

STAFF REPORT 5-12-2021 REGULAR MEETING

PREPARED BY: A. PHILLIPS

APPLICATION NUMBER: 21-7217

ADDRESS: 4217 LINCOLN STREET

HISTORIC DISTRICT: WOODBRIDGE FARM

APPLICANT: ELISE DECHARD, END STUDIO

PROPERTY OWNER: JODI TROMBLEY & DAN POLOVINA

DATE OF PROVISIONALLY COMPLETE APPLICATION: 4-5-2021

DATE OF STAFF SITE VISIT: 4-23-2021

SCOPE: REMOVE STOOPS AND ONE (1) EXISTING FRONT PORCH; ERECT NEW FRONT PORCH SPANNING WIDTH OF FRONT FAÇADE

EXISTING CONDITIONS

The building located at 4217 Lincoln Street is a 2 ½-story two-family residence that was constructed ca. 1915. Clad in a red brick, the building has an asymmetrical front façade with an entry on each side of the front elevation divided by a bay of 3 windows. The entrance on the left side of the front façade includes a small covered porch while the entrance on the right side of the front façade is recessed. The building features wood windows with leaded glass upper sashes and a hipped roof with dormers.



4217 Lincoln. View from Lincoln Street looking southwest. Photo taken by HDC staff, April 23, 2021.

PROPOSAL

With the current proposal, the applicant is seeking the Commission’s approval **to remove stoops and one (1) existing front porch and erect a new front porch spanning the width of the front facade per the attached drawings and application.** Included in the proposal are the following scope items:

- Demolish existing front porch and stairs at both entrances in their entirety.

- Remove existing concrete sidewalks leading up to the steps at both entries.
- Remove existing wood shake roof over projecting bay windows as the new proposed porch roof will serve as the new roof for the projecting bay.
- Erect new front porch extending 7' – 0" from the front façade and spanning the width of the front façade including:
 - Hipped roof covered in asphalt shingles to match the existing asphalt shingles at the main roof and supported by new painted wood columns
 - One new entry stair with new small gable over the entry stair at approximately the same location as the existing stair at the south (left) end of the front façade.
 - New painted wood guardrails
 - Painted paneling/doors at the base of the porch
 - Details at the new porch include painted wood arches between columns, a cornice and corbels to match those at the main roof structure of the house
 - Cedar decking (finish: clear coat) and stair treads
 - Paint new porch as described in the diagram in the application
- Paint existing windows and trim to match the color scheme for the new porch
 - Existing windows and their trim – color: dark off-black gray
 - Existing cornice and corbels – color: dark off-black gray
 - Existing trim on the frieze board – color: blue green

STAFF OBSERVATIONS & RESEARCH

- Woodbridge Farm Historic District was designated in 1991.
- This property was constructed as a two-story, two-family building with a unit at the first floor which was accessed via the entrance with the front porch at the south (left) side of the front façade and a unit at the second floor which was accessed via the recessed entrance at the north (right) side of the front façade. The building is now serving as a single-family residence
- See 1921 Sanborn Map of the vicinity below. As stated in the Elements of Design #22, “Woodbridge Farm is a pocket of primarily late Victorian middle-class residential architecture.” It is diverse in architectural styles and residential typologies. Notice the prevalence of small, individual porches, specifically at multi-family building types (labeled as “F”). “D” indicates a single-family dwelling.



ISSUES

- The existence of two entries as well as the difference in architectural detail at the entries – the first floor unit entry presenting a more substantial projecting front porch and second floor unit entry featuring a recessed covered porch and more subdued detailing – are distinctive and important character-defining features of the property.
- The existing projecting bay at the center of the front façade, with its shed roof covered in cedar shake shingles is a distinctive and important character-defining feature of the property.
- It is staff's opinion that the proposal not only removes historic material but also alters the features that characterize the property and is therefore inappropriate as it doesn't meet the Secretary of the Interior's Standards for Rehabilitation nor the Elements of Design for this district. Specifically, the following excerpted Woodbridge Farm Elements of Design:
 - **6. Rhythm of entrance and/or porch projections.** *The positions of porches contribute to the variety of design of the houses; front porches are frequently off to one side of the front facades of single-family houses and at both sides or in the centers of the front facades on duplexes.*
 - **8. Relationship of textures.** *... Whereas slate and wood shingle on roofs and in gables create substantial textural interest, asphalt shingle roofs generally do not contribute to textural interest.*
- Additionally, even if the removal of the historic materials and the alteration of features which characterize the property were appropriate, it is staff's opinion that the proposed new design is not substantially differentiated from the old and that it may create a false sense of historical development.

RECOMMENDATION

Section 21-2-78, Determinations of Historic District Commission (Demolition; erection of new porch)

It is staff's opinion that the proposal to remove existing front porches and stoops as well as the removal of the cedar shake roof of the projecting bay is inappropriate with respect to the character of this property and its environment. Staff therefore recommends that the Commission issue a Denial for the proposed work because it does not meet the Secretary of the Interior's Standards for Rehabilitation and the Woodbridge Farm Elements of Design, especially Standards:

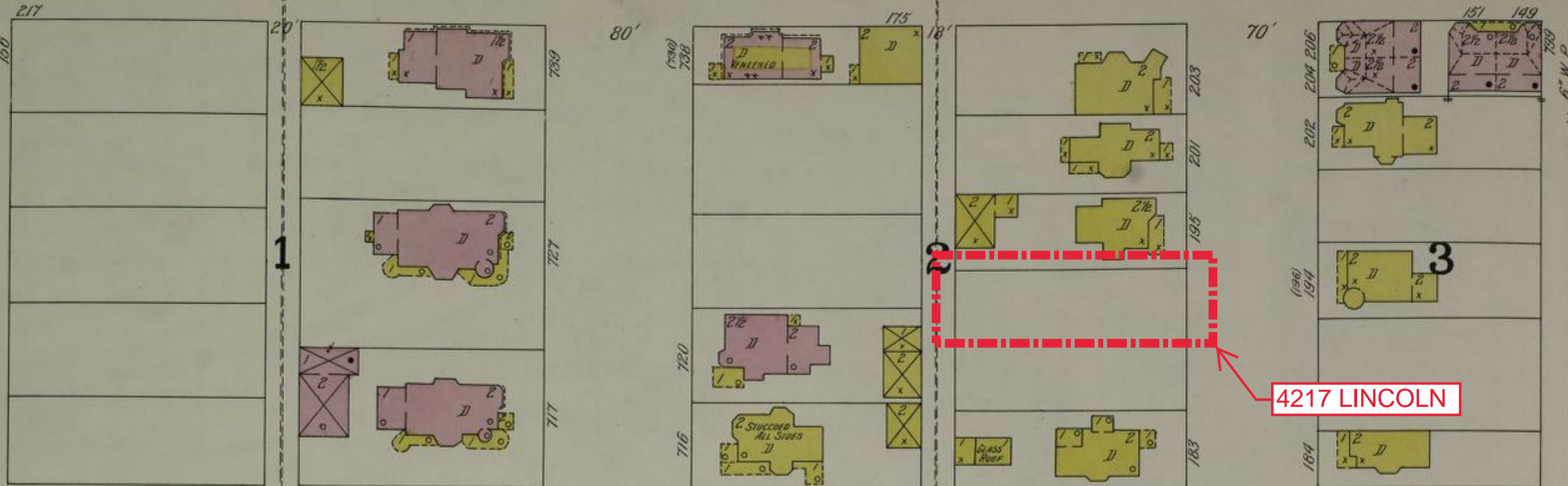
- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
- (3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
- (6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

And Woodbridge Farm Elements of Design 6 and 8.

Section 21-2-78, Determinations of Historic District Commission (Painting existing windows and trim)

It is staff's opinion that the proposal to paint should qualify for a Certificate of Appropriateness. Staff recommends that the Commission approve a COA for the proposed application, as it meets the Secretary of the Interior's Standards and the Woodbridge Farm Historic District's Elements of Design.

71
DETROIT, VOL. 2
70'



4217 LINCOLN

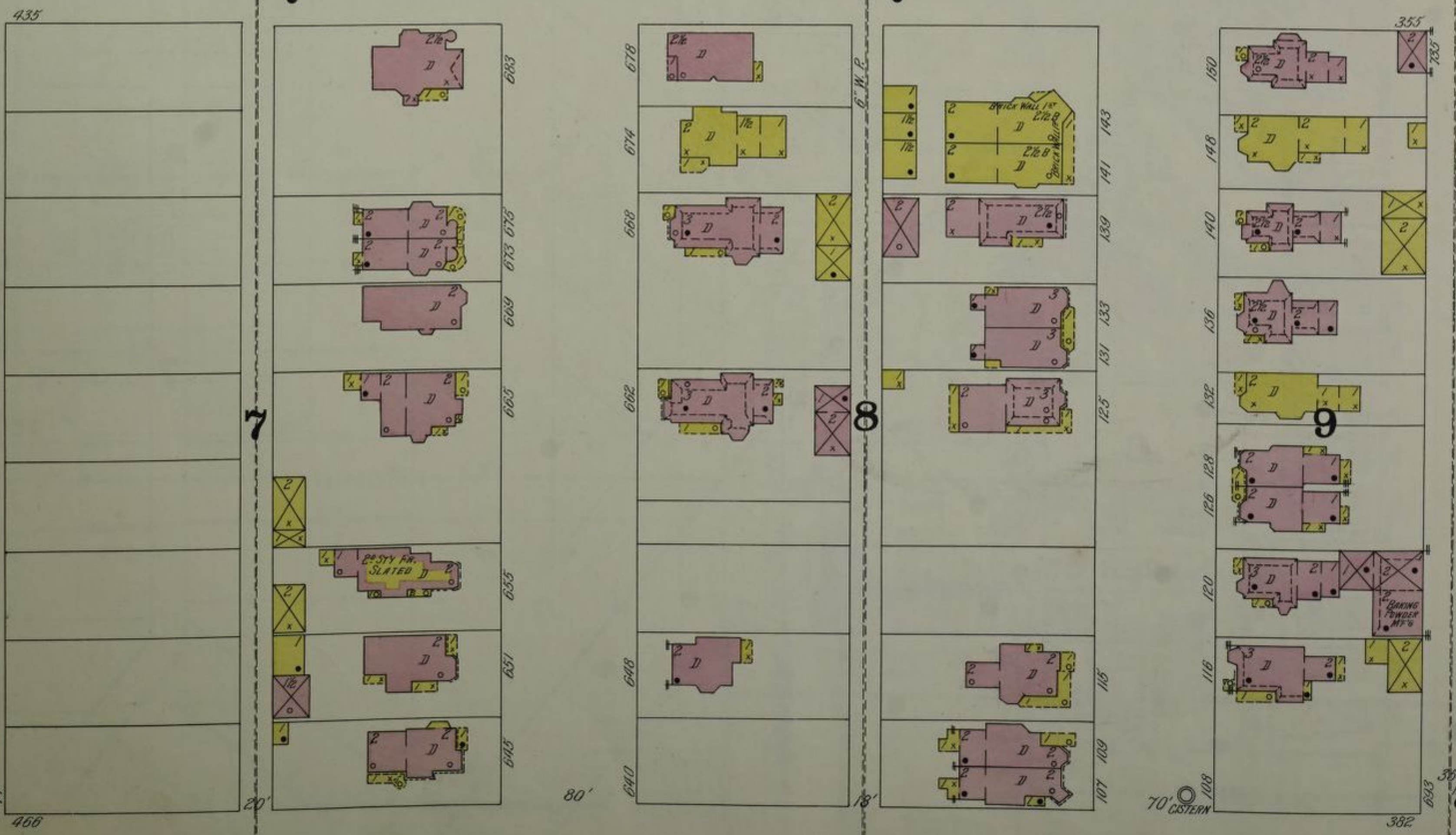
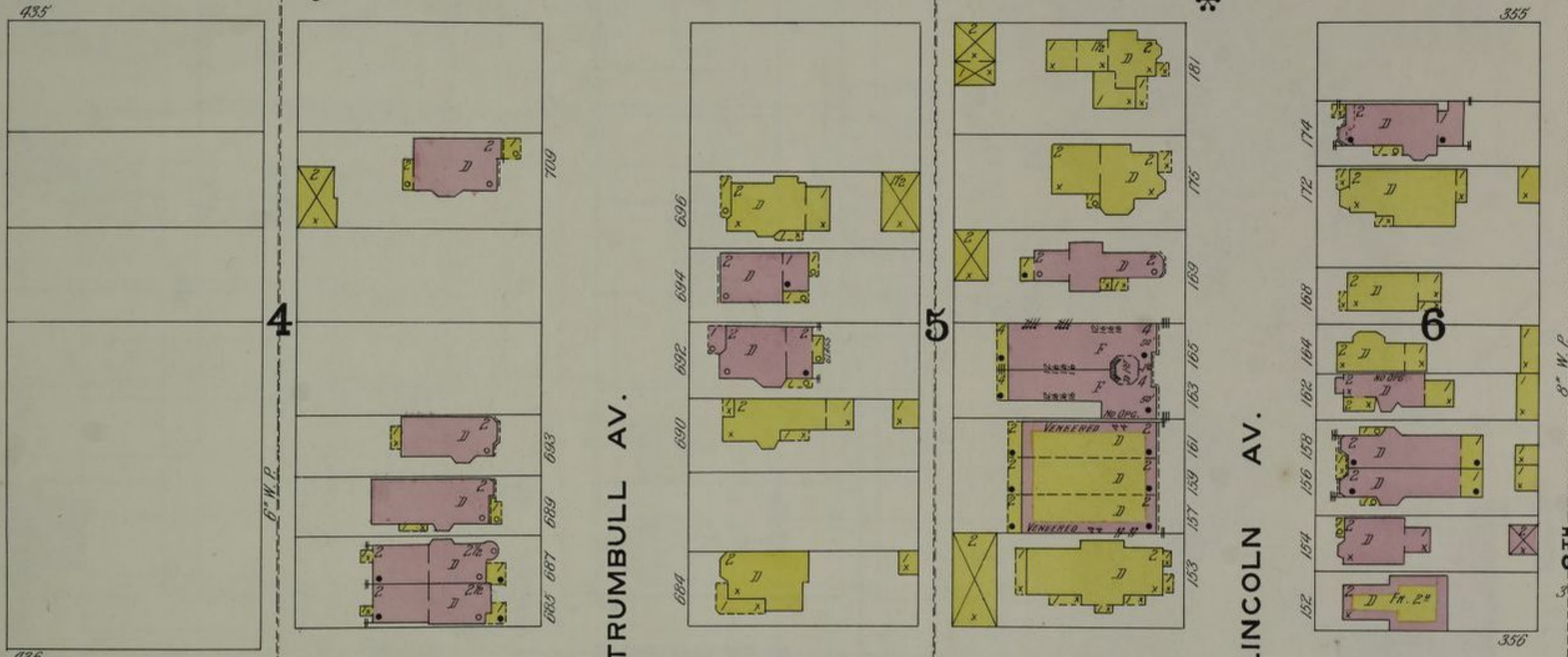
WILLIS AV.

COMMONWEALTH AV.

TRUMBULL AV.

ALEXANDRINE AV. W.

LINCOLN AV.



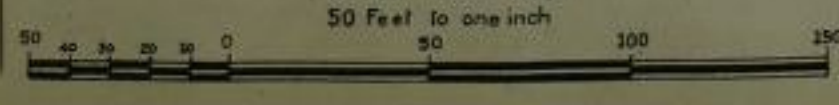
SELDEN AV.

68

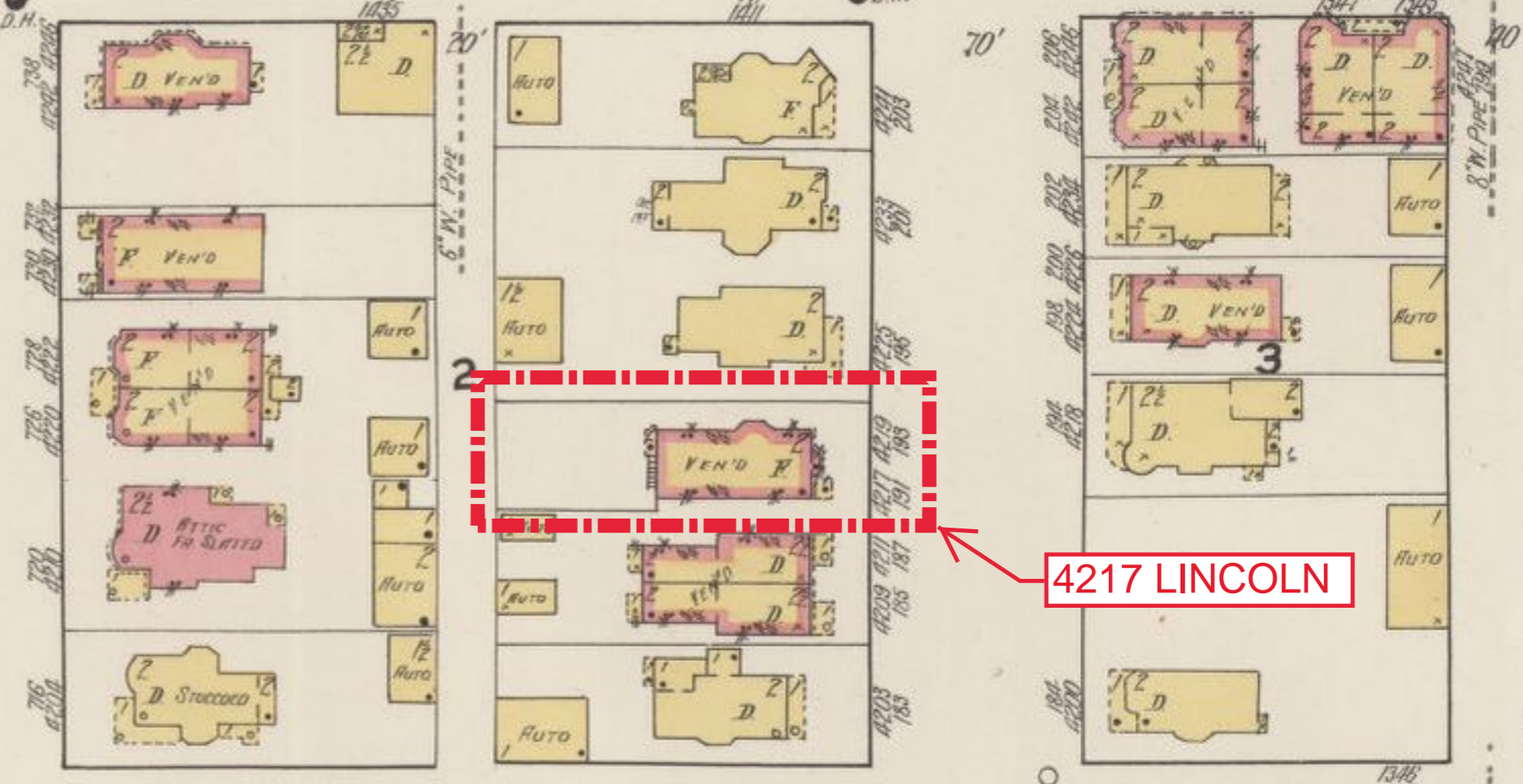
Scale of Map:
50 Feet to one inch

Fire Insurance Map Collection
Geography and Map Division
Library of Congress

1897 SANBORN MAP

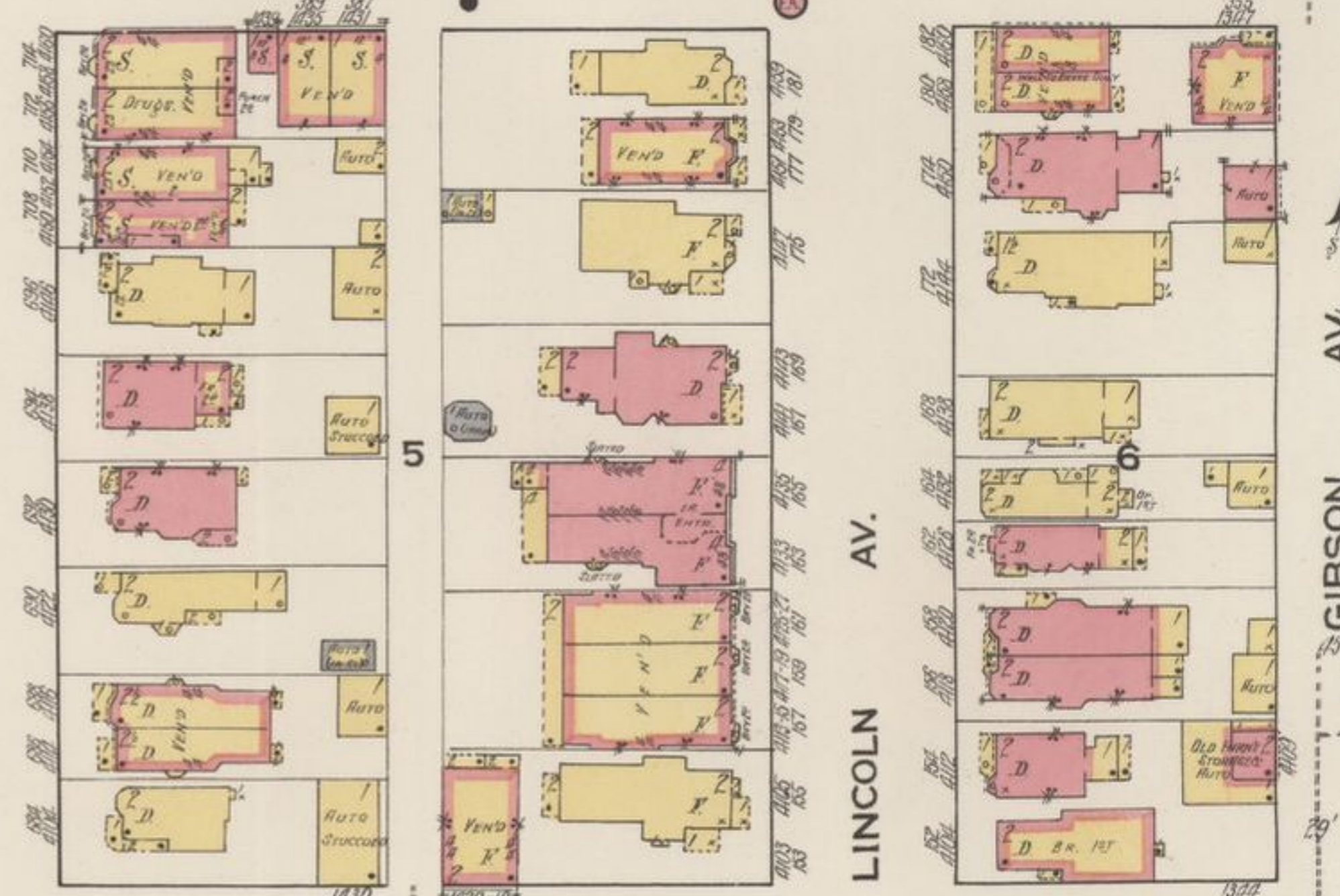


91 CALUMET AV.



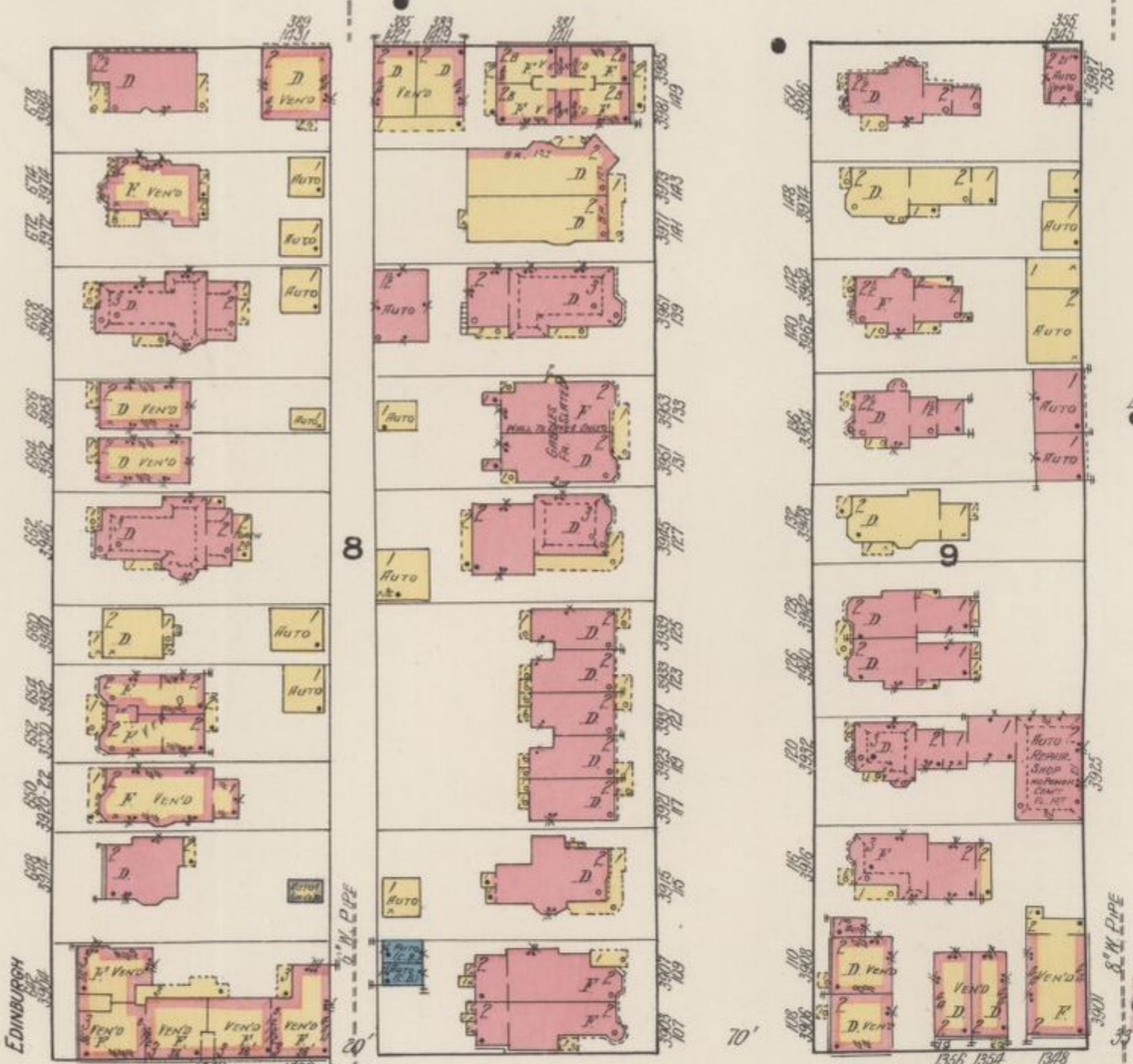
4217 LINCOLN

W. WILLIS AV.



TRUMBULL AV.

W. ALEXANDRINE AV.



SELDEN AV.

COMMONWEALTH AV.



Scale of Feet. 0 50 100 150

Copyright 1921 by the Sanborn Map Co.



4217 LINCOLN



86

4217 LINCOLN

87

67

65

SCALE OF FEET
1" = 50'
COPYRIGHT SANBORN MAP COMPANY, INC.



STAFF SITE VISIT 4/23/2021



STAFF SITE VISIT 4/23/2021

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS(ES): _____ AKA: _____

PARCEL ID: _____ HISTORIC DISTRICT: _____

SCOPE OF WORK: Windows/Doors Walls/Siding Painting Roof/Gutters/Chimney Porch/Deck/Balcony Addition
(Check ALL that apply) Demolition Signage New Building Major Alteration (3+ scope items) Site Improvements (landscape, trees, fences, patios, etc.)

BRIEF PROJECT DESCRIPTION: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

Completed Building Permit Application (highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Photographs of ALL sides of existing building or site

Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: **HDC@DETROITMI.GOV**

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

 MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____

Permit #:





Project Overview

PROJECT	LNC – Lincoln Street Front Porch
PROJECT ADDRESS	4217 Lincoln Street Detroit, MI 48208
CLIENT	Jodi Trombley & Dan Polovina
DATE	04/02/2021

Project Narrative

The project is the creation of a new front porch to span across the existing front facade of 4217 Lincoln Street.

The existing porches are in fair condition, but do not offer usable area other than as entry points. The guardrails are low and not up to current building codes, and therefore present a safety hazard for the family's children. The existing stairs are uneven and steeper than allowed by current code, and the concrete plinth at the bottom is in disrepair.

The client would like to expand the porch across the front of the house, in a style similar to other homes in the district, to create more useable space for the family's use. The porch has a hipped roof supported by painted wood columns and small gable over the entry stair. The porch is three bays wide and one bay deep and extends 7' from the front façade of the house. A small bay projection replicates the existing projection on the secondary porch in form and dimensions, with the exception of guardrail height.

The gable over the stair references the existing gable over the first floor front porch. The arched motif between columns draw inspiration from the existing's house's arched doorways and windows.

As part of the project, the existing windows and trim on the house will be painted in the new color scheme. Windows and their trim will be painted a dark off-black gray. The cornice and corbels will be painted a dark off-black gray, with the existing trim on the frieze board to be painted a blue green. All masonry brick and sills, roof shingles, and cedar shakes will be left as is.



















CORNICE, CORBELS,
WINDOW TRIM, AND
WINDOWS AT DORMER
PAINTED P-1

TRIM PAINTED P-2

EXISTING WINDOWS AND
TRIM PAINTED P-1

CORNICE, CORBELS, AND
GUTTER PAINTED P-1

TRIM PAINTED P-2

TRIM PAINTED P-2

PANEL PAINTED P-3 TO
MATCH EXISTING WINDOW
SILL



FINISH SCHEDULE

- P-1 Benjamin Moore
Nightfall 1596
- P-2 Benjamin Moore
Pacific Rim 678
- P-3 Benjamin Moore
Sweet Spring 1500

CORNICE, BEAM, CORBELS,
GUTTER, AND WOOD
ARCHES PAINTED P-1

TRIM PAINTED P-2

COLUMNS PAINTED P-1

GUARDRAIL: HORIZONTAL
RAILS PAINTED P-1,
SPINDLES PAINTED P-3 TO
MATCH EXISTING SILL

PANEL PAINTED P-2

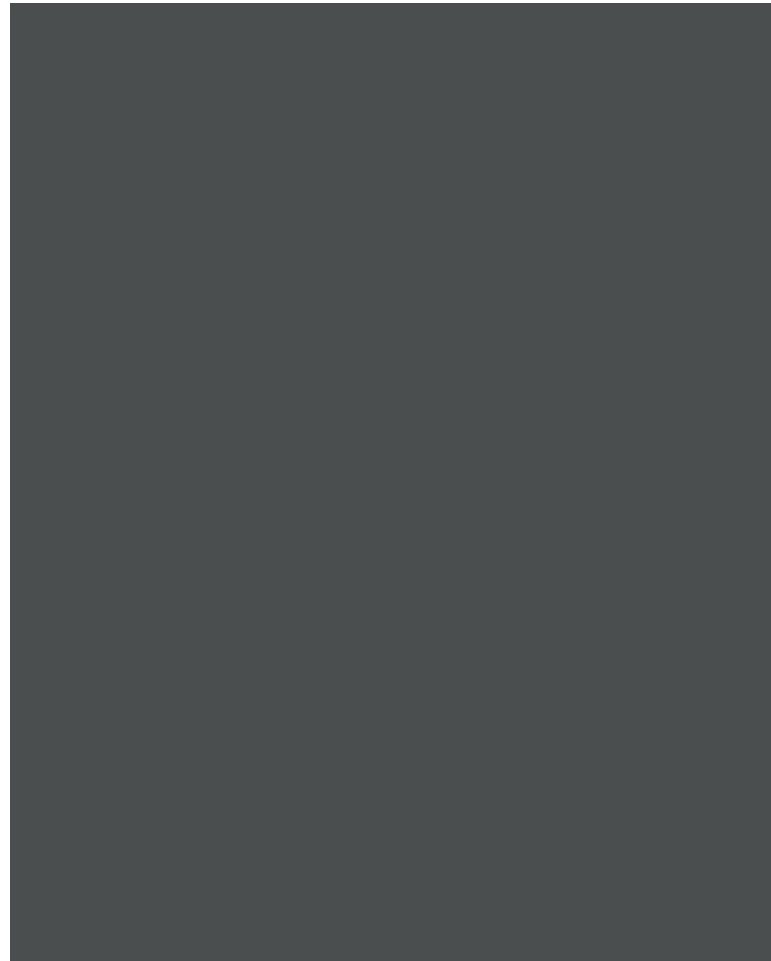
TRIM PAINTED P-3 TO
MATCH EXISTING WINDOW
SILL

FASCIA AND RAILS PAINTED
P-1

RAISER PAINTED P-1

CEDAR DECKING W/
CLEAR
COAT

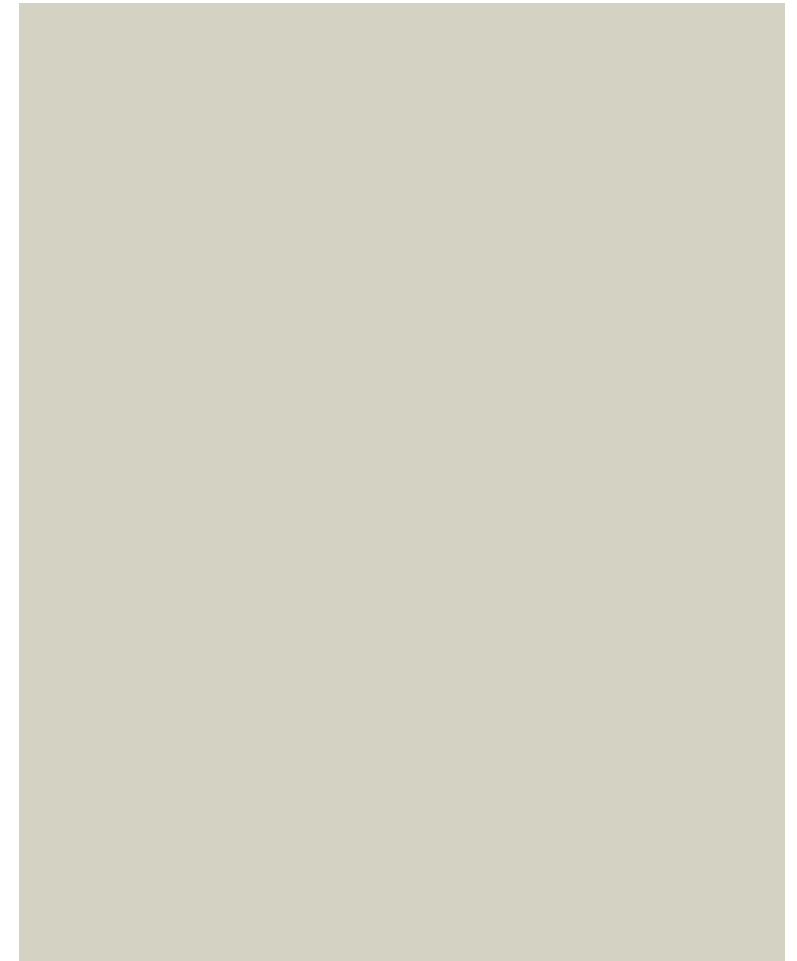




P-1 Benjamin Moore Nightfall 1596



P-2 Benjamin Moore Pacific Rim 678



P-3 Benjamin Moore Sweet Spring 1500



DRAWING SYMBOL KEY

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER		LOT LINE														
	NEW WALL CONSTRUCTION		EARTH / SOIL		SETBACK														
	CAST IN PLACE CONCRETE		PLYWOOD		STRUCTURAL GRID LINE														
	CONCRETE MASONRY UNIT (CMU)		WOOD		FLOOR DRAIN														
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER		ROOF DRAIN														
	CRUSHED STONE		WOOD - ROUGH BLOCKING		INTERIOR ELEVATION(S)														
	STEEL		BATT INSULATION		REVISION TAG														
	ALUMINUM		SPRAY FOAM INSULATION		PLUMBING FIXTURE TAG														
	RIGID INSULATION		DEMO WALL		APPLIANCE TAG														
	ROOM TAG		SECTION		LIGHTING TAG														
	DOOR TAG		DETAIL CALL OUT																
	WINDOW TAG																		
	WALL TYPE																		
	ELEVATION MARKER																		
	EXTERIOR ELEVATION																		
		<table border="1"> <tr><td>F</td><td>FLOOR</td></tr> <tr><td>W</td><td>WALL</td></tr> <tr><td>C</td><td>CEILING</td></tr> <tr><td>BA</td><td>BASE</td></tr> <tr><td>TR</td><td>TRIM</td></tr> <tr><td>CR</td><td>CROWN</td></tr> <tr><td>MW</td><td>MILLWORK</td></tr> </table>	F	FLOOR	W	WALL	C	CEILING	BA	BASE	TR	TRIM	CR	CROWN	MW	MILLWORK	FINISH TAG		
F	FLOOR																		
W	WALL																		
C	CEILING																		
BA	BASE																		
TR	TRIM																		
CR	CROWN																		
MW	MILLWORK																		

POWER, DATA, & LIGHTING KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX		SWITCH
	DUPLEX - SPECIFIC MOUNTING HT.		DIMMER SWITCH
	DUPLEX - GFI		THREE-WAY SWITCH
	QUADPLEX		THREE-WAY DIMMER SWITCH
	DUPLEX IN FLOOR		JAMB SWITCH
	SMOKE DETECTOR		TELEPHONE
	CARBON MONOXIDE DETECTOR		INTERNET
	SPEAKER LOCATION		TELEVISION
	SPEAKER INPUT		PENDANT FIXTURE
	RECESSED FIXTURE		FLUSH MOUNT FIXTURE
	WALL MOUNTED SCONCE		LED STRIP LIGHT
	DENOTES WET-RATED FIXTURE		VENTILATION FAN
	TRACK LIGHTING		EXISTING FIXTURES

GENERAL NOTES

- THIS APPLICATION IS BEING FILED FOR A FRONT PORCH ADDITION TO AN EXISTING HOME.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL CODE AND ALL OTHER APPLICABLE LAWS, INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- THE CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, ELECTRICAL, PLUMBING, ETC).
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS, ONLY WRITTEN DIMENSIONS SHALL BE USED. WHERE REQUIRED DIMENSIONS ARE MISSING, NOTIFY ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OR SURFACES, UNLESS OTHERWISE NOTED.

PLAN NOTES

- ALL NEW EXTERIOR WALLS TO BE 2X6 CONSTRUCTION @ 16" O.C. W/R-21 BATT INSULATION AND ONE (1) LAYER 1/2" GYP BOARD INTERIOR SIDE, UNLESS OTHERWISE NOTED.
- ALL NEW INTERIOR PARTITIONS TO BE 2X4 CONSTRUCTION @ 16" O.C. W/ ONE (1) LAYER 1/2" GYP BOARD EACH SIDE, UNLESS OTHERWISE NOTED.

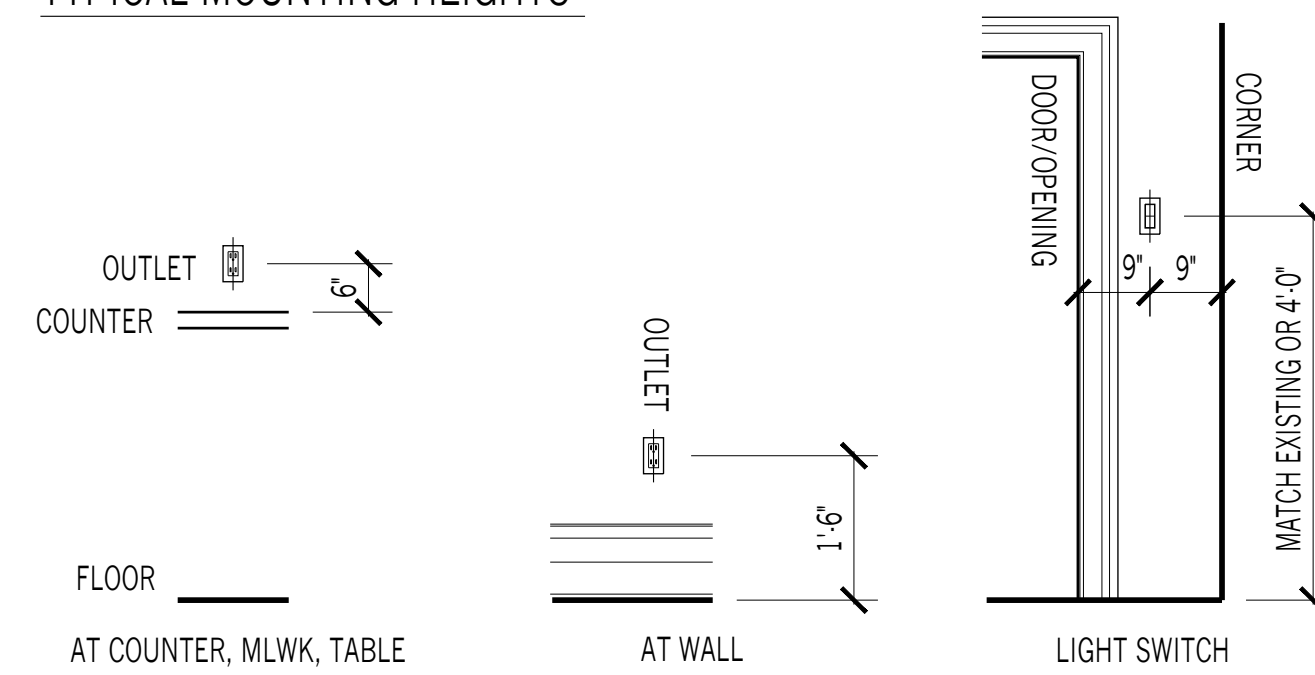
DEMO PLAN NOTES

- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.

POWER, LIGHTING, & RCP NOTES

- UNLESS OTHERWISE NOTED, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE CENTERED ON WALL OR BETWEEN OR BENEATH THE WINDOWS, DOORS, OTHER WORK, OR OTHER FIXTURES THEY ARE LOCATED IN RELATION TO.
- RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING HEIGHTS DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE COMBINED IN BANKS OR STACKED VERTICALLY.
- ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.

TYPICAL MOUNTING HEIGHTS



ABBREVIATIONS

ABV ABOVE	DR DOOR	H/C HANDICAPPED	MECH MECHANICAL	RAD RADIUS	WC WATER CLOSET
ACOUS ACOUSTICAL	DSPT DOWNSPOUT	HALG HALOGEN	MEMB MEMBRANE	RD ROOF DRAIN	WD WOOD
ADA AMERICANS WITH DISABILITIES ACT	DTL DETAIL	HB HOSE BIB	MFTD MANUFACTURED	RECT RECTANGULAR	WP WATERPROOFING
ADD ADDITIONAL	DWG DRAWING	HC HOLLOW CORE	MFTD MANUFACTURED	REF REFERENCE	WPT WORKING POINT
ADJ ADJACENT	EA EACH	HD HEAD	MH MANHOLE	REINF REINFORCED	WT WEIGHT
AFF ABOVE FINISHED FLOOR	EC ELECTRICAL CONTRACTOR	HDF HIGH DENSITY FIBER BOARD	MIN MINIMUM	REQD REQUIRED	
ALT ALTERNATE	EL ELEVATION	HM HARDWARE	MIR MIRROR	REV REVISION	& + AND
ALW ALLOW	ELEC ELECTRICAL	HW HOLLOW METAL	MISC MISCELLANEOUS	RF ROOF	AT AT
ALWB ALLOWABLE	ELEV ELEVATOR	HR HORIZONTAL	MMR MOISTURE & MOLD RESISTANT	RM ROOM	
ALUM ALUMINUM	ENCL ENCLOSURE	HR HORIZONTAL	MUL MULLION	RO ROUGH OPENING	
ANOD ANODIZED	ENG ENGINEER	HR HOUR	MASONRY OPENING	SAN SANITARY	
ARCH ARCHITECT	EQ EQUAL	HT HEIGHT	MTL METAL	SCHED SCHEDULE	
ASMB ASSEMBLY	EQUIP EQUIPMENT	HVAC HEATING, VENTILATION & AIR CONDITIONING	MUL MULLION	SECT SECTION	
BLDG BUILDING	EST ESTIMATE(D)	HW HOT WATER	NFC NOT FOR CONSTRUCTION	SF SQUARE FOOT	
BLT-IN BUILT-IN	EXH EXHAUST	HW HOT WATER HEATER	NIC NOT IN CONTRACT	SHT SHEET	
CAB CABINET	EXP JT EXPANSION JOINT	ID INSIDE DIAMETER	NO NUMBER	SIM SIMILAR	
CEM CEMENT	EXIST EXISTING	IN INCH	NOM NOMINAL	SPEC SPECIFICATION	
CIP CAST IN PLACE	EXT EXTERIOR	INCH INCH	NTS NOT TO SCALE	SQ SQUARE	
CL CENTER LINE	F&I FURNISH AND INSTALL	INCA INCANDESCENT	OC ON CENTER	SS STAINLESS STEEL	
CLG CEILING	FAB FABRICATE	INSUL INSULATION	OD OUTSIDE DIAMETER	STD STANDARD	
CLO CLOSET	FBO FURNISH BY OWNER	INT INTERIOR	OPNG OPENING	STL STEEL	
CMU CONCRETE MASONRY UNIT	FLDR FLOOR DRAIN	JBOX JUNCTION BOX	OPP OPPOSITE	STR STAIR	
COL COLUMN	FIN FINISH(ED)	JC JANITORS CLOSET	OPNG OPPOSITE	STRUC STRUCTURE	
CONC CONCRETE	FLG FLOORING	JST JOIST	OPT OPTION(AL)	SUP SUPPLY	
CONST CONSTRUCTION	FLR FLOOR	JNT JOINT	OZ OUNCE	SUSP SUSPENDED	
CONT CONTINUOUS	FLUOR FLUORESCENT	KIT KITCHEN	PH PENTHOUSE	SYM SYMMETRICAL	
COORD COORDINATE	FND FOUNDATION	L LENGTH	PL PROPERTY LINE	SYST SYSTEM	
CORR CORRIDOR	FP FIRE PROOFING	LAM LAMINATE	PLAS PLASTIC	UL UNDERWRITERS LABORATORY	
CPT CARPET	FO FACE OF	LAV LAVATORY	PLUM PLUMBING	UON UNLESS OTHERWISE NOTED	
CTR CENTER	FT FOOT/FEET	LBS POUNDS	PLY PLYWOOD		
CW COLD WATER	FTG FOOTING	LF LINEAR FEET	PNT PAINT		
	GA GAUGE	LN LINEAR	POL POLISHED		
	GALV GALVANIZED	LT LIGHT	PRTN PARTITION		
	GAR GARAGE	MACH MACHINE	PSF POUNDS PER SQUARE FOOT		
	GC GENERAL CONTRACTOR	MAS MASONRY	PT PRESSURE TREATED		
	GFRC GLASS FIBER REINFORCED CONCRETE	MAX MAXIMUM	PTD PAINTED		
	GLZ GLAZING	MC MECHANICAL CONTRACTOR	QUAL QUALITY		
	GR GRADE	MDF MEDIUM DENSITY FIBER	QTY QUANTITY		
	GUT GUTTER		R RISER		
	GWB GYPSUM WALL BOARD				



END STUDIO, LLC
 1533 Merrick Street
 Detroit, MI 48208
 908.419.8398
 e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

FRONT PORCH
 4217 Lincoln St
 Detroit, MI 48208

NO.	ISSUE/REV.	DATE
01	HDC SET	03/19/21

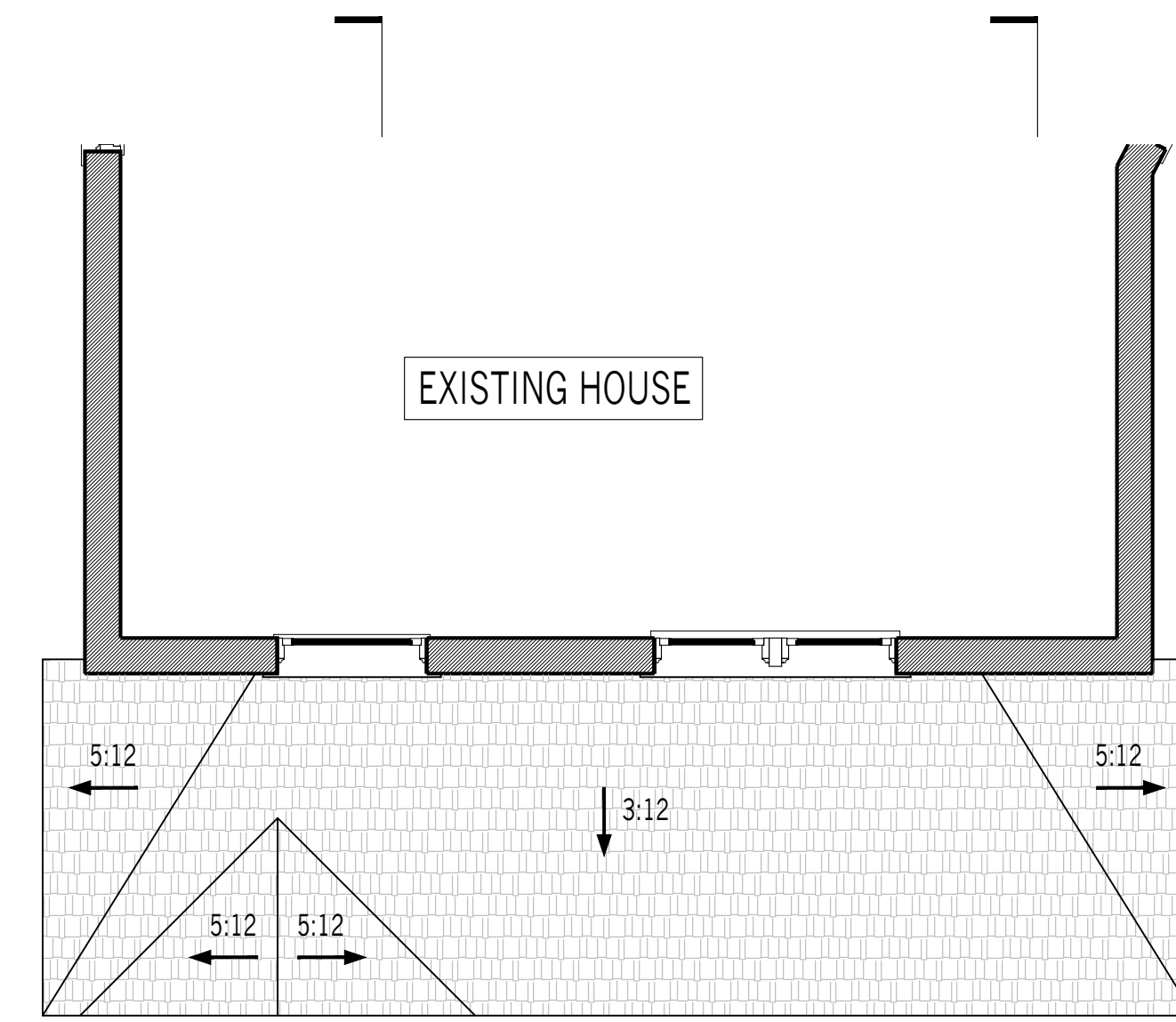
GENERAL NOTES

G-001

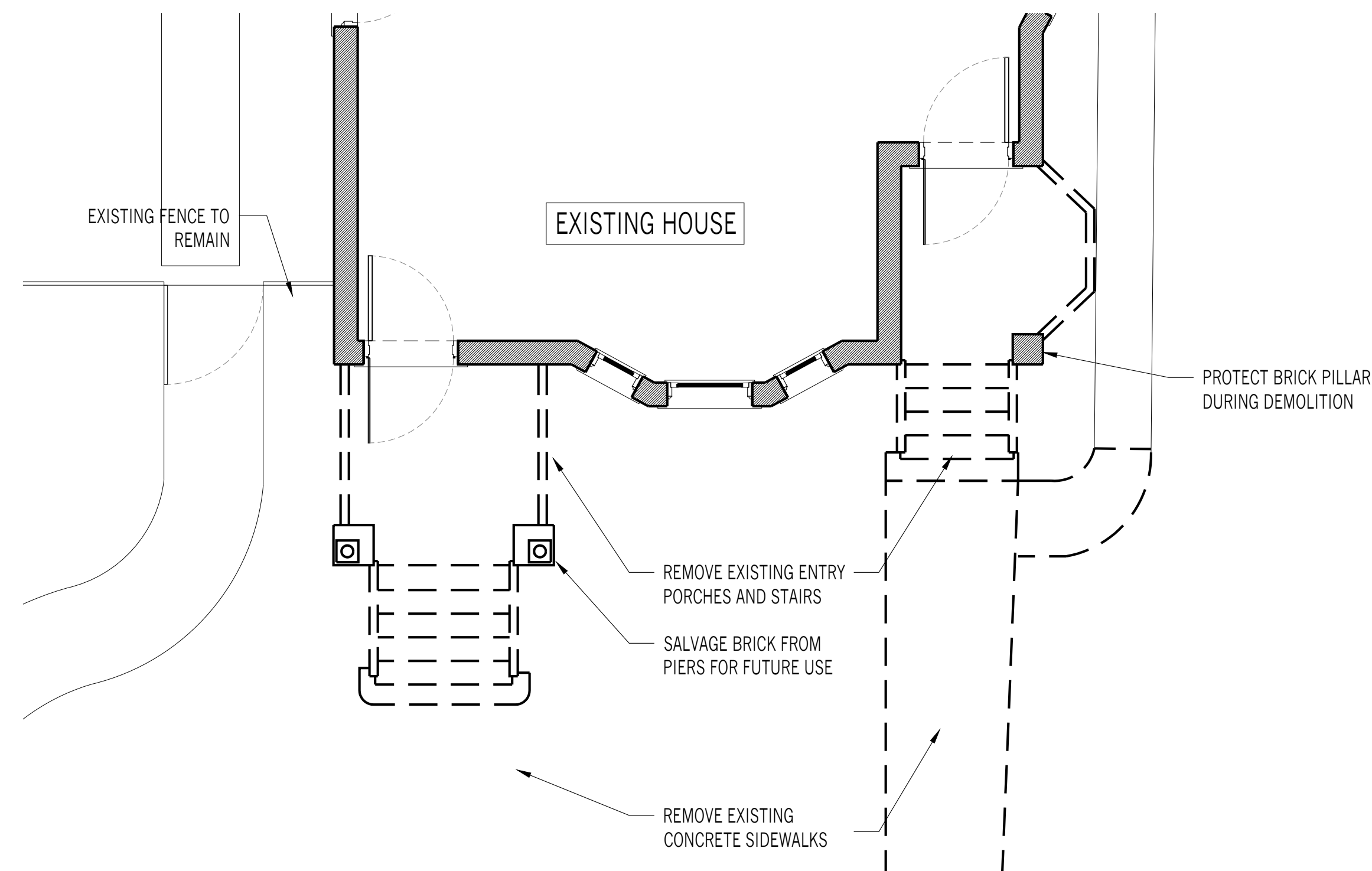


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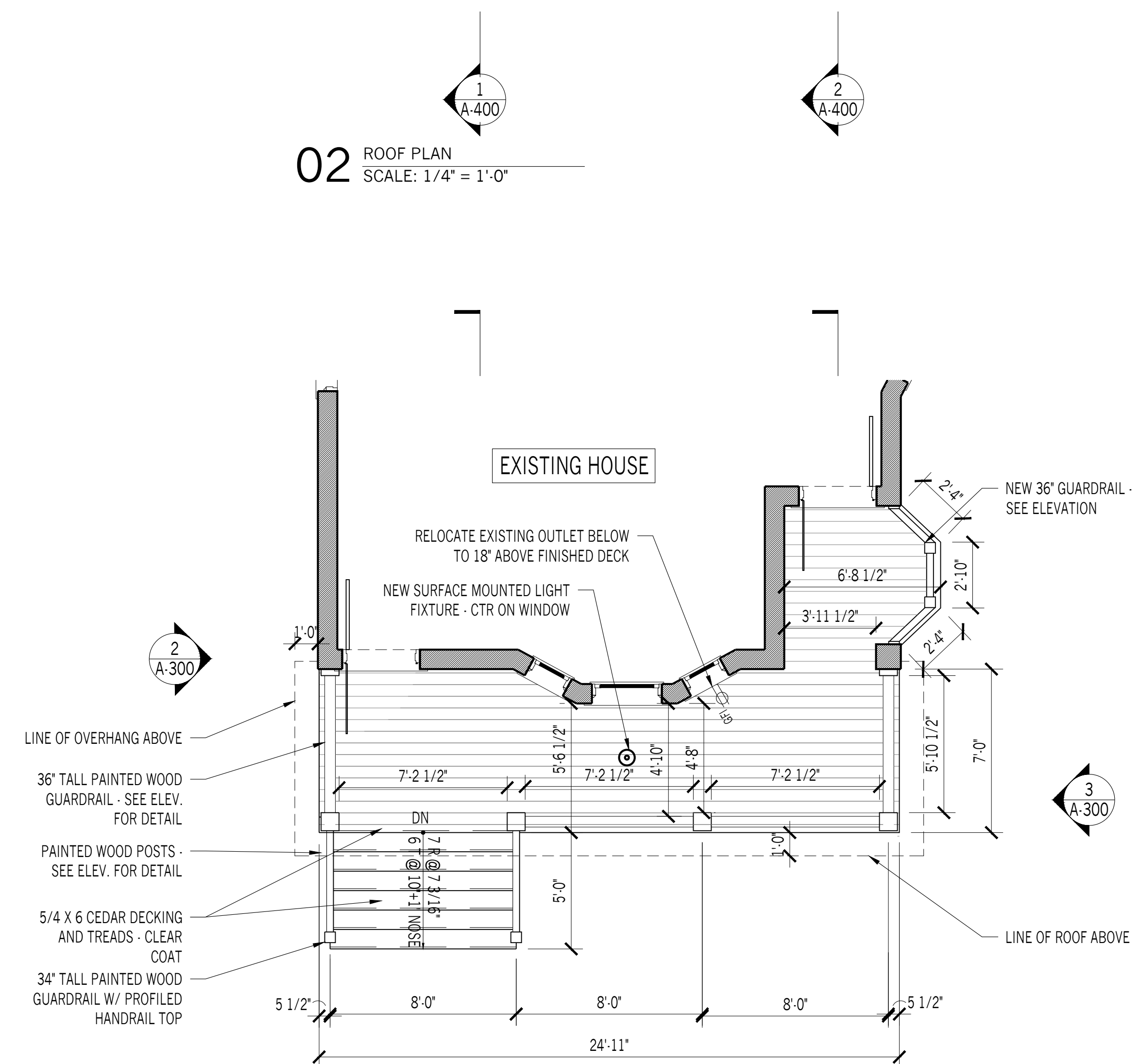
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02 ROOF PLAN
 SCALE: 1/4" = 1'-0"



02 DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



01 PLAN
 SCALE: 1/4" = 1'-0"

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PLANS

A-100



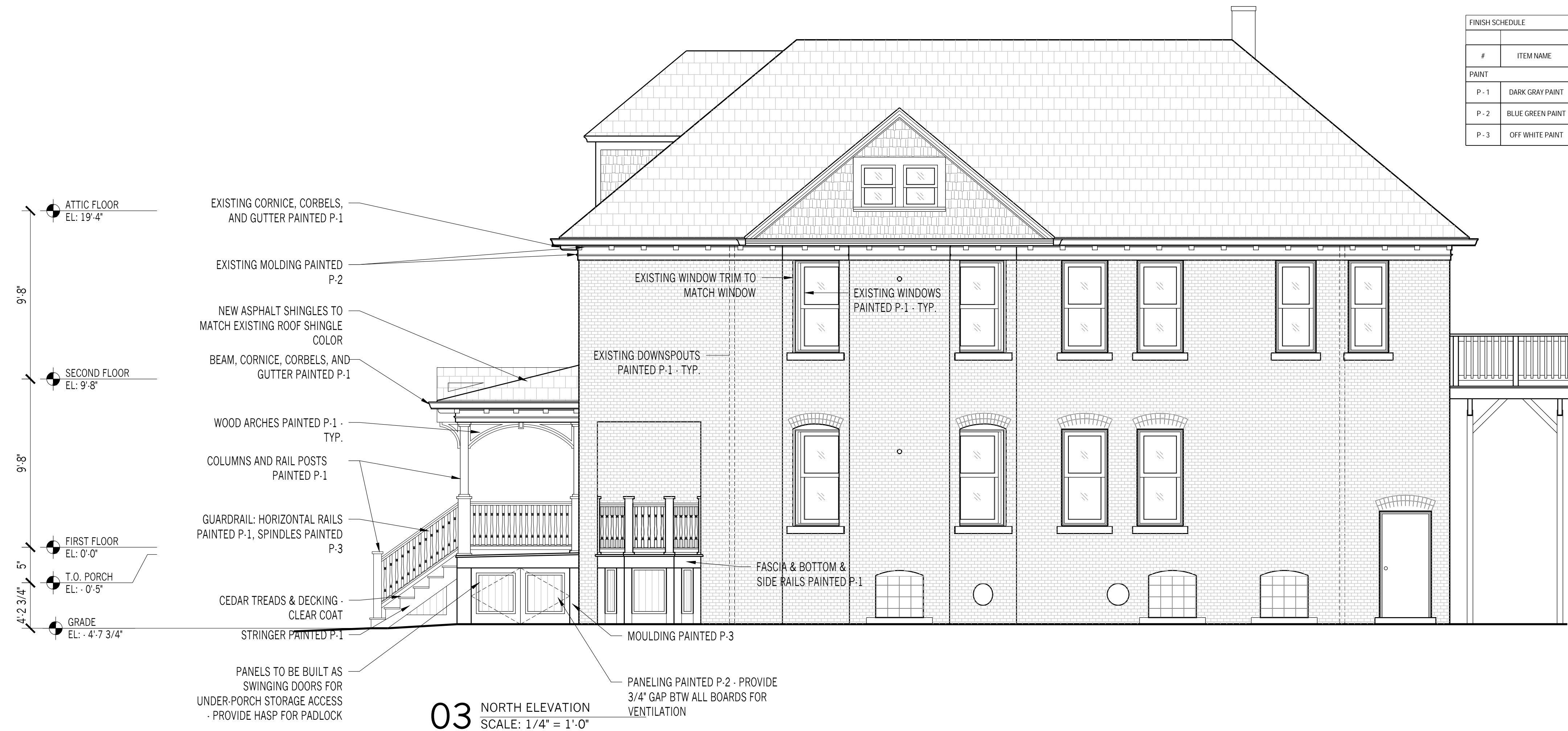
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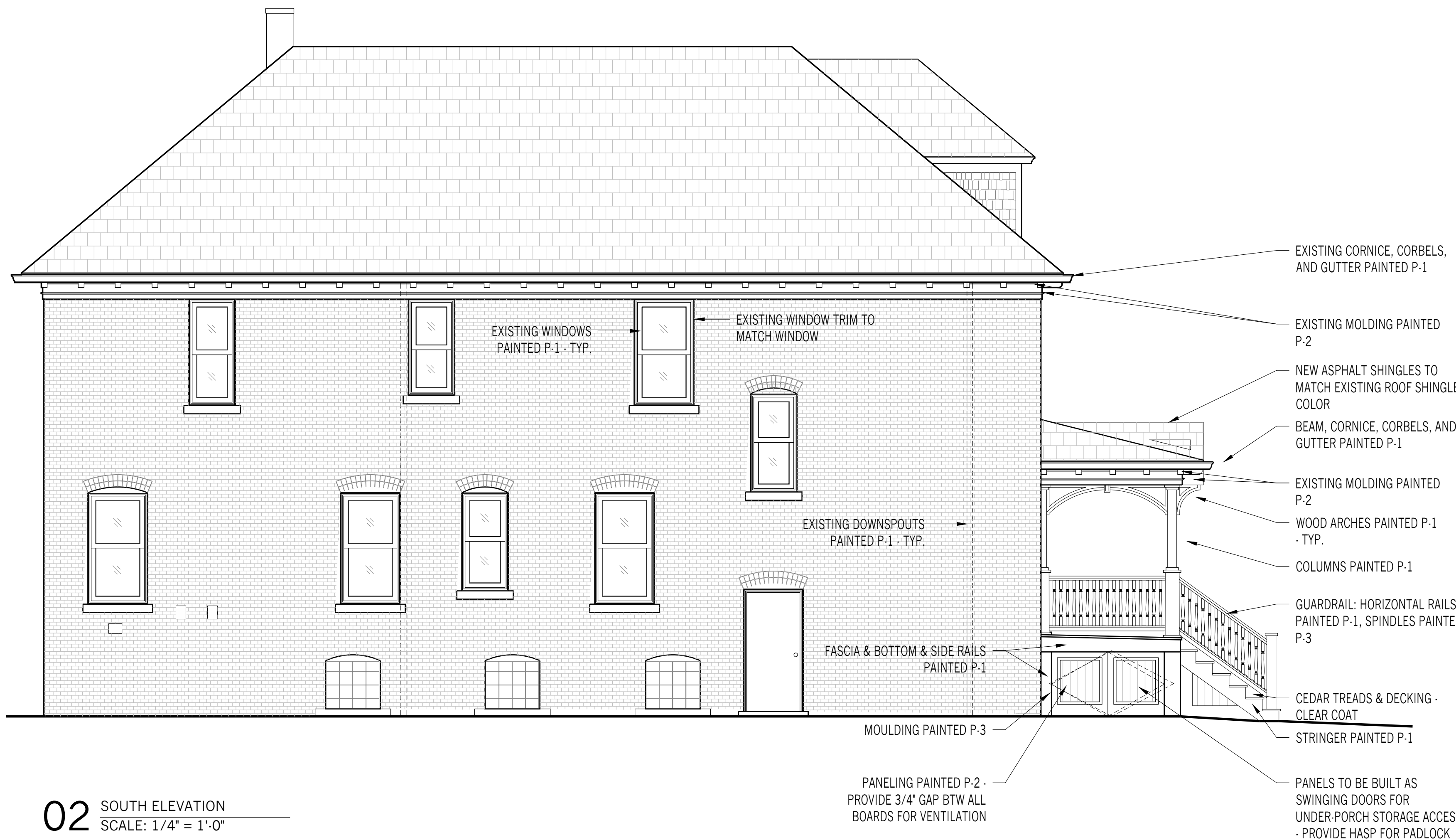
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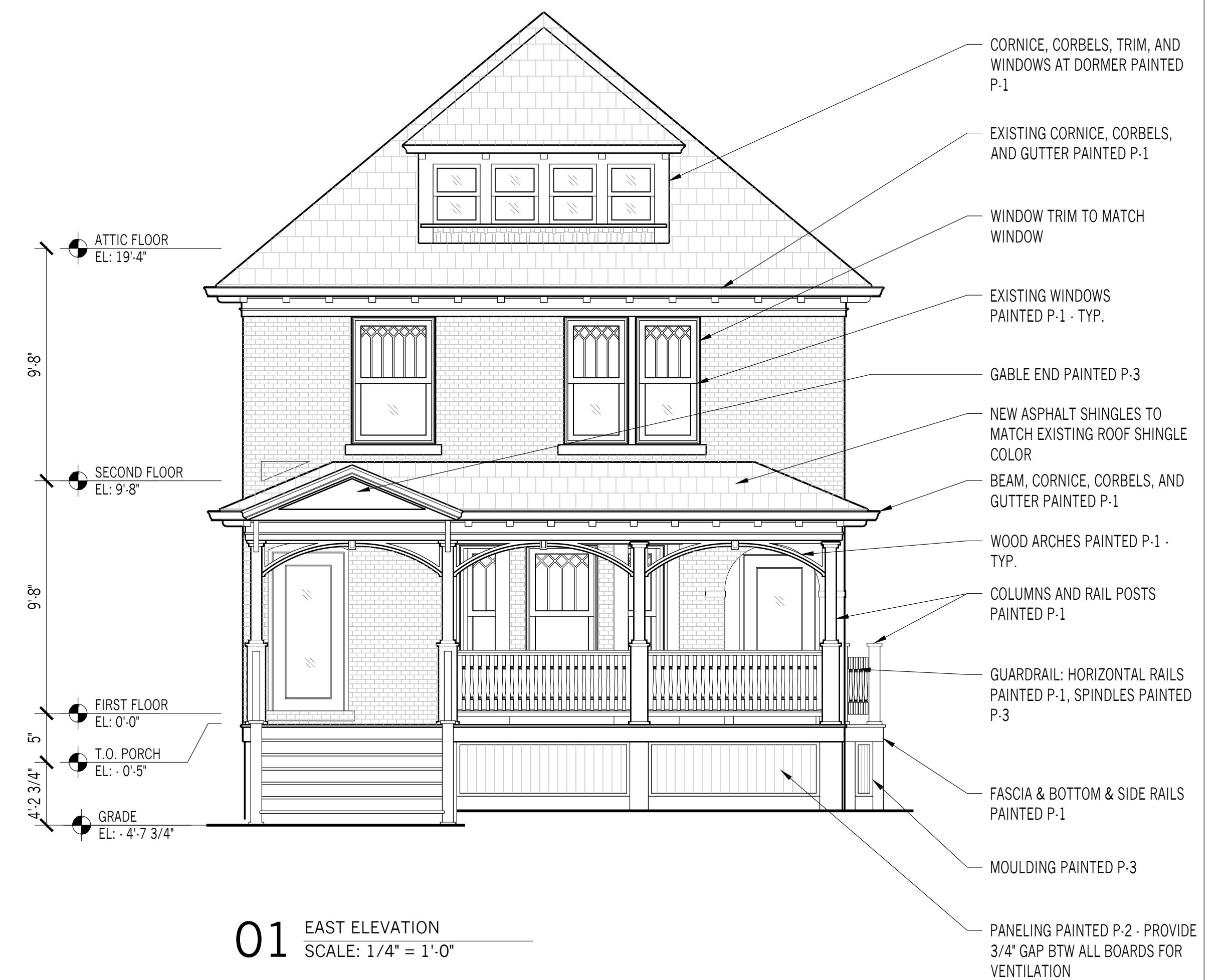
FINISH SCHEDULE						
#	ITEM NAME	LOCATION	MANUFACTURER	MODEL / DESCRIPTION	FINISH / COLOR	INSTALL NOTES
PAINT						
P-1	DARK GRAY PAINT	AS NOTED ON A-300	BENJAMIN MOORE	Nightfall 1596	SATIN	
P-2	BLUE GREEN PAINT	AS NOTED ON A-300	BENJAMIN MOORE	Pacific Rim 678	SATIN	
P-3	OFF WHITE PAINT	AS NOTED ON A-300	BENJAMIN MOORE	Sweet Spring 1500	SATIN	



03 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



01 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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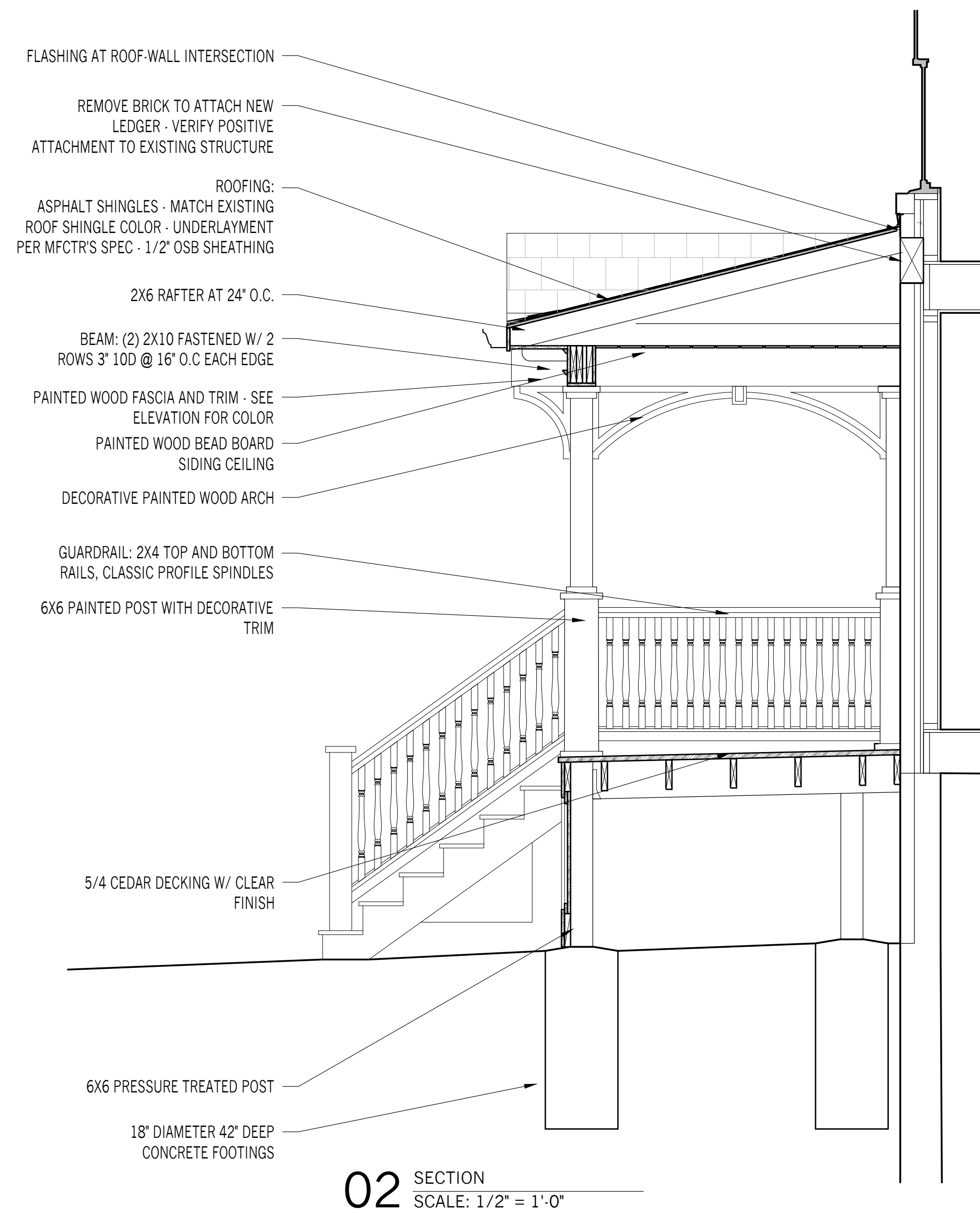
ELEVATIONS

A-300

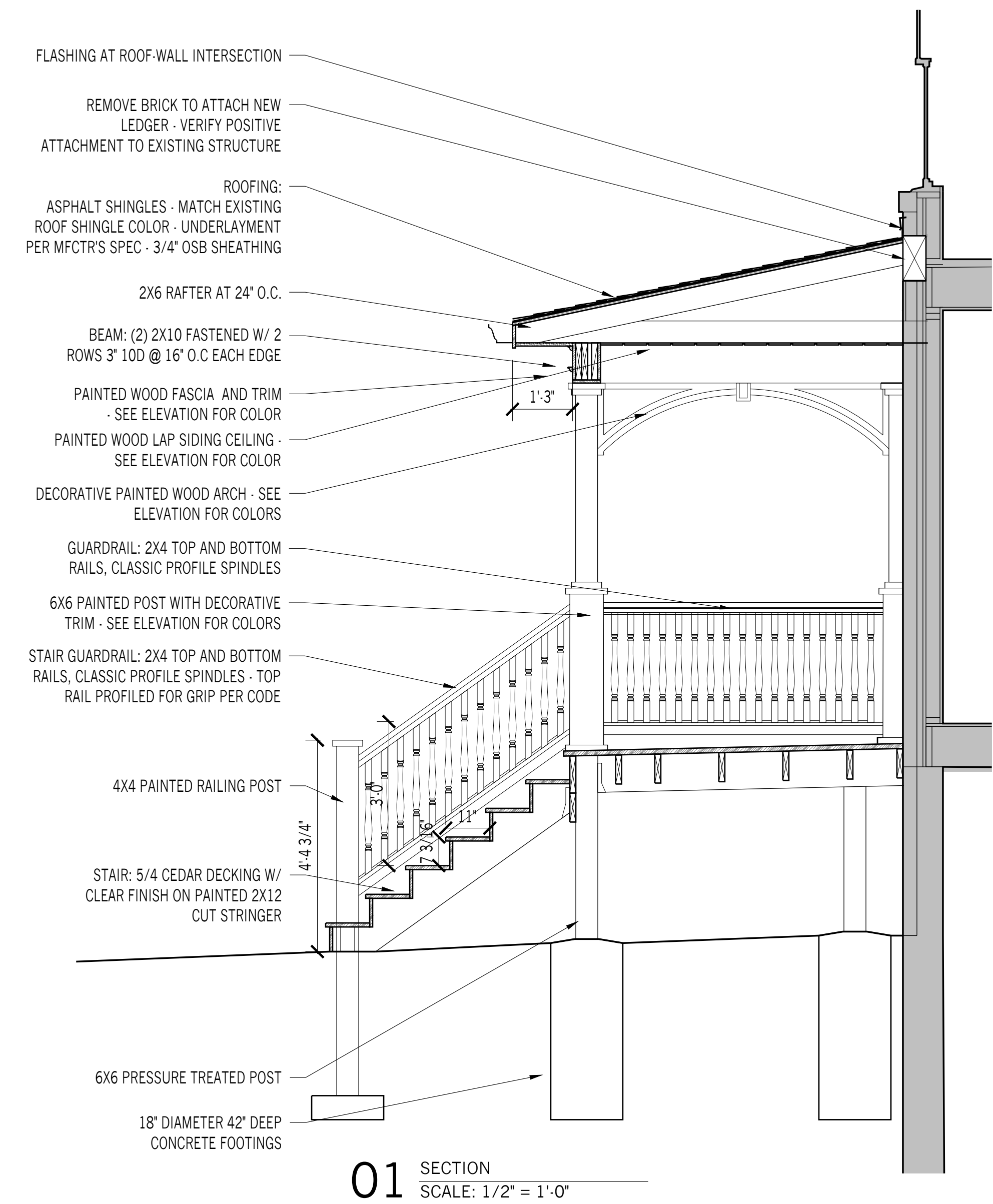


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02 SECTION
 SCALE: 1/2" = 1'-0"



01 SECTION
 SCALE: 1/2" = 1'-0"

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SECTIONS

A-400