

**STAFF REPORT:** 5/12/2021 MEETING  
**APPLICATION NUMBER** 21-7228  
**ADDRESS:** 719 GRISWOLD  
**HISTORIC DISTRICT:** DETROIT FINANCIAL  
**APPLICANT:** JAKE CHIDESTER  
**OWNER:** 719 GRISWOLD ASSOCIATES LLC  
**DATE OF COMPLETE APPLICATION:** 4/22/2021  
**DATE OF STAFF SITE VISIT:**

**PREPARED BY:** J. ROSS

**SCOPE:** INSTALL A NEW 60'H X 25'W, STRETCHED MESH VINYL BANNER SIGN AT WEST ELEVATION

### **EXISTING CONDITIONS**

The project area is located at the rear/west elevation of the building at 719 Griswold. The resource, originally known as the Dime Savings Bank, is a steel-frame, 23-story skyscraper which was erected in 1913-14. Architects D. H. Burnham & Co. and Graham, Burnham & Co designed the building, while Barton Malow provided the design for the building's 2001 rehab. As per the Detroit Historic Designation Advisory Board:

“The Dime Building’s U-shaped footprint, with the light well opening toward the street, allows natural light into the interior offices. The open end of the U-shape plan facing Griswold Street begins above the third story floor plate. The first two stories were faced in brown granite during a renovation of the 1950s that removed the original terra cotta. Classical details are applied to the terra cotta above the second floor. The two-story lobby has been renovated to include large Corinthian columns and new marble floors. Most impressive was the restoration of the skylight to the light court. The upper three floors are distinguished from the building shaft by a separate treatment of the windows at the sixteenth and seventeenth floors. The windows are grouped between vertical spandrels. The roof is flat. A new awning projects from the Griswold entrance. Dime Savings was organized in 1884 with prominent Detroit businessmen such as J. L. Hudson and James E. Scripps among the directors. The bank occupied a temple-front three-story banking room in the center of the Griswold façade between the tower’s two arms.”

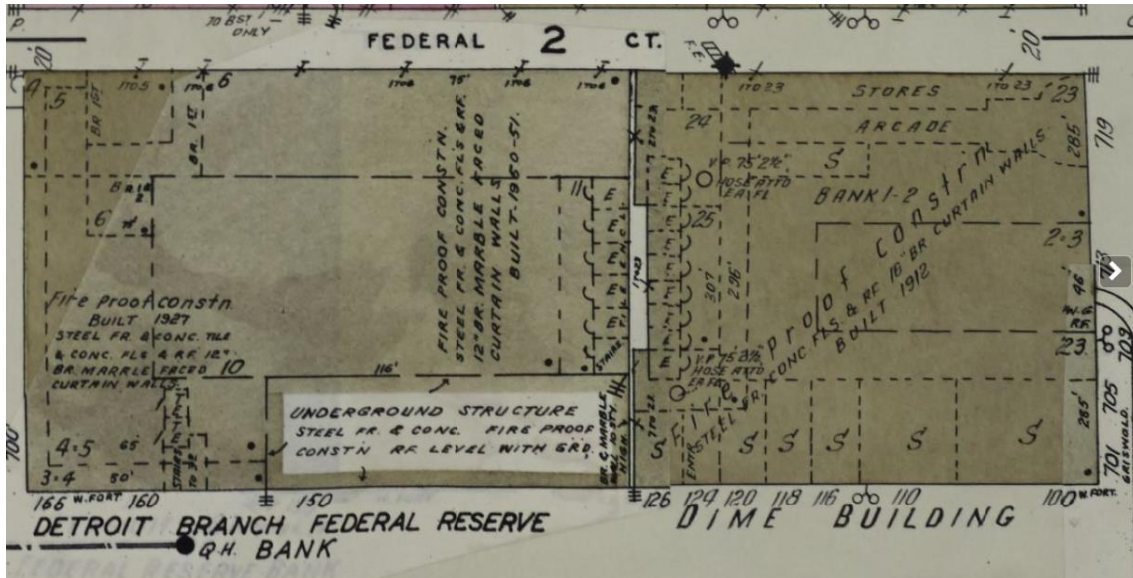
Marble panel cladding is located at stories 1-10, at the building’s rear/west elevation. Note that 160 W. Fort, which includes an eight-story, International-style building that was designed by Minoru Yamasaki in 1951-1953 and the adjacent Federal Reserve Bank of Chicago Detroit, erected in 1926-1927 and designed by Graham, Anderson, Probst and White, is adjacent to the west elevation of 719 Griswold. The exterior walls at the 1926-1953 building located at 160 W. Fort are clad in marble, which is in keeping 719 Griswold’s rear/west elevation, stories 1-10.



**719 Griswold, front elevation**



**719 Griswold, rear elevation**



**Sanborn Fire Insurance Map, 1951**

**PROPOSAL**

Per the submission, the applicant is seeking this body’s approval for the following:

- At the rear/west elevation, stories 4-10, install a new 60’H X 25’W, stretched mesh vinyl banner sign which shall include the addition of 28, 3” to 4” L X 3/8” anchor points/holes at mortar joints. The sign will cover 1500 sq. ft.
- Install three light fixtures and associated conduit with anchor points/holes at mortar joints

**STAFF OBSERVATIONS AND RESEARCH**

- See the submitted application which outlines the number and location of the building’s existing signage
- As noted above, stories 1-10 at the rear of 719 Griswold are clad with white marble panels. The building at 160 West Fort, which includes the 1926-1927 Federal Reserve Bank of Chicago Detroit and a 1951-1953 International-style addition, is clad with white marble panels as well. It is likely that Yamazaki’s 160 W. Fort’s addition was clad with marble to ensure its compatibility with the earlier 1927-1927 bank building. Also, the marble panel cladding at 719 Griswold’s rear/west elevation was likely installed during the construction of the 160 W. Fort Yamazaki addition in order provide a visual connection between the two buildings.
- The west elevation at 719 Griswold, as well as the west elevation of the 1925-1927 original bank building at 160 W. Fort and the north elevation of 1950s Yamazaki addition all face upon a small granite plaza, which is to the south of 160 W. Fort. The white marble materiality of the building

elevations which frame the plaza remain as a distinctive character-defining feature of both 160 W. Fort and 719 Griswold.

- The application notes that the installation of the proposed signage will result in the addition of 28, 3” to 4” L X 3/8” holes in the marble panel cladding at 719 Griswold’s rear/west elevation. The application note that the holes will be located at mortar joints.

## **ISSUES**

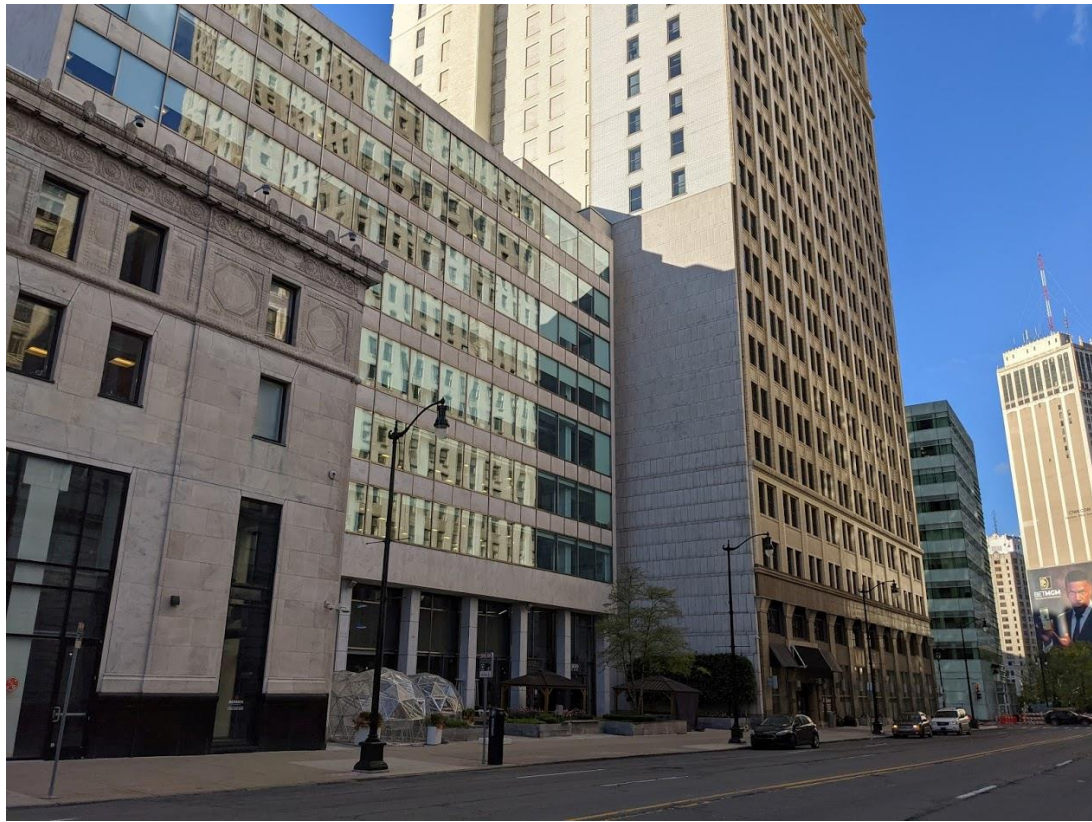
- As noted above, the proposed project will result in the addition of 28 holes at the marble panel cladding at 719 Griswold’s rear elevation. The application states that the anchor points/holes will be located at mortar joints. However, it is not clear to staff that the holes will indeed be located at the joints due to the nature of the siding’s installation. If the anchor points will be drilled into the marble panels, they will likely result in the deterioration of the cladding over time.
- It is staff’s opinion that the marble panel cladding at the rear elevation of 719 Griswold was deliberately installed in order to tie the building with/reflect the materiality of the exterior walls at 160 Fort. Also, 719 Griswold’s east elevation is meant to be exposed and to serve as a frame to the plaza at 160 Fort. Therefore, the proposed banner will obscure/cover a distinctive character-defining feature/elevation at the building.
- It is staff’s opinion that the proposed vinyl banner will detract from the plaza’s historic character and the experience of the plaza as a discrete area of respite from 160 W. Fort’s immediate urban environs.

## **RECOMMENDATION - Section 21-2-78, Determination of Historic District Commission**

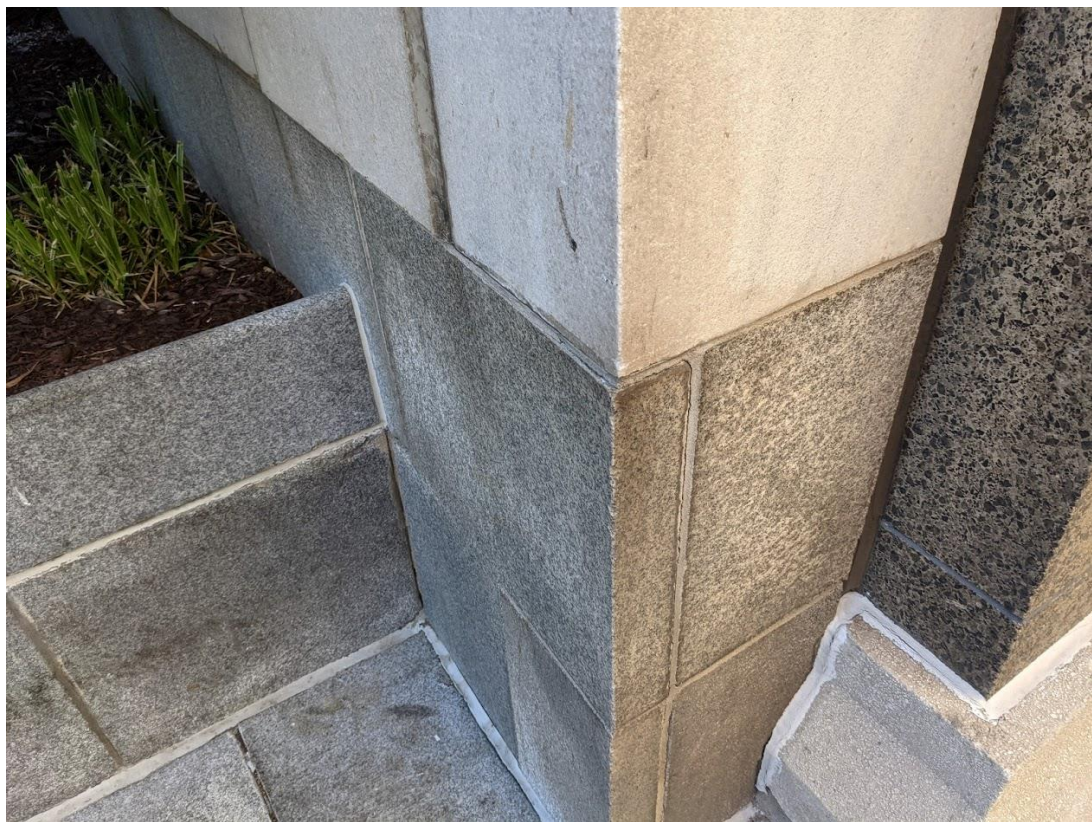
Staff recommends that the Commission DENY the issuance of a Certificate of Appropriateness for the proposed project because it does not meet the Secretary of the Interior Standards for Rehabilitation, in particular, Standards number:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.













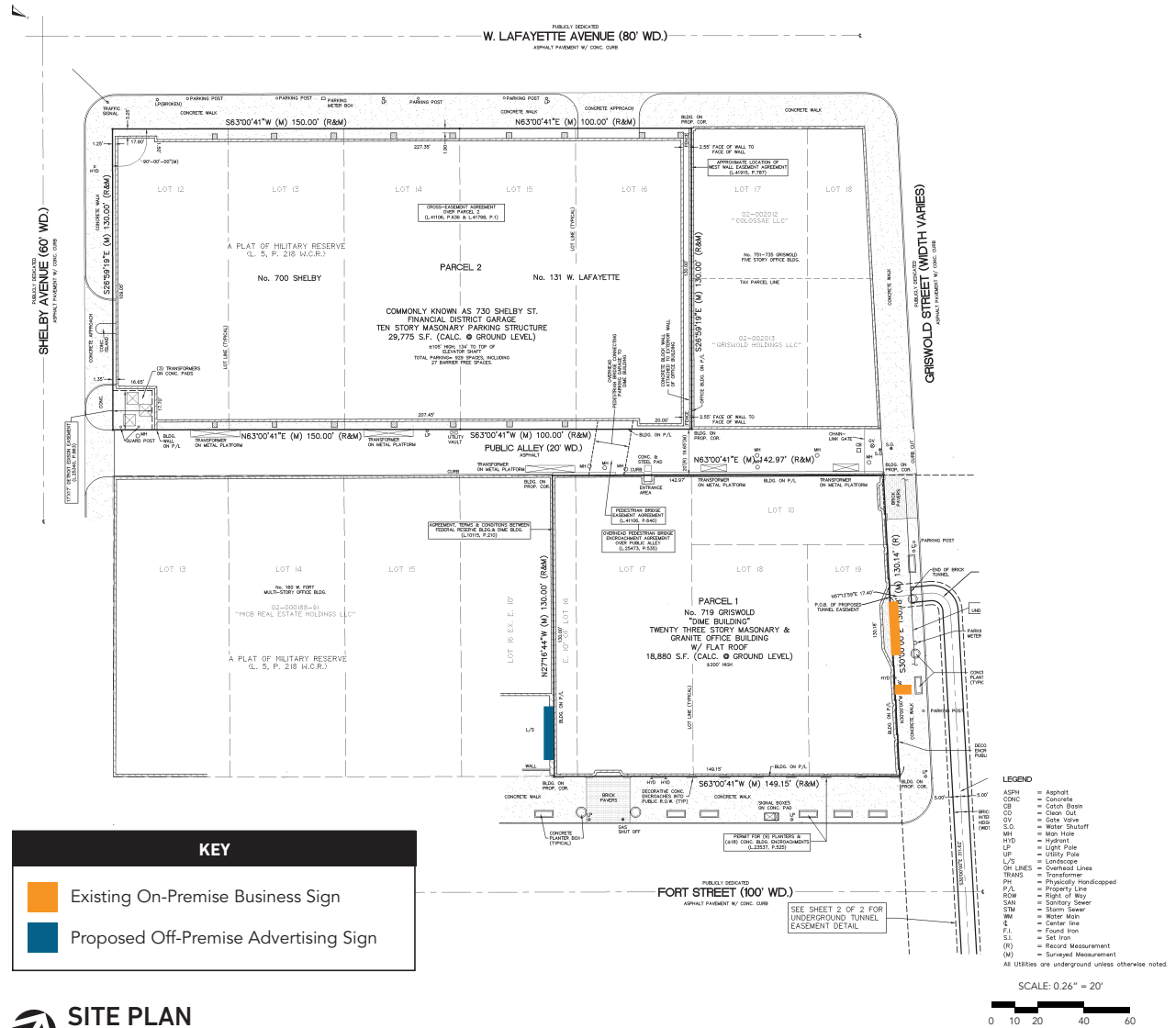
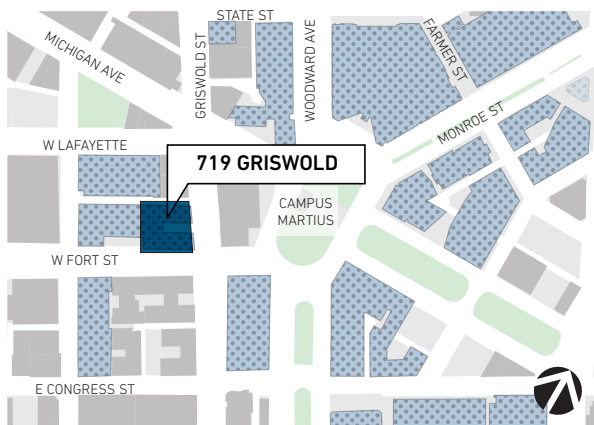
# 719 GRISWOLD PERMIT APPLICATION

CH MAY 2021

# SITE PLAN

## 719 GRISWOLD

INFORMATION	
Owner Name	719 Griswold Associates LLC
Premise Parcel #(s)	02000192.
Zoning District	B-5: Major Commercial (CM)
Existing On-Premise Business Sign Size	N/A
Existing On-Premise Business Sign Area	N/A
Proposed Off-Premise Advertising Sign Size	60'H x 25' W
Proposed Off-Premise Advertising Sign Area	1,500 S.F.
Proposed Sign Qualification	Super
Proposed Sign Setback from Closest ROW	5' from Fort Street
Total Street Frontage	279 L.F.

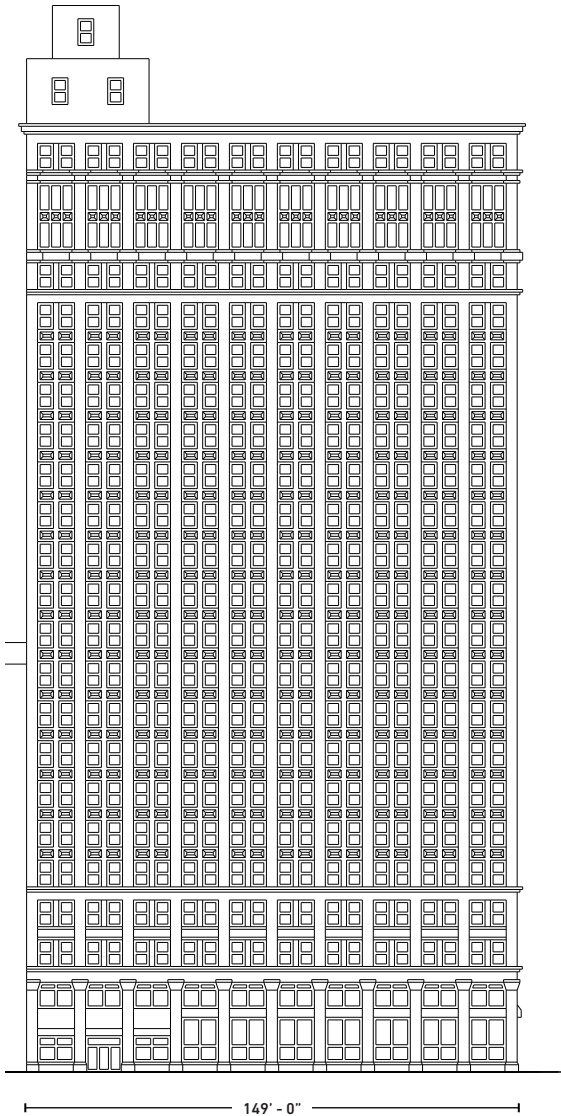


### SITE PLAN

# SOUTH ELEVATION

719 GRISWOLD

**EXISTING ON-PREMISE BUSINESS SIGNS ARE ALL  
BEHIND STOREFRONTS AND NOT ON BUILDING  
EXTERIOR.**



W FORT ST

# EAST ELEVATION

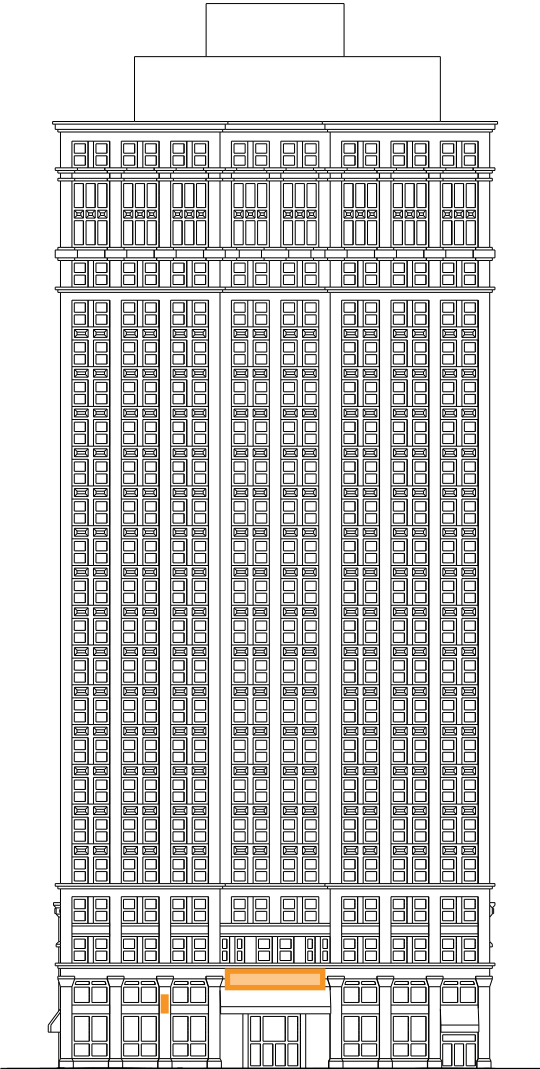
719 GRISWOLD

**EXISTING ON-PREMISE IDENTIFICATION SIGN**

**CHRYSLER HOUSE SIGN**

**EXISTING ON-PREMISE BUSINESS SIGN**

**MIKE'S KABOB GRILLE BLADE SIGN**



130' - 0"

GRISWOLD ST

# WEST ELEVATION

719 GRISWOLD

## PROPOSED OFF-PREMISE ADVERTISING SIGN

**PROPOSED NEW SIGN SIZE:** 60'H X 25'W

**PROPOSED NEW SIGN AREA:** 1500 SQ. FT.

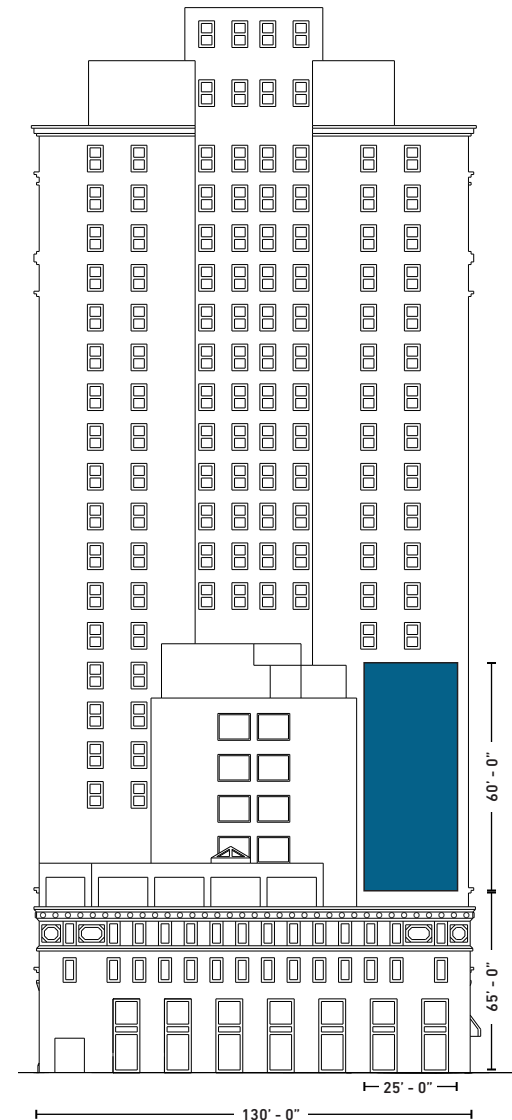
## PROPOSED SIGN CONSTRUCTION TYPE:

STRETCHED MESH VINYL (70 AIR - 30 MATERIAL)  
ANCHORED TO BUILDING IN MORTAR EXCLUSIVELY

## PROPOSED SIGN ILLUMINATION:

EXTERNAL SURFACE MOUNTED LIGHTING

## PROPOSED SIGN MOTION: STATIC



SHELBY ST

# SIGNAGE INSTALL SPECIFICATIONS

719 GRISWOLD

## MANUFACTURER ANCHOR SPEC:

STAINLESS STEEL WEDGE ANCHOR - SEE  
ADDITIONAL DETAILS ON PAGE 8.



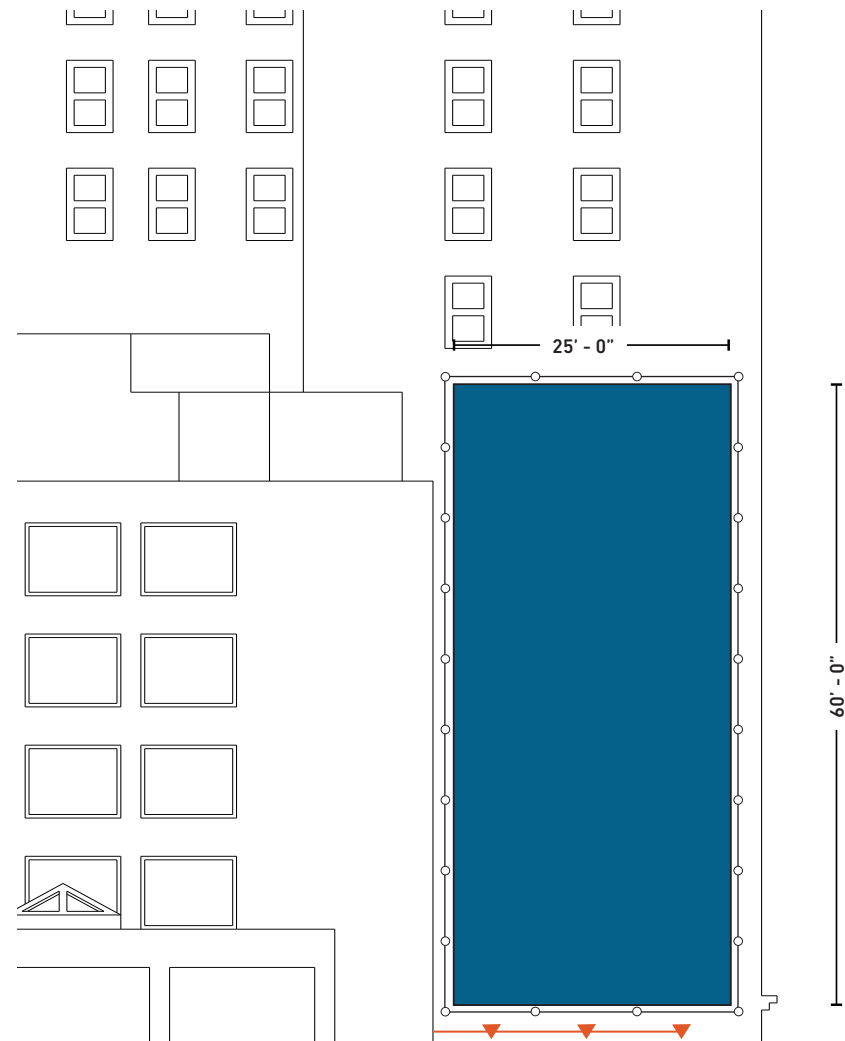
**SIZE OF ANCHORS:** 3" TO 4" L X 3/8" D

- **AMOUNT OF ANCHOR POINTS:** (28) TOTAL - SEE  
ADDITIONAL DETAILS ON PAGE 8. EACH CORNER  
INCLUDES (2) ANCHOR POINTS.

- ▼ **INSTALLED LIGHTS:** (3) TOTAL - CONDUIT TO FLOOD  
LIGHT FIXTURES FACE MOUNTED TO BUILDING ALONG  
MORTAR JOINTS. SEE LIGHT SPEC ON PAGE 7.

**REPARATIONS TO AREAS AFFECTED:** TUCK POINT  
ALL MORTAR JOINTS AFFECTED BY SIGNAGE  
INSTALLATION

\*Any work related to advertising signage will not cause permanent  
impacts to facade



# SIGNAGE MATERIAL + LIGHTING

## 719 GRISWOLD

### SIGNAGE SPECIFICATIONS

# DURATEX<sup>®</sup>

## 6oz Speaker Mesh

### Product Description

Duratex 6oz Speaker Mesh Banner is a very lightweight mesh for windy area. The mesh weave minimizes wind resistance and allows air to pass through the material with ease. This mesh has a 30/70 air flow, 1000 x 1000 denier scrim reinforcement and a 6x6 weave construction. It is weldable and ideal for stadium graphics.

### Physical Properties

- Caliper: 15 mil
- Weight: 6oz/sq yd
- Weave: 6x6
- Denier: 1000 x 1000
- Air Floating Rate: 30/70

### Features/Benefits

- Uniform pattern
- Excellent wind flow
- Tough tear-resistant base
- Can be grommeted or sewed

### Product Applications

- Outdoor signage and displays
- Stadium wraps
- Building wraps
- Concert venue graphics

### Storage & Handling

Materials should be handled with white fabric gloves to prevent finger markings. After printing, unused materials should be stored upright or suspended in its original packaging. Limited one year warranty when stored at 70°F, 50% relative humidity and out of direct sunlight in its original packaging.

### Installing

This product can be grommeted for applications. Metal grommets should be inserted to penetrate 2-4 layers of materials for increased strength and durability.

### Trimming

It is recommended, when trimming this material to allow about 0.125-0.25" of white/unprinted border. It is not recommended to "bleed trim" this material.

### Printer Compatibility

Compatible with most Solvent, Eco-Solvent, Latex and UV curable inkjet printers using mesh kits.

### Product Information

Size  
196" x 164 ft.



Grimco U.S. grimco.com 800.542.9941 | Grimco Canada grimco.ca 800.263.1421

### LIGHTING SPECIFICATIONS

## FXLED150T

RAB



Color: Bronze

Weight: 20.9 lbs

Project:	Type:
Prepared By:	Date:

Driver Info		LED Info	
Type	Constant Current	Watts	150W
120V	1.39A	Color Temp	5000K (Cool)
208V	0.81A	Color Accuracy	72 CRI
240V	0.70A	L70 Lifespan	100,000
277V	0.60A	Lumens	20,686
Input Watts	163.60W	Efficacy	126.4 LPW

### Technical Specifications

#### Listings

**UL Listed:**  
Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

#### IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

#### DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: P0000173K

#### LED Characteristics

**Lifespan:**  
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

#### LEDs:

Long-life, high-efficacy, surface-mount LEDs

#### Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

#### Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI

#### Electrical

**Driver:**  
Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 1.39A, 208V: 0.81A, 240V: 0.70A, 277V: 0.60A

#### THD:

1.95% at 120V, 8.2% at 277V

#### Power Factor:

99.9% at 120V, 97.6% at 277V

#### Note:

All values are typical (tolerance +/- 10%)

#### Construction

#### IP Rating:

Ingress Protection rating of IP66 for dust and water

#### EPA:

2

#### Ambient Temperature:

Suitable for -40°C (-40°F) to 40°C (104°F)

#### Lens:

Tempered glass lens included

#### Housing:

Die-cast aluminum housing and door frame

#### Mounting:

Heavy-duty Trunnion mount with stainless steel hardware

#### Finish:

Formulated for high durability and long-lasting color

#### Other

#### Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

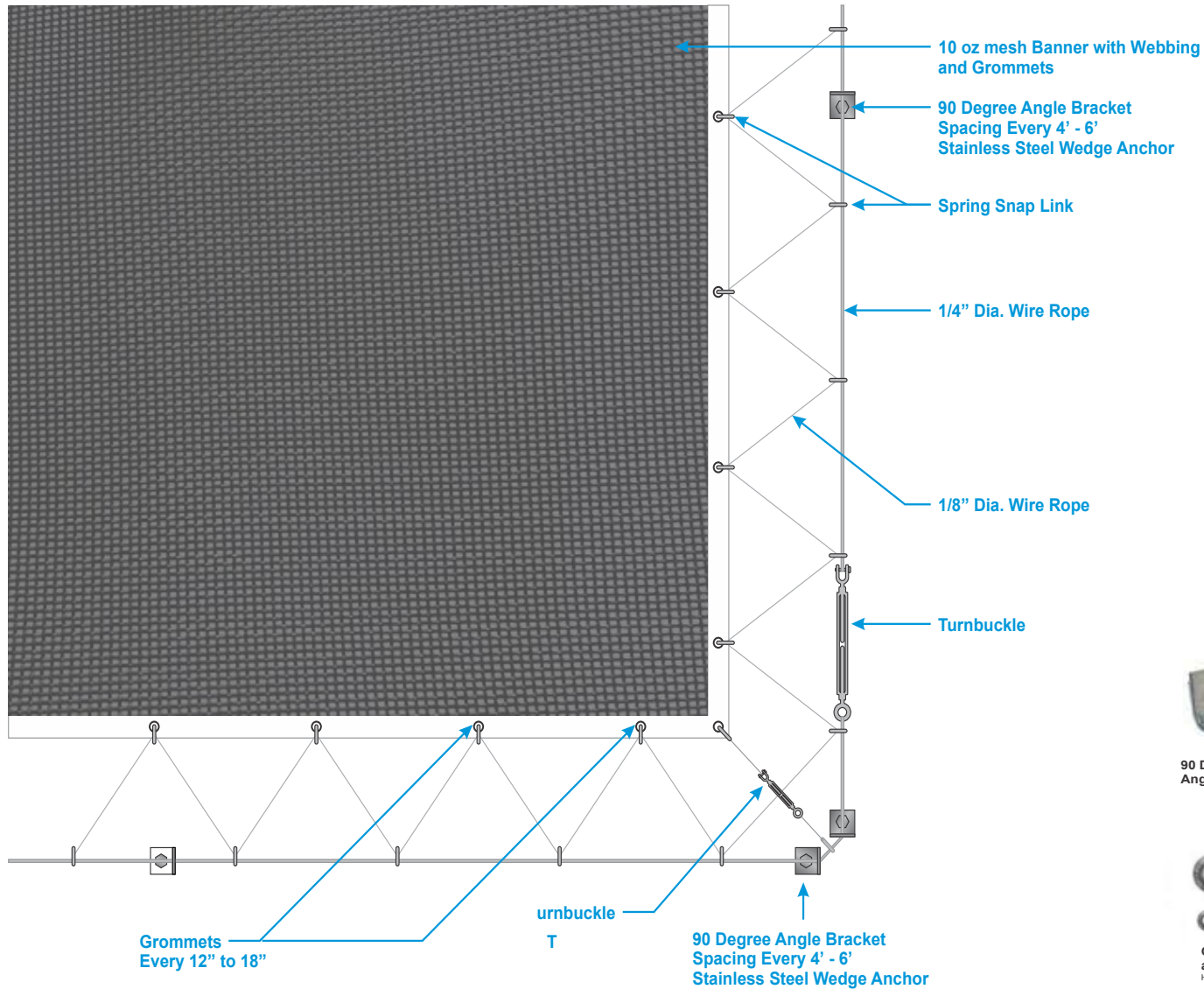
#### Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

\*1 light fixture every 8' horizontally. Lighting Engineer to verify NITs meet ordinance prior to installation.

# SIGNAGE INSTALLATION

719 GRISWOLD



Banner with Webbing and Grommets



90 Degree 2-hole Wall Angle Bracket



Stainless Steel Wedge Anchor



1x19 - SS 316  
Stainless Steel Wire Rope  
1/8" Dia. Breaking Strength = 1,780 Lbs  
Weight Per 100' = 3.3 Lbs  
1/4" Dia. Breaking Strength = 6,900 Lbs.  
Weight Per 100' = 12.5 lbs



Cable Zip Line Turnbuckle and Mini Turnbuckle  
High Quality Hot Galvanized, Drop Forged Steel



3/16" Electro Galvanized Spring Snap Link  
Working Load Limit: 105 lbs.



# EXISTING CONDITIONS

719 GRISWOLD



EAST ELEVATION



WEST ELEVATION

EAST ELEVATION



SOUTH ELEVATION



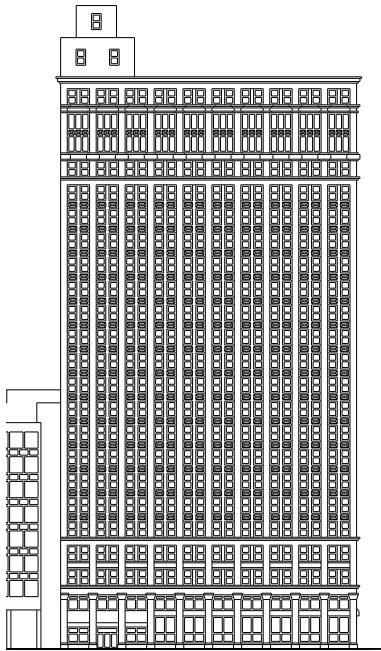
WEST ELEVATION



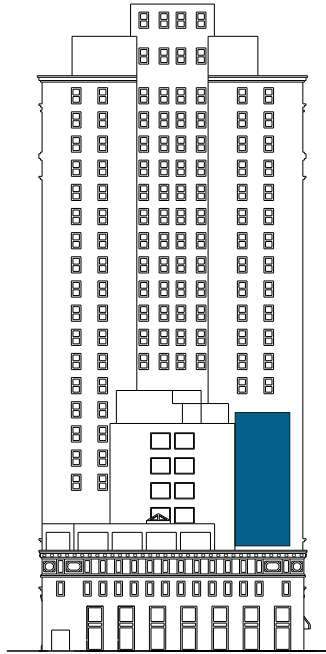
# SUMMARY

719 GRISWOLD

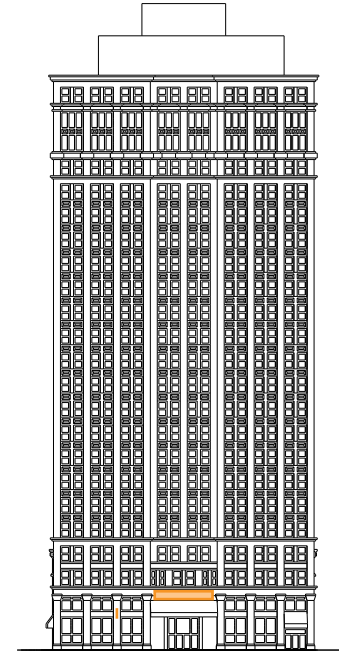
## SOUTH ELEVATION



## WEST ELEVATION



## EAST ELEVATION



SIGN SUMMARY	
Signage	Various Retailers behind Storefronts

SIGN SUMMARY	
Proposed Sign	TBD
Size & Area	60' H x 25' W ; 1500 S.F.
Purpose	Off-Premise Advertising

SIGN SUMMARY	
Existing Sign	Chrysler House
Purpose	Building Identification
Existing Sign	Mike's Kabob Grille Blade Sign
Purpose	On-Premise Business Advertising

# 719 GRISWOLD



THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS: \_\_\_\_\_ AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK:  Windows/Doors  Roof/Gutters/Chimney  Porch/Deck  Landscape/Fence/Tree/Park  General Rehab  
(Check ALL that apply)  New Construction  Demolition  Addition  Other: \_\_\_\_\_

## APPLICANT IDENTIFICATION

Property Owner/Homeowner  Contractor  Tenant or Business Occupant  Architect/Engineer/Consultant

NAME: \_\_\_\_\_ COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

# P2 - BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_

## PROPERTY INFORMATION

Address: \_\_\_\_\_ Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_

AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_

Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Are there any existing buildings or structures on this parcel?  Yes  No

## PROJECT INFORMATION

**Permit Type:**  New  Alteration  Addition  Demolition  Correct Violations

Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_

Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

**Description of Work** (Describe in detail proposed work and use of property, attach work list)

MBC use change  No MBC use change

**Included Improvements** (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building

Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

**Estimated Cost of Construction** \$ \_\_\_\_\_ By Contractor \$ \_\_\_\_\_ By Department

### Structure Use

Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_

Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.** (Building Permit Application Continues on Next Page)

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Permit #:

Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

**Revised Cost** (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_



**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Permit Applicant)

Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

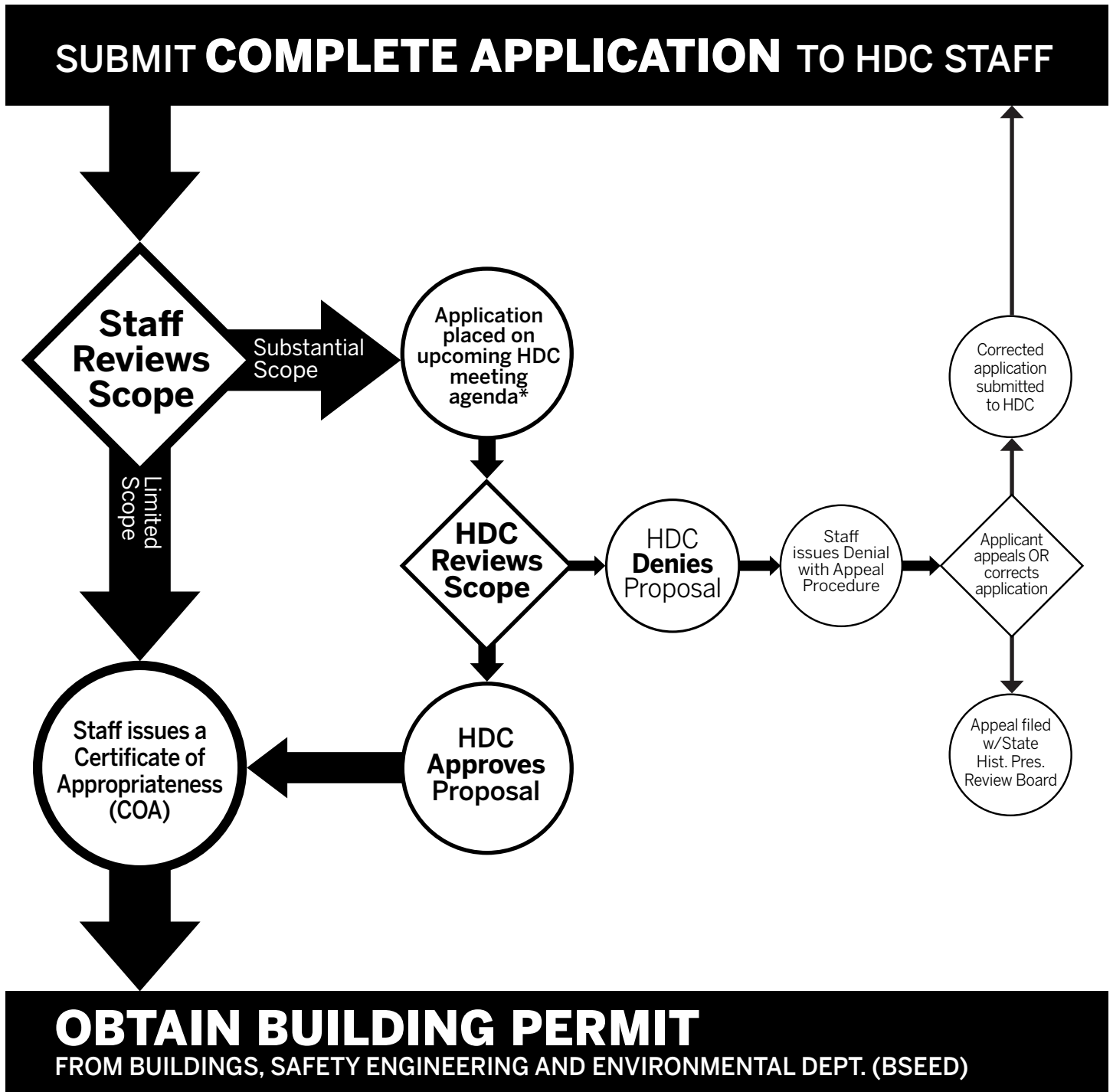
Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.



# HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



\* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc)