

STAFF REPORT: 4/14/2021 MEETING

PREPARED BY: J. ROSS

ADDRESS: 1627 (1627-1639) LEVERETTE

HISTORIC DISTRICT: CORKTOWN

APPLICANT: KEN MOODY

APPLICATION NUMBER: #21-7194

DATE OF PROVISIONALLY-COMPLETE APPLICATION: 3/22/2021

DATE OF STAFF VISIT: 12/4/2020

SCOPE: ERECT NEW CARPORTS; REHABILITATE BUILDING

EXISTING CONDITIONS

The building located at 1627 Leverette is a seven-unit, historic-age rowhouse. The building is two stories in height and is clad with brick. The brick at the front elevation is buff colored, while the brick at the side and rear elevation is painted a dark red. Each unit includes an inset porch and with a wood classical entry door surround. The roof is flat with a brick parapet. Windows are wood, aluminum-clad units that were installed sometime in 2020 without HDC approval. As per the attached Google Streetview image, a distinctive, decorative metal cornice had been attached to the parapet at the building's front elevation. However, in early 2018, the **entire** cornice was removed without permit and/or HDC review or approval. The extant cornice was constructed of reinforced fiberglass (RFP). The current rehabilitation is being undertaken in order to support each unit's alteration from apartment to condominium.



PROPOSAL

The applicant attended the Commission's 8/8/2018 regular meeting with a proposal to rehabilitate the building. Specifically, the project included a number of relatively "minor" work items which involved the in-kind repair of the building's existing historic material, to include the repair of the building's historic wood windows. The applicant also sought the Commission's approval of work which they had already undertaken without permit and HDC approval. Specifically, the violation involved the applicant's unapproved removal of the distinctive historic metal cornice at the front elevation parapet and the proposed installation of an FRP cornice in its place. After a review of the submitted application, the Commission approved the project with a condition that the new cornice exactly replicate the historic cornice that was removed without HDC approval and/or

permit. Please see the attached Certificate of Appropriateness (COA), which outlines the Commission approval.

The applicant contacted HDC staff in July 2020 with information re: his desire to install new carports at the site and replace the existing wood windows (which the Commission had previously approved for repair). Staff outlined the application materials which the applicant needed to submit in order for the Commission to review his case. In November 2020, the applicant contacted staff with their completed application materials for the windows replacements and the new carports. However, staff was made aware that the historic wood windows **had already been replaced without approval** by that point. Also, after a review of the attached final construction drawings, which the applicant submitted to the Detroit Building, Safety, Engineering, and Environmental Department (BSEED), staff had identified a number of new exterior work items which had been proposed for the building. A site visit revealed that a number of these work items had also been completed (in addition to the installation of the new windows) or were in the process of completion. The applicant therefore presented a proposal to the Commission for review at the 12/9/2020 meeting so that they might receive approval for the number of items which had been completed without review and to erect new carports (which had not yet been initiated). After review and discussion, the Commission denied the application in whole.

With the current proposal, the applicant is seeking the Commission's approval for the work which was denied at the 12/9/2020 meeting. However, the applicant is currently proposing a number of mitigative revisions to the 2020 application in an effort to bring the unapproved work into compliance with the Standards. The current application also includes a small number of work items which have not yet been initiated. Specific work items included within the current proposal include the following:

Rear Yard

- At the rear yard of each of the seven units, erect a wood, shed-roof new open carport as per the attached with a footprint of 15'-8"x23'-4," 14-10'x23'-4" or 13'-0"x23'-4" concrete footprint.
- At rear yard, install a new concrete walkway which leads from each new porch to proposed new carport (**work completed**)
- At rear yard, directly north of the new carports, erect a new wood (with horizontal slats) fence which measures 6'-0" high to enclose backyards of all units (**work completed**). The fence will be stained brown
- At the rear property line, at the alley, erect new 6'-0"-tall chain link fencing which will open to the new carports
- At rear yard of each unit, install an HVAC condenser unit

Rear Elevation

- At rear elevation, at each unit, replace existing concrete porch with new wood porch as per dimension depicted in drawings (see photos, **work completed at some units**)
- At rear elevation, at each unit, replace existing gabled-roof basement stair enclosure with a new gabled-roof, stair enclosure (**work completed**). Exterior walls at each enclosure is clad with lapped siding (material not specified)

- At rear elevation, at each unit, remove the wood transom and trim from doorway and replace with new aluminum-clad wood unit (**work completed**). The new transom is shorter than the original. The open area above each transom shall be infilled with plywood to which a flat, metal overhang will be affixed.
- At rear elevation, at each unit, remove each door and replace with a new aluminum-clad wood door with full-length vision panel
- At rear elevation, at each unit, partially enclose one window opening with brick and install a new fixed aluminum-clad window; fully enclose one window opening with brick (**work completed**)
- At rear elevation lightwells, partially enclose window openings with brick
- At rear elevation, at each unit, remove wood awning overhang over exterior door (**work completed**)
- Paint previously-painted brick walls current red color
- Remove all existing historic wood windows and wood trim/brickmould and replace with the current new aluminum-clad wood units (**work completed**) according to the following:
 - At rear elevation and lightwells - original windows appeared to be wood, 1/1, double-hung units. These windows have been replaced with new aluminum-clad wood, 1/1 units

Roof

- Replace existing flat roof; repair parapet as per the attached drawing; install new brown aluminum gutters and downspouts (**work completed**)

Side Elevations

- Paint previously-painted brick walls current red color
- Remove all existing historic wood windows and wood trim/brickmould and replace with the current new wood, aluminum-clad units (**work completed**) according to the following:
 - At side elevations - original windows appeared to be wood, 1/1, double-hung units. These windows have been replaced with new aluminum-clad wood, 1/1 units

Front Elevation

- At front elevation, at each unit, replace existing porches (to include brick wingwalls with stone caps and concrete steps) with new porches (buff brick wingwalls with stone caps and concrete steps, **work completed**). Note that a review of Google Street view images indicate that the brick porch wingwalls removed without approval and permit were not original/not historic age
- At front elevation, paint wood trim (around windows, doors, and at the cornice) brown and cream (**work partially completed**). The brown paint has already been applied at this location. With the current submission, the applicant is proposing to add cream paint as an accent in order to highlight much of the decorative detailing at the wood trim
- Remove all existing historic wood windows and wood trim/brickmould and replace with the current new wood, aluminum-clad units (**work completed**) according to the following:
 - At front elevation, second story bay windows – original sash were wood, 1/1, double-hung units. In 2020, these windows were replaced with wood, 1/1, double-hung units, each which is topped with a fixed wood transom window without approval. With the current submission, the applicant is proposing to REMOVE all

existing windows and replace with new 1/1 aluminum-clad wood units to match the original

- At front elevation, first-story windows – each opening originally included a set of paired fixed wood windows which were topped with fixed wood transom. The sash were set into wood trim. A fluted wood pilaster served as each window opening’s mullion. In 2020, these windows were replaced with 1/1, double-hung, wood-sash units with aluminum-clad trim. The original fluted wood pilaster mullions appear to have been retained. With the current the applicant is proposing to **RETAIN** the existing aluminum-clad wood windows. However, the new proposal includes the addition of wood trim at each window’s meeting rail to match the original
- At front yard, install new shrubs and hedges at each unit (**work completed**)
- Please note that the submitted drawings indicated that the new/replacement cornice which was removed without Commission approval in 2018 was to be replicated, down to the “decorative leaf” detailing (ie, the swag detailing). However, the current cornice **does not** include that decorative detailing. With the current submission, the applicant is stating that they intend to apply the decorative leaf and swag detailing to the current cornice

STAFF OBSERVATIONS AND RESEARCH

- As noted above, the applicant did appear in front of this Body in 2018 to address the unapproved removal of the building’s historic-age, decorative cornice. The applicant had also sought the Commission’s approval for a general rehabilitation of the building. The Commission approved the project with the condition that the cornice be exactly replicated. While reviewing the building conditions for the current application, staff did observe that the current replacement cornice is not an exact replication of the which was removed in violation of the Commission’s requirements. Specifically, the “swag” detailing was not replicated.
- Also, the applicant’s 8/8/2018 proposal to the Commission called for the repair of the existing wood windows. However, the applicant replaced all of the windows without HDC approval and off/without permit. Because these elements were replaced without application, it is impossible for staff to fully ascertain if they were deteriorated beyond repair and therefore merited replacement. It is staff’s opinion that the windows were character-defining features at the property
- While the new windows added in 2020 without approval are wood, they did not match the operation of the original windows at the front elevation. The current application proposes to mitigate this situation by completely replacing the windows at the second story bays with new windows to match the original in operation. The current application will also add a trim piece at the meeting rail at all first-story windows in order to better replicate the original windows.
- The new windows at the rear elevation, side elevation, and within the lightwells generally appear to match the historic windows that were removed without approval.
- As noted, the wood transoms over the rear doors were replaced without approval with the new aluminum-clad wood units. The new transoms are the same size, however, the amount of glass at the new transom is smaller when compared to the original because the frame is wider. However, see the photos of the original transoms. It appears that the glass at most of the transoms had been covered or removed. It is staff’s opinion that the original transoms

merited replacement. However, the new units do not adequately replicate the original due to their wide framing.

- As noted above, the brick wingwalls which were removed without approval and permit at the front porches do not appear to have been original/of historic age
- It is staff's opinion that the rear porches, rear doors, door overhangs, and basement stair enclosures were not character-defining features at the property
- As per the provided photos, the red common brick at the side and rear elevations had been painted red before the applicant repainted the brick the current dark red color. The color generally matches the natural color of the brick before it was painted.

ISSUES

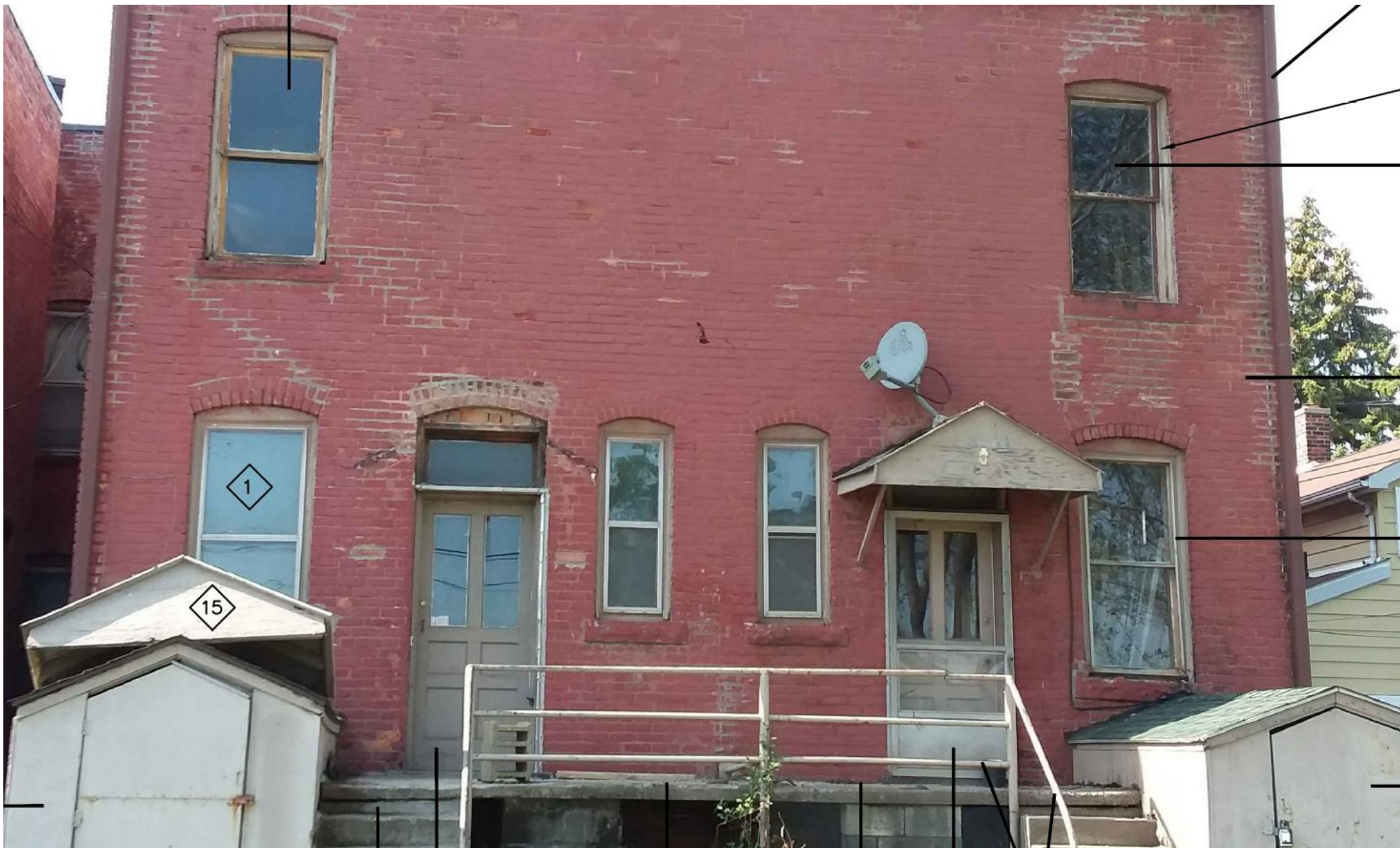
- The transoms installed over the doors at the rear elevation are not an exact replication of the original.
- As previously stated, it is staff's opinion that the windows were distinctive character-defining features at the property. However, the sash themselves did appear to be standard units with little decorative elaboration, with the exception of the pilasters at the front elevation first story which currently remain intact.
- The applicant replaced all of the sash and associated trim without HDC approval and therefore it is impossible for staff to fully ascertain if the sash was deteriorated to an extent that merited their replacement. However, it is staff's opinion that the proposed treatment/windows adequately replicate the original windows that were replaced without approval. Given the fact that the original sash were standard units with little decorative elaboration and taking the entirety of the project into consideration, staff feels that it is reasonable that the Commission approve the proposed new windows with the condition that the project be undertaken **in its entirety/according to the approved scope.**
- It is staff's opinion that unpainted nature of the wood at the newly-erected fencing, gates, rear yard walls, and rear porches are not in keeping with this early 20th century building. Staff recommends that that these elements be stained or painted a color which complements the trim at the building.

RECOMMENDATION

Staff recommends that the Commission issue a Certificate of Appropriateness (COA) for the submitted proposal because it conforms to the Elements of Design for the Corktown Historic and the Secretary of the Interior Standards for Rehabilitation. However, staff recommends that the Commission issue a COA for the project with the following conditions:

- Each of the new transoms proposed for installation/installed at the rear elevation doorways shall be removed and replaced with a new aluminum-clad wood transom with a vision panel that better replicates the dimension/size of the original transoms.
- The newly-erected fencing, gates, rear yard walls, and rear porches cannot be unfinished. Rather, they must be stained or painted a color which complements the building. The owner or applicant shall submit a proposal to HDC staff outlining the color palette for the garages' wood elements for review and approval prior to staff's approval/signoff of the project's final construction drawings. Also, these elements must be painted or stained as per the approved color scheme on or before April 14, 2022.

- Any exterior wood elements proposed for the new carports cannot be unfinished. Rather, they must be stained or painted a color which complements the building. The owner or applicant shall submit a proposal to HDC staff outlining the color palette for the garages' wood elements for review and approval prior to staff's approval/signoff of the project's final construction drawings. Also, these elements must be painted or stained as per the approved color scheme on or before April 14, 2022.
- The swag detailing must be applied to the current RFP cornice so that it replicates the original cornice, as indicated in the submitted drawings and required by the Commission's 2018 COA



Rear elevations prior to unapproved work. Note painted brick, basement enclosures, porch, windows, door overhang windows and doors



Rear elevations, prior to unapproved work



Rear elevations, prior to unapproved work



Rear elevations, prior to unapproved work



Rear elevation lightwell, prior to unapproved work. Note painted brick



Basement stair enclosure and rear porch, prior to unapproved work. Note painted brick



Side elevation, prior to unapproved work. Note painted brick

7 Leverette St
Detroit, Michigan
Google
Street View



Front elevation, prior to unapproved work



Front elevation, dating from 2019 after the unapproved removal of the original cornice



Front elevation window at first story, prior to unapproved work. Note, pilaster, wood trim, fixed windows and fixed transom



Front elevation porches, prior to unapproved work. Note, pilaster, wood trim, fixed windows and fixed transom

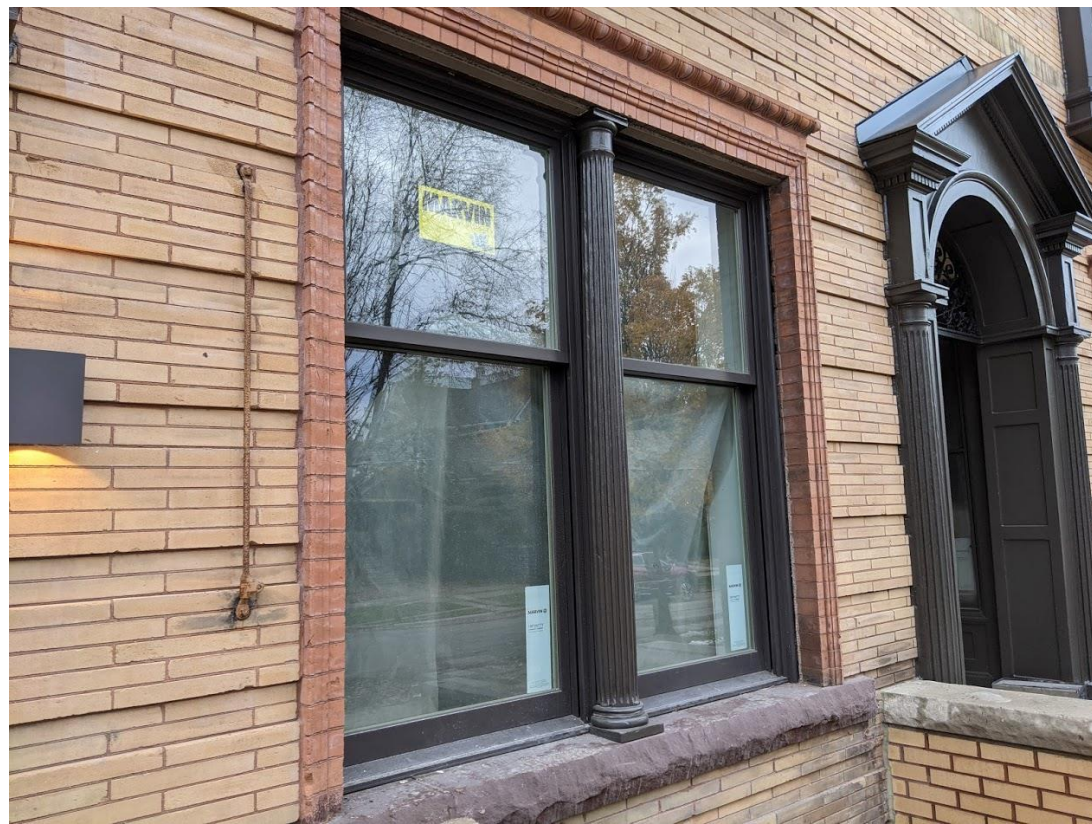
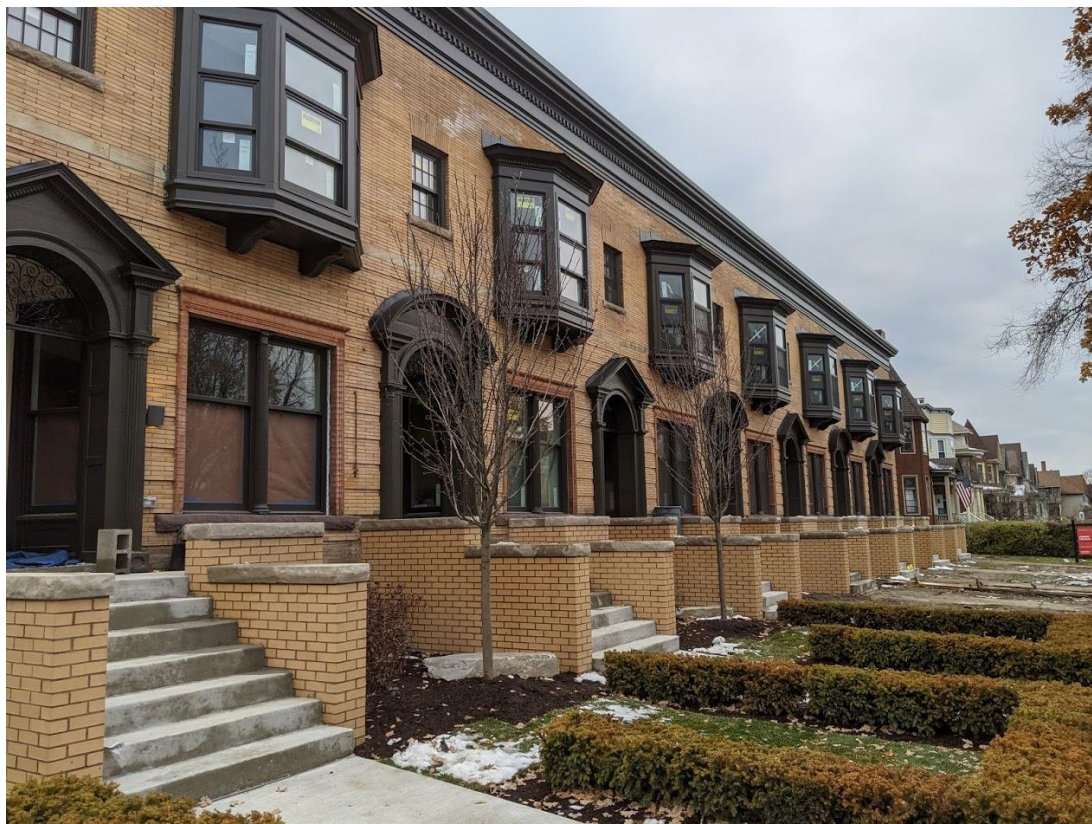


Front elevation window at second story, prior to unapproved work. Note 1/1 and 8/8 wood windows

Current appearance, photos taken 12/4/2020





















Front elevation, before unapproved work and after

First story windows (typical) prior to unapproved work, note wood trim



Current windows (typical), note wood trim between upper and lower windows has been removed, although pilaster remains



Second-story bay window (typical) prior to unapproved work, note 1/1/ windows. Also note 8/8 adjacent window



Second-story bay windows current (typical) note 1/1/ windows topped with transom. Also note 8/8 adjacent window



Historic metal cornice prior to removal. Note, “swag”/garland detailing



New FRP cornice. Note, that the decorative “swag”/garland was not replicated



Front elevation porch (typical) prior to unapproved removal. Note, that the brick wingwalls do not appear to be original/historic age



Front elevation porch (typical), current appearance



Project: 1627 Leverette

KM Consulting
17245 Woodbine

Architectural & Construction Services
Detroit, Michigan 48219

Subject: Historic - Building Review & Approval

Project: 1627 Leverette
Detroit, Michigan

Regarding: 1627 Leverette Proposed Work Item Description
City of Detroit – Planning & Development
Historic Building Division

Honorary Board Members:

We are seeking approval for the ongoing renovations at 1627 Leverette.
We are also seeking approval for some work items installed on the exterior of the building (which was done without Historical Division's Approval).

Non-Conforming Items To Be Corrected:

NC-Item #1 – Second Floor Bay Windows Replaced (without approval)
Corrections to be made - Remove installed windows & replace with units matching configuration of the original window units.

NC-Item #2 – First Floor Window – Removed 5-½" Middle Sash Rail Trim
Correction to be made – Re-install horizontal 5-½" Middle Trim Accent in location where existing member was removed.

Seeking Approval of the following items:

1. Removed & Re-built front porches. Original porches were failing, had brick that did not match existing, concrete porch deck had failed & the elevation between the porch & existing floor level in most cases exceeded a 9" step. The Porches' steps all exceed maximum riser height allowed. Riser height varied step to step.

Work Performed – Re-built wing walls with brick matching existing building. Replace & added steel support for front porch concrete deck. Removed damaged steps & failing wing walls; corrected stair riser heights.

2. Painted Exterior Wood Trim – Dark Bronze. (Seeking Approval)

Color of windows before renovations was a grayest tan with a mid-green accent (see pictures). Seeking approval of current dark bronze color.

3. Replaced Existing Wood Windows

The existing wood windows had significant water & insect damage. Many sashes were rotted & had failed due to age, water, wear & binding along the jambs. Due to the leaking roof & parapet, as well as the open voids around the windows' perimeter – both the masonry wall & headers required repairs (both interior / exterior) at most of the openings. Interior openings wood framing & nailers required replacement & re-squaring.

New windows were installed (without approval). Apart from the 2nd Floor Bay Windows and the 1st Floor Living Room Windows; the other windows installed matches the windows removed in dimensions & operation.

New windows are Vinyl Clad Wood Windows by Marvin – Signature Series – Insulated Low “E” Glass, with historic profiled perimeter trim. Dark Bronze Window product data is attached.

Seeking Approval for New Windows

4. Repair & Replace Rear Porch Decks.

(Seeking Approval for increase in rear porch deck width)

Repair & replacement of rear porches was previously approved. Increase dimension of rear porch deck from 5' to 8'-6". No material Change is proposed. Special Note – Color Section for Wood Stain is indicated on drawings.

5. Add Wood Privacy Screen at Rear Year (Seeking Approval)

Wood privacy screening was installed at Units #1 & #2. Seeking the Boards' approval to add screen at all units (see drawings for location).

6. Basement Stair Shed (Seeking Approval)

The basement stair enclosures had failing roofs, rotted framing, rotted sheathing, rotten and missing nailer plates at the foundation. Enclosures were improperly built. The exterior stairs down to the basement where too steep (had riser heights exceeding 10") and treads that were less than 6" wide. Headroom @ the top & bottom of the stair enclosure was near 6'.

Work Performed: Removed & Rebuilt Basement Stair Enclosure. Raised roof to provide proper clearance @ top & bottom of stair open. Removed & replaced existing concrete stair to provide greater tread width & lower riser heights. Reconstructed walls & roof. Installed treated wood plate and new wall & roof framing. Installed new sheathing, vapor barrier, exterior siding, felts & roofing shingles.

7. Rear Door Canopy – Replace with Flat Framed Canopy: (Seeking Approval)

The Rear Entry Roof Canopies were in a deteriorated condition with failing anchorage at & along the rear wall.

Removed existing gable framed canopy over doors. Proposed to install a new flat entry canopy with a membrane roofing cap. The new canopy will be installed in the void area above the door transom panel. (See pictures @ Units #1 & #2)

8. Replace Rear Door & Transoms (Seeking Approval)

The existing rear doors & frames were all severely damage (to some extent). The frames &/or doors were split & damaged (resulting from theft &/or vandalism. Over the years the doors have been replaced, patched & repaired. The patching & prior repairs are both un-sightly and poorly done. It was also our opinion that the rear doors will not contribute any value to the Historic character of the building (other than being old & un-sightly). See rear elevation pictures in report.

We are requesting approval to install a new wood clad glass entry door & new wood clad insulated glass transoms (at all 7 units). The new glass door & glass transoms have been installed on Units #1 & #2.

It should be noted that the original gable entry canopies were placed just over the top of the rear doors (see pictures). The original transoms nearly covered by the gable canopy. In most of the apartment units the interior transom panel was plywood (not glass).

New Work Proposed: We have reduced the overall height of the transom panel. However, we have increased the glazing opening dimension. The new doors & transoms will provide a uniform look and appealing character for the new wood deck & rear yard enclosure.

9. Change Yard Separation Fencing Material: (Seeking Approval)

The originally approved rear yard fencing was 4' high chain link fencing. We are proposing to install a new 6' High - Treated Wood (Stained) Privacy Fence along each unit's separation line. (See site drawing for location).

10. New Car Ports: (Seeking Approval)

We are proposing to install new open wall car ports at the previously approved rear parking slab. The car ports will be open on all sides, with a steel frame & pre-finished metal roof. The proposed color of the metal roof is red (close to the same hue of the building's rear wall.

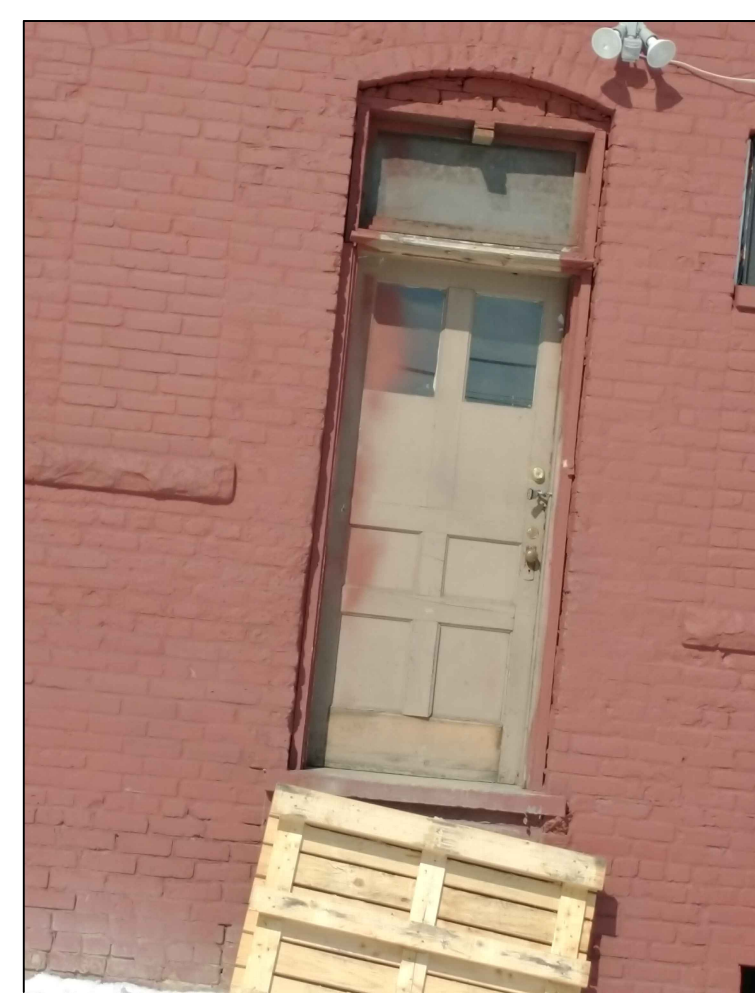
Thanks for your input and consideration. Any question please feel free to contact me.

Sincerely:

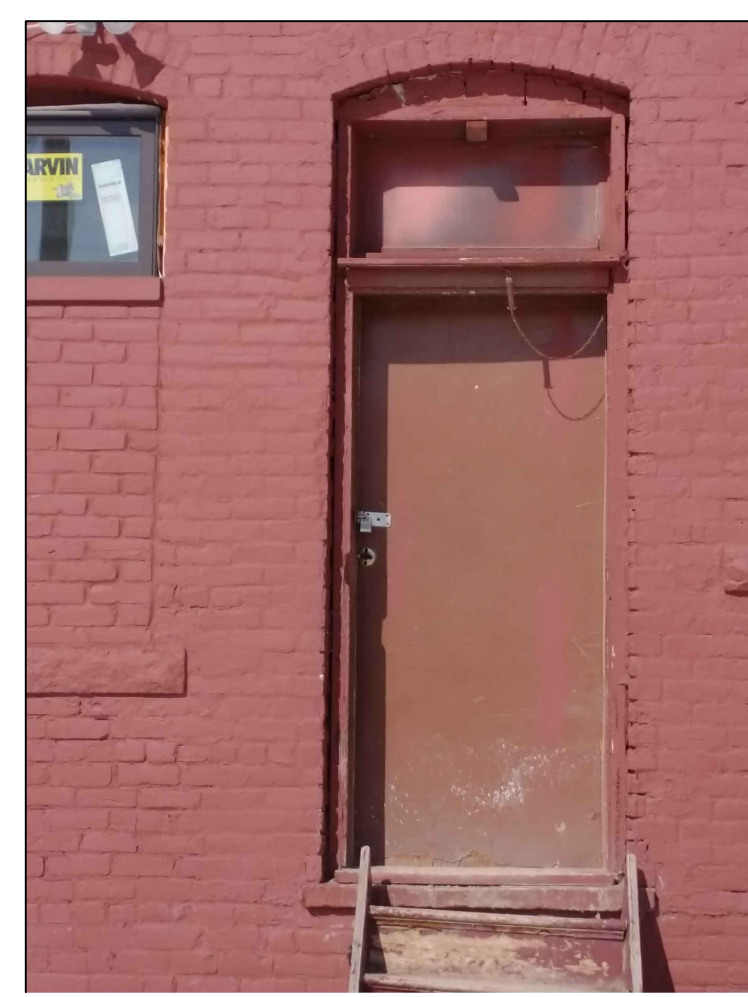
KM Consulting



Existing Unit Rear Door
(CURRENT)



Existing Unit Rear Door
(CURRENT)



Existing Unit Rear Door
(CURRENT)



Existing Unit Rear Door
(CURRENT)



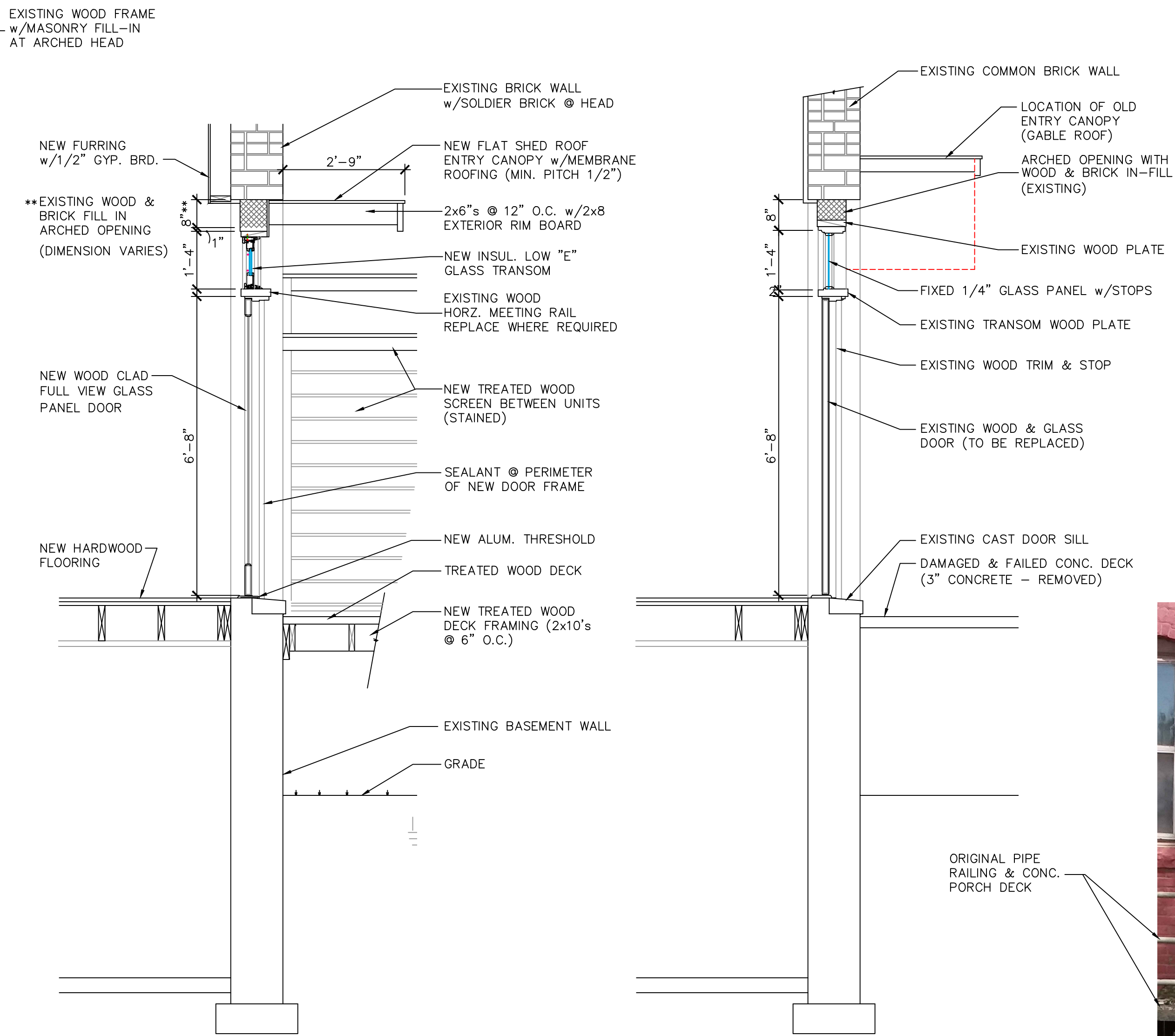
Existing Unit Rear Door
(CURRENT)



Enlarged View of Existing Door Transom Opening



Enlarged View of New Door Transom Opening



Proposed Door Replacement

Existing Door Opening

Work Modified and Installed

- REMOVED GABLE ROOF ENTRY CANOPY
- REMOVED PIPE RAILING & FAILING CONCRETE PORCH DECK
- REMOVED & REPLACED EXISTING WINDOWS
- REMOVED & MODIFIED BASEMENT STAIR ENCLOSURE
- INSTALLED NEW TREATED WOOD PORCH DECK AND TREATED WOOD RAILING & PRIVACY SCREEN

NOTE: ALL DOORS @ EXISTING APARTMENT ENTRIES ARE DIFFERENT IN STYLE & MAKE UP



Existing Porch - Rear Door

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216

NO	DESCRIPTION	DATE
1	Historic Approval	1/27/21

ISSUED FOR:

PROJECT TITLE
CORK TOWN 's
Newly Renovated
LIVING UNITS

Leverette St.
Detroit, Michigan

DRAWN **KM**

CHECKED **-**

APPROVED **-**

SHEET TITLE
Rear Door and
Wall Pictures

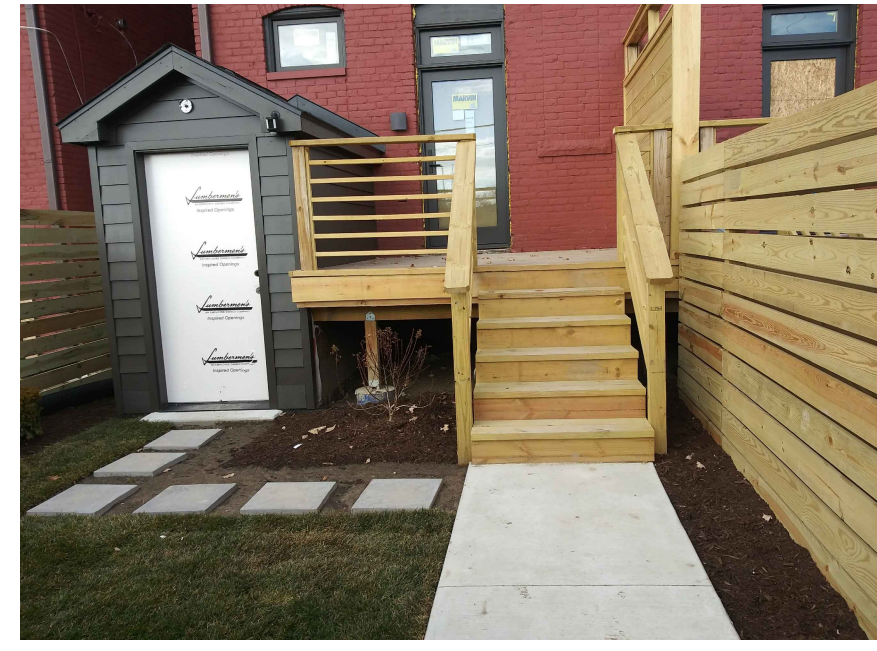
PROJECT NO.

SHEET NO.

DATE

HC-5

1/15/2021



New Rear Porch Deck

(UNIT #2 - REAR PORCH DECK SHOWN)
 NEW PORCH DECK & BASEMENT STAIR ENCLOSURE
 NEW WINDOWS INSTALLED - NEW REAR DOOR INSTALLED
 NEW SOD & WALKS INSTALLED (UNITS #1 & #2)
 REAR WALL PAINTED

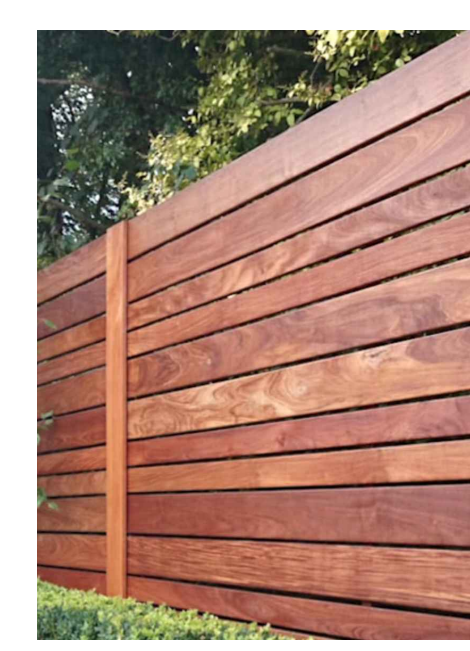


New Rear Yard

(UNIT #2 - VIEW TOWARDS WEST)



New Rear Yard

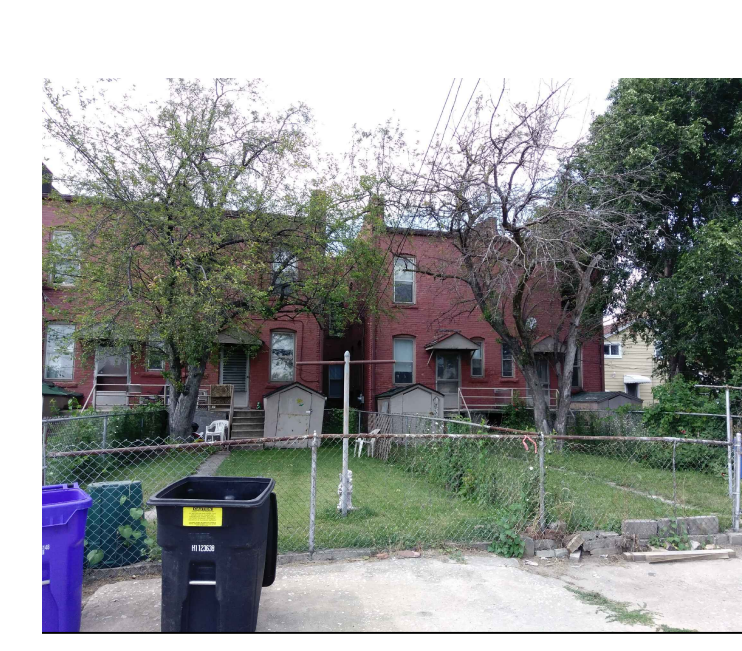


Example of Fence Stain Color



Condition of Rear Building Before Exterior Modifications

(NOTE - TUCK POINTING & WALL REPAIRS UNDERWAY)
 NEW ROOF & DOWNSPOUTS INSTALLED

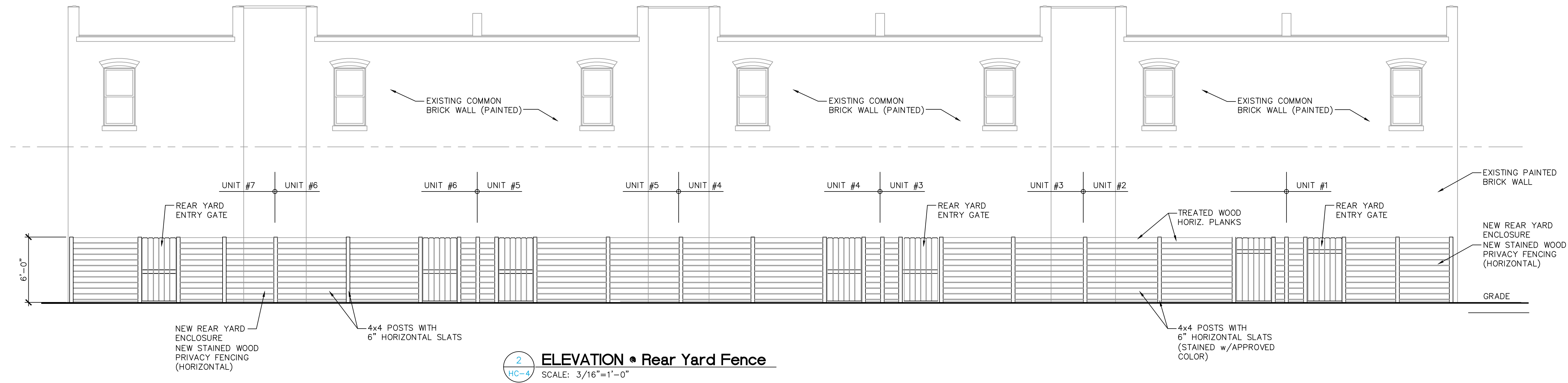


View of Rear Yard (East End) Before Renovations

NOTE: NEW ROOF & DOWNSPOUTS INSTALLED

NOTES:

Project: **Leverette Apartments - Exterior Corrections**
Existing Apartment Renovations
 Leverette Development, LLC
 1627 Leverette Street
 Detroit, Michigan 48216



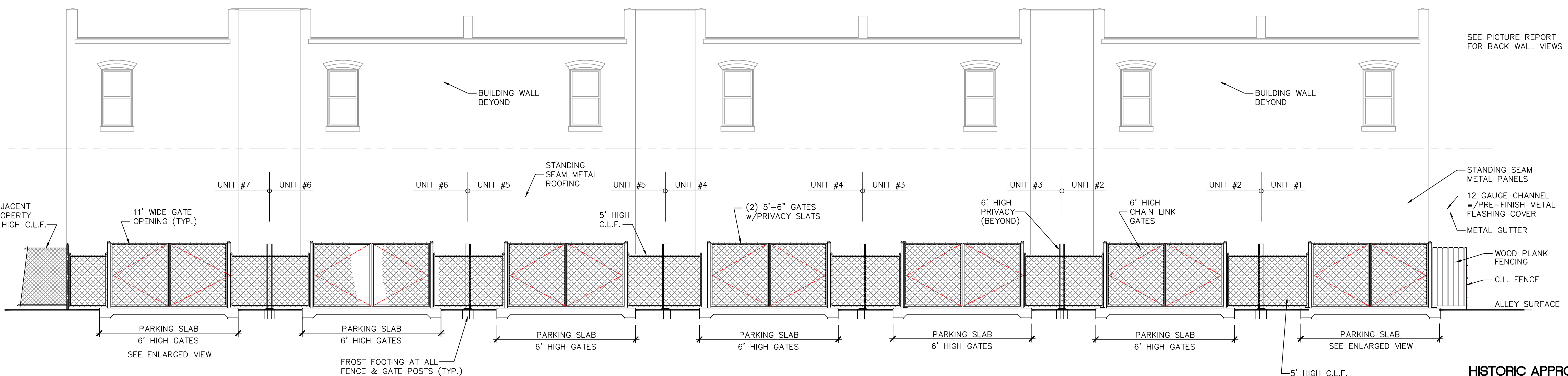
2 ELEVATION • Rear Yard Fence
 SCALE: 3/16"=1'-0"

PRIVACY FENCE NOTE:

NEW 6' PRIVACY FENCE & SCREEN (TREATED PINE)
 4x4" MAIN POSTS, WITH 12"x42" FROST FOOTING;
 1x6 TREATED PINE WOOD PLANKS
 ALL DECKS & WOOD FENCING TO BE STAINED (APPROVED COLOR) SEE COLOR SAMPLES

CHAIN LINK FENCE NOTE:

NEW 6' CHAIN LINK FENCE (GALV.) w/BROWN VINYL COATING
 1-1/2" DIA. POSTS, 8"x42" FROST FOOTING,
 1-3/8" DIA. TOP & BOTTOM RAILS,
 2-1/2" DIA. CORNER & GATE POSTS, 12"x42" FROST FOOTING;
 1-1/2" GATE FRAMING w/CENTER BRACING;
 HEAVY DUTY 270deg SWING HINGES, POST CAPS



1 ALLEY ELEVATION (South)
 SCALE: 3/16"=1'-0"

HISTORIC APPROVAL
 EXTERIOR MODIFICATIONS

1	Historic Approval	1/27/21
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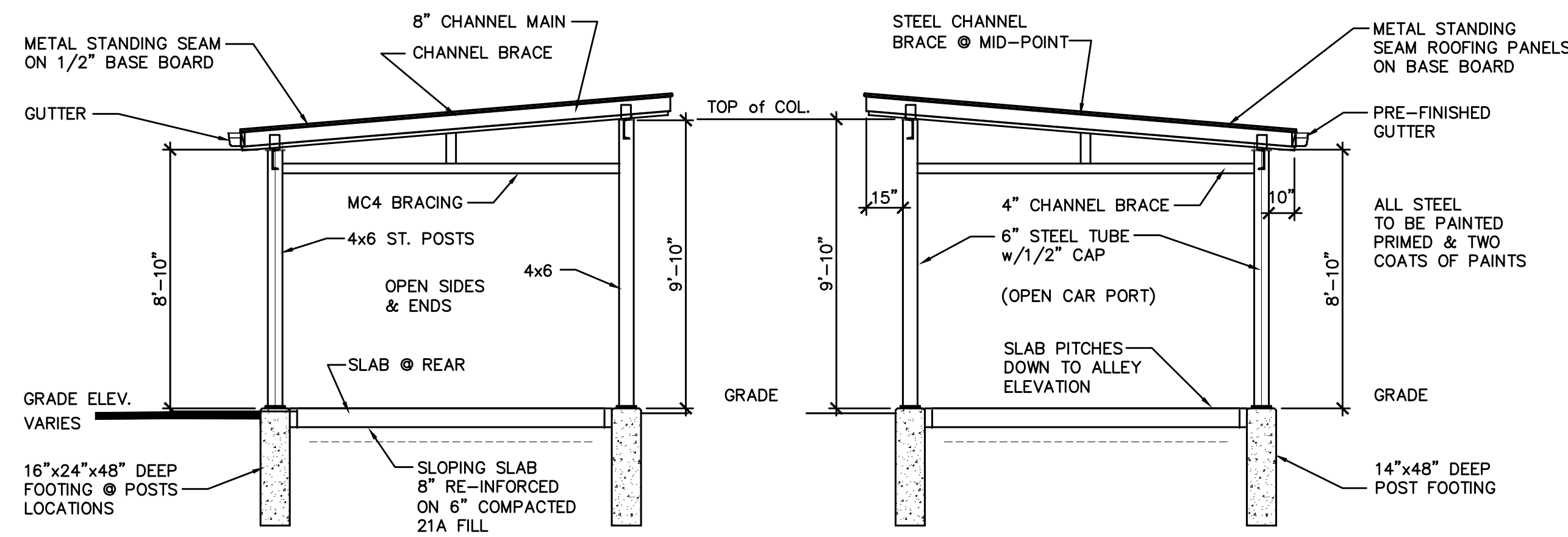
ISSUED FOR:

PROJECT TITLE
CORK TOWN 's Newly Renovated LIVING UNITS
 Leverette St.
 Detroit, Michigan

DRAWN	KM
CHECKED	-
APPROVED	-

SHEET TITLE
Car Port Plan and Elevation

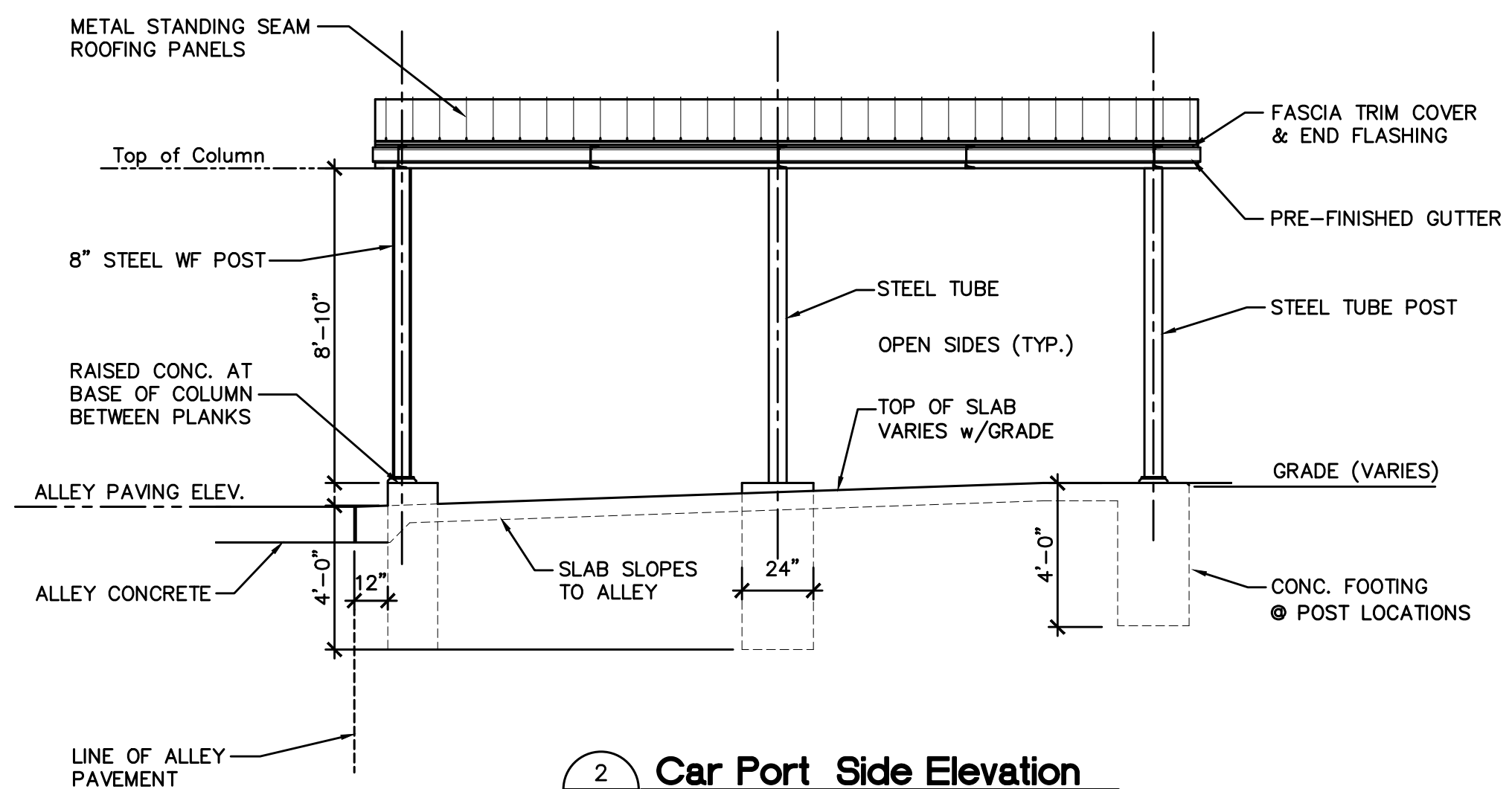
PROJECT NO.	SHEET NO.
	HC-4
DATE	1/15/2021



4 Group Elevation (South)
HC-6 SCALE: 1/4"=1'-0"

3 Car Port Back Elevation
HC-6 SCALE: 1/4"=1'-0"

UNITS 2/4/6&7 - (UNITS 1/3/5) OPPOSITE



2 Car Port Side Elevation
HC-6 SCALE: 1/4"=1'-0"

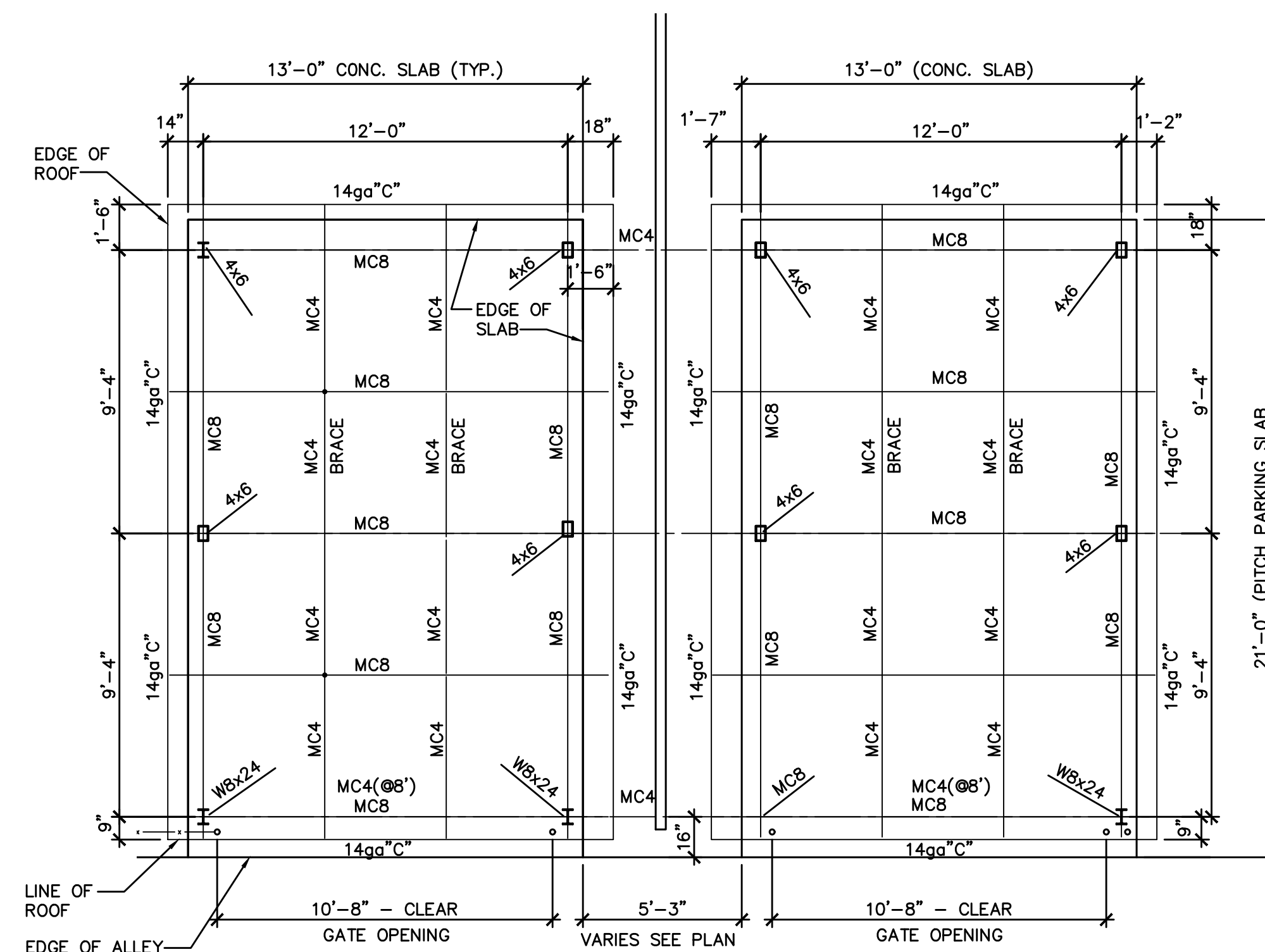
UNIT #1 & 2 SHOWN



(EXAMPLE OF FRAMING SYSTEM)

GENERAL WORK NOTES TYPICAL:

1. INSTALL CAR PORT FRAMING, ROOFING & SIDE WALL CLOSURE PANELS
2. ADJUST DIMENSIONS OF ORIGINAL SLAB TO DIMENSIONS SHOWN
3. MODIFIED & ADJUST REAR PORCH DECK DIMENSIONS AS SHOWN
4. STEEL COLUMNS TO HAVE 1" LEVELING BED & BE SET ABOVE SLAB AS SHOWN
5. ADJUST TOP ELEVATIONS OF COLUMN POSTS AS REQUIRED FOR SLOPING GRADE. NOTE: RAISE FOOTING ELEVATIONS AS REQUIRED @ STEEL COLUMNS
6. INSTALL WOOD PRIVACY PANEL FENCING WHERE INDICATED
7. STANDING SEAM ROOFING SHALL BE EQUAL TO McELROY METAL - MIRAGE PANELS 1-5/8" RIBBED 24 GAUGE PANELS, UL580 CLASS 90 RATING, KYNAR 500 FINISH; 14 GAUGE "CEE" BRACING SUPPORTS; MANUFACTURER'S STANDARD CLIPS w/ SPACING SHALL NOT EXCEED 18" O.C.; FLASHING & TRIM BY MANUFACTURER
8. OPEN SIDES & END OF CAR PORTS, ADJUST GRADES ALONG NEW CONCRETE SLAB AS REQUIRED, MAX OF 2" GRADE DIFFERENCE ALONG SLAB'S EDGE
9. CAR PORT FRAMING / CONNECTIONS SHALL BE DESIGNED BY MANUFACTURER / SUPPLIER; OR ALL CONNECTIONS SHALL BE WELDED - 1/4" FILLET (FULL LENGTH OF CLIP BRACKETS)



1 Car Port Framing Plan (Typically)
HC-6 SCALE: 1/4"=1'-0"

SPECIAL NOTE:

PROPOSED NEW CAR PORTS
REPLACE EXISTING WINDOWS IN LIEU OF REPAIR
INCREASE SIZE OF REAR PORCH DECK

JUNE 15, 2020

HISTORIC APPROVAL
EXTERIOR MODIFICATIONS

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216

1	Historic Rev.	1/27/21
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NO.	DESCRIPTION	DATE
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ISSUED FOR:

PROJECT TITLE

**CORK TOWN 's
Newly Renovated
LIVING UNITS**

**Leverette St.
Detroit, Michigan**

DRAWN KM

CHECKED -

APPROVED -

SHEET TITLE

**Car Port Plan
and Elevation**

PROJECT NO.

SHEET NO.

DATE

1/15/2021

HC-6

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
1	Historic Approval	1/27/21
1	Historic Review	6/20/20

ISSUED FOR:

PROJECT TITLE
CORK TOWN 's
Newly Renovated
LIVING UNITS

Leverette St.
Detroit, Michigan

DRAWN	KM
CHECKED	-
APPROVED	-

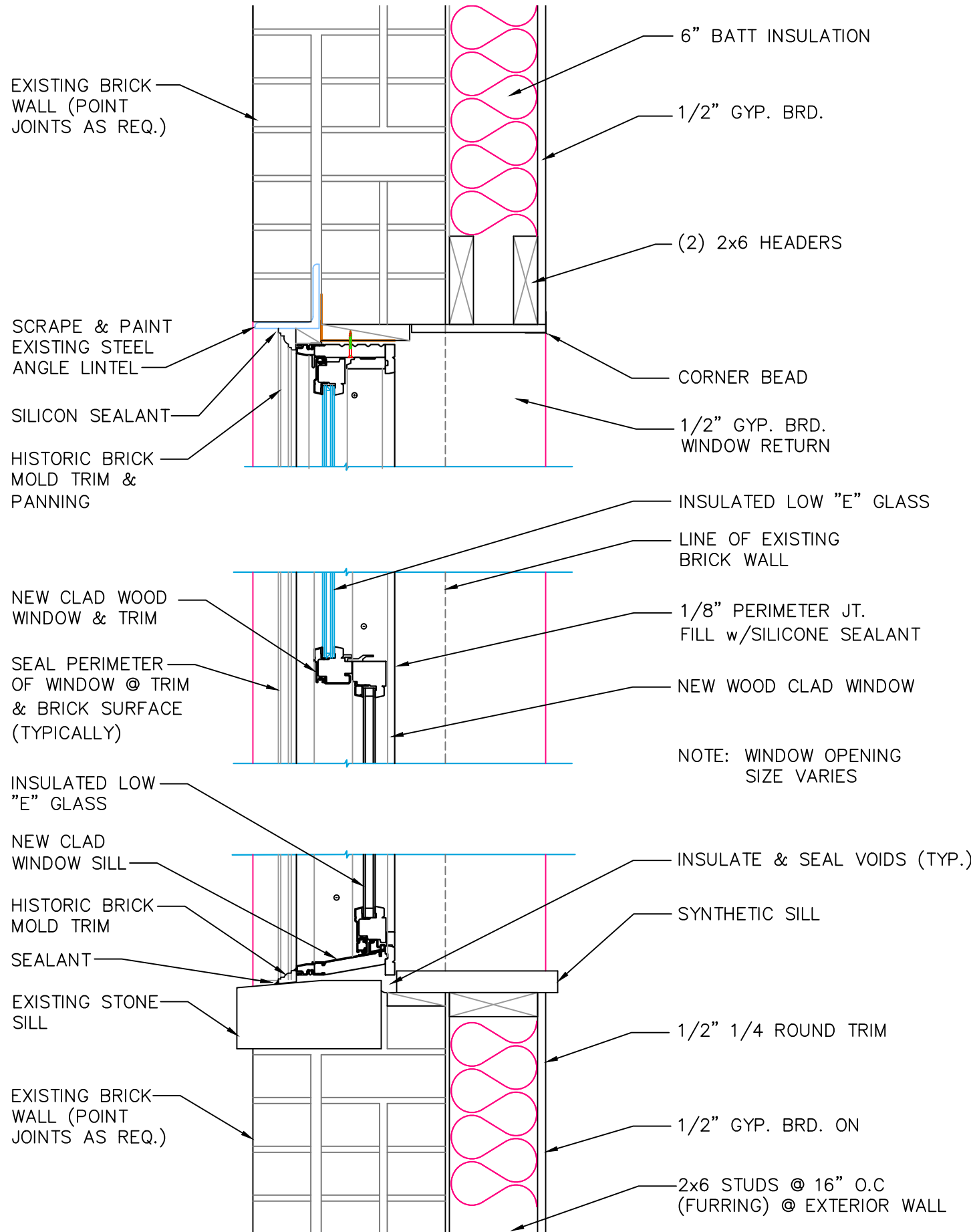
SHEET TITLE
Front Window
Corrections

PROJECT NO.	SHEET NO.
DATE	Sketch HC-2
1/15/2021	

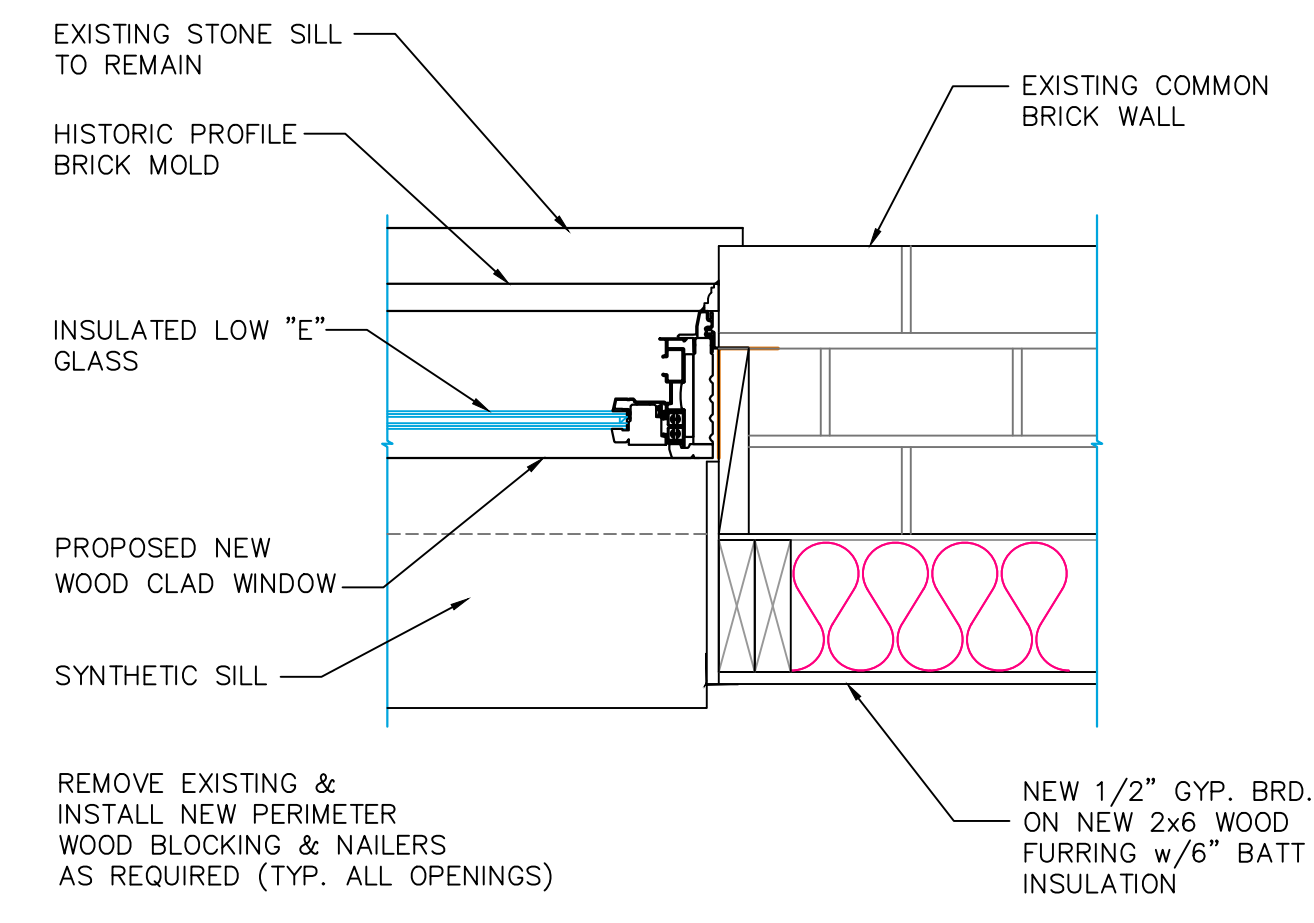
SPECIAL NOTE:
THE EXISTING WOOD WINDOWS HAVE DETERIORATED BEYOND THE POINT OF REPAIR, OVER 65 PERCENT HAVE ROTTED &/OR HAS INSECT DAMAGED SILLS, JAMBS & SASHES. MANY OF THE ANCHORAGE LOCATIONS HAVE DAMAGED BLOCKING OR FAILED ANCHORS
MOST SASHES ARE DAMAGED BEYOND A COST EFFECTIVE REPAIR

SPECIAL NOTE:
REPLACE EXISTING WINDOWS IN LIEU OF REPAIR
INCREASE SIZE OF REAR PORCH DECK
JUNE 15, 2020

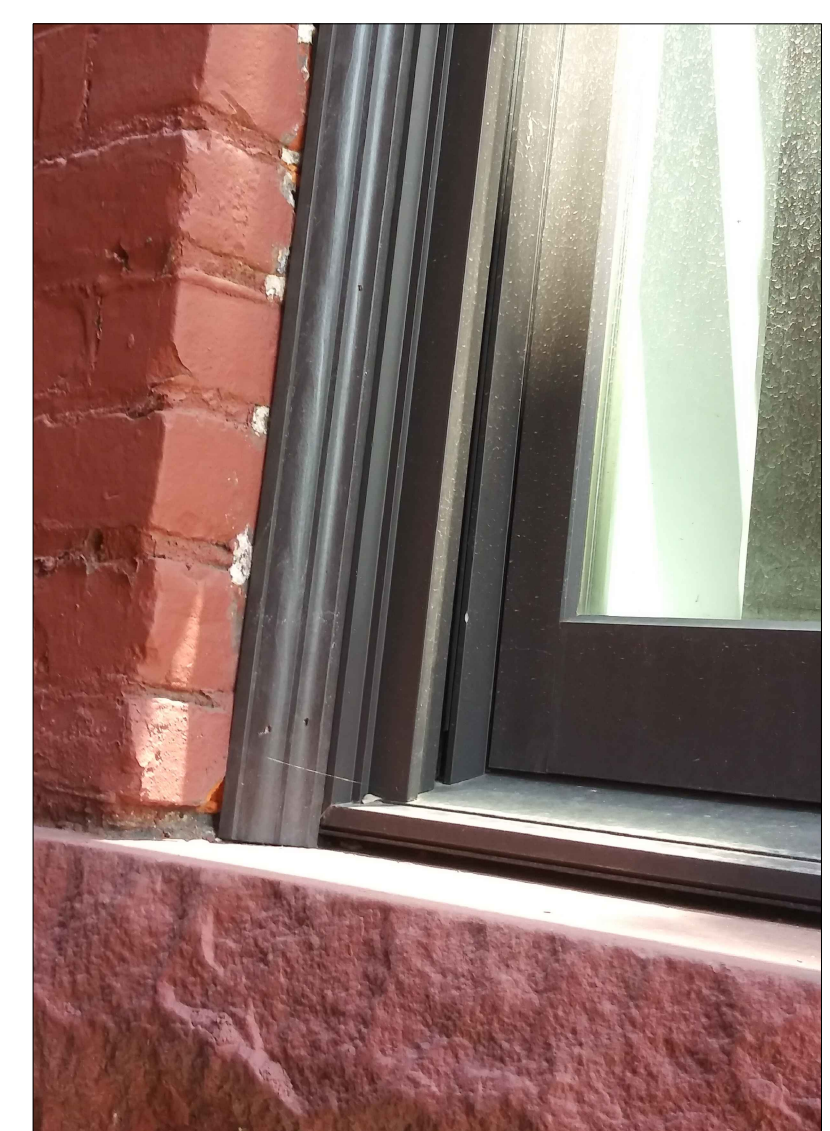
HISTORIC APPROVAL
EXTERIOR MODIFICATIONS



1 TYPICAL WINDOW DETAIL
SCALE: 1-1/2"=1'-0"



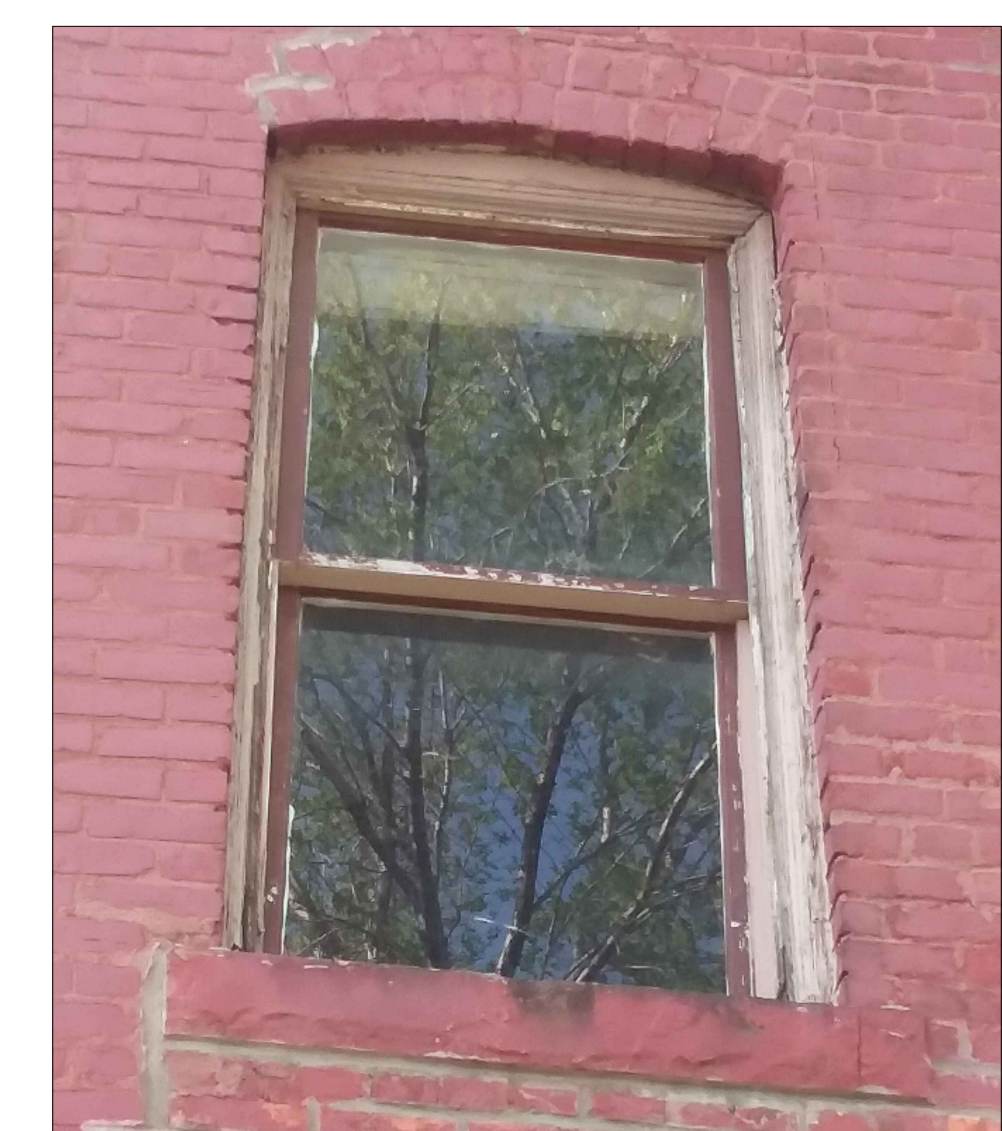
2 TYPICAL JAMB DETAIL
SCALE: 1-1/2"=1'-0"



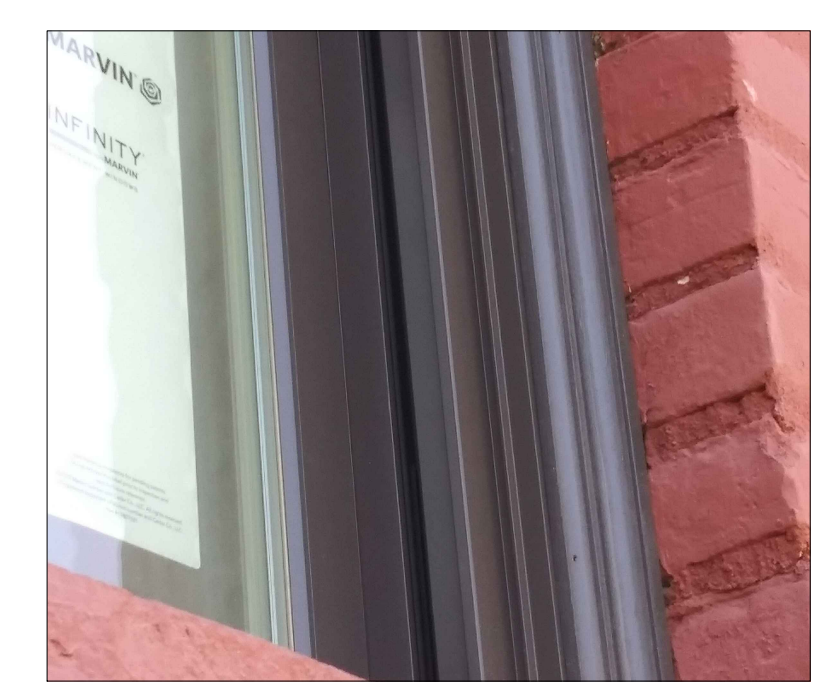
Typical Window
Proposed New Window
WITH HISTORIC BRICK MOLD TRIM



Typical Window
Proposed New Window
WITH HISTORIC BRICK MOLD TRIM



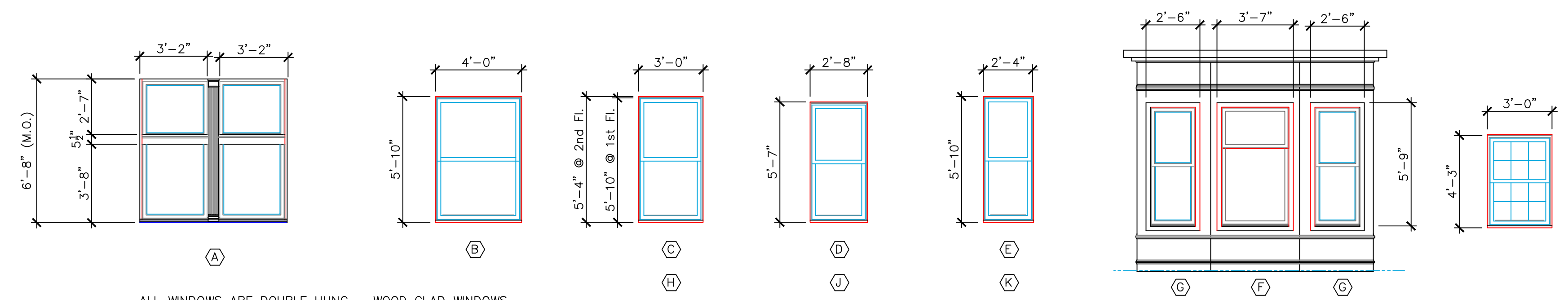
Typical Window
INSTALL NEW WINDOWS MATCHING EXISTING



Typical Window
Historic Profile Brick Mold



Building Before Renovations
South Wall - Units 1 and 2

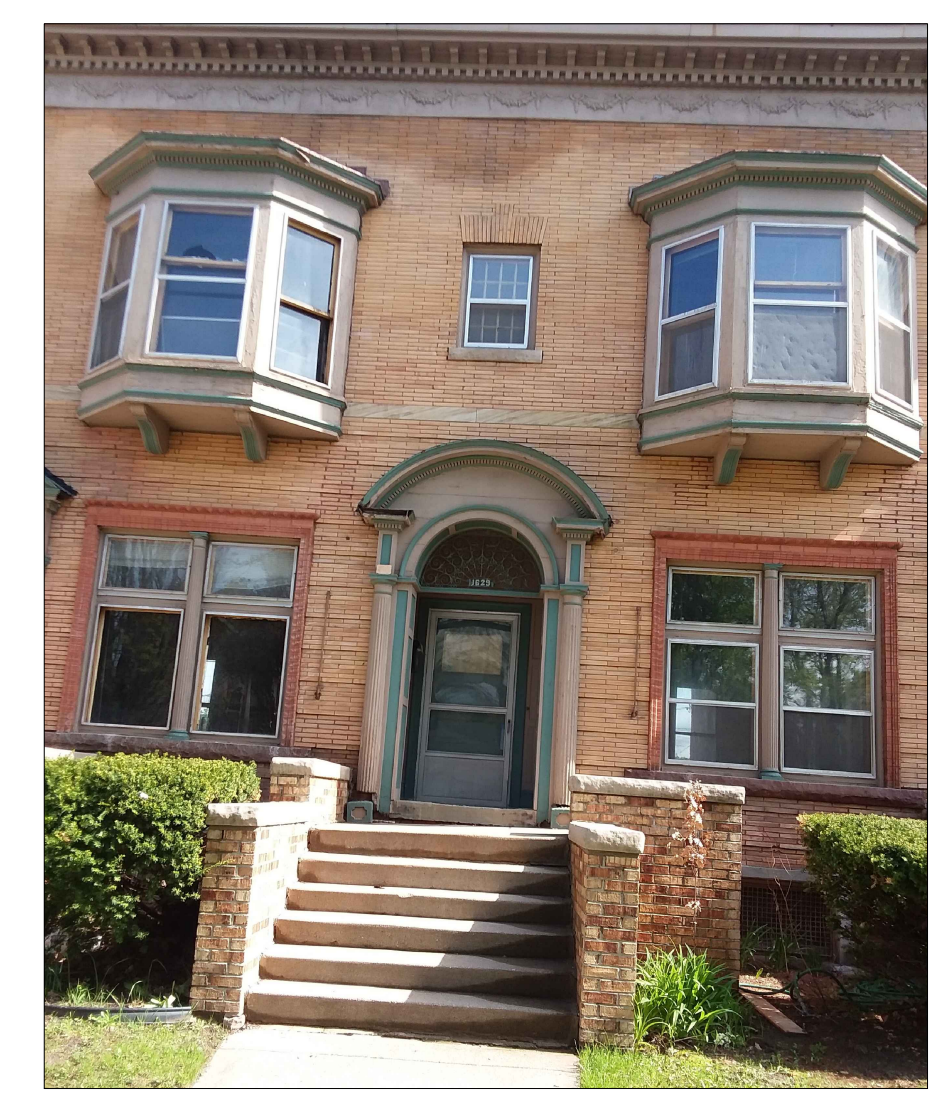


ALL WINDOWS ARE DOUBLE HUNG - WOOD CLAD WINDOWS WITH LOW "E" GLASS
 PROPOSED WINDOW: MARVIN - INFINITY SERIES, WOOD CLAD WINDOWS WITH PRE-FINISHED METAL EXTERIOR CLADDING, INSULATED LOW "E" GLASS; HISTORIC SERIES w/HISTORIC PROFILE BRICK MOLD TRIM & FLASHING

Window Types:



Proposed New Window
NOTE: (HISTORIC TRIM TO BE INSTALLED)



Building Before Renovations
Front Entry Porch (Typical)

PROPOSED RESOLUTION:

PARAPET LEVEL
 INSTALL DECORATIVE LEAF ON CORNICE (EXPECTED DELIVERY FOR DECORATIVE LEAF - MARCH 1, 2021)

SECOND LEVEL
 REMOVE UN-APPROVED BAY WINDOWS & INSTALL NEW WINDOW MATCHING PROPORTIONS OF EXISTING BAY WINDOW OPENINGS; REPAINT TRIM ACCENT (COLOR #2) (BASE COLOR TO REMAIN THE SAME)

FIRST LEVEL
 RE-INSTALL HORIZONTAL TRIM MEMBER AT MEETING RAIL - (RE-INSTALL HORIZONTAL TRIM AT LOCATION OF REMOVED WINDOW HORZ. MEMBER)
 APPLY NEW TRIM COLOR ACCENT AS INDICATED ON PICTURE OF ENTRY

PROPOSED COLOR (SEE COLOR CHIP)



SW0035 - INDIAN WHITE
 COLOR #2 (New to be Added)

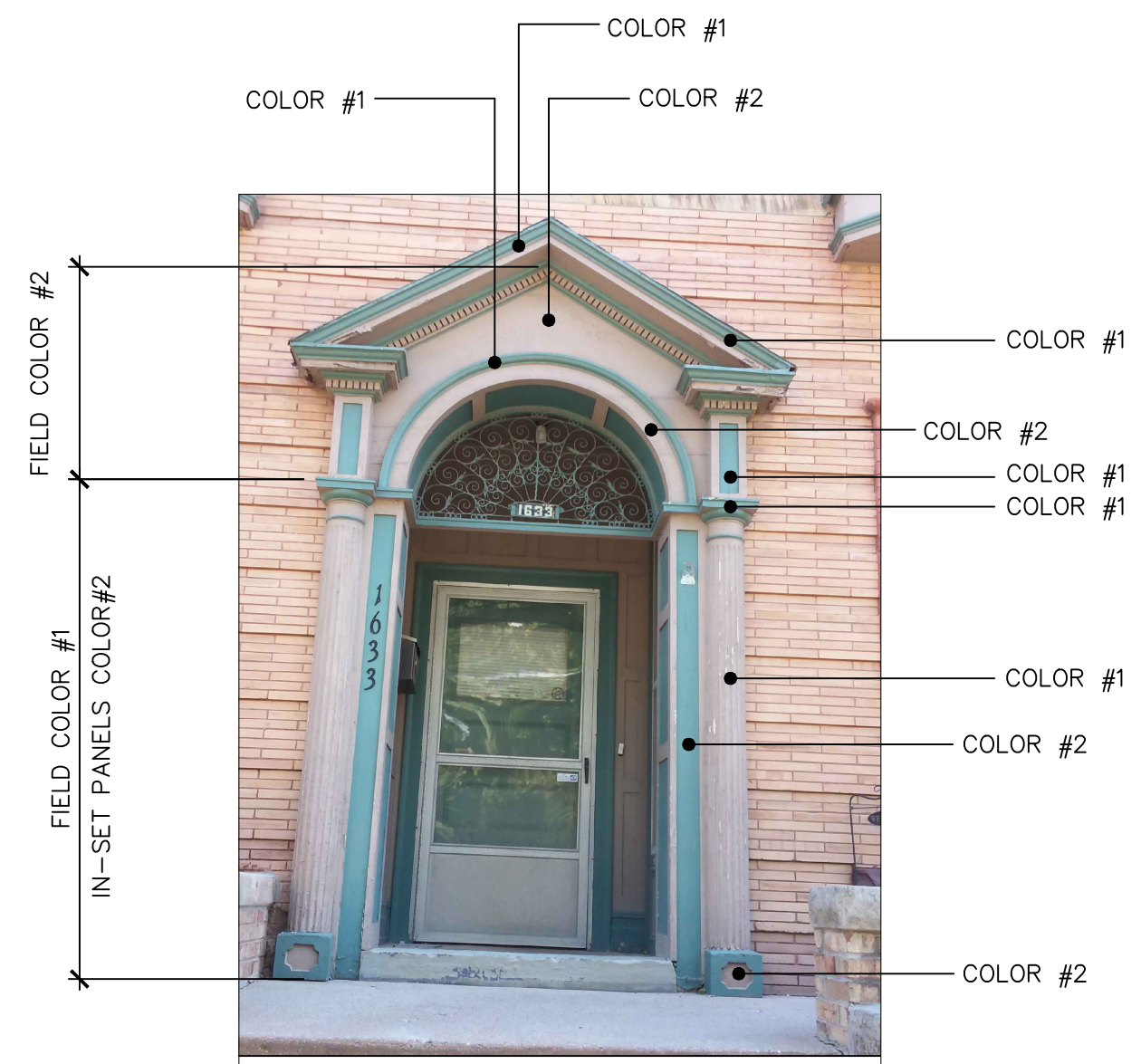
SW7675 - SEALSKIN
 COLOR #1 (Current - Dark Bronze)

SPECIAL NOTE:
 THE FRONT ENTRY ARE ALL EXISTING TRIM & DOORS; THAT HAVE BEEN REPAIRED, RE-FINISHED & NEW HARDWARE INSTALLED

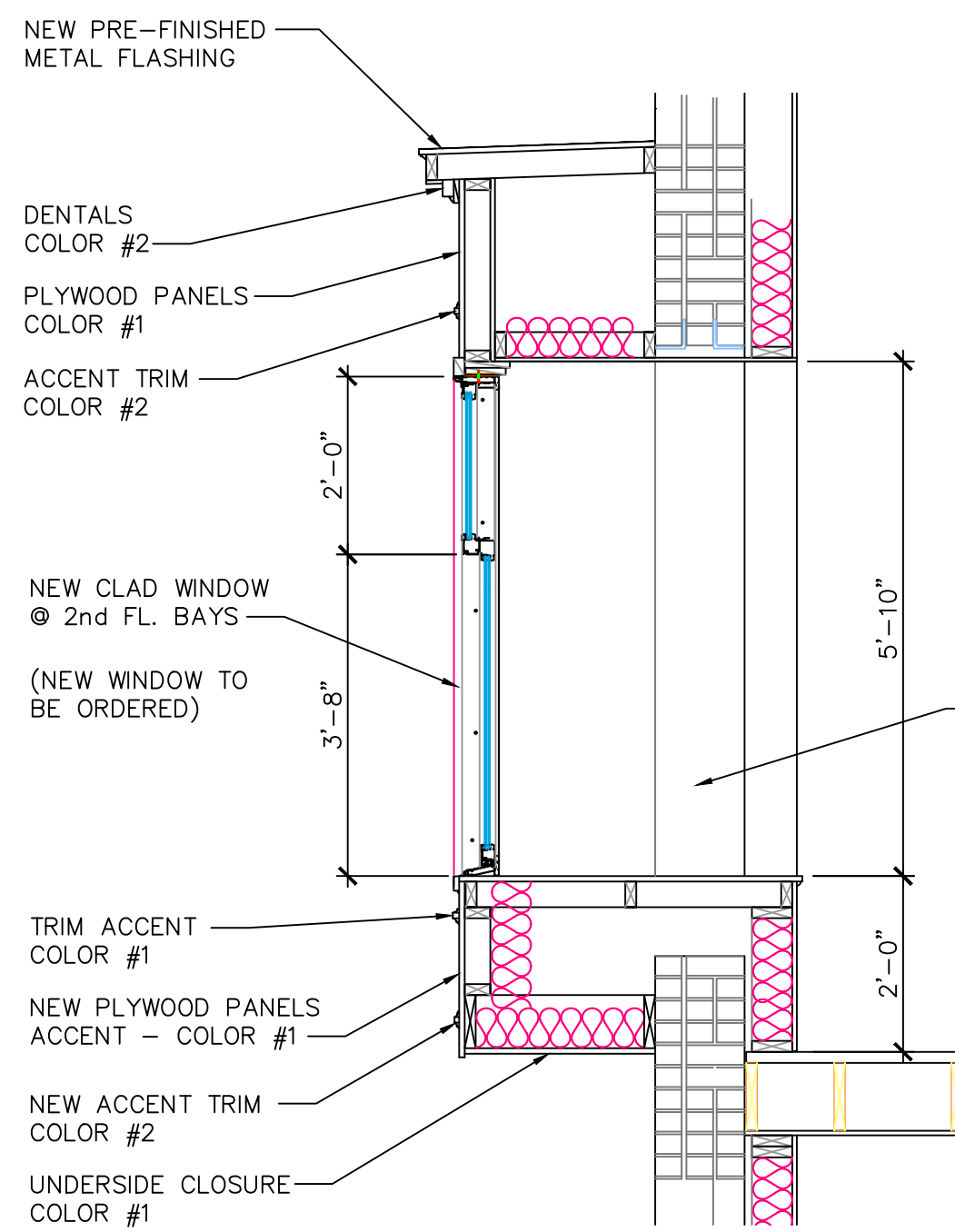
COLOR SELECTION



Entry Way (Current)



Existing Entry Way Before Re-Painting



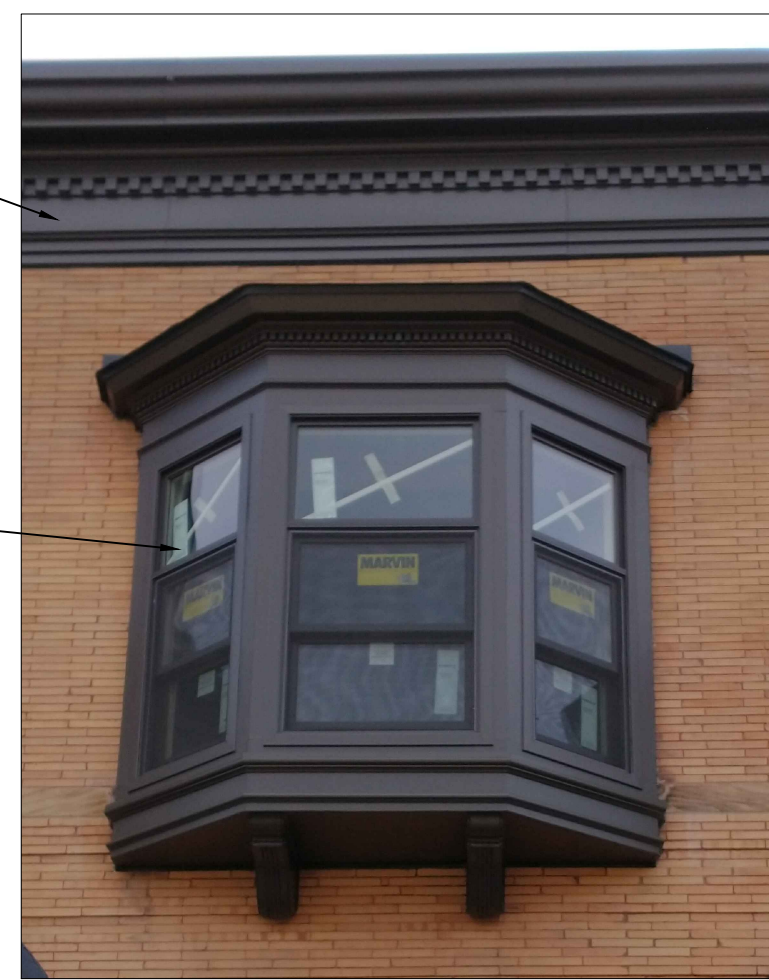
New Window Section • Bay

INSTALL DECORATIVE LEAFS ON CORNICE

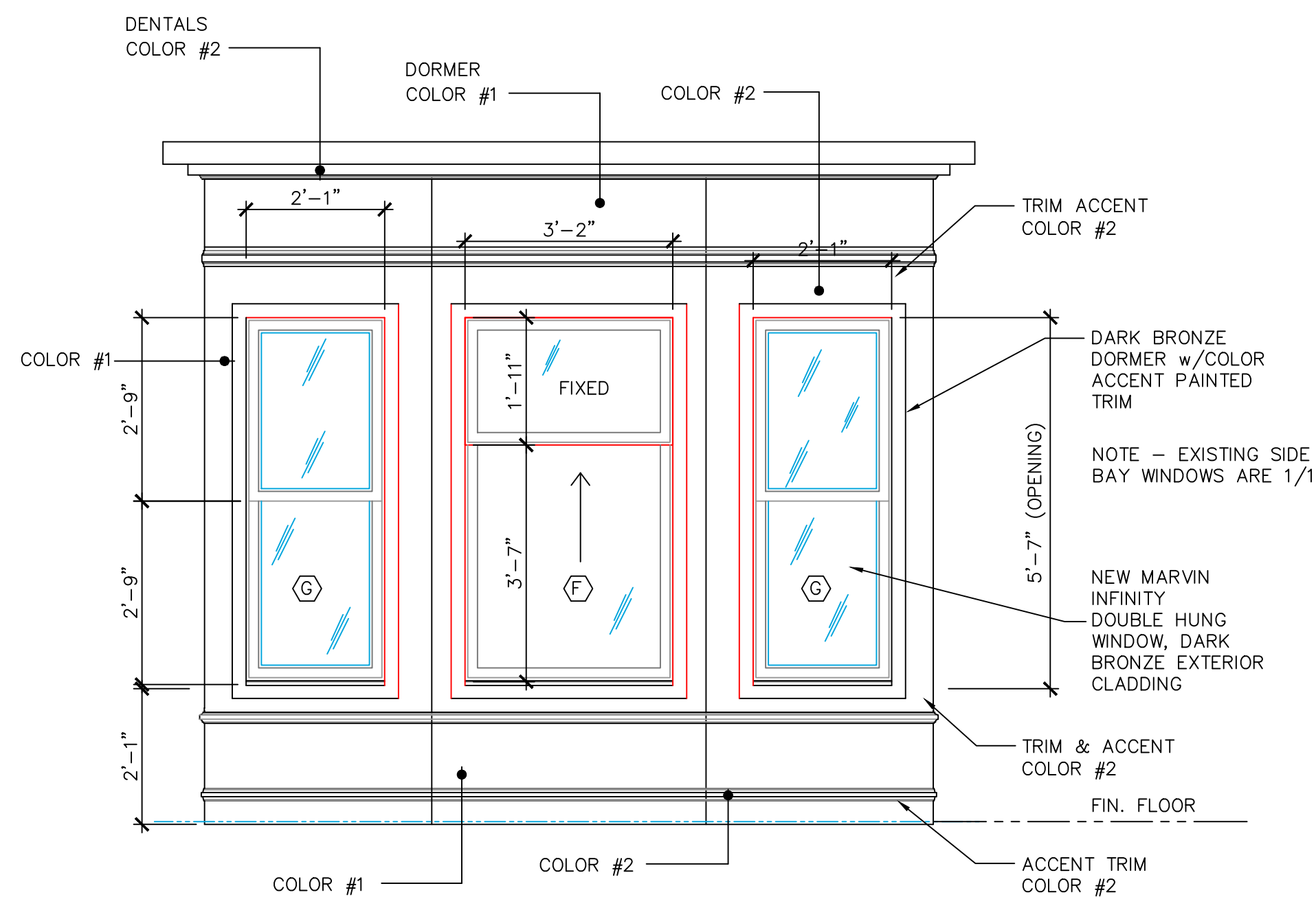
APPLY ACCENT COLOR (SEE ELEVATION)

REPAIRED & RE-BUILT BAY WINDOW ENCLOSURE

REMOVE & REPLACE CURRENT BAY WINDOWS WITH UNIT MATCHING THE ORIGINAL WINDOW



**(Currently Installed)
 Bay Windows To Be Removed**

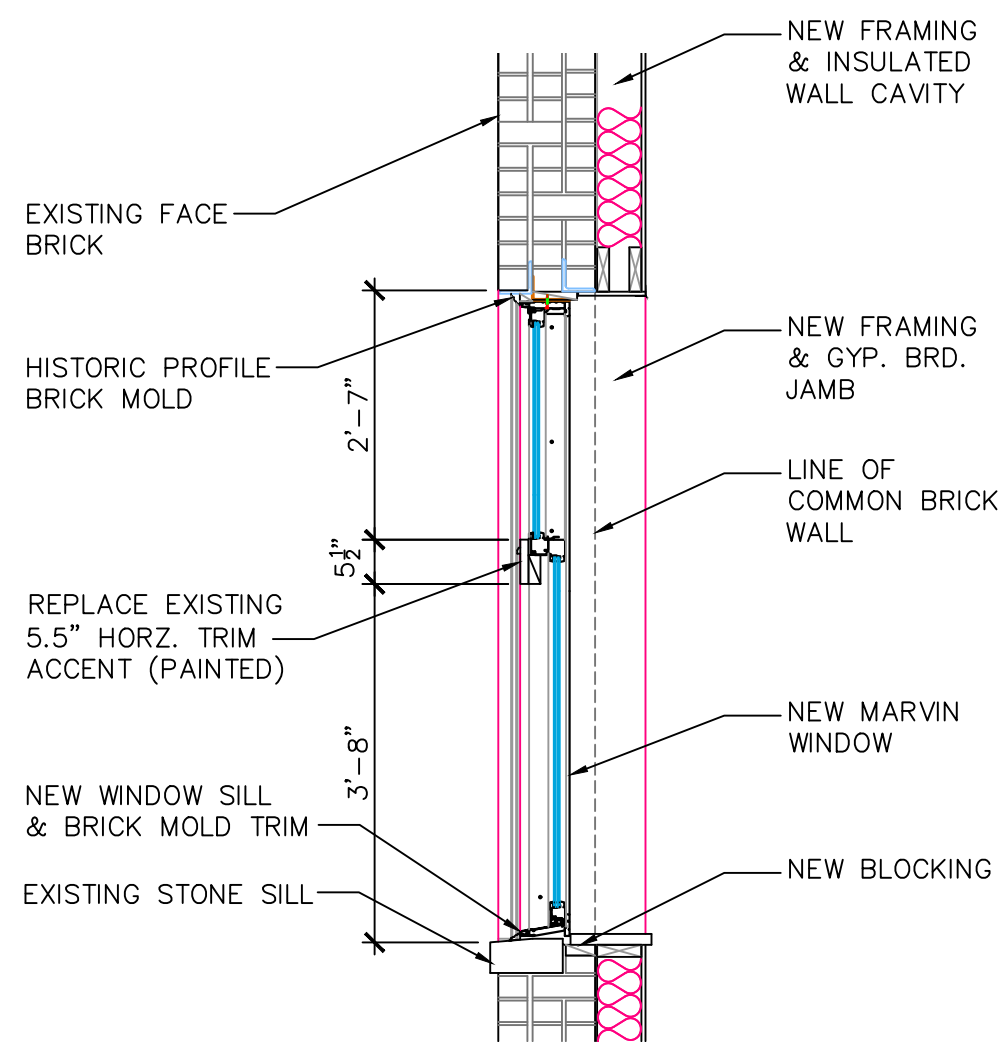


Bay Window Elevation

(NEW WINDOWS TO BE ORDER UPON APPROVAL)
 (DIMENSIONS SHOWN ARE THE SIZE OF THE REMOVED WINDOWS - NEW WINDOW SHALL BE ORDERED AS SHOWN)



Bay Window Before Replacement

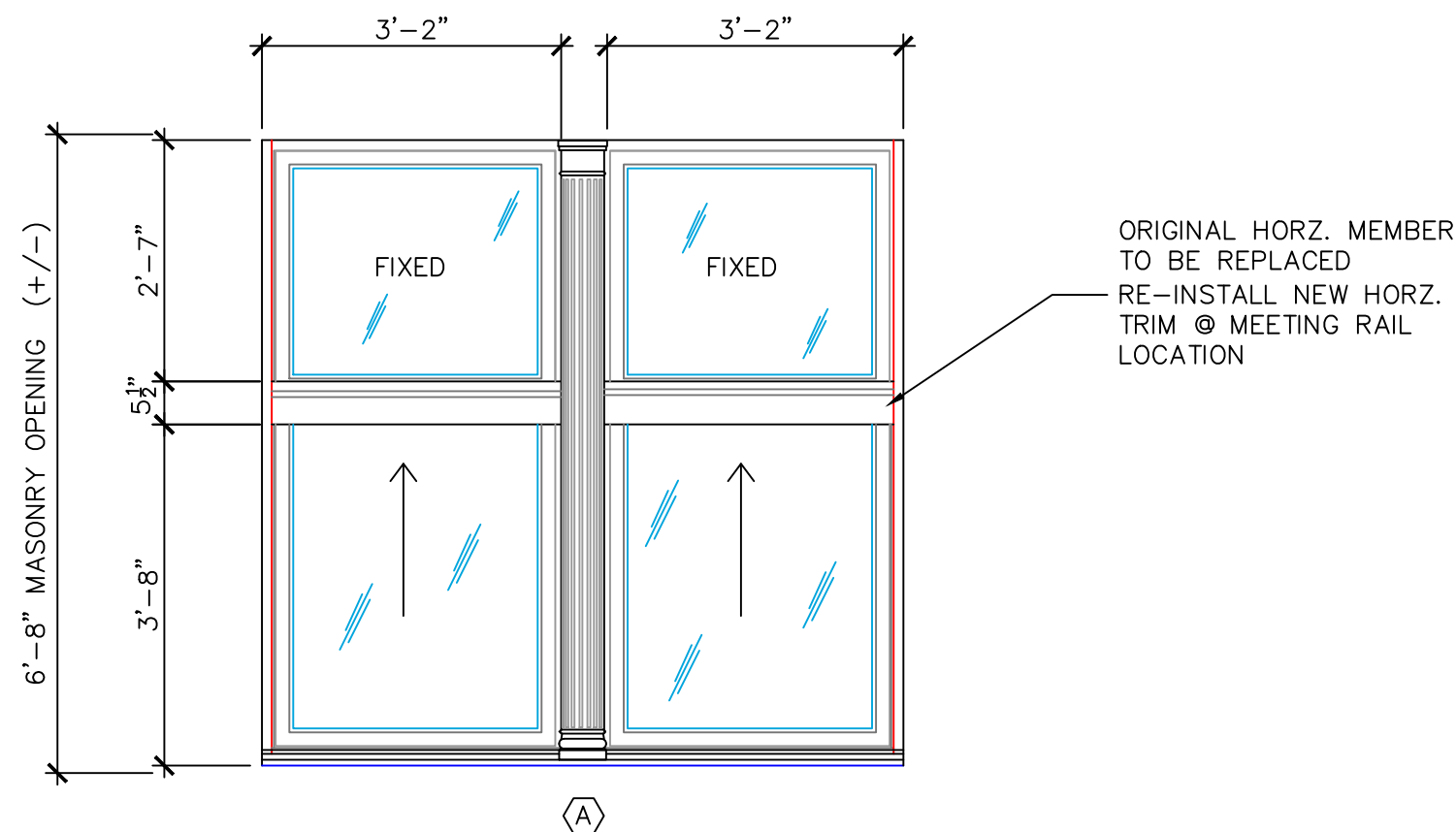


Window Section / Detail



1st Floor Window

NOTE: HORIZONTAL TRIM @ MEETING RAIL (TO BE INSTALLED)



Existing Window Elevation



Window Before Replacement

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
1	Historic Approval	1/27/21

ISSUED FOR:

PROJECT TITLE

**CORK TOWN 's
 Newly Renovated
 LIVING UNITS**

**Leverette St.
 Detroit, Michigan**

DRAWN **KM**

CHECKED **-**

APPROVED **-**

SHEET TITLE

**Front Window
 Corrections**

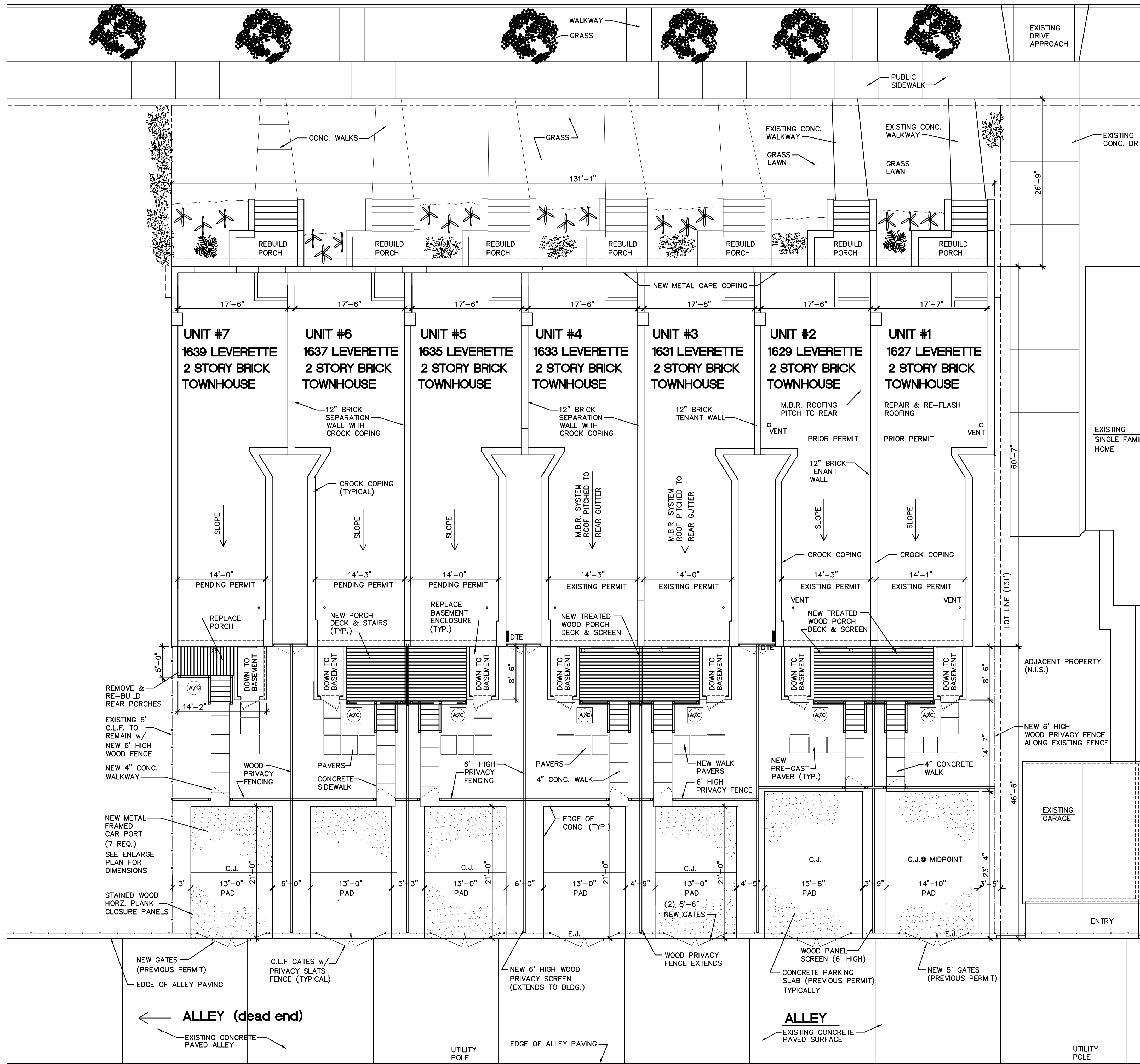
PROJECT NO.

DATE
 1/15/2021

SHEET NO.

**Sketch
 HC-3**

LEVERETTE ST.



Zoning - R2
PROPERTY DESCRIPTION:

1627 & 1629 LEVERETTE, LOTS 13 to 16;
 1631 & 1633 LEVERETTE, LOTS 13 to 16;
 PARCEL #08000416; .391 ACRES, 130' x 131'
 BEECHERS LUTHER SUB-DIVISION
 (PREVIOUS PERMIT - UNITS #1 & #2 - ON GOING)
 (THIS PERMIT - UNITS #3 & #4)

REAR PORCH DECK NOTES:

ALL WOOD SHALL BE TREATED LUMBER
 ALL DECK CONSTRUCTION SHALL COMPLY WITH CURRENT CODES
 ALL BASE ANCHORS SHALL ME SIMPSON STRONG TIES
 POST FOOTINGS SHALL EXTEND 48" BELOW GRADE
 DECK BOARD SHALL BE ANCHORED WITH DECK SCREWS
 PORCH DECK LEDGER BEAM SHALL BE THRU BOLTED w/3/8" DIA. HEAD STUDS
 STAIRS STRINGERS SHALL BE TREATED WOOD (3) STRINGERS PER STAIR SHALL BEAR ON CONC. PAD
 PROVIDE & INSTALL METAL FLASHING SEALED TO WALL ALONG TOP OF LEDGER & 2x8 FRAMING
 REMOVE EXISTING FAILED CONCRETE SLAB & STACK CMU BLOCK SUPPORTS, REMOVE EXISTING WOOD FRAMED SHED, FILL IN EXISTING GRADE OPENING & COMPACT FILL MATERIAL IN 6" LIFTS (MAX.)

CORNICE REPAIR NOTES:

REMOVE REMAINING FAILED CORNICE MATERIALS
 REMOVE ALL LOOSE BRICK WORK & MASONRY
 REBUILD BRICK PARAPET WALL & TUCK POINT ALL OPEN JOINTS
 INSTALL NEW CORNICE SUPPORTS, BLOCKING & FRAMING, ALL NEW WOOD SHALL BE TREATED LUMBER (ANCHORED TO MASONRY WITH TAPCONS)
 INSTALL NEW FRP CORNICE PER MANUFACTURER

SPECIAL NOTE:
 THE NEW CORNICE SHALL MATCH THE EXISTING CORNICE IN PROFILE, DIMENSIONS AND DETAIL, CORNICE SHALL HAVE THE DECORATIVE LEAF APPLIED TO SURFACE AT THE MANUFACTURING FACILITY OR FUSION WELDED AT THE SITE.

CORNICE SHALL BE FORMED FRP BY ARCHITECTURAL FIBERGLAS, INC.. CORNICE SHALL BE CUSTOM MOLDED TO MATCH EXISTING BUILDING CORNICE PROFILE

CORNICE TO HAVE SEALED LAP JOINTS WITH CONCEALED FASTENING.

CORNERS SHALL BE PRE-FORMED UNITS (NO LAP JOINTS OR MITERED CORNERS)

REQUIRED VENTS & DRAINAGE OPENINGS SHALL BE FORMED OR DRILLED AT THE MANUFACTURING FACILITY

SPECIAL NOTE:

PROPOSED NEW CAR PORTS
 REPLACE EXISTING WINDOWS IN LIEU OF REPAIR
 INCREASE SIZE OF REAR PORCH DECK

JUNE 15, 2020

HISTORIC APPROVAL

EXTERIOR MODIFICATIONS - REVISION 1/27/2021

NOTES:

Project:
Leverette Apartments - Exterior Corrections
 Existing Apartment Renovations
 Leverette Development, LLC
 1627 Leverette Street
 Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
	Historic Approval	1/27/21
1	1st Submission	6/20/20

ISSUED FOR:

PROJECT TITLE

**CORK TOWN 's
 Newly Renovated
 LIVING UNITS**

**Leverette St.
 Detroit, Michigan**

DRAWN KM

CHECKED -

APPROVED -

SHEET TITLE

**Overall Building
 SITE PLAN**

PROJECT NO.

SHEET NO.

DATE

6/15/2019

HC-1

Leverette Apartments

Existing Residential Community

Cork Town Development

1627 Leverette Street

Units 1 - 7

Detroit, Michigan

Window Replacement

Window Condition Documentation
November 7, 2020

KM Consulting

48219@gmail.com

Reference Number: Bld2019- 05277

Building Description:

Existing two story masonry building.

7 Apartment Unit (Townhouses)

Wood Floor & Roof Joists

Membrane Roofing System (Pitched to rear gutters)

Wood Windows

Face Brick (Main Elevation)

Common Brick Facade (Sides & Rear Wall)

Wood Framed 2nd Level Bay Window

Note: Due to the extensive repairs required at nearly all the window openings

(damaged wood, damaged sashes, water &/or insect damage, lintel repairs as well as additional framing); repairing the existing windows was not economically feasible. Replacing the

existing windows was the most cost efficient choice (considering time, appearance and the costs involved).

Marvin - Signature Series windows were chosen (with the historic profile brick mold).

Overall Front View (North Elevation - looking east)



Note:

Existing Wood Windows with aluminum storm windows. Terracotta trim around 1st floor window openings. Existing failed cornice (to be replaced).

Existing brick & concrete porches (failing & deteriorated wings wall & damaged upper porch slabs. Existing steps exceed allowable vertical riser dimensions.

Existing window severely damaged with both water & insect damaged within wall cavities.

Extensive parapet failure & damaged.

Parapet & Porch repairs part of previous permits and approvals.

Front Window (1st Floor)

Note: Nearly all window openings are Water Damaged at sills & bottom 1/3 of jambs

Failing sash frame joints / rot / water damaged / insect damaged is the typical condition of nearly all window openings.

Existing Front Wall at Living Room



Porch repairs performed by previous owner installed on bad foundations, not installed level & plumb to building & has excessive gaps along stairs & window porch walls. Existing porch deck pitches in wrong direction. Excessive gaps has allowed water &/or ice to cause further damaged.

All porches have been removed & replace with brick work that is a closure match to the existing walls.

Perimeter of all window openings have been repaired & rebuilt as required.

Front Elevation View (looking west)



Note:

Due to failed parapet wall, failed roof flashing & leaking water all 2nd floor bays had extensive damaged at main supports & framing. All dormers are to be completely removed & rebuilt in order to proper anchor & replace supports of offset wall framing.

Windows has several water damaged along sills. The extensive nature of the repairs necessitate the replacement of all windows.

Special Note: Parapet & Cornice repairs are part of pervious Permit & approvals.

Note Water saturation marks on upper walls & brick damage along parapet.

Front Elevation (East Corner)



Previous Owner brick Repairs (to be removed & re-installed)

Note:

Existing window openings to be re-framed & replaced with new wood windows with historic profile trim.

Existing 2nd floor window bay framing to be removed & replaced as required.

General View Existing Front Wall Before Start of Repairs



Damaged Parapet - Note water saturation marks on masonry.

Parapet Repairs

Front Porch Repairs / Replacement

New Windows (due to damaged framing, rotted nailers & damaged sills).

2nd Floor Bay Window



Parapet repairs underway

Note: Bay framing & anchorage locations are damaged & require repairs &/or replacement.

Existing bay framing to be replaced (new framing, nailers & attachment to building required).

New bays to have trim & accents installed (to match existing)

South Building Wall

Existing Windows - Close Up



Note:

Tuck point masonry joints & sills as required.

South Building Wall

Units 1 & 2 (East - Units #1 & #2)



Note:

Existing windows to be replaced (excessive damaged along sills & interior wall & framing). Sills, framing & sashes have both water & insect damage.

Most window sashes have failing joints & water damage along sills.

Rear Porches & Basement Stairs & Enclosures are to be replaced.

Rear Wall - Typical Conditions



Note: Water damaged & water logged wood sill.

Window Sills are water & insect damaged. Jambes & Blocking is damaged
(water &/or insect) typical at most openings.

Point brick work & arched window heads as required

South View - Units 3-4-5-6



Proposed Work:

Replace Rear Porches

Replace Basement Stairs & Enclosure

Replace Windows

Install New Parking Area & Slab

Repair & Point Walls

Replace Roof & Gutters (Completed)

Interior Court / Areaway



View of existing windows (inner court between units)

Typical Window (Size Varies)



Existing Window (Rear Wall)

Tuck point mortar joints as required

Repaired loose bricks at window head (interior & wall cavity)

Repair bearing @ interior lintels

Installed new perimeter nailers & wood framing

Typical Window Opening (Interior - Area Ways)



New window with historic profile brick mold & trim closure

Interior View (Typical Window)



Interior Window Openings:

Reframed opening & Installed new perimeter nailers

Repaired masonry at head & lintel bearing

Install new interior jambs & sill materials

Typical Window Opening



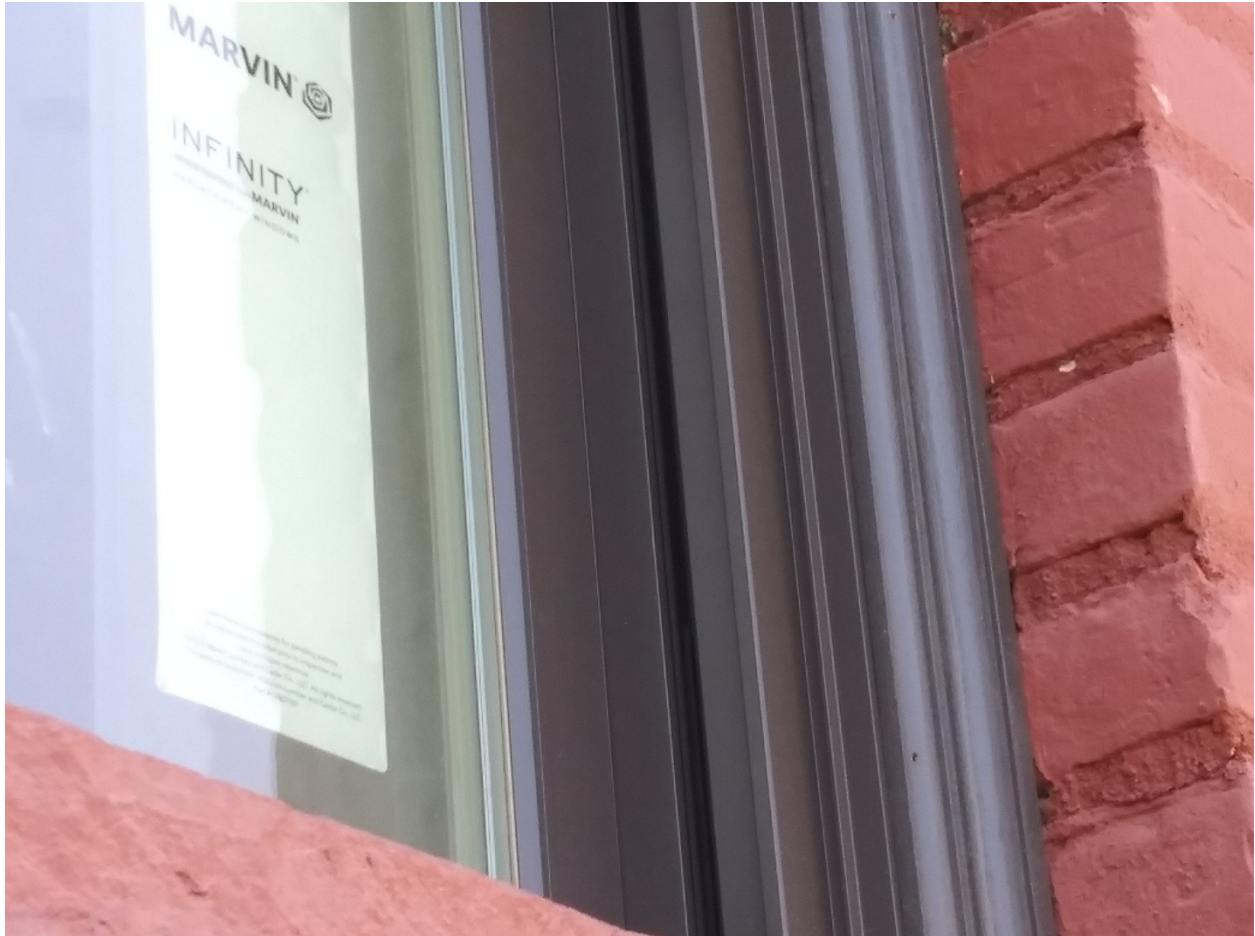
New Window / New perimeter nailer / New Brick Mold

Close Up View Window Sill



New Window @ Stone Sill

Window Jamb (Close Up View of New Brick Mold)



` Note:

Existing openings Typical Work Performed:

- Removed & Replaced existing damaged wood nailer & blocking
- Repaired lintels &/or Lintel bearing locations
- Re-framed interior openings
- Installed perimeter nailers & framing inside masonry wall cavity
- Installed new blocking at window opening

Close Up View of Window Opening Jamb with new brick mold



View of New Interior Framing @ exterior wall



New interior wall framing @ existing window openings (typically)

New perimeter nailers @ exterior window openings (typically)

Point & fill loose mortar joints / repair lintel bearing as required

View at Head (Interior)



Removed damaged wood framing / blocking & nailers at window openings

Installed new nailers inside brick cavity to anchor window

Repaired lintel bearing & pointed loose joints

Installed additional wood framing to support floor framing & bricks at window openings

Typical Wall Cavity View



Note: New interior framing & new vertical framing @ exterior brick

Existing sill nailer / blocking - water or insect damage (to be removed & replaced)

Special Note: Removed all damaged wood framing & nailers. Replaced with new wood at all window openings

Window Opening (Typical)



Remove all existing perimeter framing

Install new perimeter framing & new wood nailer within existing brick wall cavity

Point & repair loose brick at head & lintel bearing

Window Opening - Cavity Nailer & Perimeter Framing



Remove all existing perimeter framing

Install new perimeter framing & new wood nailer within existing brick wall cavity

Point & repair loose brick at head & lintel bearing

2nd Floor - New Bay Window Framing



Removed & replaced bay framing. Installed new decking @ bay projection roof.

Remove & re-install existing steel band & bay metal strap tie-back.

Install new exterior wall sheathing, building wrap & exterior finish system.

Rebuild window bay & install new windows.

Bay Window - Framing



Install new framing as required to re-attach bay framing to existing stud framing

Repaired Wall @ Lintel Bearing



Removed & Reset loose bricks & rebuilt wall at lintel bearing locations.

Replaced damaged units, tuck pointed damaged &/or open joints.

Installed new framing @ window perimeter & opening.

Front Wall - with New Windows



Work Performed:

Reframed window openings

Installed new wood Nailer within wall Cavity

Installed perimeter flashing @ opening

Installed new windows.

Removed & Rebuilt front Porches walls (Salvaged Cap Stones)

Removed & replace concrete porch deck stairs

Re-built / Re-framed / Re-attached 2nd floor Window Bays

Close Up of Front Elevation Window



Work Performed:

- Reframed window openings
- Installed new wood Nailer within wall Cavity
- Installed perimeter flashing @ opening
- Installed new windows.
- (Brick mold installation to begin)

IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: Scot Turnbull

Company Name: 1627 Leverette Apartments

Address: 17650 West 12 Mile Rd.

City: Southfield State: Mi Zip: 4807

Phone: _____

Mobile: 248-722-8230

Driver's License #: _____

Email: cynexinc@gmail.com

Contractor

Contractor is Permit Applicant

Representative Name: Scot Turnbull

Company Name: Cynex Enterprises, Inc

Address: 17650 West 12 Mile Rd.

City: Southfield State: Mi Zip: 4807

Phone: _____

Mobile: 248-722-8230

Email: cynexinc@gmail.com

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____

Phone: _____

Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: KM Consulting

State Registration#: 38500

Expiration Date: Nov.

Address: 17245 Woodbine

City: Detroit

State: Mi Zip: 4821

Phone: 313-727-8941

Mobile: 313-926-1163

Email: moody48219@gmail.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____

Ken Moody
(Homeowner)

Signature: _____

KEN MOODY

Date: _____

Subscribed and sworn to before me this _____ day of _____

20 _____

A.D.

County, Michigan

Signature: _____

My Commission Expires: _____

(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all applicable restrictions that may apply to this construction and am aware of my responsibility thereunder. I hereby certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of**

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: March 4, 2021

PROPERTY INFORMATION

ADDRESS: 1627 Leverette AKA: _____

HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input checked="" type="checkbox"/> Landscape/Fence/ Tree/Park	<input checked="" type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: <u>Car Ports</u>	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: Scot Turnbull COMPANY NAME: 1627 Leverette Apartments, LLC

ADDRESS: 1627 Leverette CITY: Southfield STATE: Mi ZIP: _____

PHONE: _____ MOBILE: 248-722-8230 EMAIL: cynexinc@gmail.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:
Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: March 4,

PROPERTY INFORMATION

Address: 1627 Leverette Floor: 1 Suite#: 1-7 Stories: 2

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: Residential (Townhouses) Proposed Use: Residential (Townhouses)

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violation

Foundation Only Change of Use Temporary Use Other: Car Ports

Revision to Original Permit #: _____ (Original permit has been issued and is in effect)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Interior & exterior renovations. New plumbing, heating, electrical and interior finishes. Replace windows and rear doors, repair front parapet;

rebuild front porch, repair structural damage as required, install new kitchens, baths & laundry

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic feet

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: R2 Type of Construction (per current MI Bldg Code Table 601) IIIB

Estimated Cost of Construction \$ 650,000.00 By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: 7 Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

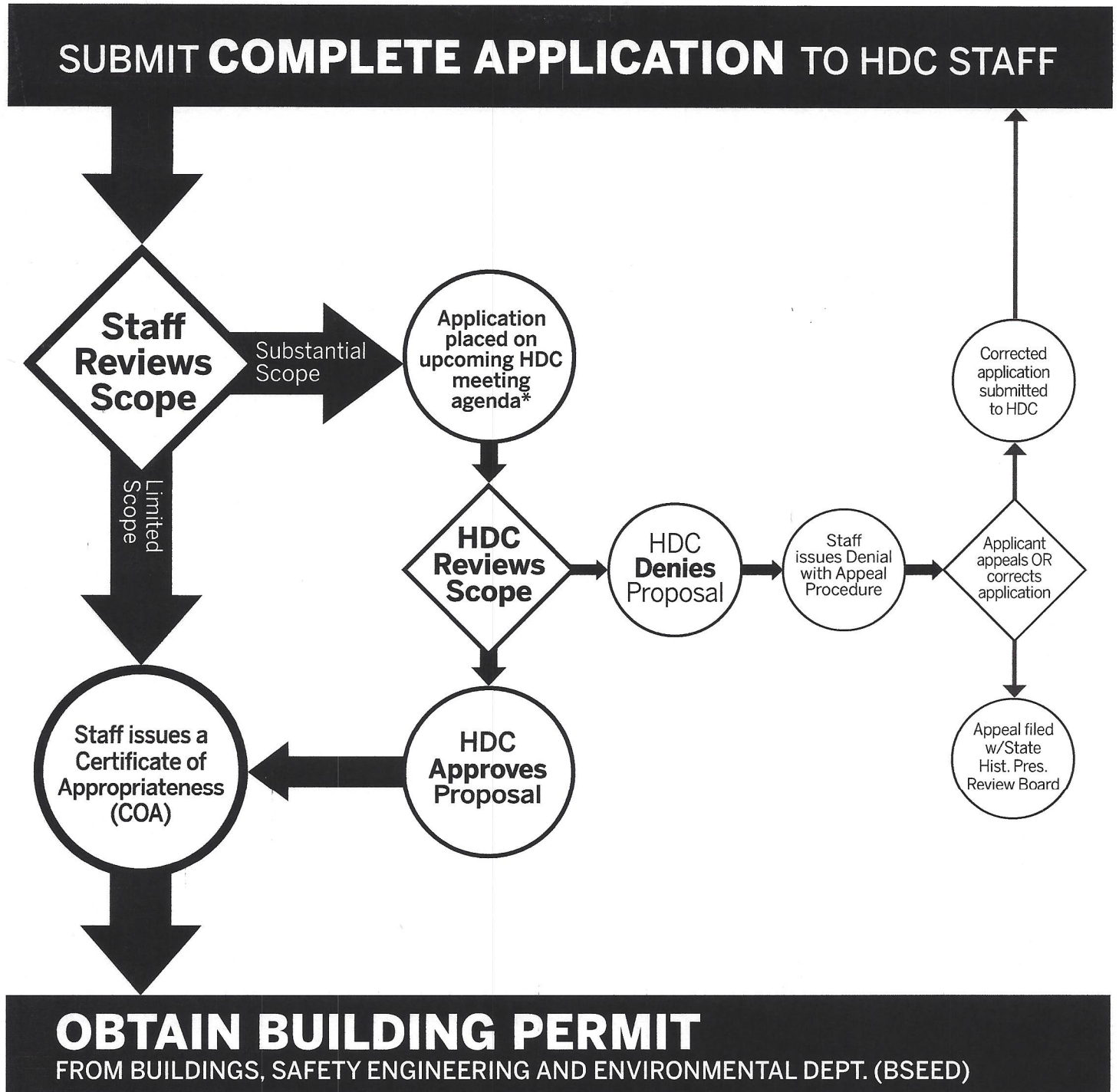
Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld?

HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc