

STAFF REPORT: 5/12/2021 MEETING
APPLICATION NUMBER: #21-7245
ADDRESS: 19505 CANTERBURY
HISTORIC DISTRICT: SHERWOOD FOREST
APPLICANT: JAMEY SNELL
PROPERTY OWNER: JAMEY SNELL
DATE OF PROVISIONALLY COMPLETE APPLICATION: 04/19/2021
DATE OF STAFF SITE VISIT: 4/27/2021

PREPARED BY: D. RIEDEN

SCOPE: INSTALL FRONT WALKWAY AND STEPS

EXISTING CONDITIONS

Built in 1927, 19505 Canterbury Road is a 2-story single-family residence featuring variegated reddish-brown brick and features cast stone and copper details. Multiple dormers clad in wide aluminum siding punctuate the steeply sloped, cross-gabled roof, which is covered in brown, dimensional asphalt shingles. Original windows contain detailed, multiple lite divisions. The attached garage protrudes out from the main body of the house, which obscures the front entrance from on-face view of the front façade. The primary entrance to the house is located at the east elevation of the garage wing with the secondary entrance at the west elevation of the garage wing. The primary entrance lacks a walkway from the door to the public sidewalk, as noted in the purpose of this application below. The west elevation of the garage wing has a broad, concrete driveway. The property features large shade trees over an open front lawn and foundation plantings.



Site Photo 1, by Staff April 27, 2021: (Northeast) front side.



Site Photo 2, by Staff April 27, 2021: (Northwest) front side.

As staff currently does not have access to some of the previous paper applications and approval letters, the Detroit Property Index is the only available information on the property. This property had an open condition from a previously granted COA of July 2020:

- (2) new large shade trees are to be planted to replace those removed to return to the tree canopy of the property and district.

This property also has the following previous HDC approved work:

- October 16, 20013 COA – Replace copper gutter, with new copper gutter
- May 12, 2016 COA – Replace existing asphalt shingle roof with new.
- July 14, 2020 COA – Remove trees, replace fence



Aerial of Parcel 02005573.



Photo 3, by applicant: Sample of step, paver, and brick accent.

PROPOSAL

The current owner provided an application, project narrative, site photos, and construction layout for the following proposed work: construct a four-foot wide paver walkway from the front entrance to the public sidewalk and from the driveway to the proposed paver walkway (400 SF) with multiple single steps as shown in attached drawings. No lighting will be included in the walkway. Pavers will be made from Unilock Classic Brussels Block pavers in sandstone color with distressed, timeworn finish. Copthorne 3-color blend will form the accent border of the walkway to resemble the brick of the house.

The owner provided a narrative to describe the purpose of the walkway, as follows:

Our home is a 1927 Tudor purchased in 2019. At that time, no true walkway existed, only a few dilapidated flat stones, which sat on top of the grass and had to be removed when a gas line was placed through our front yard, which required extensive excavation. These flat stones were unable to be properly shoveled during the winter, preventing us from getting mail at our mailbox. Also, given the unusual layout of our home, the attached garage obscures the location of the true front entrance to the home, which is not easily visible from the street. A front walkway will not only help identify the true front door, but will also help protect our lawn from being frequently trampled due to mail and package deliveries and visitors walking across the grass. All other homes on our street and in our neighborhood have true walkways and we believe ours will be in-keeping with the historic style, while adding functionality, and safety.

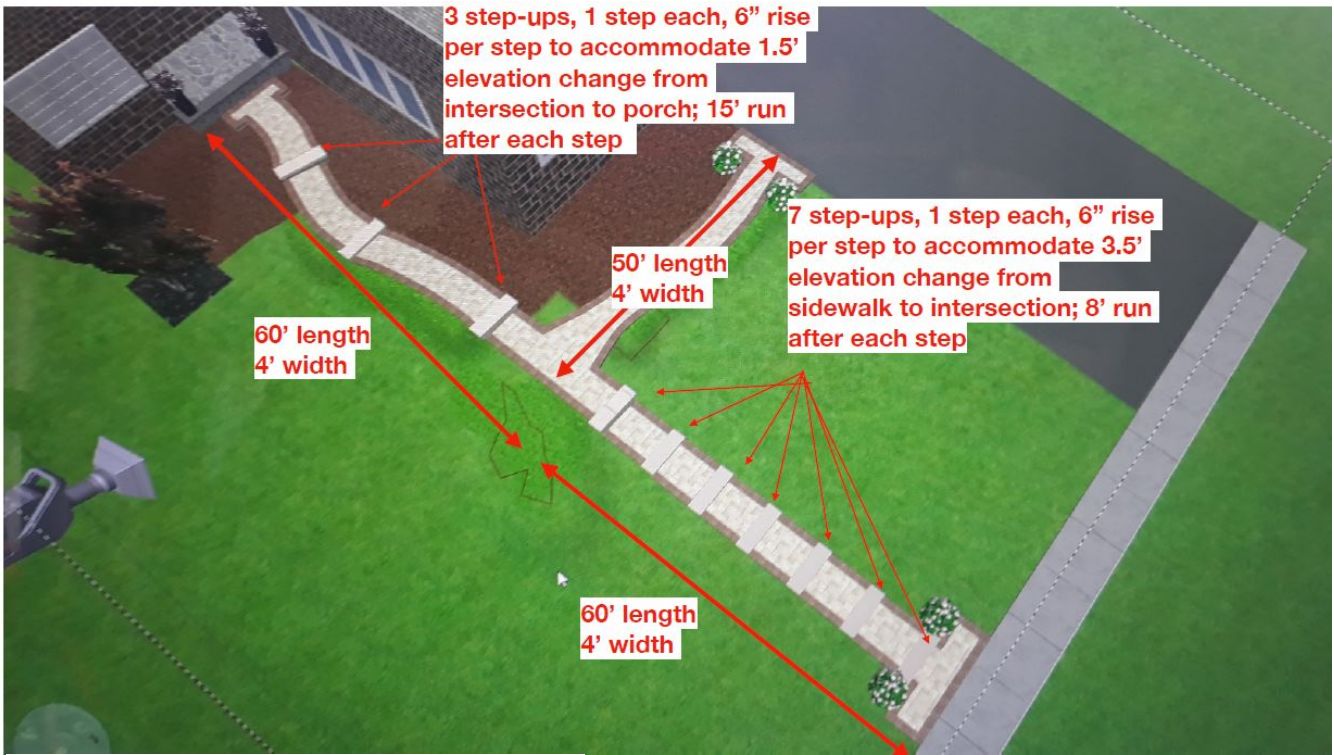


Figure 1, by Applicant: Location of steps and walkway.

STAFF OBSERVATIONS AND RESEARCH

- Upon receipt of the application, Staff received the following additional information after inquiry to the applicant:
 - Measurements, locations of steps, count of steps/risers throughout the proposed walkway. (See Figure 1, above.)
 - Confirmed with applicant that there is no lighting included with the proposed walkway.
 - Staff received confirmation from the applicant that a Yoshino Cherry and a Katsura Maple were planted: one in the front, and the other in the back yard. Neither of these tree varieties would be considered “large shade trees” as noted in the July 2020 COA condition.
- Staff visited the site on April 27, 2021. Staff photographed the property from the public right-of-way and observed the front yard walkways of adjacent properties in the neighborhood.
- DTE is required to restore any original historic landscape material, since the applicant mentioned this is the reason the former stone walk disappeared
- The applicant states that there is a 6-foot drop from the front entrance to the public walkway, Staff observed a less severe change of grade.



Site Photo 3, by Staff April 27, 2021: (Northwest) neighbor site.

- Staff observed that the adjacent neighbor, with a similar slope and less distance, has installed a walkway from the front of the house to the sidewalk without use of any steps.
- Staff observed that the proposed design does not utilize the use of slopes and landings to reduce the need for steps over the length of the 60-foot length of the walkway, potentially reducing the quantity of steps proposed.
- Staff could find no historic precedents for a series of separated risers in a flat walk for such a property.
- Staff observed that spreading steps over the length of the walkway can cause several sets of trip-hazards if not properly lit or obscured by snow or leaf debris.

ISSUES

- While the *location* and *width* of the proposed walkways are an appropriate installation, it is Staff's opinion that the *spread of the use of steps*, and the material use of *colored, composite concrete pavers* are not an appropriate application of the walkway's installation as described in the Elements of Design for Sherwood Forest HD's description of the relationship of "significant landscape feature and surface treatments":

"The typical treatment of individual properties is that of a dwelling erected on a grade of approximately 15 to 20 inches above the inner grade line of the public sidewalk. The front lawn area is generally covered with grass turf, subdivided by a straight or curving concrete, stone, or brick walk leading to the front entrance and a single width side driveway leading to a garage, which is most often located at the rear of the lot but sometimes attached to the rear, side, or, less frequently, the front of the main dwelling." Section 21-2-178 (d) 13.

RECOMMENDATION

Section 21-2-78, Determinations of Historic District Commission

It is staff's opinion that the work proposed, other than the use of composite concrete material with widespread use of single steps and irregular meander, retains and preserves the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation.

However, staff recommends that the Commission issue this Certificate of Appropriateness with the following conditions:

- Applicant work with Staff to issue a more appropriate material than the composite concrete block for the pavers.
- Applicant work with Staff to adjust the design of the walkway with the following changes:
 - Consolidate steps to a single or dual occurrence.



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CLZ 1521



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7/14/2020

CERTIFICATE OF APPROPRIATENESS

Jamey Snell
19505 Canterbury Road
Detroit, MI 48221

RE: Application Number 20-6759; 19505 Canterbury Road, Sherwood Forest Historic District

Dear Mr. Snell,

At the regularly scheduled meeting held virtually on July 8, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of July 14, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

- **Remove (2) trees and replace existing fence including the following scope items:**
 - Remove (2) trees along current fence line running along the eastern property line.
 - Remove existing chain-link fence in its entirety.
 - Erect new posts and board for 6’ high treated/stained cedar wood fence in same location as existing chain-link fence.
 - New wood fence to be of “shadowbox style” with “concave effect” and include a single gate on the east side entrance to the back yard and a double-gate on the west side entrance to the back yard.

With the following conditions:

- The profile of the fence is to be straight rather than the proposed shadowbox style with concave effect to minimize the impact to the historic fabric of the property and district.
- Two (2) new large shade trees are to be planted to replace those removed to return to the tree canopy of the property and district.
- The fence be stained to complement the existing house.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips
Staff

Detroit Historic District Commission

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT
PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: 4/8/21

PROPERTY INFORMATION

ADDRESS: 19505 CANTERBURY RD, DETROIT MI 48221 AKA: _____

HISTORIC DISTRICT: SHERWOOD FOREST

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
 New Construction Demolition Addition Other: WALKWAY

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: JAMEY SNELL COMPANY NAME: _____

ADDRESS: 19505 CANTERBURY RD CITY: DETROIT STATE: MI ZIP: 48221

PHONE: _____ MOBILE: 718-249-3798 EMAIL: JAMEY.SNELL@GMAIL.COM

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:
PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

Address: 19505 Canterbury Rd, Detroit MI 48221 (Sherwood Forest Historic District)

Homeowners: Jamey & Brittany Snell; 718-249=3798; jamey.snell@gmail.com

Proposed Project: front walkway

Rationale: Our home is a 1927 Tudor purchased in 2019. At that time, no true walkway existed, only a few dilapidated flat stones which sat on top of the grass and had to be removed when a gas line was placed through our front yard which required extensive excavation. These flat stones were unable to be properly shoveled during the winter, preventing us from getting mail at our mailbox. Also, given the unusual layout of our home, the attached garage obscures the location of the true front entrance to the home, which is not easily visible from the street. A front walkway will not only help identify the true front door, but will also help protect our lawn from being frequently trampled due to mail and package deliveries and visitors walking across the grass. (See Image #1) All other homes on our street and in our neighborhood have true walkways and we believe ours will be in-keeping with the historic style, while adding functionality, and safety.

Contractor: Chris MacGregor, A-Team Hardscapes, Livonia MI; (810) 343-2749;
<https://www.a-teamhardscapes.com>

Design:

- There is a 6 foot elevation change from the sidewalk to the front porch. Steps will have to be a part of the design to prevent significant sloping and for flat landings in between each step which will be safer during winter ice or snow.
- Total square footage is measured at about 400 square feet. The main walkway from the porch to the sidewalk will be 4 feet in width and the extension from the walkway to the driveway will be 3 feet in width.
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- A layout with slight curves was chosen to produce more of a natural appearance.
(See Image #2)
- Unilock Classic Brussels Block pavers in sandstone has a distressed, timeworn finish which resembles the aged limestone on the home will comprise the majority of the walkway. Unilock Copthorne 3-color blend will form the accent border and resembles the brick on the home.
(See Image #3)



Image #1



3 step-ups, 1 step each, 6" rise per step to accommodate 1.5' elevation change from intersection to porch; 15' run after each step

50' length
4' width

7 step-ups, 1 step each, 6" rise per step to accommodate 3.5' elevation change from sidewalk to intersection; 8' run after each step

60' length
4' width

60' length
4' width



Image #2



Image #3











