

STAFF REPORT: 4/14/2021 MEETING

PREPARED BY: D. RIEDEN

APPLICATION NUMBER: #21-7157

ADDRESS: 1466 SEMINOLE

HISTORIC DISTRICT: INDIAN VILLAGE

APPLICANT: STEVEN FLUM

PROPERTY OWNER: DAVE KWIATKOWSKI

DATE OF PROVISIONALLY COMPLETE APPLICATION: 03/11/2021

DATE OF STAFF SITE VISIT: 3/24/2021

SCOPE: REPLACE EXISTING FRONT ENTRANCE WALKWAY, NEW STEPS, LANDSCAPING

EXISTING CONDITIONS

Built in 1912, 1466 Seminole is a 2 ½ story residence that reflects the Italian Renaissance style. On all four elevations, dormers puncture the hipped-roof clad with clay barrel tiling and wide overhangs with decorative brackets. Two large brick chimneys rise from the rooftop. The buff-colored brick and stone masonry features limestone arched windows, colonnade and carved detailing in the front elevation's asymmetrical fenestration pattern. Arched windows with transoms and brick surround the first floor on most elevations. A brick porte-cochere is located on the North/left side of the façade, allowing access to the rear yard by a concrete drive through arched openings. An arched double-door provides entry to the home within a recessed vestibule. A curved stone stoop and steps protrude from the front entry with curvilinear elements each end, here in this application, also known as "limestone sills". A previous owner installed a brick masonry walk with landings that extends from the street curb to the existing, stone stoop entry. This walkway was set in a herringbone pattern flanked with rowlock bands on both sides, runs across the public walkway, and terminates at the street curb. The front yard slopes from the front façade to the public walk. The front lawn landscape contains three trees with mulched bases, sparse yew shrubs, scattered in inconsistent patterns along the front elevation foundation. A black iron fence separates the front yard from the rear/side screened with a deciduous hedge.



Site Photo 1, by Staff March 24, 2021: (West) front side



Site Photo 2, Designation Slide 1971: (West) front side (North/East) side/rear.

The owner purchased the property in December 2018. As staff currently does not have access to some of the previous paper applications and approval letters, the Detroit Property Index is the only available information on the property. This property has no violations and has the following previous HDC approved work:

- June 13, 2001 COA – Install 19 glass block basement windows, five vents
- April 10, 2019 COA – Install new copper gutters and downspouts, paint trim, roof repairs

The applicant mentions that the owner received a violation in 2000 for the brick walkway from the work of a prior homeowner for no HDC review. Staff has not located this violation on file.



Aerial of Parcel 17007576.



Sanborn V8, P083.



May 2020 Aerial of 1466 Seminole

PROPOSAL

The current owner provided an application, project narrative, site photos, and construction site plan for the following proposed work: new landscaping along the front façade, replace existing brick walk with concrete walk at front entrance, and construct new limestone steps. See also attached documents provided by the applicant. The applicant describes the project as follows:

The project proposes to remove the brick walkway approach and landscaping along the front facade only of the residence. Due to the sloped site conditions, the current brick walk will be removed entirely. The material and pitch provides a hazardous, slick surface when wet, especially treacherous during winter months. A new walkway is requested to construct (consistent with existing width and length) with an appropriate material- from the stone stoop to street curb in entirety. New landings will be installed consistent with the locations existing. In addition, a 4'-0" deep base landing will be constructed adjacent to the public sidewalk, directly at the front property line. Two (2) new limestone steps with 6" risers each will be added, leading to the front entry. These steps will be flanked each side by a curvilinear limestone sill extension to accommodate large planters, defining a new, attractive street approach while accommodating the grade of the front yard existing. The sills will complement the curved elements of the stoop in place. (455 square feet.) Along the home's front façade, the landscaping and shrubbery existing will be removed. A new hedge planting will be installed, wrapping adjacent to the concrete drive (left, North corner). New mulch will be installed surrounding the new plantings. The metal fencing along the right/South portion of the front/side yard intersection will remain with the hedge existing. It is the homeowner's intent to install new fencing this location in a future phase.

SCOPE OF WORK DETAIL

- Demolish/Remove:
 - Existing front brick walk in front yard and public right of way.
 - Existing yew shrubs and perennial plantings along front of the house.
- Grade front walkway from front entrance stoop to property line. The pitch of this new walk is proposed to be flattened to a 1-1.5% slope.
- Construct:
 - New concrete, six-foot wide walkway with exposed aggregate from stoop to proposed top of step stairs, then from bottom of stairs to the curb.
 - New limestone stairs with 2 risers, 3 treads
 - New limestone sills at the top step on either side of the limestone steps, 2' in diameter, flush with the top tread of the stairs. Top tread and sill will be 24-25" inches above edge of lower.
- Plant/Install:
 - New boxwood hedges 36" maximum height along the front face of the house
 - New black mulch
 - New sod where needed from construction activities.

STAFF OBSERVATIONS AND RESEARCH

- Upon receipt of the application, Staff requested the following details regarding the applicant's proposed scope of work.
 - Show an elevation with details, dimensions and slopes for the proposed walkway and new staircase. The updated plan shows slope lines, and plan dimensions of the steps and "limestone sills". Staff received confirmation that the height of these "limestone sills" will be flush with the ground plane. The updated plans show that the steps consist of 2 risers and 3 steps (treads).

- The area of cut and fill to accommodate the steps are shown in the updated plans, as requested by staff.
- Staff received confirmation that the property owner intends to replace the Right-of-way portions of the existing walkway with concrete. Approval by this Commission does not waive other approvals necessary for work in the public right-of-way.
- Staff received confirmation that there is no desire to keep any portion of the brick walkway or the outer edge of the brick walkway due to the condition of the brick material.
- Staff visited the site on March 24, 2021. Staff photographed the property from the public right-of-way and observed the front (west) and sides (north and south) of the house. (See staff photos enclosed)
- Staff confirmed that the brick material of the existing sidewalk was in poor condition, was failing at the curb and edges.
- While the existing brick color of the walkway is a close color match to the limestone entrance of the house, Staff observed that the herringbone pattern of the walkway creates a new, rather busy pattern that distracts the eye from the main entrance. It is staff’s opinion that this pattern fights rather than complements the running bond pattern of the front elevation masonry of the house.
- Because the designation photos of this property establishes a precedent of a simple concrete walkway from the limestone steps to the street curb, staff believes that replacement of the brick walkway with a concrete walkway is an appropriate application of site material that returns the landscape to its original character-defining features of simplicity.

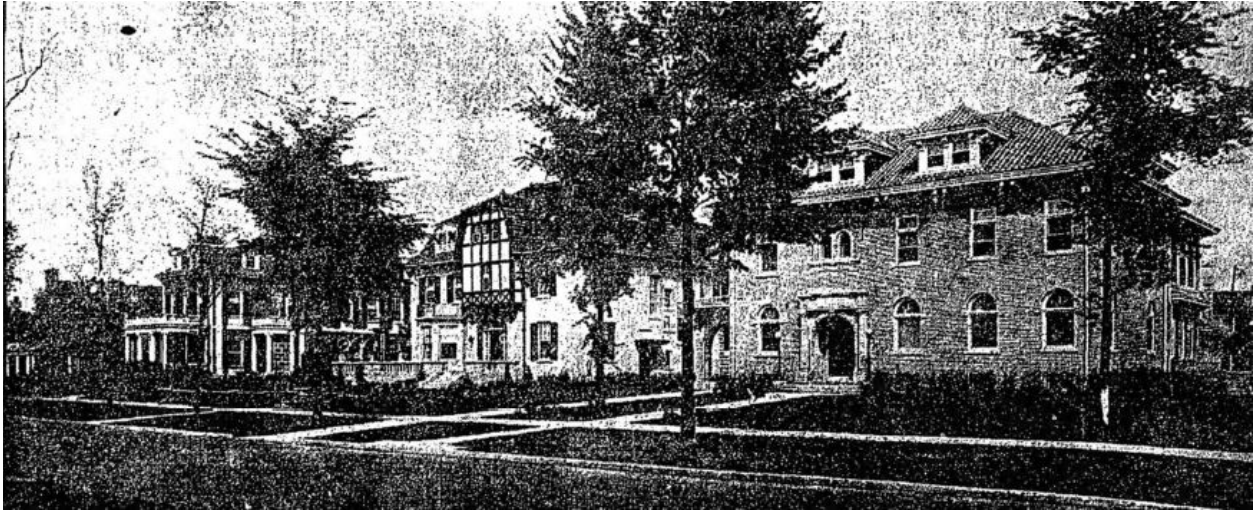


Site Photo 3, by Staff March 24, 2021: (West) front side (North/East) side/rear.

- The proposed low-growing hedgerows of boxwood also complements the original foundation planting of the house’s historic exterior character defining features and are an appropriate change to the landscape.
- Staff observed that the existing grade from the bottom step of the house to the public sidewalk is about 5% slope, which is an acceptable slope that does not require steps. (There is a 2-foot drop at a 42 feet length from the bottom of the entrance step to the public sidewalk.)
- The proposed location of the new steps aligns with the neighborhood and street series of low retaining walls and steps from the public sidewalk to the house. This low profile series of steps also complements the design, color and material of the

existing front steps of the house entrance. The Indian Village Historic District’s Elements of Design describes “minor walls of continuity” in the front yard, where these proposed steps could be considered a part of the front yard design language of front yard thresholds: *“Walls of Continuity: The major wall of continuity is created by the buildings with their uniform setbacks within the blocks. New buildings should contribute to this wall of continuity. Where gaslights are sufficiently numerous and where trees in rows have survived in sufficient numbers, minor walls of continuity are created. Fences across side lots contribute to the major wall of continuity where placed at the front yard setback line.”* Section 21-2-103 (c) 12.

- Staff observes that the steps with only two risers and without a vertical visual cue, can be a potential hazard if not properly lit, maintained or kept clear from snow, leaves, etc.



Site Photo 4, by Detroit Free Press 1914: (West) front side with neighboring front courtyards along front property lines, creating a “wall of continuity”.

ISSUES

- Staff also offers the opinion that the steps are not a necessary element, and the proposed design would hold without the proposed steps, thereby retaining the native slope and returning the landscape to its original simplicity of the concrete walkway to the house, as shown in the designation photos.

RECOMMENDATION

Per Section 21-2-78, HDC staff recommends the Commission issue a Certificate of Appropriateness for the below work items because they meet the Secretary of the Interior’s Standards for Rehabilitation and conform to the Elements of Design for the Indian Village Historic District:

- Replace existing yew shrubs and perennial plantings with boxwood hedges 36” maximum height and black mulch along the front foundation of the house as shown in the proposed plans.
- Remove existing front brick walkway, fine grade, and replace with six-foot wide concrete as shown in proposed plans.
- Construct new limestone stairs with limestone sills and limestone steps as shown in proposed plans.



1466

SPEED
HUMP





1466







1466



1466





4-2

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*The Most Economical and Efficient Type of
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greatest investment value and the best type of building to live in.



THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: April 2021

PROPERTY INFORMATION

ADDRESS: 1466 Seminole Street AKA: _____

HISTORIC DISTRICT: Indian Village Historic District

SCOPE OF WORK: Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
(Check ALL that apply) New Construction Demolition Addition Other: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: Dave Kwiatkowski COMPANY NAME: _____

ADDRESS: 1466 Seminole Street CITY: Detroit STATE: MI ZIP: 48214

PHONE: _____ MOBILE: (313) 510-2600 EMAIL: dave@sugarhousedetroit.ca

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:
Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: April 2021

PROPERTY INFORMATION

Address: 1466 Seminole Street Floor: Suite#: Stories: 2.5
AKA: Lot(s): 41 thru 43 Subdivision: Park
Parcel ID#(s): 17007576 Total Acres: 0.394 Lot Width: 100' Lot Depth: 171.50'
Current Legal Use of Property: Single Family Residence Proposed Use: Same
Are there any existing buildings or structures on this parcel? [X] Yes [] No

PROJECT INFORMATION

Permit Type: [X] New [] Alteration [] Addition [X] Demolition [] Correct Violations
[] Foundation Only [] Change of Use [] Temporary Use [] Other:
[] Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
Removal and replacement of front walkway and approach existing, new steps on grade installed,
front yard grading, limited new landscaping to front yard only. All work proposed is to the exterior.
[] MBC use change [X] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)
[] HVAC/Mechanical [] Electrical [] Plumbing [] Fire Sprinkler System [] Fire Alarm

Structure Type
[] New Building [X] Existing Structure [] Tenant Space [] Garage/Accessory Building
[] Other: Size of Structure to be Demolished (LxWxH) cubic ft.
Construction involves changes to the floor plan? [] Yes [X] No
(e.g. interior demolition or construction to new walls)

Use Group: NA Type of Construction (per current MI Bldg Code Table 601) NA
Estimated Cost of Construction \$ 45,000 By Contractor \$ By Department

Structure Use
[X] Residential-Number of Units: 1 [] Office-Gross Floor Area [] Industrial-Gross Floor Area
[] Commercial-Gross Floor Area [] Institutional-Gross Floor Area [] Other-Gross Floor Area
Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements
(must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings,
existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? [] No
Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:
Permit#: Date Permit Issued: Permit Cost: \$
Zoning District: Zoning Grant(s):
Lots Combined? [] Yes [] No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$
Structural: Date: Notes:
Zoning: Date: Notes:
Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: Dave Kwiatkowski Company Name: _____

Address: 1466 Seminole Street City: Detroit State: MI Zip: 48214

Phone: _____ Mobile: (313) 510-2600

Driver's License #: K322-135-435-192 Email: dave@sugarhousedetroit.com

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: Steven C. Flum State Registration#: 1301036304 Expiration Date: 10/18/2023

Address: 3105 Holbrook City: Hamtramck State: MI Zip: 48212

Phone: (313) 831-2844 Mobile: _____ Email: sflum@stevencflum.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: Steven C. Flum Signature: [Signature] Date: 3/8/2021
(Permit Applicant)

Driver's License #: K450 777 125 162 Expiration: 4/24/2021

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

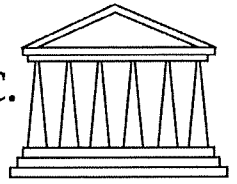
Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



Monday 08 March 2021

STEVEN C. FLUM, INC.
architecture • urban planning



City of Detroit
Historic District Commission
Coleman A. Young Municipal Center
2 Woodward, Suite 808
Detroit, Michigan 48226

Re: **1466 Seminole Street- Single Family Residence**
Indian Village Historic District

Commissioners:

Attached is our Historic Commission package for your review for the stated project. It is our belief that the work proposed to the exterior is a new alteration scope, with all work occurring to the West elevation/Seminole façade.

Attached within this digital submittal is new paving and site work description intended to the front yard.

We request that the following packet be reviewed by the Commission for:

- New landscaping to the Front façade, limited scope
- New concrete walk from RoW/right-of-way curb to front stoop existing, replacement of current in place
- New limestone steps adjacent to the property line to accommodate grade slope existing

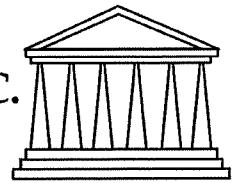
The walkway approach condition is hazardous, very slick when wet and disintegrating in places. He desires to make a safe and attractive modified entry, complimentary to the neighborhood and his historic residence. The homeowner will be attending the Commission meeting.

We thank you for this opportunity for your timely review and approval.

Cordially,

A handwritten signature in black ink, appearing to read 'Lori Perlick', written over a large, faint circular watermark or stamp.

Lori Perlick
Architectural Project Manager
Steven C. Flum, Inc.



City of Detroit

Historic District Commission Submission

1466 Seminole, Indian Village Historic District

Proposed Streetscape Improvements

March 05, 2020

DESCRIPTION EXISTING CONDITIONS

1466 Seminole is a 2 1/2-story brick masonry (buff color) and stone residence, built 1912 in the Italian Renaissance style. A brick porte-cochere is located on the North/left side of the façade, allowing access to the rear yard by a concrete drive through arched openings. The front elevation denotes an asymmetrical fenestration pattern. Arched windows are present on the First Floor with transoms and brick surround on most elevations. The front entry is punctuated with a limestone colonnade and carved detailing. An arched double door provides entry to the home within a recessed vestibule. A curved stone stoop and steps protrude from the front entry with curvilinear elements each end. The upper floors provide rectangular openings, punctuated with 1 over 2 ratio double-hung windows. The home is capped with a hipped roof clad in clay tile and wide overhangs with decorative brackets. Dormers are present on all four (4) facades at the roof level. Two (2) large brick chimneys frame each side elevation. A covered 1-story brick porch is present at the rear, with tile roof as well.

Overall, the masonry appears in good stable condition with some tuck-pointing done to the front street façade. The home was recently purchased by the applicant in 2019.

The previous resident installed a decorative brick masonry front walk and landings, spanning from the street curb to the stone stoop existing entry: a herringbone pattern flanked with rowlock bands both sides. The front yard grade slopes slightly from the front façade to the front property line/public walk. The brick approach intersects the public sidewalk with the masonry material, terminating at the street curb.

The front yard landscaping has three (3) deciduous trees existing with mulched bases. Sparse yew shrubs are scattered along the façade of the home, small and with an inconsistent pattern. A black iron fence frames the front yard from the rear/side with a deciduous hedge evident as a screen. The majority of the front yard is lawn.

PROJECT NARRATIVE

The project proposes to remove the brick masonry walkway approach and landscaping along the front façade only of the residence. Due to the sloped site conditions, the current brick walk will be removed entirely. The material and pitch provides a hazardous, slick surface when wet, especially treacherous during winter months. A new walkway is requested to construct (consistent with existing width and length) with an appropriate material- from the stone stoop to street curb in entirety. New landings will be installed consistent with the locations existing. In addition, a 4'-0" deep base landing will be constructed adjacent to the public sidewalk, directly at the front property line. Two (2) new limestone steps with 6" risers each will be added, leading to the front entry. These steps will be flanked each side by a curvilinear limestone sill extension to accommodate large planters, defining a new, attractive street approach while

accommodating the grade of the front yard existing. The sills will complement the curved elements of the stoop in place. **(455 square feet)**

Along the home's front façade, the landscaping and shrubbery existing will be removed. A new hedge planting will be installed, wrapping adjacent to the concrete drive (left North corner). New mulch will be installed surrounding the new plantings. The metal fencing along the right/South portion of the front/side yard intersection will remain with the hedge existing. It is the homeowner's intent to install new fencing this location in a future phase(s).

DETAILED SCOPE OF WORK

1. Demolish existing front brick walk/approach in front yard and public right-of-way.
2. Removal of yew shrubs existing along front residence West facade and perennial plantings as designated by owner.
3. Grade new along front walk, from stoop to property line.
4. Construction of new concrete walk, landings to front entry stoop remaining.
5. Construction of new limestone steps (risers and treads) and sill between base landing and front walk approach.
6. Construction of new concrete walk and landing, in right-of-way from public sidewalk to concrete street curb.
7. Install new hedge along front face of residence; provide new mulch topping.
8. Replace with sod new within areas of impacted work.

BROCHURE / CUT SHEETS

Concrete walk

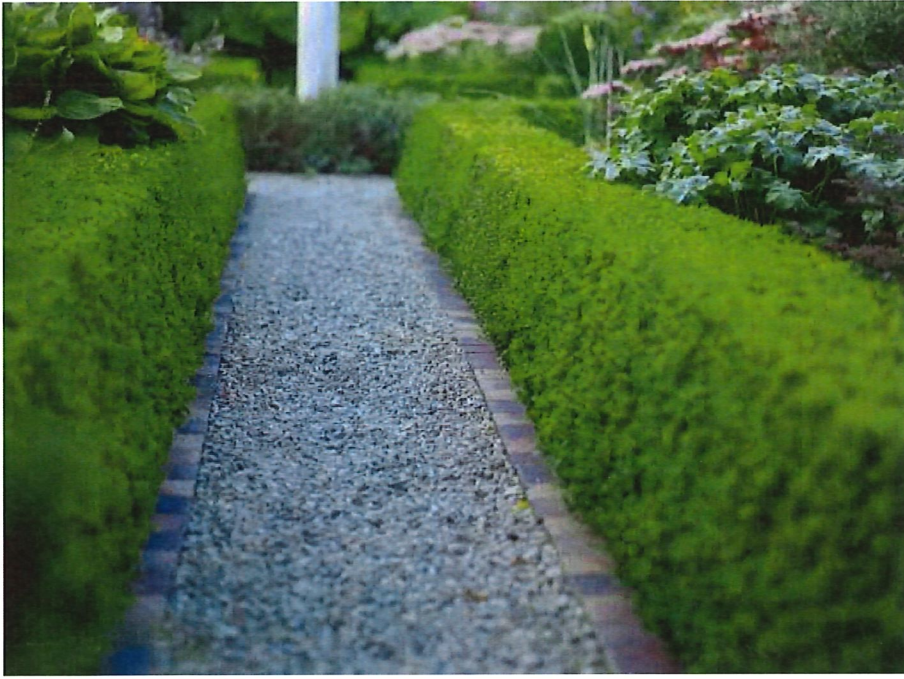
Exposed Aggregate Paving



Color: Natural Gray

New Landscaping

Wintergreen Boxwood hedge, 36" height maximum
Black mulched bed



Applicant Photos: 1466 Seminole, Indian Village Historic District



1- West/Seminole Overall Elevation, *proposed area of work* 03/2021



2- North/Side Left Elevation

Applicant Photos: 1466 Seminole, Indian Village Historic District



3- East/Rear Elevation



4- South/Side Right Elevation

Applicant Photos: 1466 Seminole, Indian Village Historic District



5- West/Front Entry Stoop, detail



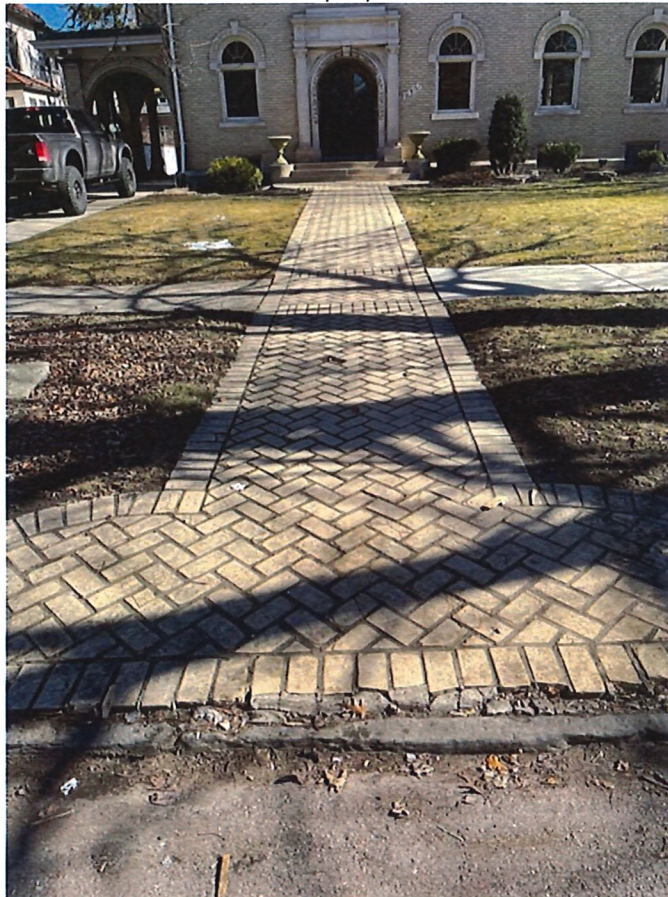
6- Front Walk Existing, detail

03/2021

Applicant Photos: 1466 Seminole, Indian Village Historic District



7- West/Front Elevation, proposed area of work 03/2020



8- West/Front Elevation right of way condition, proposed area of work 03/2021

1466 SEMINOLE
RESIDENCE
IMPROVEMENTS

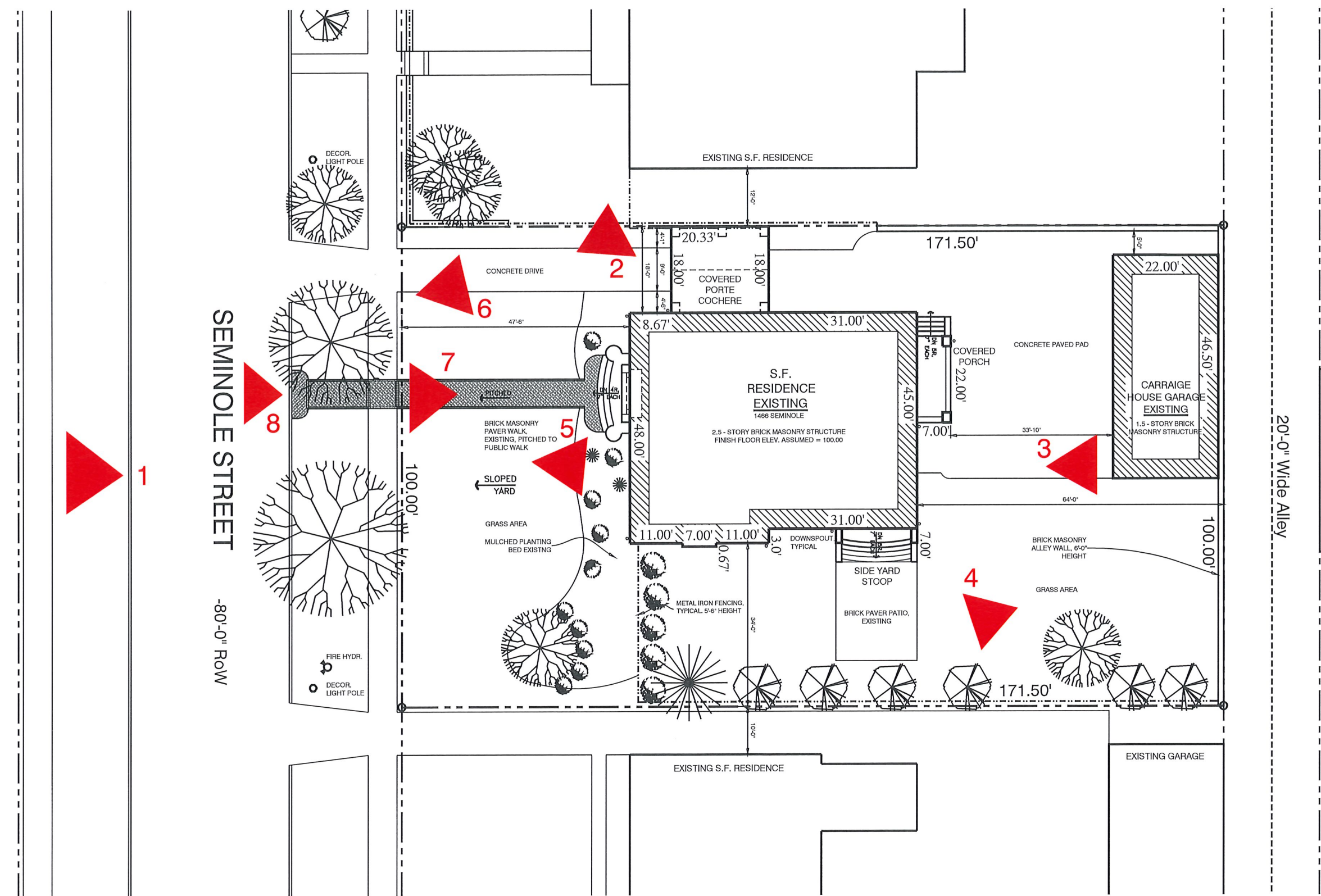
1466 SEMINOLE STREET
DETROIT
MICHIGAN



STEVEN C. FLUM, INC.
architecture urban planning
3105 Holbrook Street, Hamtramck, MI 48212
Tel: 313.831.2844 WEB: stevenflum.com

LEGAL DESCRIPTION

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN DESCRIBED AS:
ALL OF LOTS 57 AND 58 AND PARTS OF LOTS 59 AND 60, ASSESSOR'S NORTHVILLE PLAT NO. 1,
ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 19 OF PLATS, PAGE 59, WAYNE
COUNTY RECORDS 17/16, ALL DESCRIBED AS FOLLOWS:
COMMENCING AT EAST SEMINOLE NORTH 25 FEET LOT 43, SAID LOT 42 AND SOUTH 25 FEET OF
LOT 41 OF SAID 'PARK SUBDIVISION' PLAT, CONTAINING 17,150.0 SQUARE FEET (0.394 ACRES),
100 X 171.50.



© SCF, inc. MAR 2020

REV.	DESCRIPTION	DATE
1	EXIST. COND. VERIFY	04.07.2020
2	EXIST. SITE PLAN FINAL	07.01.2020
3	HISTORIC COMM REVIEW	03.05.2021

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SHEET DESCRIPTION:
ARCHITECTURAL SITE PLAN-
EXISTING CONDITIONS

DRAWN: LAP CHECKED: SCF

SCALE: 1" = 10'-0"

DATE: 05 MARCH 2021

JOB NO	SHEET NO
1560	A-01

1 SITE PLAN - EXISTING
A-01 SCALE: 1" = 10'-0"



1466 SEMINOLE
RESIDENCE
IMPROVEMENTS

1466 SEMINOLE STREET
DETROIT
MICHIGAN



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3105 Holbrook Street, Hamtramck, MI 48212
VM: 313.831.2844 WEB: stevenflum.com

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REV.	DESCRIPTION	DATE
▲	EXIST. CONDN. VERIFY	04.07.2020
▲	EXIST. SITE PLAN FINAL	07.01.2020
▲	SITE PLAN APPVD - PH 1	07.22.2020
▲	HISTORIC COMM. REVIEW	03.04.2021

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SHEET DESCRIPTION:
ARCHITECTURAL SITE PLAN-
PROPOSED IMPROVEMENTS

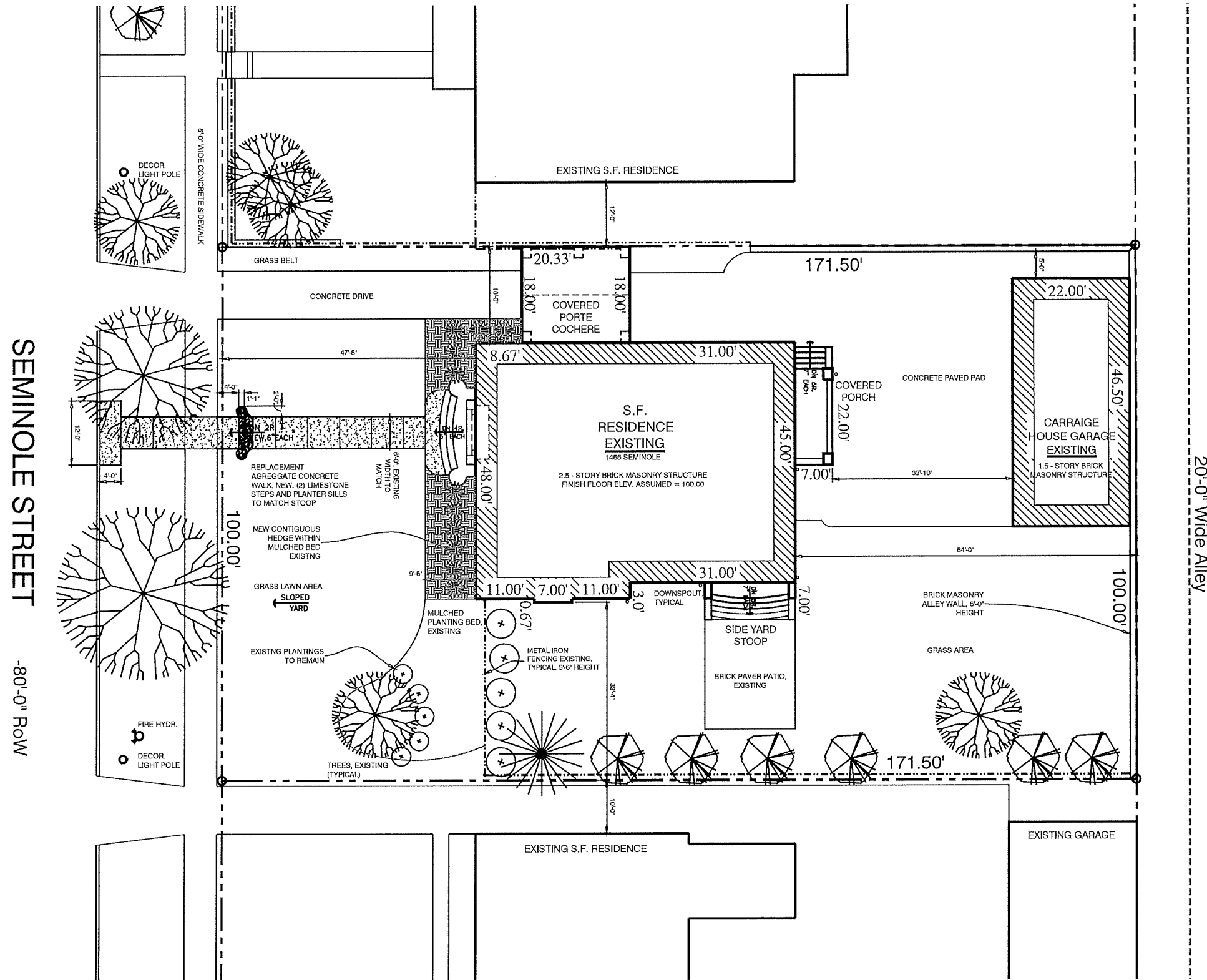
DRAWN: LAP CHECKED: SCF

SCALE: 1" = 10'-0"

DATE: 05 MARCH 2021

JOB NO SHEET NO

1560 A-1



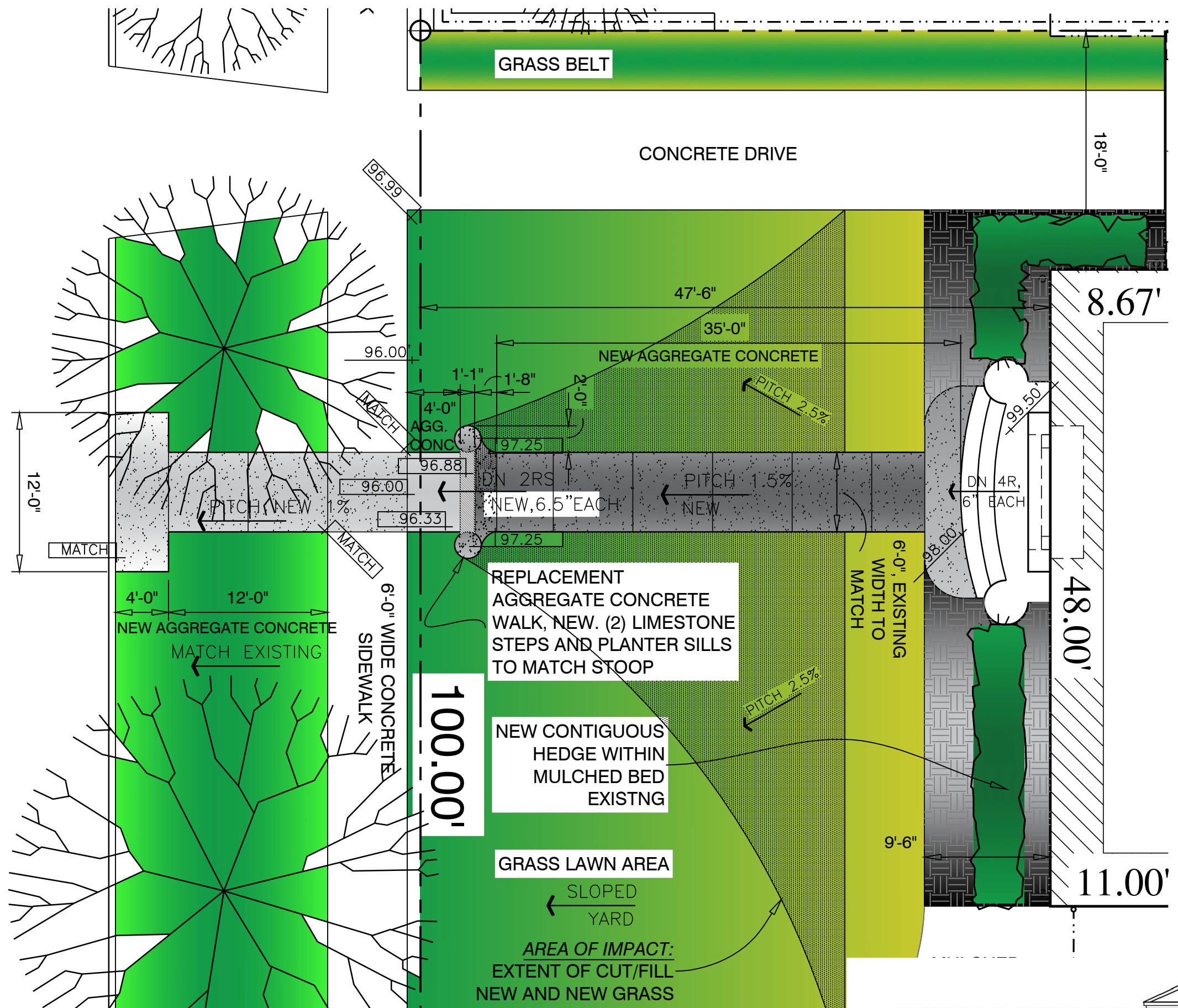
SEMINOLE STREET -80'-0" ROW

20'-0" Wide Alley

1 SITE PLAN PROPOSED
A-1 SCALE: 1" = 10'-0"

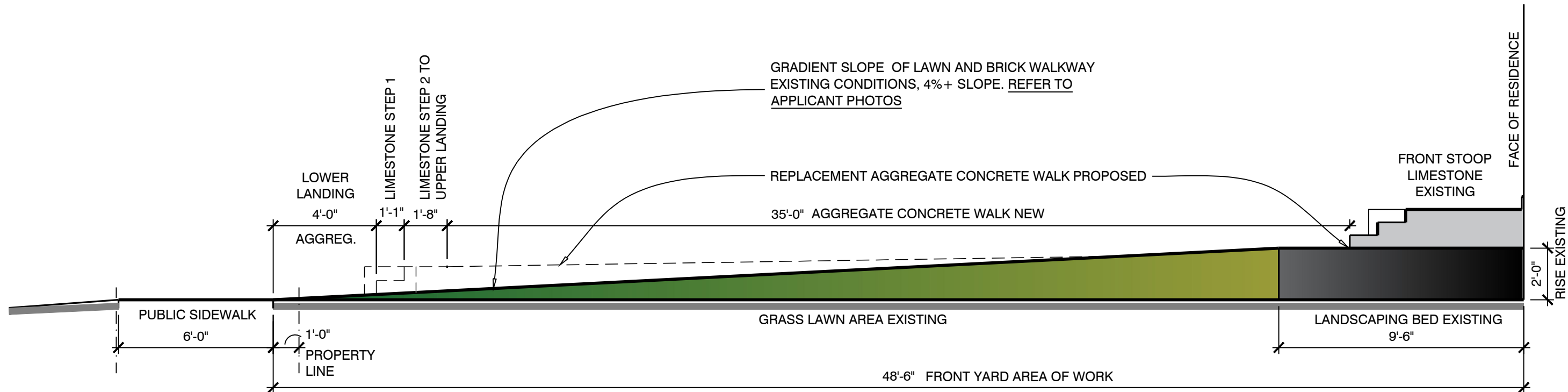


SEMINOLE STREET

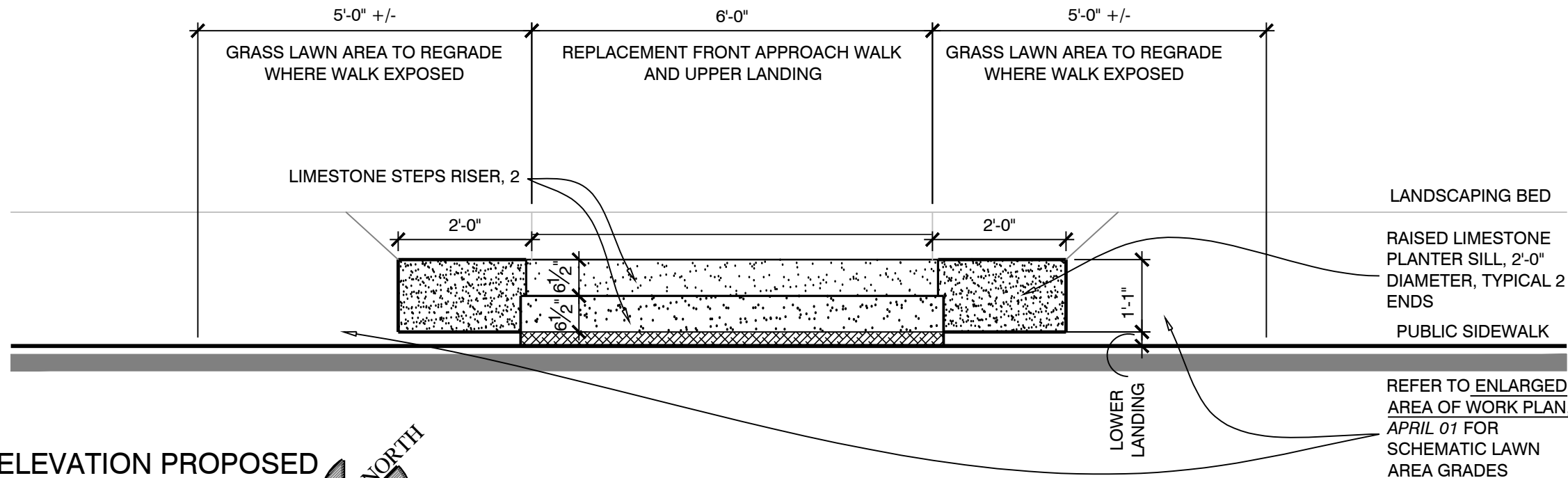


ENLARGED AREA OF WORK

SCALE: 1/8" = 1'-0"
 DATE: 09 April 2021 UPDATED



SCHEMATIC SITE SECTION
SCALE: 1/4" = 1'-0"



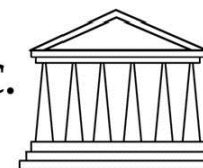
ENLARGED ELEVATION PROPOSED
SCALE: 1/2" = 1'-0"



ENLARGED FRONT WALK WEST ELEVATION AND SITE SECTION

DATE: 09 April 2021 REQUESTED

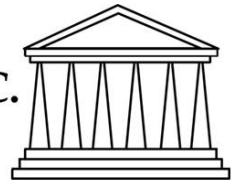
STEVEN C. FLUM, INC.
architecture • urban planning





Thursday 01 April 2021

STEVEN C. FLUM, INC.
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Daniel Rieden

Lead Landscape Architect, Historic Preservation Team
City of Detroit
Coleman A. Young Municipal Center
2 Woodward, Suite 808
Detroit, Michigan 48226

Re: **1466 Seminole Street- Single Family Residence**
Indian Village Historic District

Mr. Rieden:

Below is our response to your design questions received from your review.

- *Would the owner be open to a combination of having the original brick as an edge to the proposed walkway?*

No. Photos# 6-8 show the wear and tear of the brick pavers long term. The pavers provide a hazardous slick surface when wet that the applicant desires to remedy. This walkway currently in place is not original to the home. As installed by prior homeowner, a violation was issued in 2000 with no Commission review.

- *Do you have a detail on the proposed step(s) with dimensions and an elevation? We would like to better understand what is the feature, its materials, dimensions both in plan and elevation(s).*

I do not have a detail prepared at this time for the HDC package. I would be happy to accommodate following approval of the Commission, with the Staff report suggestion of "Permit set be reviewed prior to final approval" as a condition. Plan dimensions have been provided upon Sheet A-1, better viewed upon the color **Enlarged Area of Work plan**. *Each step will be 6" to 7" high maximum. The material of the upper step, planter sills and the bottom step are proposed limestone, to match the front stoop existing.* (Photos #5 and 6 in material and massing). **Risers will be linear and not curved.** The aggregate walk will be between the upper limestone tread/landing and existing steps, **and** lower proposed limestone step to the public sidewalk. The aggregate walk is proposed again within the right-of-way, from the public sidewalk to the street curb. Please reference the enlarged plan notes and dimensions updated.

- *Please provide spot elevations and pitch (% slope) of the walkway from the existing steps to the proposed steps, bottom of proposed steps to the curb. Top and bottom of slopes is all that we need to show how grade is changing from existing to new grades.*

Enlarged Area Work plan is updated to provide for design intent clarity. Applicant/owner verified civil grades necessary for existing yard slope and proposed new work. *Existing is 24" drop from the face of the residence to the City public walkway.*

- *The proposed site plan (A-1) shows hatching on the public sidewalk. Are you proposing to change/alter the existing public walkway? If so, please describe what is being changed.*

Yes. Drawing A-01, with Photos #1 and 8 show the front approach current (brick pavers) intersecting the public sidewalk. This 6'-0" x 6'-0" portion will be removed and replaced with **a new concrete slab** to match elevation/material of that adjacent North/South, compliant with City specifications.

Please see the Enlarged Area of Work Plan revised.

Cordially,
Lori Perlick

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