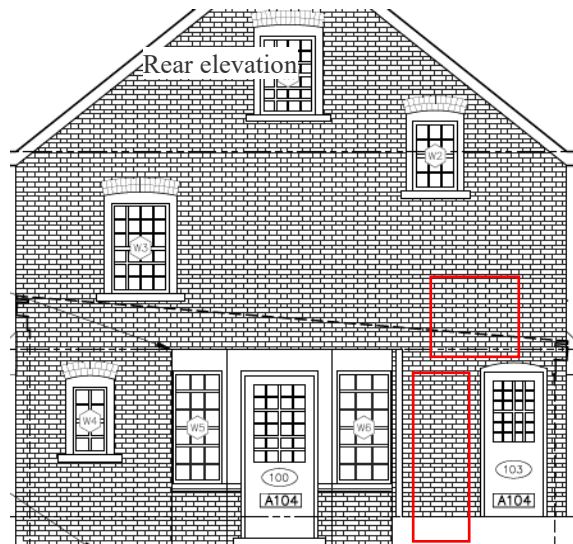
- The Secretary of the Interior’s Standards for Rehabilitation, Standard #1 states: *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
- It is staff’s opinion the character-defining features of 1920 Atkinson include: the siting of the house and its overall design, specifically the side entrances and narrow walkways leading from sidewalk; and architectural details, specifically the gambrel-like roof and pent roof, pediments, window sash and openings, unpainted brown brick laid in a Flemish bond pattern, and raised platform/porch.
- It is staff’s opinion the character-defining features of the front porch are its placement spanning the west and south elevations, concrete surface and brick faced foundation. During staff’s recent visit, the wraparound design of the porch creates a distorted view of the porch’s proportions facing the street (south elevation), making it look more narrow than the porch along the west/side elevation. The proposed deepening of the south portion of the porch may correct this visual illusion. Staff does not consider the existing bump out on the south porch, due to its size and minimal visibility, a character-defining feature of the house. Adding a few stairs to the southeast corner of the porch, as proposed, will bookend the stairs which exist at the northwest corner of the porch (at the front entry).
- The applicant confirmed the two walkways leading from the sidewalk to the front and rear entrances will remain.
- The finished floor height of the new patio will be in line with the top height of the wheelchair ramp (yellow star in above photo), so the floor will be lower than the finished floor height of The Congregation’s patio (white star). The pergola will be inset slightly from NE and NW edges of the house. The entire structure, to be stained a dark brown like that at The Congregation, is in keeping with the dark brown brick on the house. All of these design features will help reduce the visual impact of the new construction while activating this area of the property.
- The applicant confirmed the existing brick finish adjacent the rear bay window will remain.
- It is staff’s opinion the double-hung window and at-grade door on the rear elevation are not character-defining features of the house.
- As there is not a garage at the rear of the property (nor was staff able to confirm where/if there had been a structure at the rear of the lot), and the area behind the house was covered in concrete a long time ago (evidenced by its current condition), there are no character-defining features present in this section of the property.



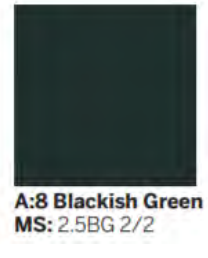
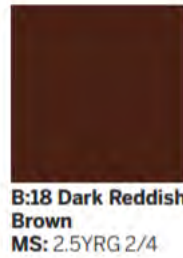
Rear elevation of 1920 Atkinson, looking southeast. The patio and wheelchair ramp at 9321 Rosa Parks is seen on the left.

ISSUES

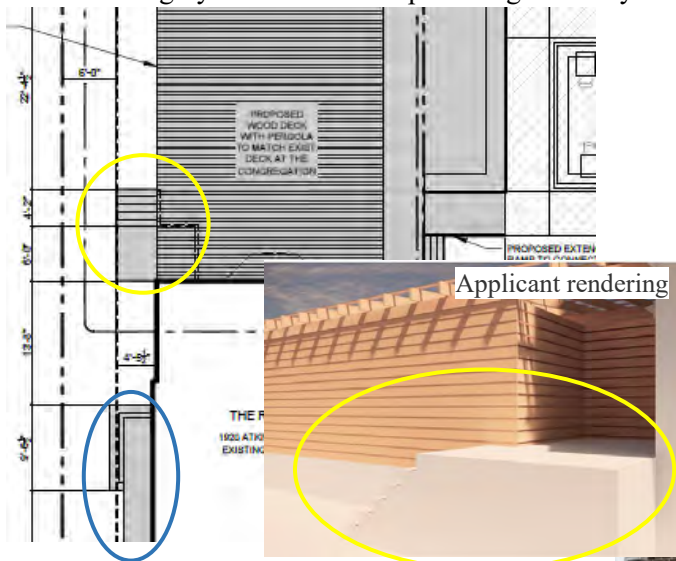
- Window and door removal on rear/north elevation. The elevation drawing shows the two openings removed (including double rowlock headers and brick toothed in), erasing all evidence of the historic openings. Per the proposal, it appears the sloping pergola roof (shown on the elevation as a sloping black line) will cross the window opening creating the need for a flat surface.



- Staff believes this house relates to Color System C (colonial revival), in which the contrast of the trim and window sash against dark brick is a hallmark feature. Therefore, the proposed color choices (Sash - B:18 Dark Reddish Brown and Trim – B:8 Blackish Green) are too dark and would cause the windows and trim to lose their visual importance.



- Residential Entrance - The stairs that will be constructed for the new entrance will extend to the west, beyond the NW corner of the house. The outer edge of the rear stairs/platform will align with the outer edge of the existing porch that starts at the house's front door, as confirmed in the below site plan. The applicant confirmed the new stairs and landing will need a railing, and the landing will be 1'-5" taller than the front porch. Due to the close adjacency of the neighboring property and its rear corner location, the increased height will not be highly visible from the public right-of-way.



- New stair/platform for rear entrance to residential units
- Existing front entrance porch/platform

- The applicant proposes to keep the remaining concrete porch surfaces in place. Staff photos show the evidence of highly deteriorated edges, so staff isn't sure how successful it will be to add new concrete to the existing platform.



- While conducting the site visit for 1920 Atkinson, HDC staff noticed recent work within the open area of the lot at 9321 Rosa Parks (Congregation Cafe). The most noticeable items include a perimeter wood fence and gate (installed at the driveway which opens onto Atkinson), and wooden picnic tables. HDC staff does not see that HDC approval or a building permit were issued for these items, nor that an application was submitted through Open Detroit, the city’s expedited outdoor dining program related to COVID-19. The projects completed at 9321 Rosa Parks are not part of this application.



HDC photo, April 28, 2021. Looking northwest from Atkinson, near Rosa Parks.



RECOMMENDATION

Section 21-2-78, Determination of Historic District Commission

It is staff’s opinion the rehabilitation and adaptive use of the house, and construction of surface parking at the alley, at 1920 Atkinson will not will alter the features and spaces that characterize the property. New construction, consisting of the erection of a rear yard patio and pergola will alter the spaces that characterize the property, however the patio and pergola are independent structures of the house and if removed, the form and integrity of the historic property and its environment will be unimpaired. Staff therefore recommends the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation and the Elements of Design for the district.

Staff recommends the Certificate of Appropriateness be issued with the following conditions:

- The three windows that need to be fabricated for window opening W22 will be wood (with wood exterior), double-hung windows with true-divided, or simulated divided, light glass. Mullions, similar to the dimensions of structural historic mullions will be fabricated and installed. The existing wood window casings will remain and be repaired as needed. Finish color for this opening will match the remaining windows and trim.
- A catalog cut for the rear entry railing will be submitted for staff review.
- Evidence of the window and door opening proposed for removal on the rear elevation will be retained and will consist of: the double rowlock headers and the brick infill will be laid in a running bond pattern within the openings. Vertical joints will be used to separate the infill brick from the existing brick wall.
- If new brick is needed within this project, it shall match the historic brick in density, dimension, color and pattern.
- New mortar shall match the existing mortar in composition and color, the mortar joints shall match in dimension and profile.
- Lighter, contrasting color(s), sympathetic to the color palette of Color System C, will be selected for the windows and trim and will be submitted to HDC staff for review and approval.

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DHDC NARRATIVE

Existing Conditions

Built in 1920, 1920 Atkinson St is a 2½ story 2,305 sq ft brick building with an asphalt gable roof that has been abandoned for 30+ years. It is constructed with wood framing and features a front porch. Currently, it has been boarded and demoed to the studs by previous owners. The property has no gutters, mechanical, electrical, or plumbing. It is missing internal floors and internal stairs, rot is prevalent.

Project Description

The building at 1920 Atkinson has been abandoned for over 30 years and fallen into disrepair, creating an unwanted eyesore for the area. This project will bring new life into the property that would benefit the entire community and create the missing piece to a commercial corner at the cross section of Atkinson Street and Rosa Parks Blvd, across the street from Gordon Park. The overall goal is to increase population density and encourage more walkable areas for residents of Boston Edison, Atkinson, and Clairmont.

1920 Atkinson was acquired from the Landbank by the same owners of The Congregation Detroit (which was an abandoned church turned into a café) to offer the local community more amenities by renovating this 100-year house. Since the acquisition, the owners have received approval and converted the property's zoning from residential to SD-1 with overwhelming support of the community and community leaders.

The proposed project will be a mixed-use building with a restaurant on the first floor and two apartments on the remaining floors. With the restaurant, there will be an outdoor wood deck seating with pergola on the north side of the building (back of the property) matching the design of The Congregation Detroit, a project approved by HDC. The deck will connect to the ADA ramp from The Congregation Detroit, which will make the combined properties an even larger asset for the local community.

All windows, brickmolds, and windowsills will be repaired to previous historic condition or rebuilt using the same materials. A window on the north side (back of the building) will be bricked in as it conflicts with the new residential entrance for which the door sill will be raised to allow for enough head clearance for new internal stairs.

All exterior doors are non-historic and rotted or non-existent and will be replaced by doors that match the historic windows. Some of the door wood trims are rotted and may need to be replaced. Trims that cannot be repaired will be replaced with ones built to match existing. Because the first floor will be a commercial space, all existing doors are not to code and must swing out.

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DHDC NARRATIVE

Proposed Work for Approval

- *01: All Windows will be Either Repaired to Previous Historic Condition or Rebuilt Using the Same Materials and will be Painted with Historical Colors per Drawing Set.*
 - A. Including trim, sash, and sills to match existing profiles.
- *02: Elimination of an Existing Window (DW) for New Residential Door Entrance (103) at the back of the building.*
 - A. New door sill height.
- *03: Move the Door (D103) higher and further west to accommodate for the New Residential Door Entrance (103) at the back of the building.*
- *04: Replace All Exterior Doors (See Drawings).*
 - A. Door 100, 102, 103 to be commercial grade with weatherstrip, sweep, and threshold. Paint historical colors per drawing set.
 - B. Door 104 & 105. Paint historical colors per drawing set.
 - B. Trim to match existing profile and lite configuration to mimic adjacent windows. Paint historical colors per drawing set.
- *05: Front Porch to be Rebuilt and Widened in Same Materials as Existing (See Drawings).*
- *06: Demolished Rear Porch will be removed. New Wood Deck for Outdoor Patio with Pergola.*
- *07: New ADA Ramp Connected to Existing Congregation Ramp.*
- *08: Tuck Pointing and Repair of Existing Masonry as Needed.*
- *09: Existing Gutters to be Repaired and Painted A:8 Blackish Green*

- *10: Three New Parking Spots for Tenants Adjacent to the Rear Porch*

As there are a lot of projects planned for this property, I appreciate the amount of work and thought that has been put into this application to-date. I predict the Commission will have the following questions as they do not know the history of this lot and the condition of the house as your team does, due to your time spent analyzing the property for this project. Therefore, to help the review go as smoothly as possible, offering the below information will give the Commission a better understanding of the proposal in advance of the meeting, which should allow you and them to jump right into the heart of the discussion.

Hi Audra, thank you very much. It certainly is an involved project and we want to make it the best it can for our neighborhood. We appreciate your thorough review as it will help us be better prepared for the upcoming meeting.

Lot

I am a bit confused by the layout of the driveway that is on the property of 9321 Rosa Parks as it turns left onto the rear yard of 1920 Atkinson, giving the illusion the church used this rear lot for parking. The 1984 designation photo shows a chain link fence separating the two properties, but it doesn't show how far back this fence goes. As you have named this project "The Rectory", were you able to determine the house was constructed for, or used by the church at a later date, hence the design of the driveway leading to the adjacent property?

It is our assumption that it was The Rectory as the house seems to face what is now the greenspace. The Alta survey we conducted confirms the separation of the properties following the chain link fence all the way to the alley. We assume the properties were either separated at some point or were developed separate and used jointly.



According the Detroit Parcel Viewer, the current zoning for this lot is R1 – Residential. Have you obtained rezoning for this lot?

Yes, zoning has been changed to SD-1.

The drawings don't indicate if the existing front walks will be removed or replaced in-kind. Please amend the scope of work and site plan to state what will be done with these areas.

We are planning to leave them as they are.

Windows

Are the windows within the three-unit opening (W22) in place? Can you please provide an interior photo showing the existing window sash?

No, the windows are non-existent with the window opening being boarded up. Please see pics of the current state below.



Doors

The removal of the existing rear entry and the construction of a new door closer to the NW corner of the house is not listed within the scope of work. Please add this to the project list.

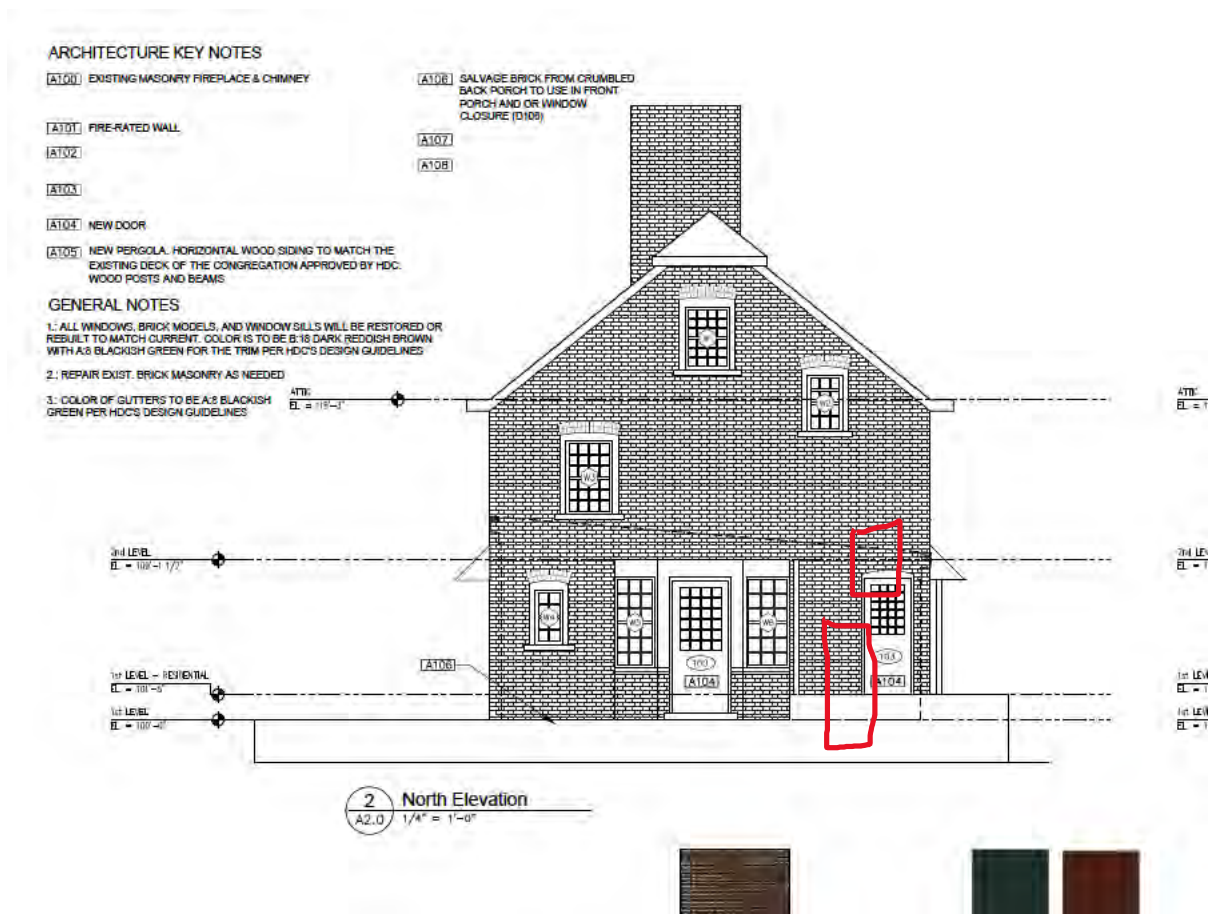
Please see this snapshot from Page 5 of the drawings submitted to you where the window has been bricked in and the door moved higher and farther West. I drew in some redlines where they used to be. Sorry if you have seen this already and you are exclusively referencing the Narrative/Scope of Work.

The following language was also added to the Narrative:

03: Move Door (D103) higher and further west to accommodate for the New Residential Door Entrance (103) at the back of the building.

Added link here for your convenience.

<https://drive.google.com/open?id=1LzHEVEibUB1PrnWkhFqktZIN59S6xCLf>



New door sill height. - Does this refer to the door within the bay window, as the patio floor will be higher than the existing porch being removed?

The patio/deck height will remain the same. No, this refers to the door (D103), the farthest to the West in the North Elevation where the entry for the upstairs residential tenants will be. Raising the door and the door landing are necessary in order to create a code-compliant stairwell. Please see above.

New doors - Will the glass area offer true/simulated divided lights, or will they have between-the-glass grids? If the doors have been selected, please submit the catalog cut/s.

Doors will be built by historic window contractor with true divided lights.

Front Porch

The drawings need to identify the footprint and dimensions of the existing-to-new front porch so the Commission clearly understands the extent of the change. It will be helpful to show a dotted footprint of the porch that will be removed, as well as the dimensions of the porch extending from front and side of the house (existing and proposed dimensions). Comparison of finished heights of existing and new is also needed (with dimensions of the new stairs at the SE corner noted).

The elevation drawing of the front porch shows steps extending beyond the SE corner of house. I expect this references the steps leading to the rear patio, please add a note to avoid any confusion.

Porch will not be removed and will remain at the same height. All we are doing is making it four feet wider. We have updated the drawing as well with the dotted line.

Gutters/Downspouts

Page A2.0 states gutters will be painted A:8 Blackish Green. Are new gutters and downspouts planned? If so, please add the specifications to the scope of work.

No new locations for gutters and downspouts are planned. We will simply replace the rotten ones with new ones in A:8 Blackish Green color.

Rear Elevation

Will a flat roof be installed for the bay window due to the proposed sloping pergola? I don't see that the drawings address the removal of the bay window's existing roof.

Yes. This is now indicated in the scope of the work.

What will be done to the painted brick that were considered the inside walls of the previously enclosed rear porch? It is not clear to us what it was or if it was an enclosed porch - it seems that way because of the current roof line/markings. Will this orange color remain? Will the paint be removed, or will these brick be painted a different color? Please note what will be done (if paint to be removed – please state the removal method) on drawing A2.0.

Will remain as is.

Rear Deck/Pergola

It is noted the raised deck will match the raised deck design and construction at The Congregation. I am not clear on the full method of construction as I read the drawings. Will a visible concrete base be poured, which is how I read the elevations/renderings. Please clarify this elevation, and add the finished heights of the sloped pergola and rear wall.

The deck of The Congregation is built completely out of wood and so will be the deck for The Rectory. There will be no visible concrete base. It will match the same style as the Congregation.

Regarding the new rear entry stairs, please dimension this detail. Will a railing be required? Did you consider facing these stairs with brick as it extends beyond the NW corner of the house? Please confirm how much taller this platform will be than the new front entry porch.

This platform will be 1'-5" taller than the adjacent porches. With this platform being taller than 30", railing will be required.

Parking area

Please add the three-spot parking area to the scope of work.

I didn't see where ADA access extends from the rear parking spot to the house, as the patio is entirely enclosed and the path leading from the rear parking area culminates with steps.

I was not aware that ADA Compliance was also a topic for HDC or else we would have clarified, sorry. Parking

is a requirement for tenants and not for the restaurant. Restaurant goers will be able to access via the current The Congregation ramp which will be integrated to the new deck of The Rectory.

THE RECTORY

1920 ATKINSON ST.

Detroit, Michigan 48206

Owner:
Amy Peterson, Antonio Luck, Betsy Murdoch

Architect:
Iannuzzi Studio PLLC
1410 Service St. Suite 202
Detroit, MI 48207

Contact: David Iannuzzi, AIA
T: 313.920.5688
di@iannuzzistudio.com

General Contractor:
T.B.D.

Structural Engineer:
T.B.D.

Mechanical Engineer:
M A Engineering
400 S. Old Woodward Ave., Suite 100
Birmingham, MI 48009

T: 248.258.1610

General Requirements

SUMMARY OF WORK
Provide all labor, materials, equipment, and services and provide all operations required to accomplish the work as indicated and/or implied by the drawings and these general notes and specifications.

0141 CODES AND ORDINANCES

All construction to comply with all applicable codes, ordinances, safety orders and regulations including building, Americans with Disabilities Act ADA, OSHA, plumbing, mechanical, and electrical codes, ordinances and requirements.

Plans, notes, and specifications are done to the reference code listed as of the date originally prepared. Any use in other jurisdictions will require these documents to be reviewed and/or modified by a local design professional licensed to practice in that jurisdiction.

PERMITS AND TESTS

Obtain and pay for all required permits, inspections, and tests. All re-inspection fees for work not ready or in compliance with local codes to be paid for by Contractor.

INSURANCE

All Contractors shall carry broad form, comprehensive liability insurance (minimum \$1,000,000 liability) and workmen's compensation insurance and shall submit certificates of insurance to the Owner prior to execution of any work. All Contractors shall name Iannuzzi Studio PLLC, Nepelu LLC, and financing organizations as additional insured on all insurance policies.

COORDINATION WITH OTHER TRADES

Coordinate all work before and during construction with all other affected trades. Where interferences develop notify architect. Relocation of conflicting installed work due to lack of coordination or poor coordination will not be considered extra work.

WORKMANSHIP

All work executed shall be performed in a first class and safe, workmanlike manner in accordance with the latest accepted standards and practice for the work involved. The workmanship shall be subject to the approval of the Owner at all times.

SCHEDULE

Within 7 days after date of Agreement, submit preliminary schedule defining planned operations for the first 60 days of Work, with a general outline for remainder of Work. Within 7 days after date of joint review, submit complete schedule. If preliminary schedule requires revision after review, submit revised schedule within 7 days. Show complete sequence of construction by activity, with dates for beginning and completion of each element of construction.

EXAMINATION OF EXISTING CONDITIONS

Before submitting proposals for the work, the Contractor shall be held to have examined the site and satisfied as to the existing conditions under which it will be obliged to operate in performance of the work. Contractor shall inform the Owner of any probable contingencies, which may influence the execution of the work with their bid. No extras will be allowed to the Contractor because of their failure to make this specified examination or neglect to include all materials and labor required in their work. Contractor to notify Architect of any hidden conditions for which an extra time or money is going to be requested prior to proceeding with the work. Failure to notify may result in denial of the extra expense.

APPROVED MANUFACTURERS

Use only materials specifically indicated in contract documents, or comparable materials by other listed acceptable or Architect-approved manufacturers. Note that "acceptable manufacturer" does not constitute automatic approval of specific materials by one or all of the listed acceptable manufacturers. Architect reserves the right of final determination of acceptability of each item.

SUBMISSION OF SHOP DRAWINGS AND CUT SHEETS

Submit complete shop drawings and/or manufacturer's cut sheets for all materials, fabrication, and equipment intended for use on this project. Shop drawings shall clearly indicate all physical and performance characteristics for all materials and equipment. Submit electronic copies of all shop drawings for review by architect. No work is to be installed prior to review and return of architect-approved shop drawings.

APPROVAL OF SHOP DRAWINGS

Architect's review/approval of shop drawings is for adherence to design concept only. General and sub-contractors, suppliers, and fabricators to field verify all dimensions and site conditions for compliance with shop drawing requirements prior to release for fabrication. Architect to be given 10 days minimum to review all required shop drawings and/or selections.

DIMENSIONS

Review and verify all dimensions on the drawings before commencing with the work. If dimensional errors occur, the Contractor shall notify the Architect before proceeding with the work. DO NOT SCALE DRAWINGS. Any Contractor that scales a drawing to determine a location for any part of the work shall take full responsibility, should that portion of the work be improperly located.

ERRORS AND OMISSIONS

Any errors, omissions, or conflicts between various elements on the drawings and/or in these general notes shall be brought to the attention of the Architect before proceeding with the work. Failure to do so shall result in the Contractor taking full responsibility and liability for the work as installed.

Applicable Codes

All construction to comply with all applicable codes including local building, plumbing, mechanical, and electrical codes, ordinances and requirements.

2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
ALTERATION LEVEL III
2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN ELECTRICAL CODE
2015 MICHIGAN PLUMBING CODE
2015 UNIFORM ENERGY CODE

LEGAL DESCRIPTION
PROPERTY EXEMPT FROM AD VALOREM TAXES AND ASSESSED ON THE SPECIAL ACT ROLL PURSUANT TO PA261 OF 2003 EXPIRING 12/30/2024. N ATKINSON 680 JOY ARM SUB L32 P40 PLATS, WOR # 40 X 133.5 PARCEL ID: 08002810

ZONING CLASSIFICATION SD-1

BUILDING AREA	Area	Sq. Ft.
Basement		926 sq. ft.
First Floor		926 sq. ft.
Second Floor		909 sq. ft.
Third Floor		467 sq. ft.
Gross Square Footage		3,228sq. ft.

CONSTRUCTION TYPE

FIRE RESISTANCE RATING (MBC TABLE 601)

Primary Structural Frame	0	Wood Framing
Bearing walls		
Interior	0	Wood Framing
Exterior	2	Brick Masonry
Nonbearing		
Interior	0	Wood Framing
Exterior	0	Brick Masonry
Floor/Roof	0	Wood Framing

OCCUPANCY AND USE

Use classification	A-2	Assembly
	R-2	Residential

OCCUPANT LOAD FACTOR(TABLE NO. 1004.1.2 - MBC 2015)

Type	Area/Occupancy	Total
FIRST FLOOR		
Interior Restaurant	sf / 15/ occ	occupants
Kitchen/Bar	sf /200/occ	occupants
Storage	sf /300/occ	occupants
Business	sf/100/occ	occupants
SECOND FLOOR		
Residential	sf/200/occ	occupants
THIRD FLOOR		
Residential	sf/200/occ	occupants
BUILDING TOTAL		OCCUPANTS

FIRE SUPPRESSION REQUIREMENTS

Required for use over 100 occupants - OK
Required for use over 5,000 sq. ft. - OK
Required for use with fire area on a floor other than the level of exit discharge serving such occupancies - OK

MEANS OF EGRESS AND EXIT ACCESS

Egress Capacity	Width
0.2' (door) 46 persons	9.2'
# Exits Required	Provided
1st floor 2 for occ < 501 persons	x
Max Egress Travel Distance 200' for use - OK (TABLE NO. 1017.2 - MBC)	

REQUIRED PLUMBING FACILITIES(TABLE NO. 403.1 - MPC 2015)

Required:	Provided:
Water Closet: 1 per 75F; 1/75M Occ. (2)	Single Occ.
Lavatory: 1/200 Occ. (2)	Total
Drinking Ftn: 1	0 Drinking Fountain
Service Sink: 1	Service Sink

410.4 Substitution

Where restaurants provide drinking water in a container free of charge, drinking fountains shall not be required in those restaurants. In other occupancies where drinking fountains are required, water dispensers shall be permitted to be substituted for not more than 50 percent of the required number of drinking fountains. -OK

Scope of Work / General Notes:

RENOVATION OF EXISTING BUILDING, FIRST FLOOR RESTAURANT, SECOND AND THIRD FLOOR DWELLING.

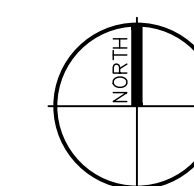
Sheet Index:

- ISSUED SHEET
- ISSUED FOR REFERENCE ONLY
- ☐ NOT INCLUDED / NOT ISSUED

Sheet No.	Description	Issued	For Reference	Not Included
A0.0	COVER SHEET	●		
A0.1	ARCHITECTURAL SITE PLAN	●		
A0.2	LIFE SAFETY PLAN			
ARCHITECTURAL				
D1.0	DEMO PLANS	●		
D2.0	DEMO ELEVATIONS	●		
A1.0	FLOOR PLANS	●		
A1.1	REFLECTED CEILING PLANS			
A2.0	EXTERIOR ELEVATIONS	●		
A2.1	EXTERIOR ELEVATIONS	●		
A3.0	BUILDING SECTION			
A3.1	WALL SECTIONS			
A4.0	INTERIOR ELEVATIONS			
A7.0	SCHEDULES	●		

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Exist. Elevation Photos	Page 10
Exist. Details Photos	Page 11
Exist. Details Photos	Page 12
Pergola Proposal	Page 13
Pergola Proposal	Page 14



Site Location Map
Not To Scale

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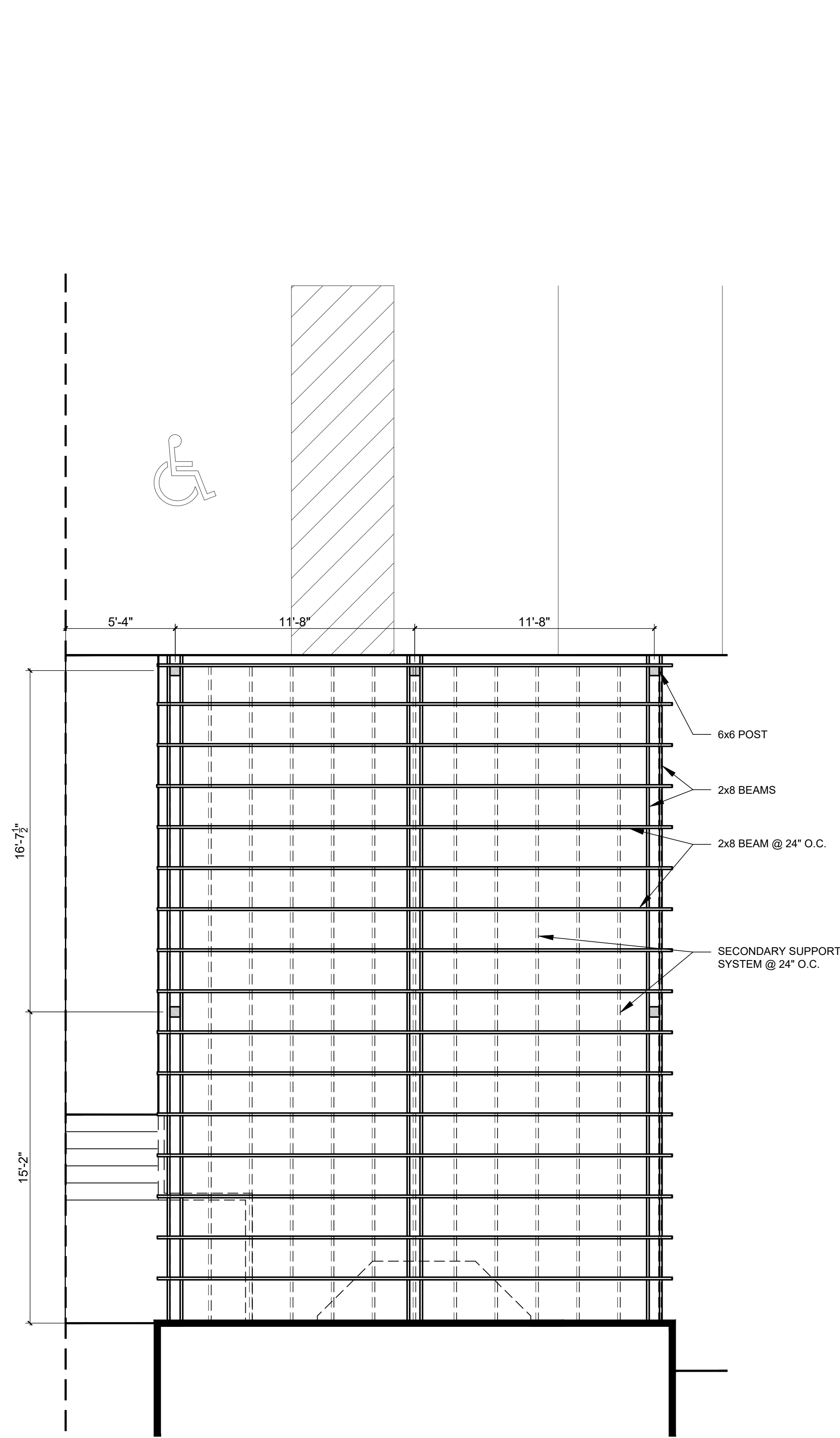
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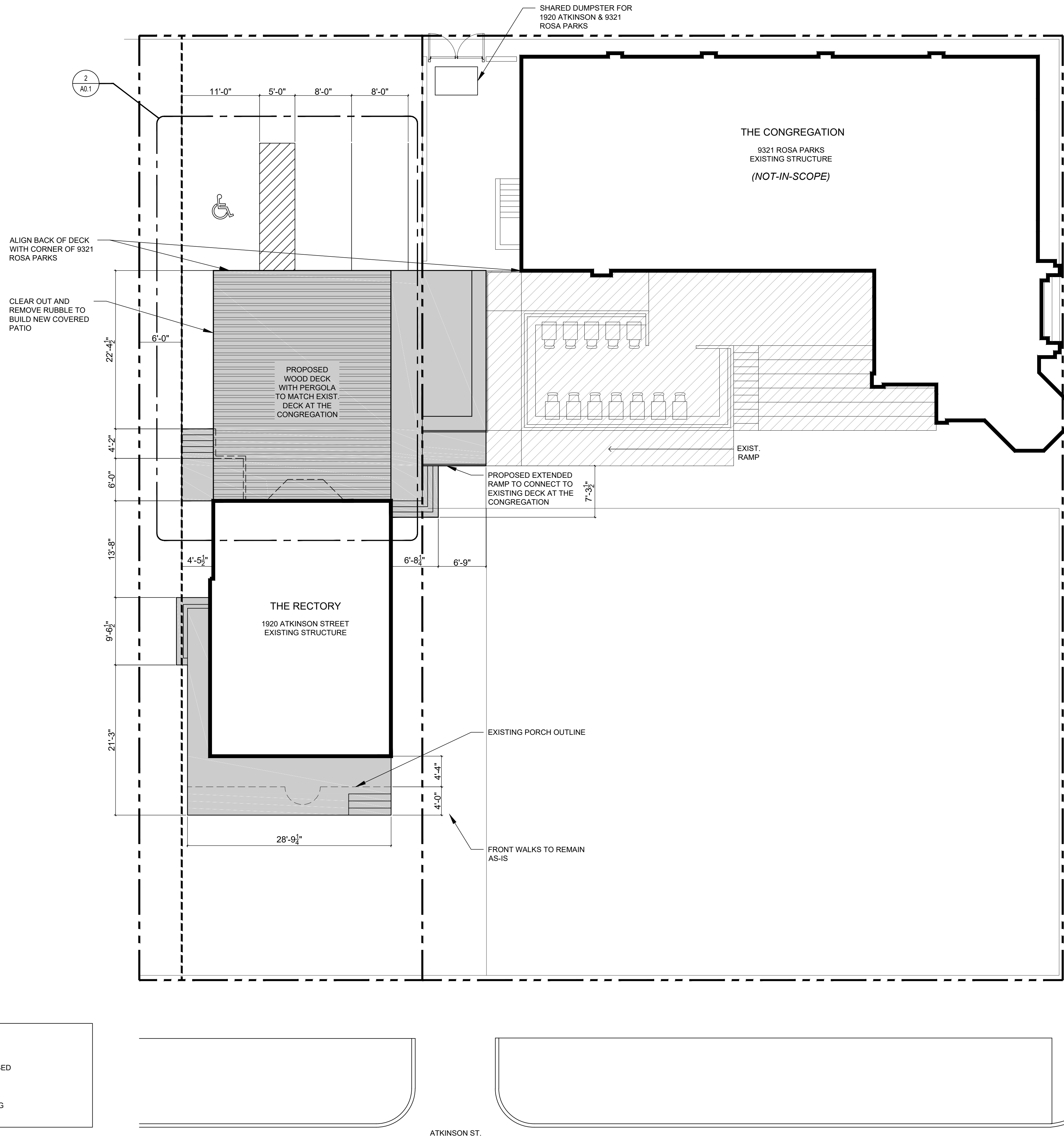
SHEET TITLE:

COVER SHEET

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2 Enlarged Site Plan
A0.1 1/4" = 1'-0"



SITE PLAN NOTES

- PROPOSED
- EXISTING

1 Site Plan
A0.1 1/8" = 1'-0"

ROSA PARKS BLVD.

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A0.1

SHEET TITLE:
**ARCHITECTURAL
SITE PLAN**

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DEMOLITION WALL KEY

 EXISTING WALL TO BE DEMOLISHED

 EXISTING WALL TO REMAIN

ARCHITECTURE KEY NOTES

D100

D101 REMOVE EXISTING INTERIOR WALLS, TYP.

D102 REMOVE STAIRS AND LANDING AND PREP FOR NEW WORK.
REMOVE FLOORING AND PREP FOR NEW WORK

D103

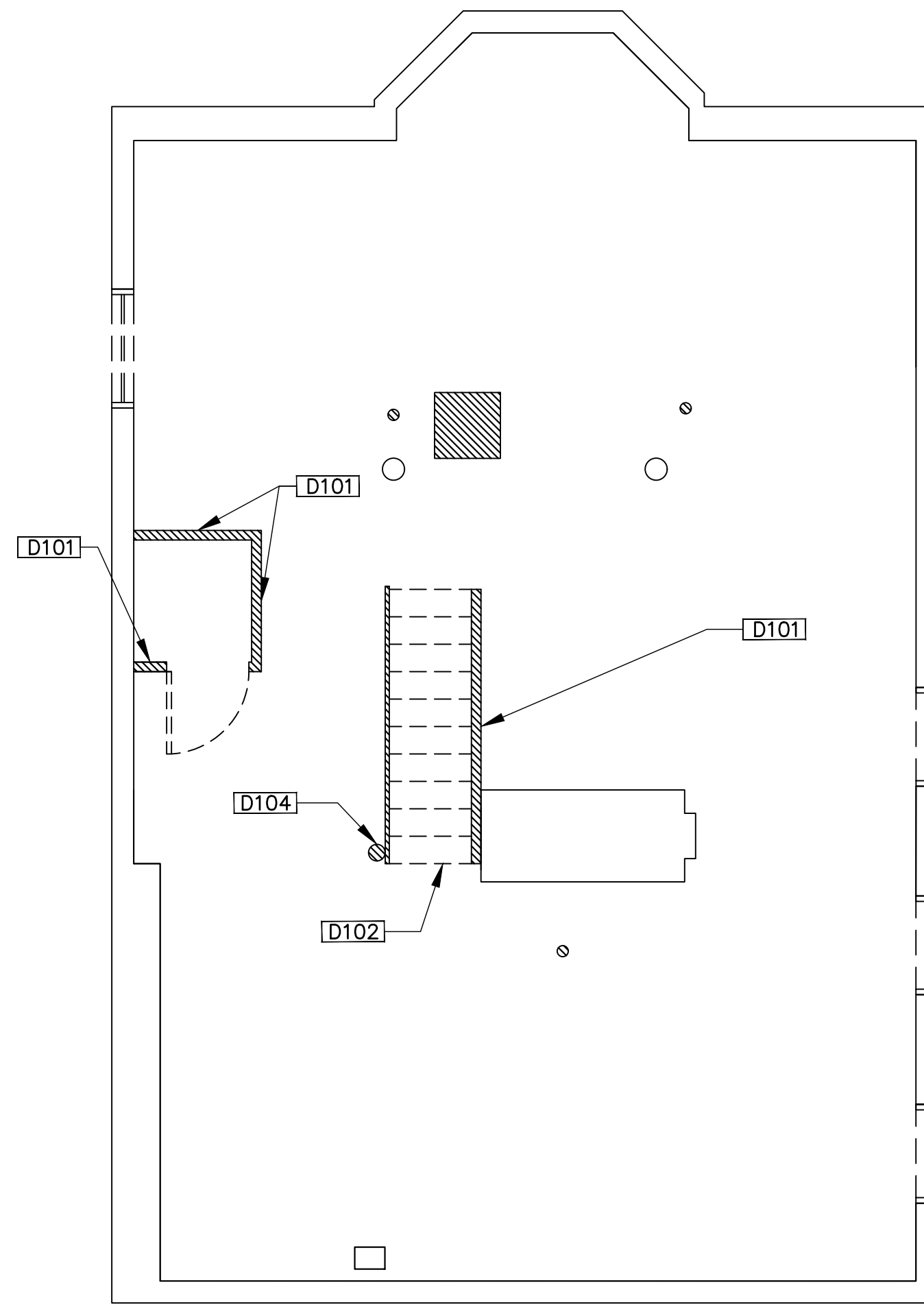
D104

D105 REMOVE EXISTING MASONRY WALL AND PREPARE FOR NEW DOOR

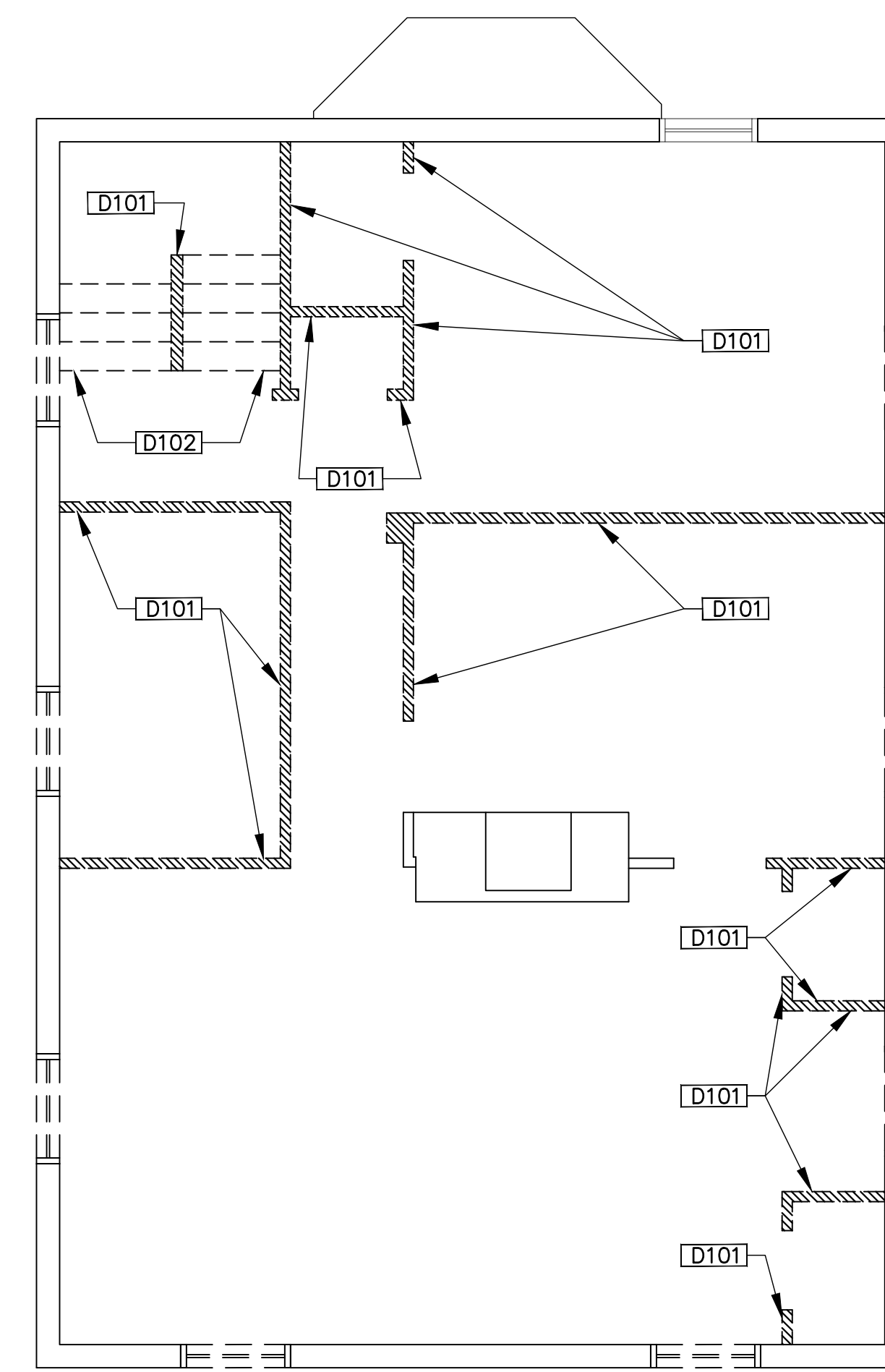
D106

GENERAL NOTES

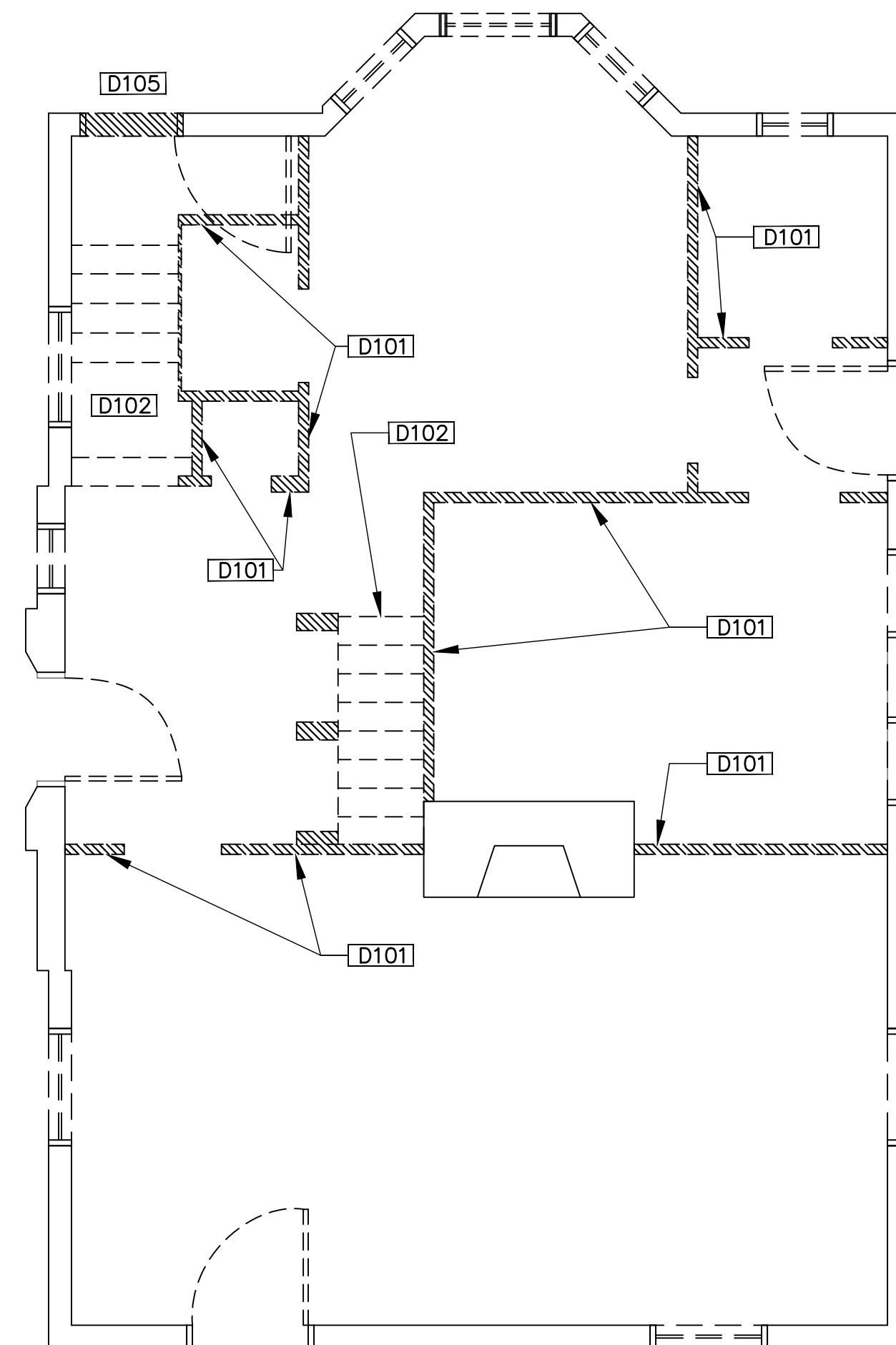
1: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B-18 DARK REDDISH BROWN WITH A-8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES



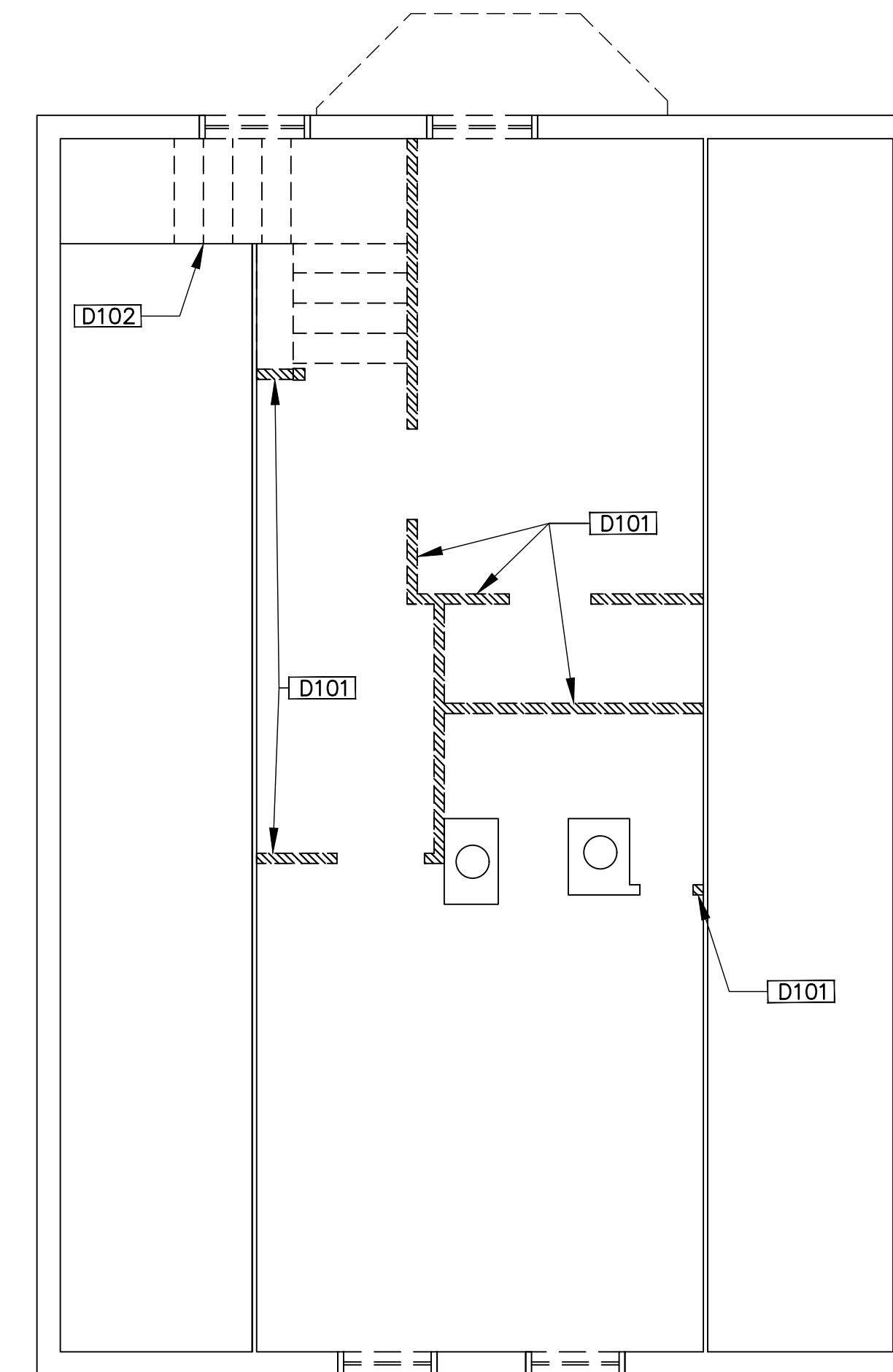
1 Basement Level-Demo Plan
D1.0 1/4" = 1'-0"



3 Second Level-Demo Plan
D1.0 1/4" = 1'-0"



2 First Level-Demo Plan
D1.0 1/4" = 1'-0"



4 Third Level-Demo Plan
D1.0 1/4" = 1'-0"

ARCHITECTURE KEY NOTES

D100

D101 REMOVE EXISTING INTERIOR WALLS, TYP.

D102 REMOVE STAIRS AND LANDING AND PREP FOR NEW WORK. REMOVE FLOORING AND PREP FOR NEW WORK

D103 REMOVE DOORS

D104

D105 REMOVE EXISTING MASONRY WALL AND PREPARE FOR NEW DOOR

GENERAL NOTES

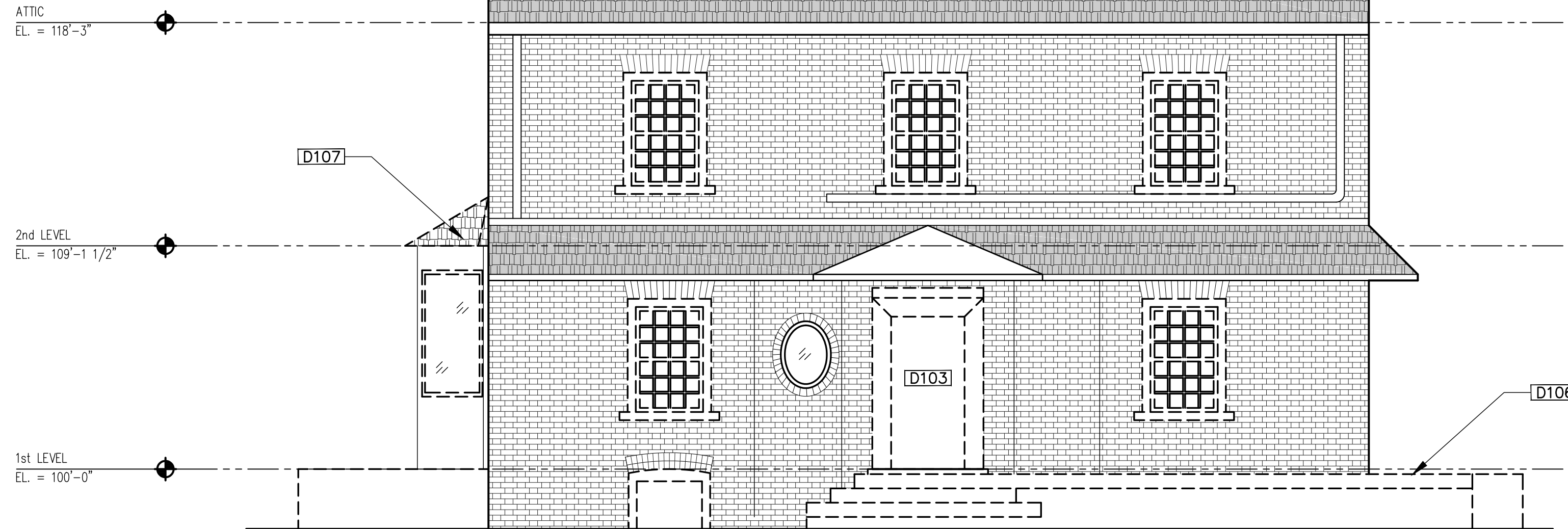
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B-18 DARK REDDISH BROWN WITH A-8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES

2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

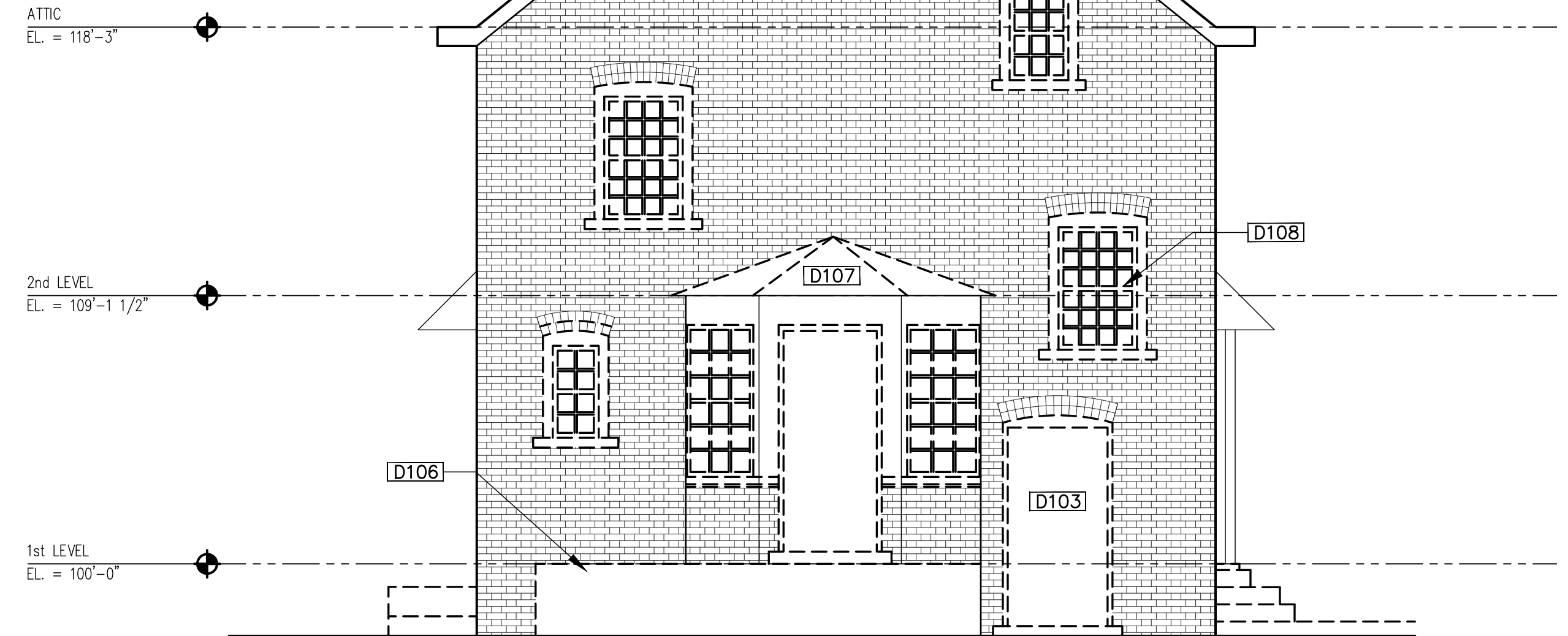
D106 SALVAGE BRICK FROM CRUMBLD BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

D107 INSTALL NEW FLAT ROOF TO ACCOMMODATE FOR SLOPING PERGOLA

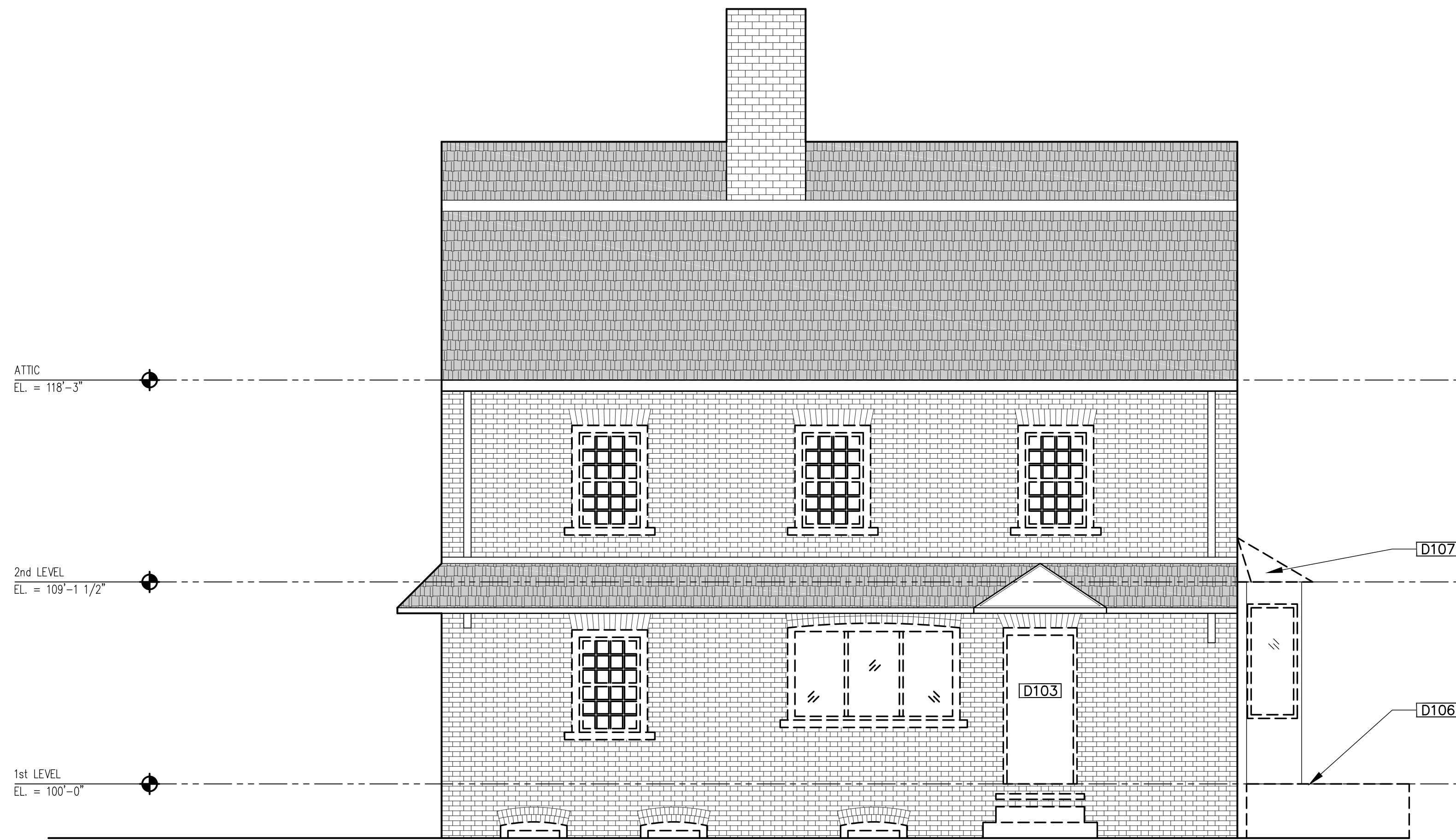
D108 REMOVE EXISTING WINDOW. FILL IN WITH MATCHING HOUSE BRICK



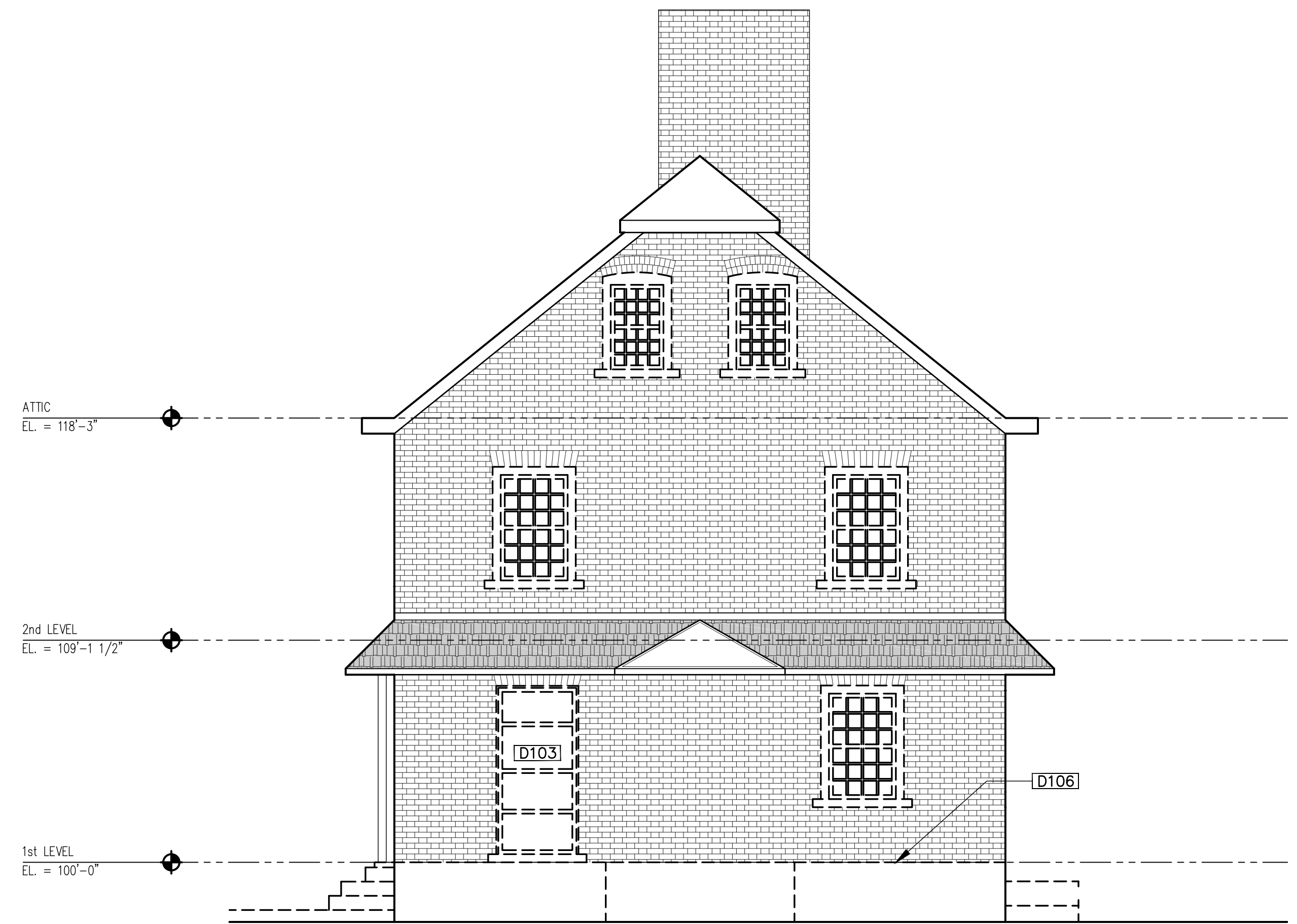
2 Demo. West Elevation
D2.0 1/4" = 1'-0"



1 Demo. North Elevation
D2.0 1/4" = 1'-0"



3 Demo. East Elevation
D2.0 1/4" = 1'-0"



4 Demo. South Elevation
A2.0 1/4" = 1'-0"

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DEMOLITION
ELEVATIONS
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WALL KEY

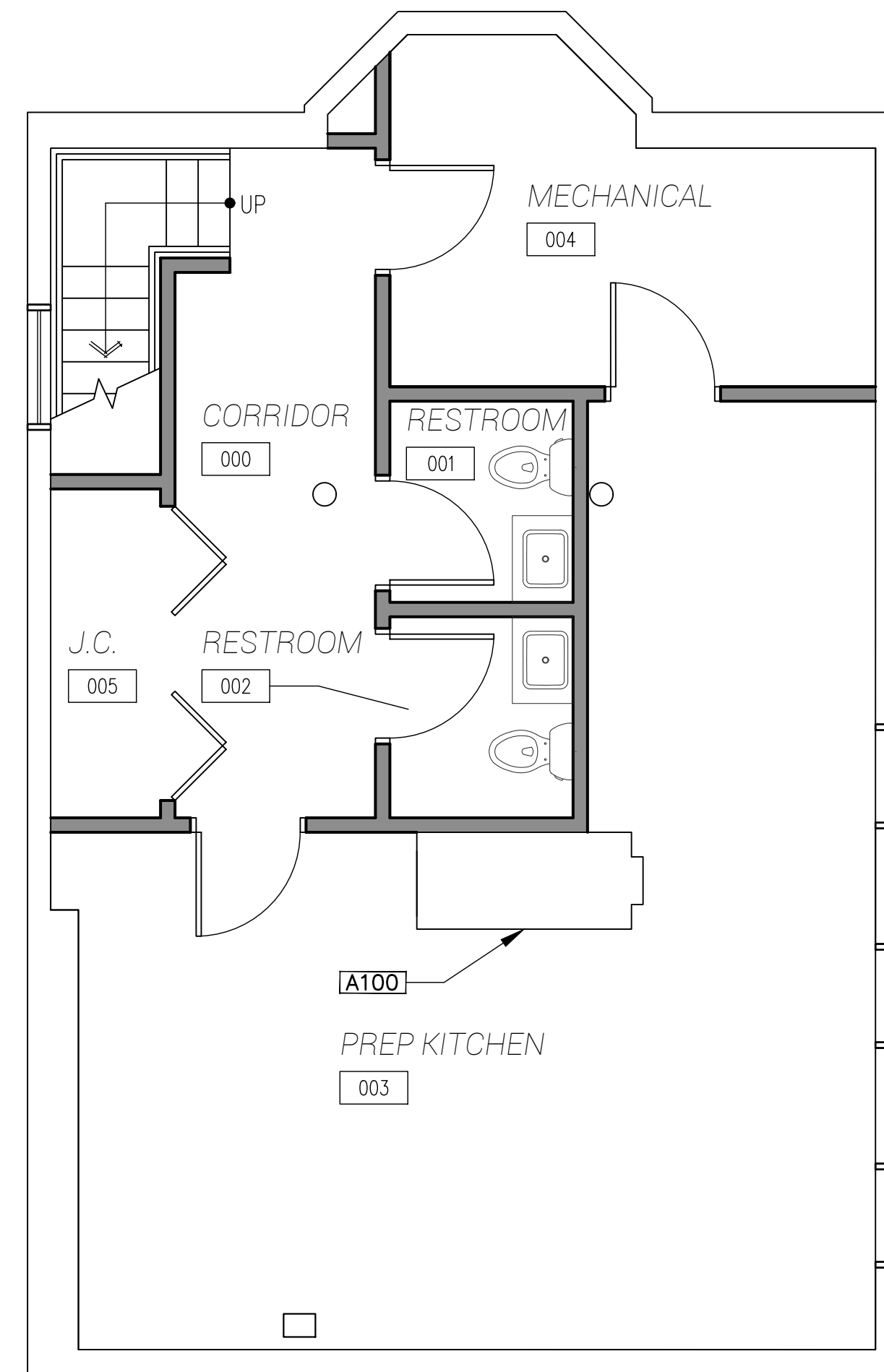
- EXISTING WALL TO REMAIN
- NEW FULL HT WALL - SEE WALL TYPES FOR DETAILS

ARCHITECTURE KEY NOTES

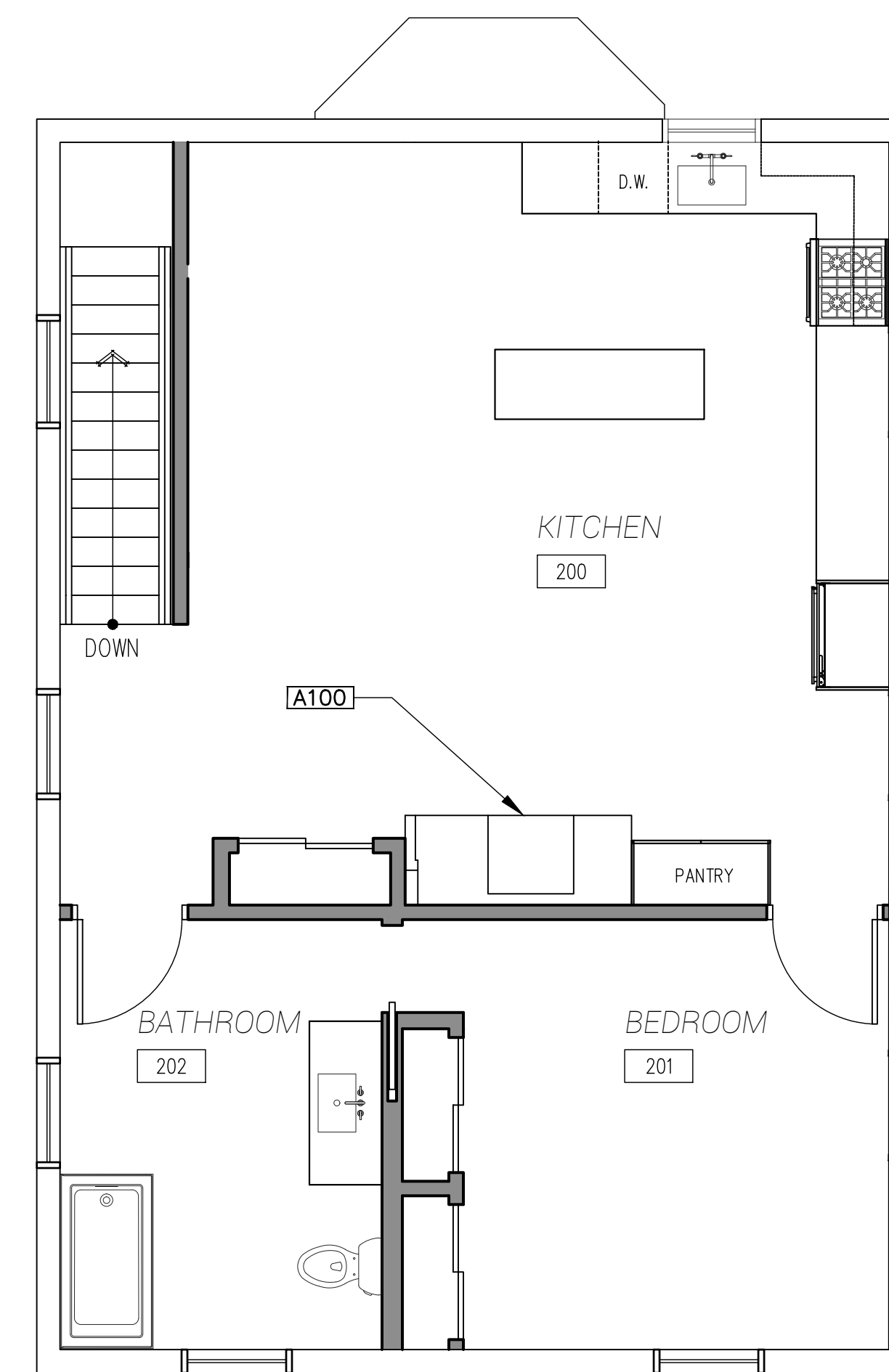
- [A100] EXISTING MASONRY FIREPLACE & CHIMNEY
- [A101] FIRE-RATED WALL
- [A102]
- [A103]
- [A104] NEW DOOR
- [A105]
- [A106]

GENERAL NOTES

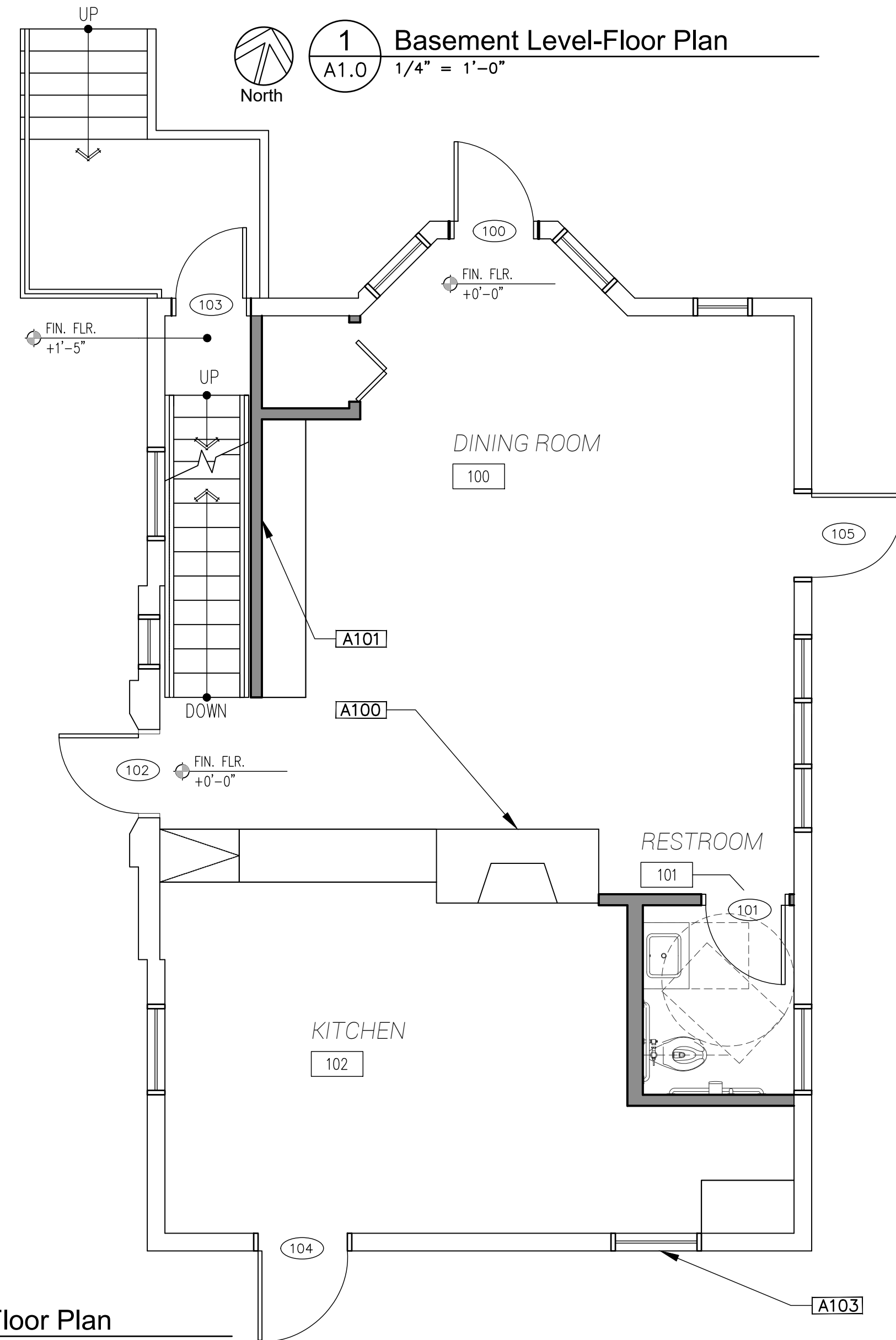
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B-18 DARK REDDISH BROWN WITH A-8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES



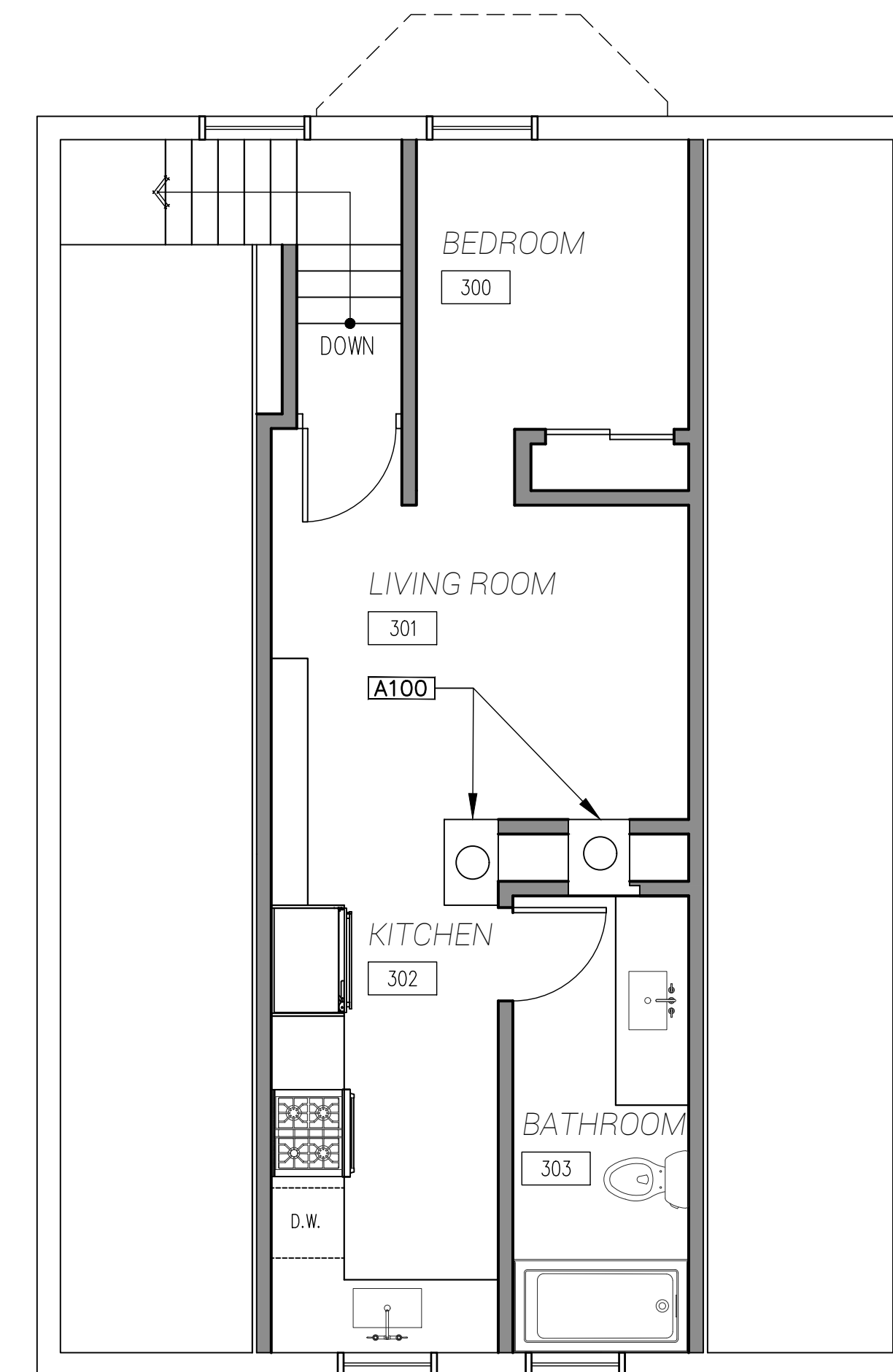
1 Basement Level-Floor Plan
A1.0 1/4" = 1'-0"



3 Second Level-Floor Plan
A1.0 1/4" = 1'-0"



2 First Level-Floor Plan
A1.0 1/4" = 3/8" S.C.H.E.M.E D
North



4 Third Level-Floor Plan
A1.0 1/4" = 1'-0"

ARCHITECTURE KEY NOTES

A100 EXISTING MASONRY FIREPLACE & CHIMNEY

A101 FIRE-RATED WALL

A102

A103

A104 NEW DOOR

A105 NEW PERGOLA. HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION APPROVED BY HDC. WOOD POSTS AND BEAMS

A106 SALVAGE BRICK FROM CRUMBLIED BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

A107 INSTALL NEW FLAT ROOF TO ACCOMMODATE FOR SLOPING PERGOLA

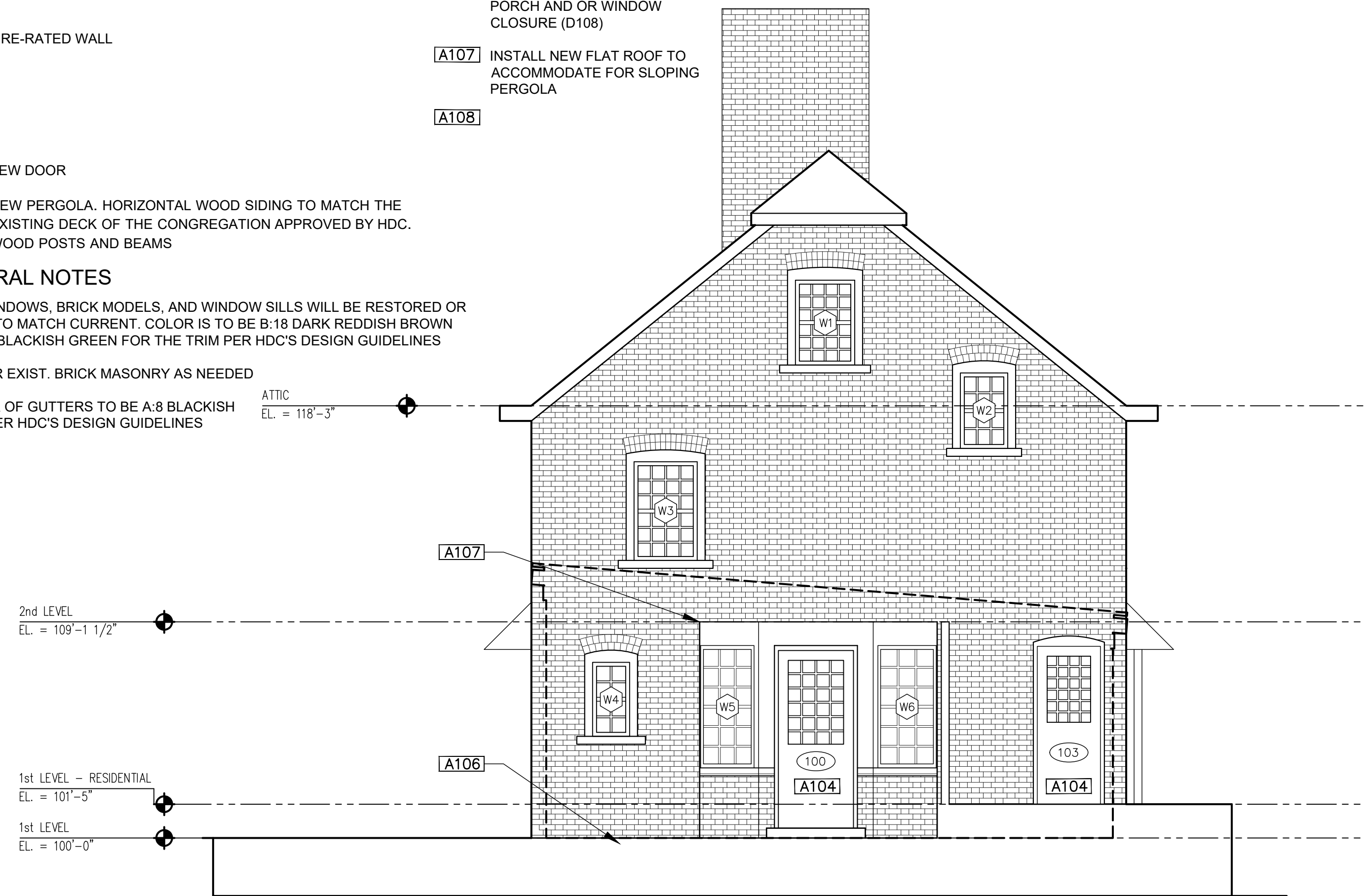
A108

GENERAL NOTES

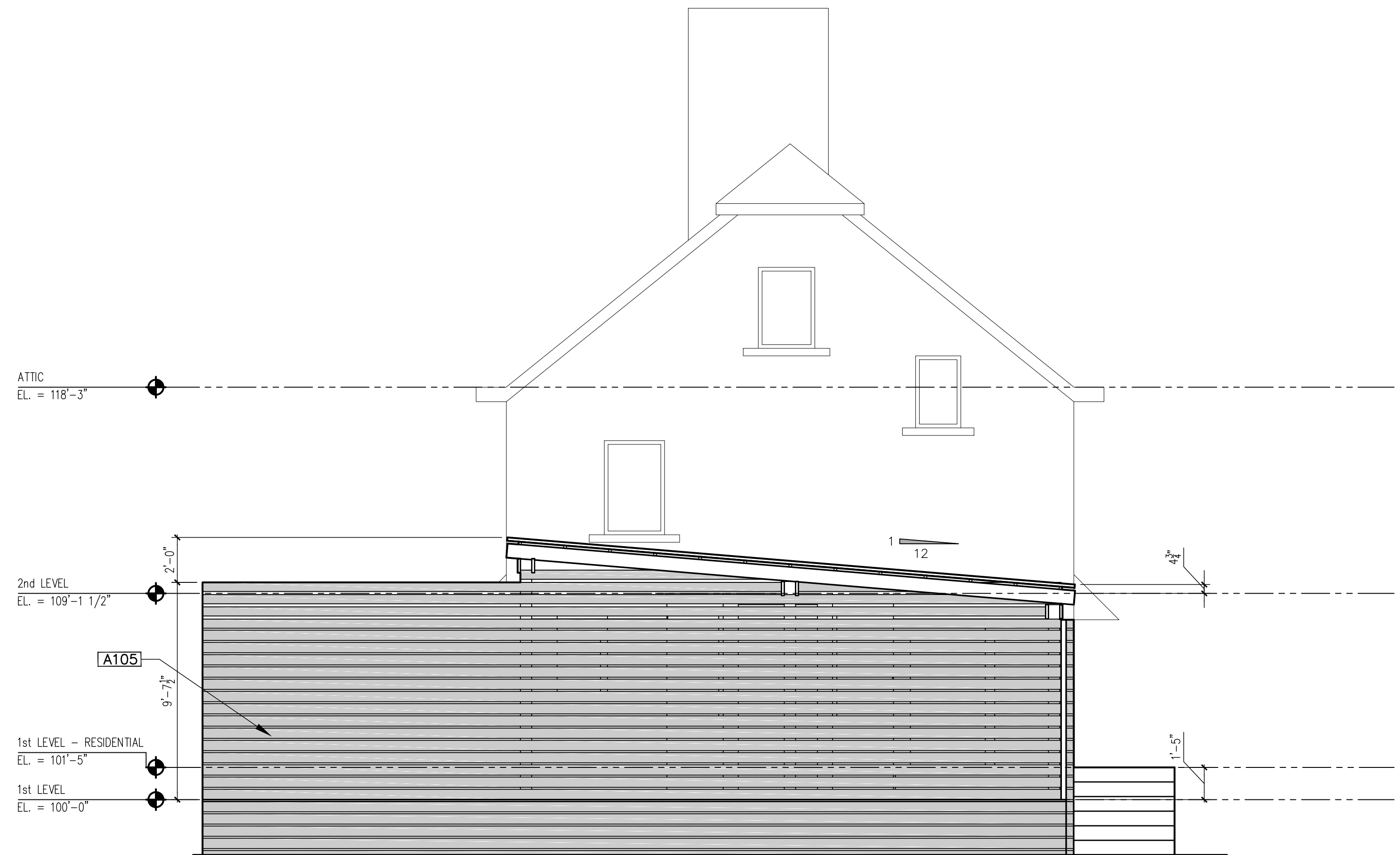
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B:18 DARK REDDISH BROWN WITH A:8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES

2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

3.: COLOR OF GUTTERS TO BE A:8 BLACKISH GREEN PER HDC'S DESIGN GUIDELINES



2 North Elevation
A2.0 1/4" = 1'-0"



1 North Elevation - Pergola
A2.0 1/4" = 1'-0"



3 South Elevation
A2.0 1/4" = 1'-0"

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SHEET TITLE:
PROP. EXTERIOR
ELEVATIONS
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ARCHITECTURE KEY NOTES

[A100] EXISTING MASONRY FIREPLACE & CHIMNEY

[A101] FIRE-RATED WALL

[A102]

[A103]

[A104] NEW DOOR

[A105] NEW PERGOLA. HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION APPROVED BY HDC. WOOD POSTS AND BEAMS

[A106] SALVAGE BRICK FROM CRUMBLING BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

[A107]

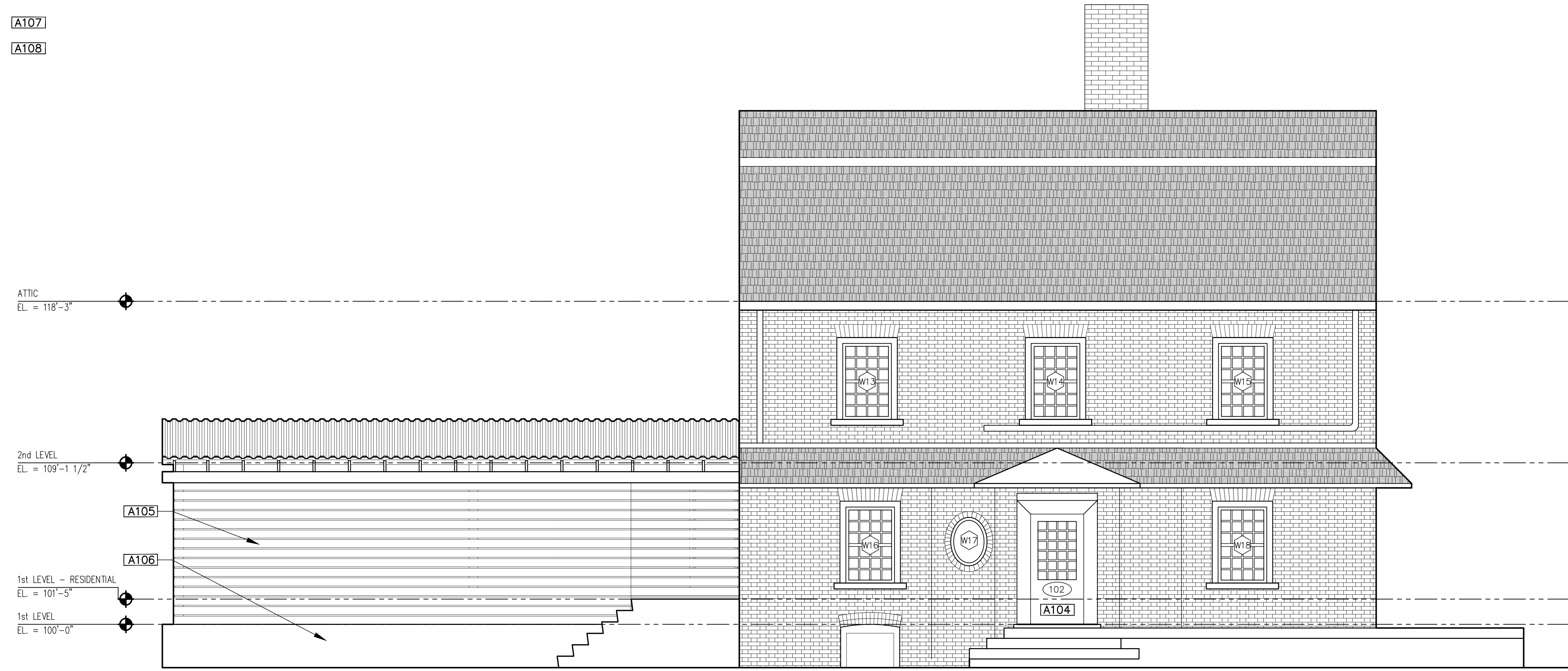
[A108]

GENERAL NOTES

1. ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B-18 DARK REDDISH BROWN WITH A-8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES

2. REPAIR EXIST. BRICK MASONRY AS NEEDED

3. COLOR OF GUTTERS TO BE A-8 BLACKISH GREEN PER HDC'S DESIGN GUIDELINES



1 West Elevation
A2.1 1/4" = 1'-0"



2 East Elevation
A2.1 1/4" = 1'-0"

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WINDOW SCHEDULE						
LABEL	DIMENSIONS	LOCATION	OPERATION	MATERIAL	TRIM/SASH/SILL	COMMENTS
W1		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: BROKEN GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W2		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W3		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W4		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W5		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W6		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W7		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W8		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W9		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W10		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W11		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W12		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW

GENERAL: ALL EXISTING WINDOWS ARE SINGLE-PANE GLASS AND HAVE TO BE UPDATED TO MATCH TODAY'S STANDARDS OF MODERN, ENERGY-EFFICIENT GLASS

WINDOW SCHEDULE						
LABEL	DIMENSIONS	LOCATION	OPERATION	MATERIAL	TRIM/SASH/SILL	COMMENTS
W13		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W14		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W15		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W16		WEST ELEVATION	FIXED	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W17		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W18		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W19		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W20		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W21		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W22		EAST ELEVATION	FIXED CENTER; LEFT AND RIGHT CRANK OUT	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW

EXTERIOR DOOR SCHEDULE					
LABEL	DIMENSIONS	LOCATION	MATERIAL	TRIM	COMMENTS
100		NORTH ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	DETERIORATION: BOARDED UP OPENING, NO DOOR IN PLACE COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN MAIN ENTRANCE TO RESTAURANT
102		WEST ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	DETERIORATION: WOOD DOOR IN EXTREMELY POOR SHAPE COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN SECONDARY ENTRANCE TO RESTAURANT
103		NORTH ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	DETERIORATION: WOOD DOOR IN EXTREMELY POOR SHAPE COMMERCIAL GRADE OR NEAR COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN ENTRANCE FOR RESIDENTIAL TENANT/S
104		SOUTH ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	NON-OPERABLE; NO HARDWARE TO MATCH WINDOWS DESIGN
105		EAST ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	NON-OPERABLE; NO HARDWARE TO MATCH WINDOWS DESIGN

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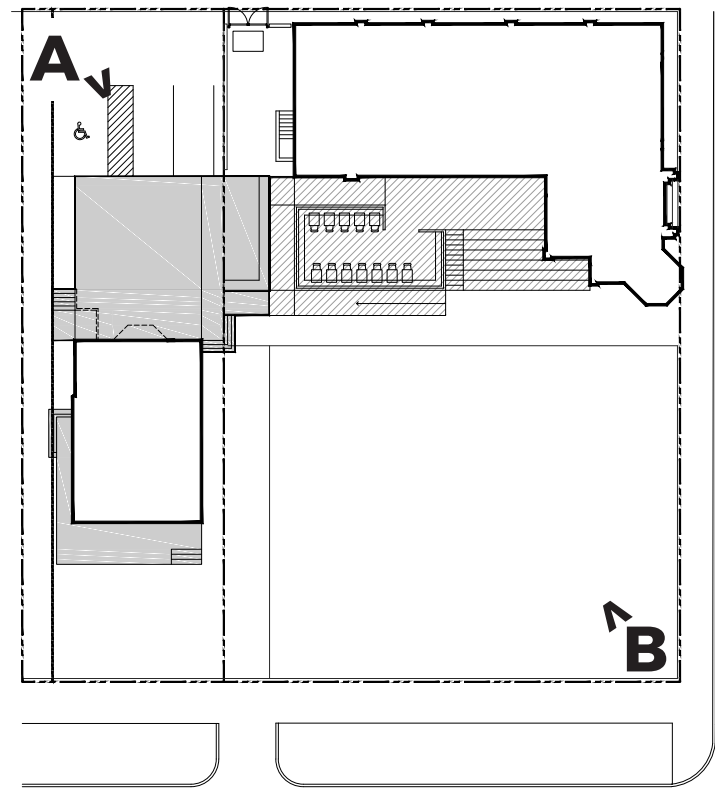
04 - 12 - 2021 HDC Set

SHEET NUMBER:

A7.0

SHEET TITLE:
Door, Window &
Finish Schedule
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SITE PHOTOS



A - BACK CORNER OF THE SITE



B - FRONT CORNER OF THE SITE

EXISTING ELEVATIONS



NORTH ELEVATION

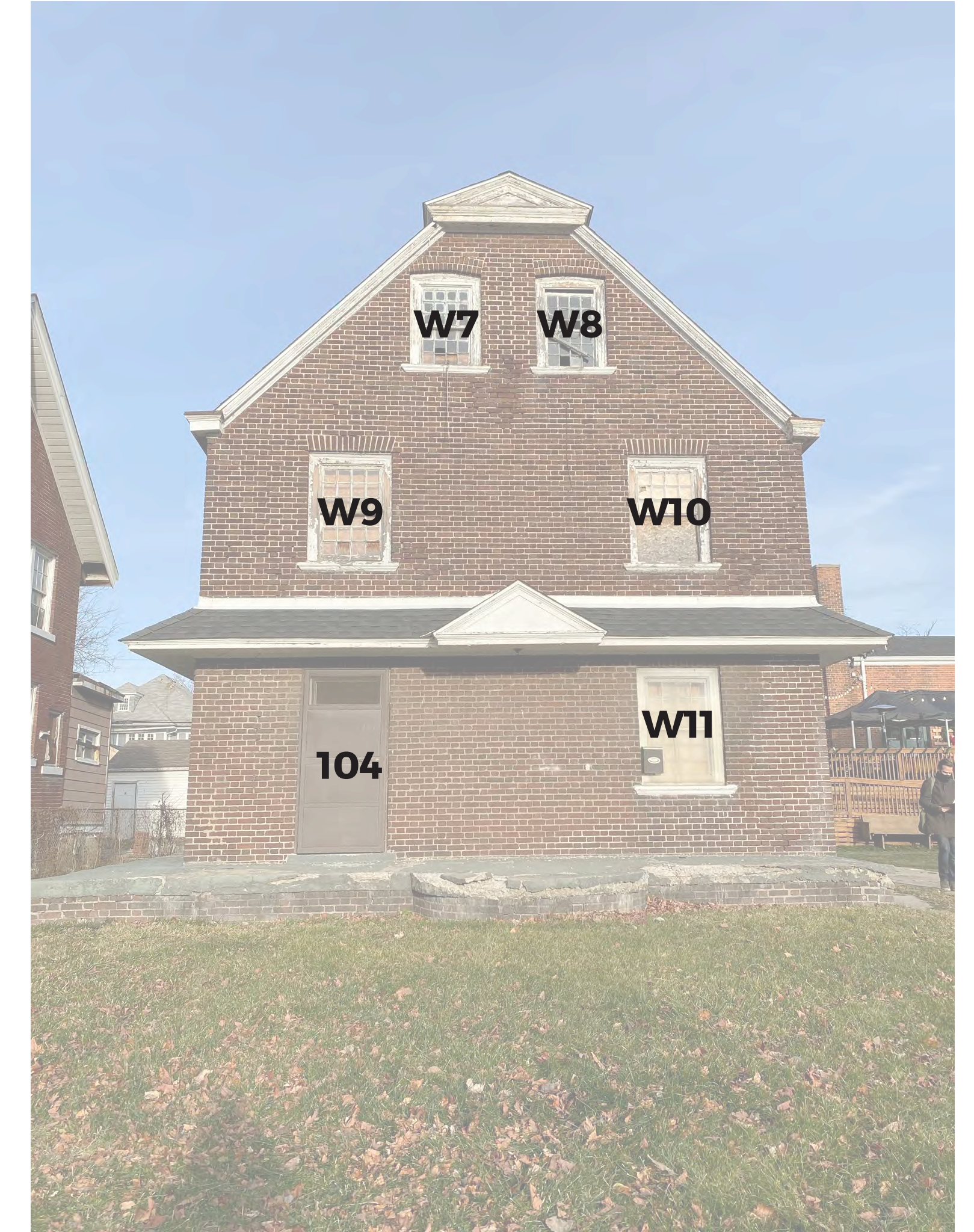


NORTH ELEVATION

REMOVING WINDOW TO
MOVE DOOR 103 UP FOR
NEW PATIO - SEE
ELEVATIONS AND PLANS



SOUTH ELEVATION



SOUTH ELEVATION

EXISTING ELEVATIONS



WEST ELEVATION



EAST ELEVATION

EXISTING DETAILS



PORCHES

SALVAGE BRICK FROM CRUMBLED BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)



WINDOWS

ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE B:18 DARK REDDISH BROWN WITH A:8 BLACKISH GREEN FOR THE TRIM PER HDC'S DESIGN GUIDELINES

GUTTERS

COLOR OF GUTTERS TO BE A:8 BLACKISH GREEN PER HDC'S DESIGN GUIDELINES

EXISTING DETAILS



DOOR A - NEW DOOR SILL HEIGHT AND DOOR (103) FOR RESIDENTIAL TENANTS - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD



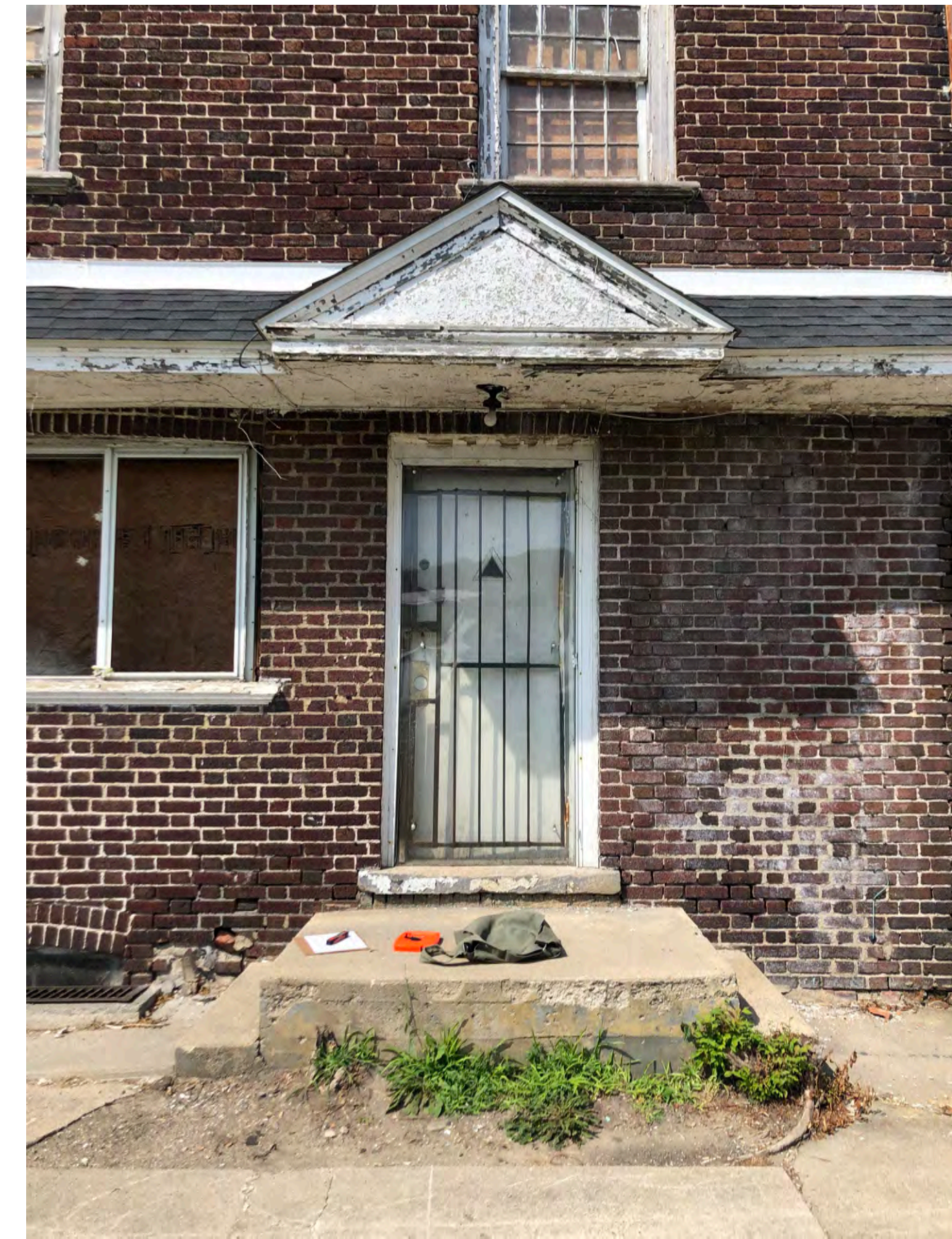
DOOR B - NEW DOOR (102) FOR SECONDARY ENTRANCE TO RESTAURANT - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD; CURRENT DOOR IS MISSING AND IS HELD BY AN ACRYLIC PIECE



DOOR C - NEW DOOR (104) - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: METAL



DOOR D - NEW DOOR (105) - SEE DOOR SCHEDULE FOR DETAILS

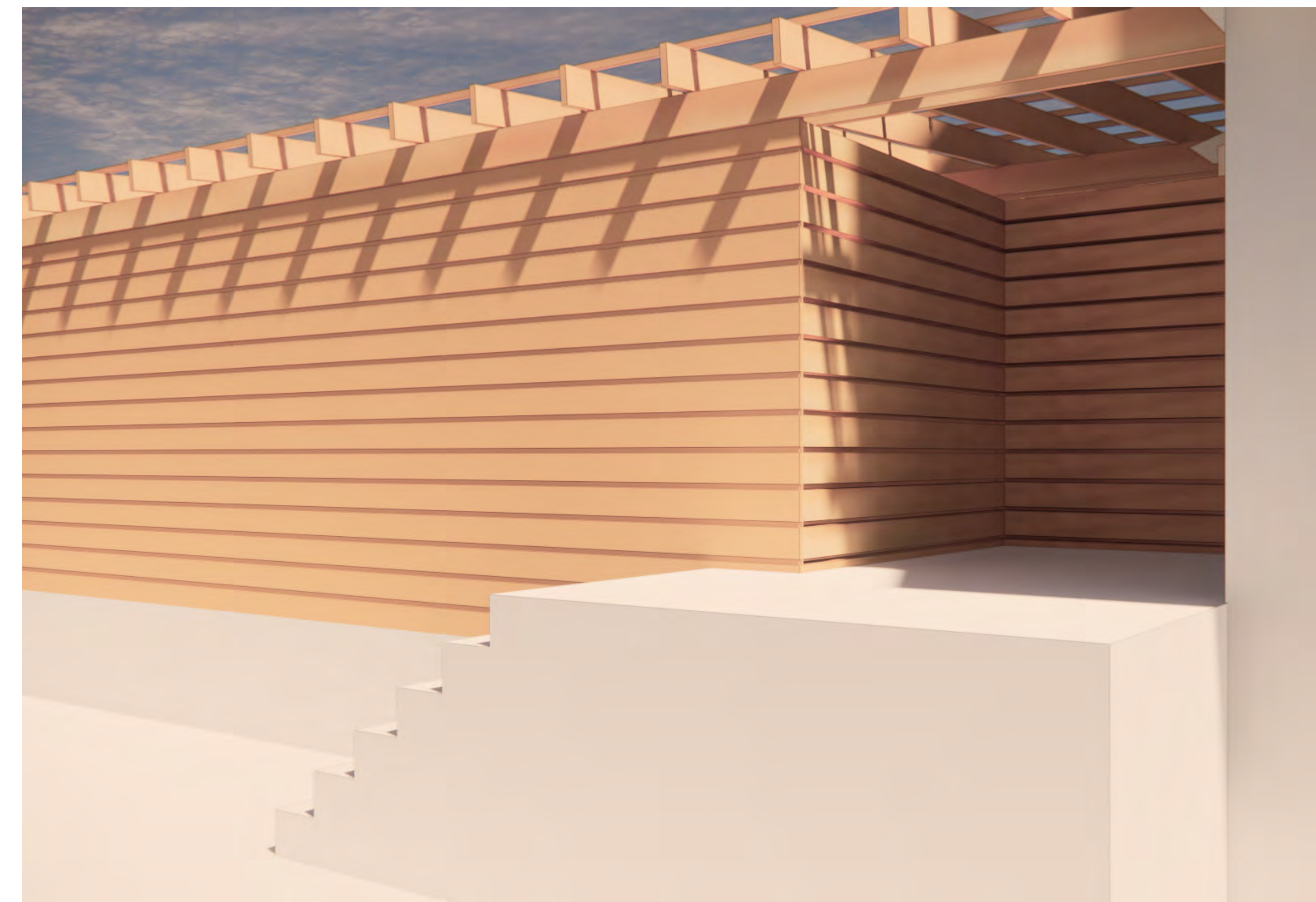
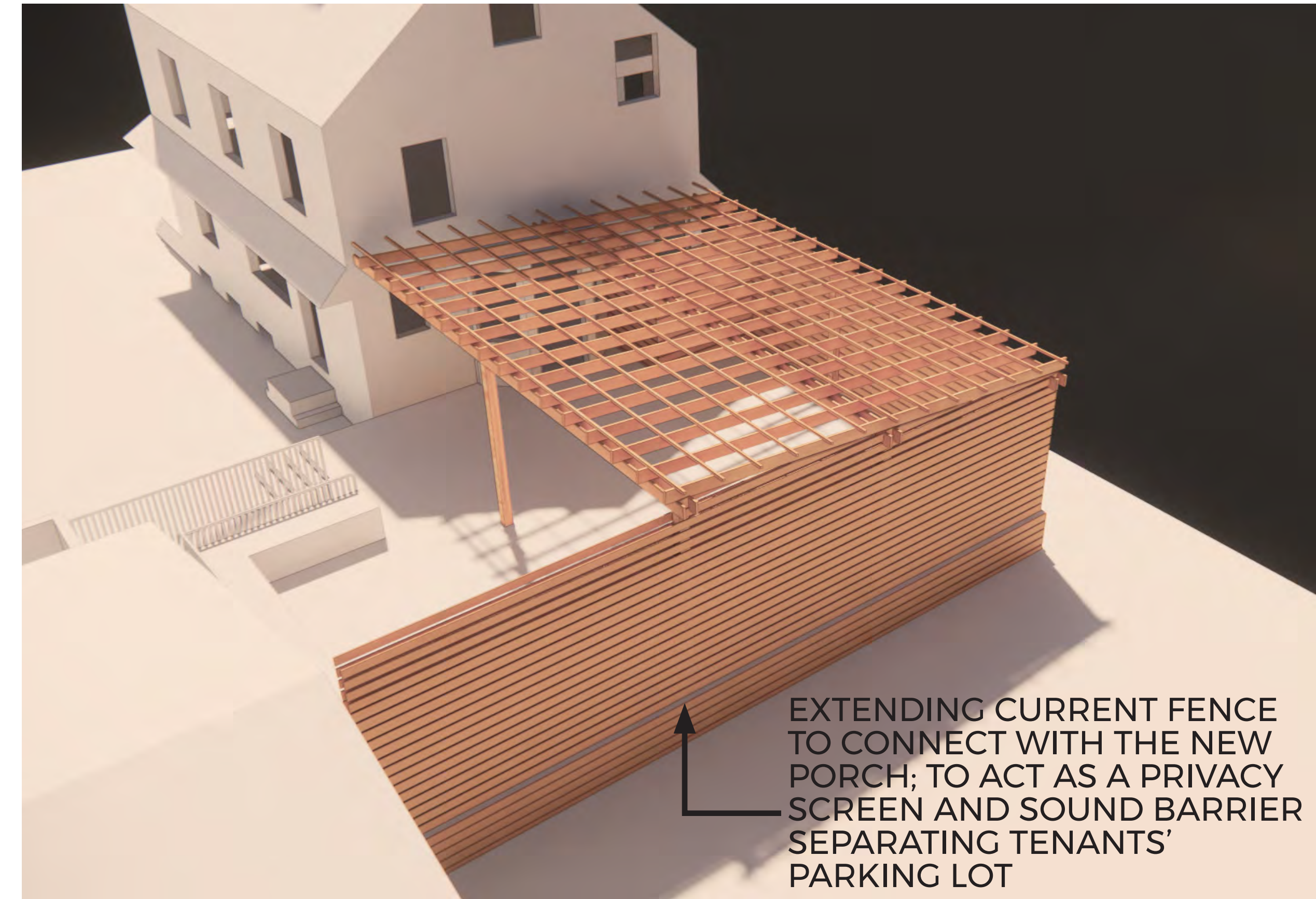
EXISTING MATERIAL: WOOD

DOORS

ALL EXTERIOR NON-HISTORIC DOORS TO BE REPLACED. NORTH ELEVATION DOOR TO BE RELOCATED. SEE PROPOSED ELEVATIONS AND DOOR SCHEDULE.

THE DOOR WOOD TRIMS ARE ROTTED AND NEED TO BE REPLACED AS WELL. BECAUSE THE FIRST FLOOR WILL BE A COMMERCIAL SPACE, ALL EXISTING DOORS ARE NOT TO CODE AND MUST SWING OUT. NEW DOORS WILL MIMIC ADJACENT WINDOW DESIGN.

PERGOLA PROPOSAL



PERGOLA PROPOSAL



INSPIRATION