

**STAFF REPORT:** 3/10/2021 MEETING

**PREPARED BY:** D. RIEDEN

**APPLICATION NUMBER:** #21-7106

**ADDRESS:** 550 FISKE

**HISTORIC DISTRICT:** BERRY SUBDIVISION

**APPLICANT:** CHARLES WILLIAMS

**PROPERTY OWNER:** CHARLES WILLIAMS

**DATE OF PROVISIONALLY COMPLETE APPLICATION:** 01/28/2021

**DATE OF STAFF SITE VISIT:** 2/24/2021

**SCOPE:** ERECT NEW GARAGE/ STORAGE STRUCTURE

### **EXISTING CONDITIONS**

Built in 1960, this 2-story single-family house with attached garage stands midblock on two lots on Fiske Street, facing west. The low-pitched, hipped-roof is accompanied by a large chimney, composed of light-grey bricks that wrap around the first floor of the home. Black-shuttered windows punctuate the second story's white clapboard siding and front elevation. The entry overhang features delicate, modern black-metal balustrade and matching columns. The property includes a fenced side lot, and consists mostly of an open lawn with periodic shade trees and evergreens.



*Site Photo 1, by Staff February 24, 2021: (West) front side*



*Site Photo 2 by Applicant: Garage site (North/East) side/rear.*

The owner purchased the property in March 2019. As staff currently does not have access to some of the previous paper applications and approval letters, the Detroit Property Index is the only available information on the property. This property has no previous HDC approved work, nor any violations.

### **PROPOSAL**

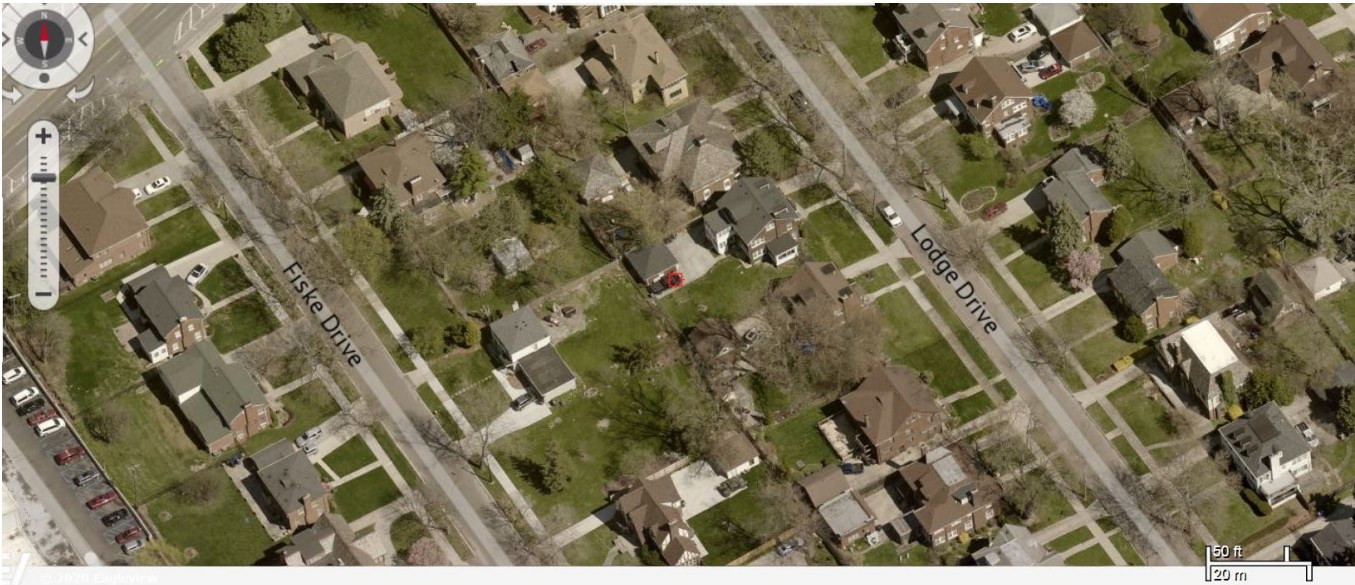
The current owner provided an application, narrative, site photos, construction documents and material details for the following proposed work: construct a new 20' x 25' garage, with a 4" concrete pad, set back 3 feet from the rear (east) and side (north) property line. See also attached documents provided by the applicant. No driveway or other site improvements are included because the proposed use for the garage is storage.



Sanborn Map, Vol.8, P109, 1915. 1



Aerial of Parcel 19006294 and 19006293. 1



Aerial, May 2020 1



## **STAFF OBSERVATIONS AND RESEARCH**

- Upon receipt of the application, Staff requested the following details regarding the applicant's proposed scope of work.
  - Show site plan details of any new additional pavement or gravel-way for the proposed garage.
  - Verify proposed siding material type, color and finish.
  - The applicant sent verification that there is no proposed additional pavement or gravel-way to the entrance of the garage.
  - The applicant verified that the proposed siding is white, vinyl siding.
- The construction drawings show windows and exterior wall sconces at the doors, but the project narrative states that there will be no windows nor exterior lighting on the garage.
- Staff visited the site on February 24, 2021. Staff photographed the property from the public right-of-way and observed the front (west) and sides (north and south) of the house. (See staff photos enclosed)
- The proposed location of the new garage is behind the house and aligned with the applicant's neighbor's garage immediately to the east. Because of this location and the garage being less than the maximum height allowed (15 ft) at 11 ½ feet, it would not be hardly visible to the public.
- The proposed low pitch, hipped roof of the garage aligns in design, color and texture with the existing house's roof.
- The Timberline natural shadow charcoal Architectural shingles are appropriate material.
- The orientation of the garage on the site has the main garage door facing south with the side door facing west, towards the house. Thus, the roof's ridgeline would be perpendicular to the house's roof ridgeline.
- The light-grey color siding and white doors match the existing color scheme of the house.
- It is staff's opinion with Hardie cladding, the materials, size, colors are appropriate for the existing context of the Berry Subdivision Historic District.

## **ISSUES**

- Details on the construction drawing call out James Hardie siding with 8" reveal, which would be appropriate to the design of the house. However, attached construction detailing shows a vinyl siding material. Vinyl is not a historically appropriate material for the Berry Subdivision Historic District or this particular property.

## **RECOMMENDATION**

HDC staff recommends the Commission issue an approval for the below work items because they meet the Secretary of the Interior's Standards for Rehabilitation and conform to the Elements of Design for the Berry Subdivision Historic District:

- Construct a new 20' x 25' garage, with a 4" concrete pad

However, staff recommends the Commission issue a COA with the following conditions:

- The applicant will provide manufacturer specifications with non-vinyl siding for HDC staff review and approval prior to an issued permit.























THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: 1-6-21

## PROPERTY INFORMATION

ADDRESS: 550 Fiske Dr AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: <u>Garage</u>	

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner     Contractor     Tenant or  
Business Occupant     Architect/Engineer/  
Consultant

NAME: Charles Williams COMPANY NAME: N/A

ADDRESS: 550 Fiske Dr CITY: Detroit STATE: MI ZIP: 48214

PHONE: 734-652-6382 MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

**NOTE:**  
Based on the scope of work, additional documentation may be required.  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**



P2 - BUILDING PERMIT APPLICATION

Date: 1-6-21

PROPERTY INFORMATION

Address: 550 Fiske Dr Floor: Suite#: Stories:

AKA: Lot(s): Subdivision:

Parcel ID#(s): Total Acres: Lot Width: Lot Depth:

Current Legal Use of Property: Residence Proposed Use: Residence

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other:

Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Have concrete foundation poured and Garage built.

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area

Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #: Current Legal Land Use: Proposed Use:

Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:





**IDENTIFICATION (All Fields Required)**

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: Charles Williams

Company Name: N/A

Address: 550 Fiske Dr

City: Det

State: MI Zip: 48214

Phone: 734 652 6382

Mobile: \_\_\_\_\_

Email: RevWilliams72@gmail.com

Driver's License #: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: Charles Williams Signature: [Signature] Date: 1-6-21  
(Homeowner)

Subscribed and sworn to before me this 6 day of Jan 2021 A.D. Wayne County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be \_\_\_\_\_

Print Name: Charles Williams Signature: [Signature] Date: 1-6-21  
(Permit Applicant)

Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.







Decorative black metal railing on the second-floor balcony.

White double doors with gold handles on the front porch.

550

ADT

White garage door.



















## HBC

I am submitting application for new garage construction, there is no garage in this space at the present time. I have already sent photos where the garage will be built. The reason I am building the garage is because I don't have space for my lawn mower equipment, as well as lawn furniture and snow removal equipment. So basically the garage will be used specifically for storage. The existing space where the garage will be built is a level surface with nothing but grass. There will be no windows in the garage there will be no external lighting on the structure there will be lighting on the interior of the garage



# WILLIAMS RESIDENCE ACCESSORY STRUCTURE

550 FISKE DR.  
DETROIT, MI 48214

## ARCHITECT

STUDIO DETROIT  
2111 WOODWARD AVE. STE 1001  
DETROIT, MI 48201  
CONTACT: KEVIN J CROSBY, AIA, NCARB  
313.909.3607

## GENERAL SCOPE OF WORK

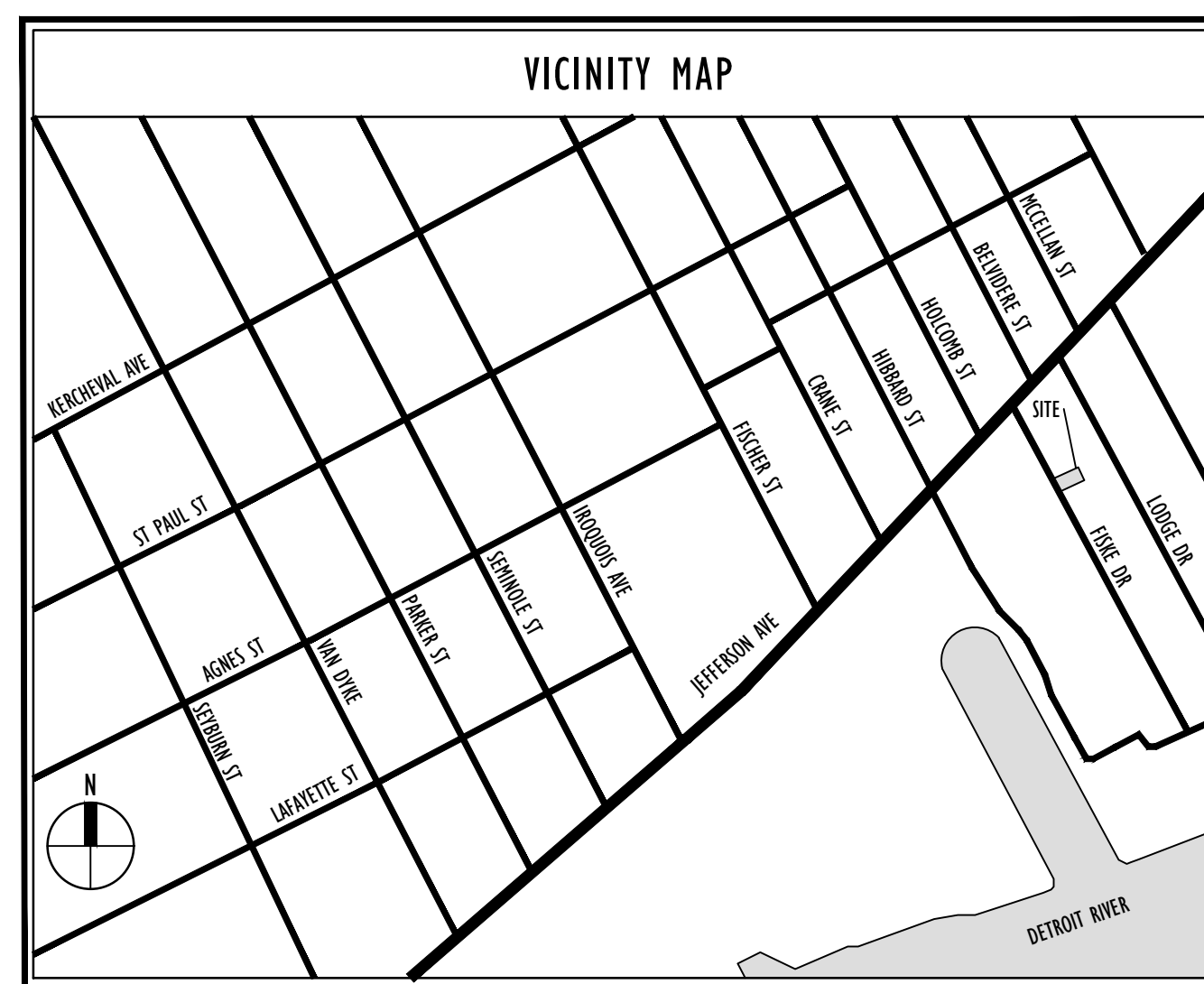
THE ADDITION OF A NEW SINGLE STORY ACCESSORY STORAGE STRUCTURE IN THE REAR YARD.

## BUILDING CODE INFORMATION

APPLICABLE CODES:  
1. MICHIGAN RESIDENTIAL CODE 2015  
2. MICHIGAN UNIFORM ENERGY CODE 2015

## ZONING INFORMATION

SEE SITE PLAN SP1.1



SHEET INDEX		ISSUED FOR	
DRAWING INDEX KEY:		12.02.20 BIDS / PERMITS	
<input type="checkbox"/>	NOT ISSUED	12.18.20 ADDENDUM #1	
<input type="checkbox"/>	PREVIOUSLY ISSUED		
<input checked="" type="checkbox"/>	ISSUED		
<input checked="" type="checkbox"/>	REFERENCE		
GENERAL			
TS1.1	TITLE SHEET, SHEET INDEX, AND VICINITY MAP	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
SP1.1	ARCHITECTURAL SITE PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
ARCHITECTURAL			
A1.3	GARAGE FLOOR PLAN - NEW WORK	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A2.2	GARAGE EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A3.2	GARAGE BUILDING/ WALL SECTIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

SYMBOL LEGEND	ABBREVIATION
ARROWS INDICATES ELEVATED SECTION	@ ACOUST.
ELEVATION NUMBERS	AT ACOUSTICAL
SHEET NUMBER WHERE ELEVATION IS LOCATED	ACOUSTIC CEILING TILE
SHEET NUMBER WHERE ELEVATION IS LOCATED	ADJ. ADJACENT
SHEET NUMBER WHERE DETAIL IS LOCATED	A.F.F. ABOVE FINISH FLOOR
DETAIL NUMBER	ALUM. ALUMINUM
DETAIL NAME	ANOD. ANODIZED
DRAWING SCALE	BD. BOARD
DRAWING SCALE	BLDG. BUILDING
DRAWING SCALE	BLK. BLOCK
DRAWING SCALE	BLKG. BLOCKING
DRAWING SCALE	CEM. CEMENT
DRAWING SCALE	C.J. CONTROL JOINT
DRAWING SCALE	CLG. CEILING
DRAWING SCALE	CL. CENTER LINE
DRAWING SCALE	C.O. CLEAN OUT
DRAWING SCALE	COL. COLUMN
DRAWING SCALE	CONC. CONCRETE
DRAWING SCALE	C.G. CORNER GUARD
DRAWING SCALE	CONST. CONSTRUCTION
DRAWING SCALE	CONT. CONTINUOUS
DRAWING SCALE	CORR. CORRUGATED
DRAWING SCALE	CPT. CARPET
DRAWING SCALE	C.T. CERAMIC TILE
DRAWING SCALE	DET. DETAIL
DRAWING SCALE	DIA. DIAMETER
DRAWING SCALE	DM. DIMENSION
DRAWING SCALE	DN. DOWN
DRAWING SCALE	D.O. DOOR OPENING
DRAWING SCALE	DR. DOOR
DRAWING SCALE	DWG. DRAWING
DRAWING SCALE	EA. EACH
DRAWING SCALE	ELEV. ELEVATION
DRAWING SCALE	E.W. EACH WAY
DRAWING SCALE	EXG. EXISTING
DRAWING SCALE	EXIST. EXISTING
DRAWING SCALE	EXP. EXPANSION EXPOSED
DRAWING SCALE	EXT. EXTERIOR
DRAWING SCALE	F.D. FLOOR DRAIN
DRAWING SCALE	FDN. FOUNDATION
DRAWING SCALE	F.F.P. FIBER REINFORCED PANELS
DRAWING SCALE	FIN. FINISH
DRAWING SCALE	FLR. FLOOR
DRAWING SCALE	F.O. FACE OF STUD
DRAWING SCALE	F.O.S. FACE OF STUD
DRAWING SCALE	F.S. FLOOR SINK
DRAWING SCALE	FR. FRAME
DRAWING SCALE	FTG. FOOTING
DRAWING SCALE	GA. GAUGE
DRAWING SCALE	GALV. GALVANIZED
DRAWING SCALE	GYP. GYPSUM
DRAWING SCALE	HDW. HARDWARE
DRAWING SCALE	H.M. HOLLOW METAL
DRAWING SCALE	HORIZ. HORIZONTAL
DRAWING SCALE	HT. HEIGHT
DRAWING SCALE	I.D. INSIDE DIAMETER
DRAWING SCALE	INSUL. INSULATION
DRAWING SCALE	INT. INTERIOR
DRAWING SCALE	JOINT JOINT
DRAWING SCALE	JT. JOINT
DRAWING SCALE	LAV. LAVATORY
DRAWING SCALE	LG. LONG
DRAWING SCALE	L.L.O. LONG LEG OUTSTANDING
DRAWING SCALE	L.L.V. LONG LEG VERTICAL
DRAWING SCALE	MAX. MAXIMUM
DRAWING SCALE	MECH. MECHANICAL
DRAWING SCALE	MET. METAL
DRAWING SCALE	MEZZ. MEZZANINE
DRAWING SCALE	M.I. MISCELLANEOUS IRON
DRAWING SCALE	MIN. MINIMUM
DRAWING SCALE	MISC. MISCELLANEOUS
DRAWING SCALE	M.O. MASONRY OPENING
DRAWING SCALE	N.I.C. NOT IN CONTRACT
DRAWING SCALE	N.T.S. NOT TO SCALE
DRAWING SCALE	O.C. ON CENTER
DRAWING SCALE	O.D. OUTSIDE DIAMETER
DRAWING SCALE	OPNG. OPENING
DRAWING SCALE	OPP. OPPOSITE
DRAWING SCALE	PL.G. PLATE GLASS
DRAWING SCALE	PL.S. PLATE STEEL
DRAWING SCALE	P.LAM PLASTIC LAMINATE
DRAWING SCALE	PLASTER PLASTER
DRAWING SCALE	PREFAB. PREFABRICATED
DRAWING SCALE	PROJ. PROJECT, PROJECTION
DRAWING SCALE	P.S.F. POUNDS PER SQUARE FOOT
DRAWING SCALE	PT. PAINT, POINT
DRAWING SCALE	R. RISER
DRAWING SCALE	R.A. RETURN AIR
DRAWING SCALE	R.B. RUBBER BASE
DRAWING SCALE	R.C. ROOF CONDUCTOR
DRAWING SCALE	R.C.P. REFLECTED CEILING PLAN
DRAWING SCALE	R.D. ROOF DRAIN
DRAWING SCALE	R.F. RUBBER FLOORING
DRAWING SCALE	REINF. REINFORCED, REINFORCING
DRAWING SCALE	REQ'D. REQUIRED
DRAWING SCALE	ROOFING ROOFING
DRAWING SCALE	RM. ROOM
DRAWING SCALE	R.S. ROOF SUMP
DRAWING SCALE	R.T. RUBBER TILE
DRAWING SCALE	SAN. SANITARY
DRAWING SCALE	SCHED. SCHEDULE
DRAWING SCALE	SHT. SHEET
DRAWING SCALE	SIM. SIMILAR
DRAWING SCALE	SPEC. SPECIFICATION
DRAWING SCALE	S.S. SERVICE SINK
DRAWING SCALE	STL. STEEL
DRAWING SCALE	STD. STANDARD
DRAWING SCALE	STOR. STORAGE
DRAWING SCALE	STRUCT. STRUCTURAL
DRAWING SCALE	SUSP. SUSPENDED
DRAWING SCALE	SW. SWITCH
DRAWING SCALE	SYM. SYMMETRICAL
DRAWING SCALE	T. TREAD
DRAWING SCALE	T&B TOP AND BOTTOM
DRAWING SCALE	TEL. TELEPHONE
DRAWING SCALE	TERR. TERRAZZO
DRAWING SCALE	T&G TONGUE AND GROOVE
DRAWING SCALE	THK. THICK, THICKNESS
DRAWING SCALE	THRES. THRESHOLD
DRAWING SCALE	T.O.S. TOP OF STEEL
DRAWING SCALE	TYP. TYPICAL
DRAWING SCALE	U/C UNDERCUT
DRAWING SCALE	UN. UNLESS NOTED OTHERWISE
DRAWING SCALE	V.B. VINYL BASE
DRAWING SCALE	V.C.T. VINYL COMPOSITION TILE
DRAWING SCALE	V.P.F. VINYL PLANK FLOORING
DRAWING SCALE	V.I.F. VERIFY IN FIELD
DRAWING SCALE	W. WIDE
DRAWING SCALE	VERT. VERTICAL
DRAWING SCALE	WAIN. WAINSCOT
DRAWING SCALE	W.C. WATER CLOSET
DRAWING SCALE	WD.WIN. WOOD WINDOW
DRAWING SCALE	WT. WEIGHT
DRAWING SCALE	W.W.F. WELDED WIRE FABRIC
MATERIAL LEGEND	
ACOUSTICAL CEILING	
BATT/LOOSE INSULATION	
BLOCKING/ROUGH LUMBER	
CONCRETE	
FINISHED WOOD	
GLASS	
GYPSUM WALLBOARD	
MASONRY	
PARTICLE BOARD	
PLYWOOD	

STUDIO  
DETROIT  
VISIONARIES  
INNOVATORS  
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## DO NOT SCALE DRAWINGS

ISSUED	BIDS/ PERMITS
12.02.20	
12.18.20	ADDENDUM #1

FILE 1939\_TSI-1\_Coversheet.dwg

DRAWN RILEY L. KINNAN

CHECKED KEVIN J. CROSBY

SEAL

CLIENT  
CHARLES WILLIAMS

PROJECT  
WILLIAMS RESIDENCE ADDITION  
550 FISKE FISKE DR  
DETROIT, MI 48214

JOB NO.  
1939

SHEET  
TITLE SHEET

SHEET NO.  
TSI.1



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ISSUED	BIDS/ PERMITS
12.02.20	

FILE 1939\_ASP1.1\_SitePlan.dwg  
DRAWN RILEY L. RINMAN  
CHECKED KEVIN J. CROSBY  
SEAL

CLIENT  
CHARLES WILLIAMS

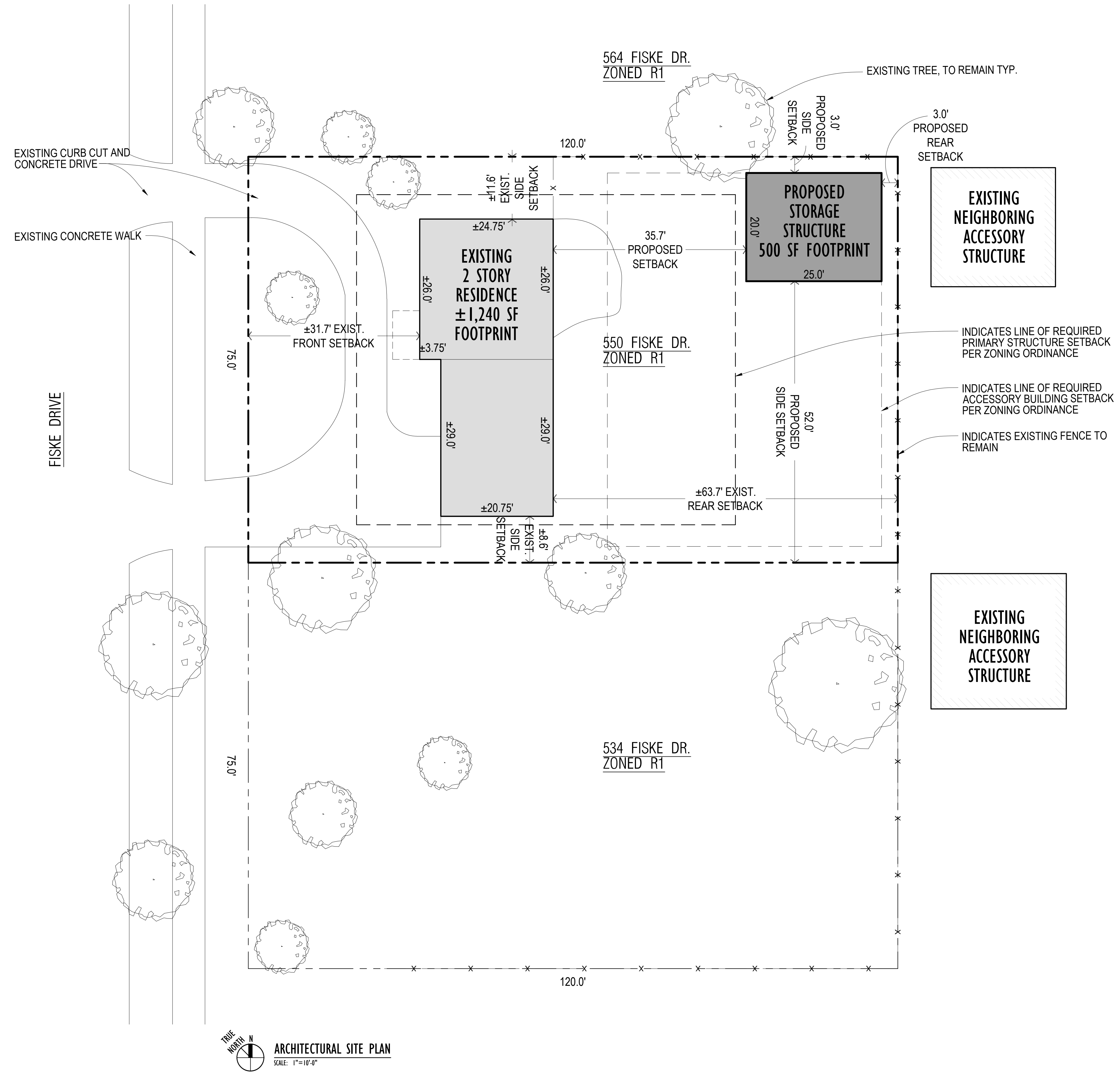
PROJECT  
WILLIAMS RESIDENCE ADDITION  
550 FISKE FISKE DR  
DETROIT, MI 48214

JOB NO.  
1939

SHEET  
ARCHITECTURAL SITE PLAN

SHEET NO.  
SPI.1

SITE DATA SUMMARY TABLE	
CURRENT ZONING	R1 - SINGLE FAMILY RESIDENTIAL
SITE AREA	9,000 S.F. ±.2 ACRES
MAX. LOT COVERAGE	35%
<b>BUILDING LOT COVERAGE</b>	
EXISTING RESIDENCE	1,240 S.F.
PROPOSED ACCESSORY STRUCTURE	500 S.F.
PROPOSED TOTAL BUILDING LOT COVERAGE	1,740 S.F.
PROPOSED TOTAL LOT COVERAGE	19%
<b>BUILDING SETBACKS (RESIDENCE)</b>	
FRONT	REQUIRED: 20 FEET EXISTING: ±31.7 FEET
SIDE	REQUIRED: 4 FEET EXISTING: ±8.6 FEET
CUMULATIVE SIDE	REQUIRED: 14 FEET EXISTING: ±11.6 FEET
REAR	REQUIRED: 30 FEET EXISTING: ±63.7 FEET
<b>BUILDING SETBACKS (ACCESSORY STRUCTURE)</b>	
REAR	REQUIRED: 3 FEET PROPOSED: 3 FEET
SIDE	REQUIRED: 3 FEET PROPOSED: 3 FEET
<b>ACCESSORY STRUCTURE</b>	
MUST BE LOCATED IN REAR YARD	
< 50% OF REQUIRED REAR SETBACK AREA	
> 10 FEET FROM ANY SINGLE OR TWO FAMILY DWELLING	
MAX. HEIGHT:	15 FEET
PROPOSED HEIGHT:	±11.6 FEET (TOP OF ROOF STRUCTURE)



ARCHITECTURAL SITE PLAN  
SCALE: 1"=10'-0"



**FLOOR PLAN GENERAL NOTES:**

1. ASSUMED SOIL CAPACITY IS 3,000#/SQ. FT. THE CONTRACTOR SHALL DETERMINE THE BEARING CAPACITY THROUGH FIELD-TESTING.
2. EXTERIOR MASONRY WALLS DIMENSIONED TO FACE OF MASONRY. EXTERIOR SIDED WALLS DIMENSIONED TO FACE OF SHEATHING
3. COORDINATE BUILT-IN FURNITURE, FINISHES, FIXTURES, TRIM, & OTHER SIMILAR DETAILS w/ OWNER
4. ALL DOOR SIZES ARE LABEL IN FEET AND INCHES: 3080 = 3'-0" WIDE x 8'-0" HIGH
5. UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 4" FROM ADJACENT WALL ON HINGE SIDE. IF CASING LARGER THEN 2 1/4" IS SELECTED, ADJUST AS NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO

**FRAMING GENERAL NOTES:**

1. HEADERS FOR OPENINGS UP TO 6'-0" LONG SHALL BE MIN. (2) 2x8 AND BEAR ON (2) 2x4 BUILT-UP COLUMN AT EACH END U.O.N.
2. HEADERS FOR OPENINGS FROM 6'-0" TO 10'-0" SHALL BE MIN (2) 2x12 AND SHALL BEAR ON (3) 2x4 BUILT-UP COLUMNS AT EACH END U.O.N.
3. SEALED DRAWINGS FOR PRE-ENGINEERED ROOF TRUSSES SHALL BE AVAILABLE ONSITE AT THE TIME OF ROUGH-FRAMING INSPECTION.
4. ALL FRAMING IN CONTACT WITH MASONRY SHALL BE M.R.T. TREATED
5. LVL PROPERTIES: E= 1,800,000 PSI, Fb= 2,400 PSI
6. MULTIPLE STUDS SHALL BE REQUIRED UNDER TRUSS GIRDER BEARING POINTS - COORDINATE WITH TRUSS MANUFACTURER. VERIFY ADDITIONAL HEADER SUPPORT WITH STRUCTURAL ENGINEER IF REQUIRED.

**ROOF PLAN GENERAL NOTES:**

1. PROVIDE CONTINUOUS RIDGE VENT AND/OR ROOF VENTS PER MIRC 2015. VENTS TO BE HIDDEN FROM STREET VIEW
2. ROOF CONTRACTOR SHALL INSPECT EXISTING ROOF STRUCTURE AND FLASHING CONDITIONS FOR DEFICIENCIES AND REPAIR AND REPLACE AS REQ. PER OWNER'S DIRECTION.

**FLOOR PLAN KEY NOTES:**

- 1 7th O.H. DOOR w/ OPENER
- 2 INDICATES LINE OF O.H. DOOR ABOVE
- 3 POURED CONCRETE SLAB
- 4 DOOR AND FRAME AS SCHEDULED
- 5 WINDOW AND FRAME AS SCHEDULED
- 6 16" WIDE REINF. CONC. TRENCH FOOTING FROM 4" BELOW FINISH FLOOR TO 42" MIN BELOW GRADE. SEE GENERAL NOTES THIS SHEET & SECTION. FINAL DESIGN BY PROFESSIONAL ENGINEER.
- 7 4" CMU STARTER COURSE
- 8 25 YR ARCHITECTURAL SHINGLES
- 9 LINE OF NEW EXTERIOR WALL SHEATHING FACE BELOW
- 10 CONCRETE APRON: SLOPE TO GRADE
- 11 1-HR FIRE RESISTANCE RATED WALL PER AMERICAN WOOD COUNCIL ASSEMBLY W54-1.3 AS NOTED. SEE SECTION AND DETAIL

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**DO NOT SCALE DRAWINGS**

ISSUED	BIDS/ PERMITS
12.02.20	
12.18.20	ADDENDUM #1

FILE 1939_A1.3_Garage_FirstFloorPlan
DRAWN RILEY L. RINNAN
CHECKED KEVIN J. CROSBY
SEAL

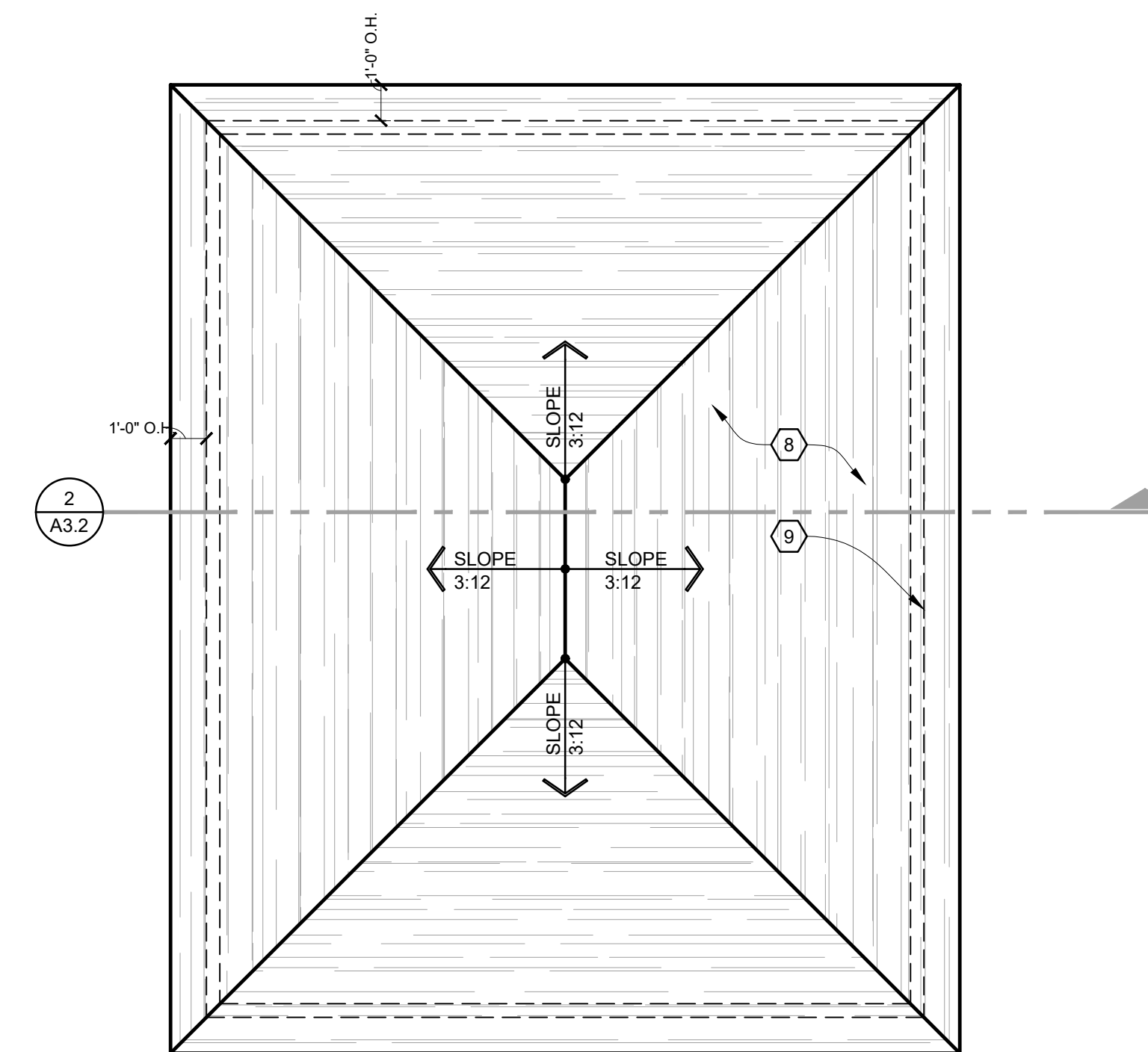
**CLIENT**  
CHARLES WILLIAMS

**PROJECT**  
WILLIAMS RESIDENCE ADDITION  
550 FISKE FISKE DR  
DETROIT, MI 48214

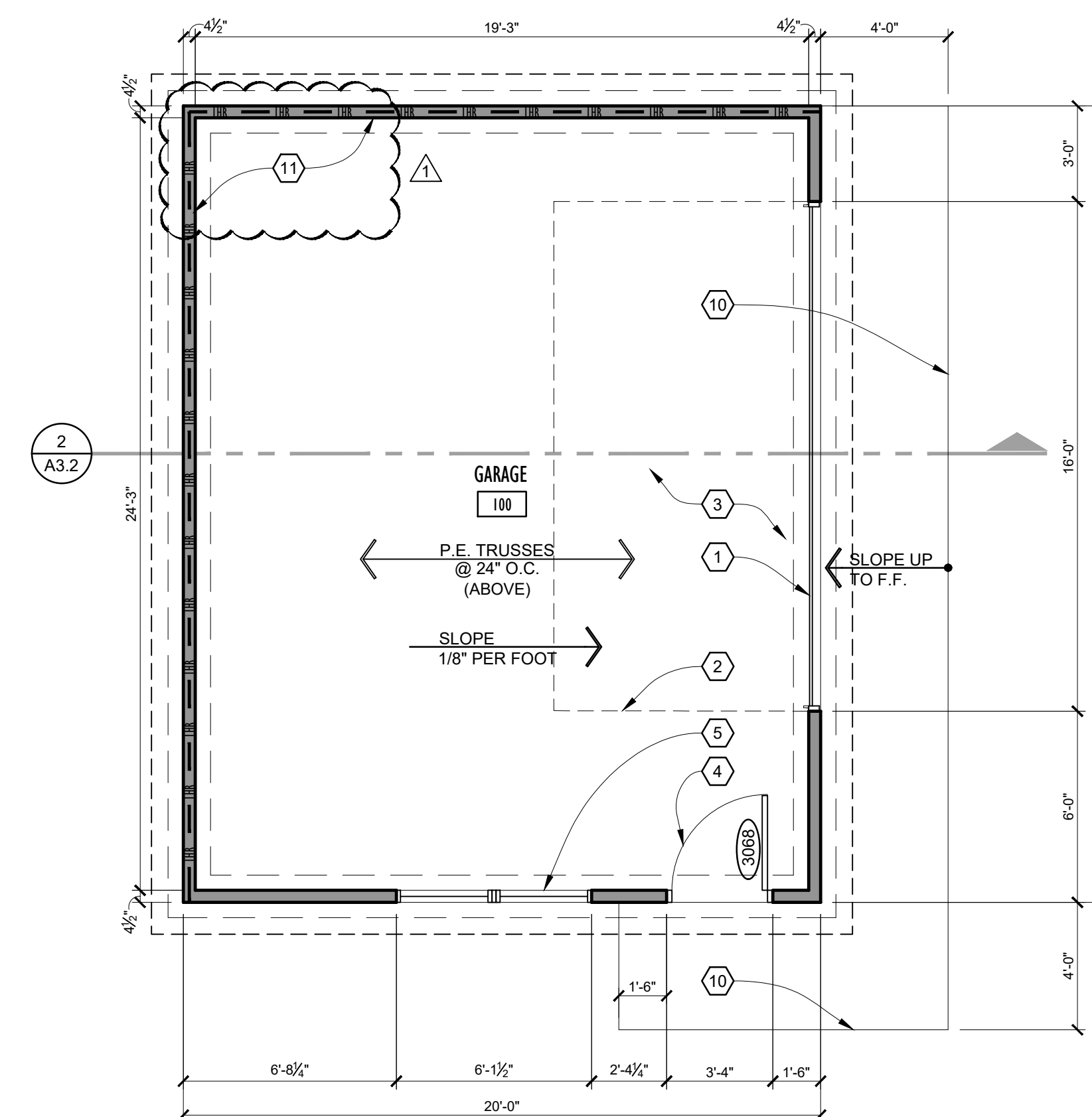
**JOB NO.**  
1939

**SHEET**  
GARAGE PLAN  
- NEW WORK

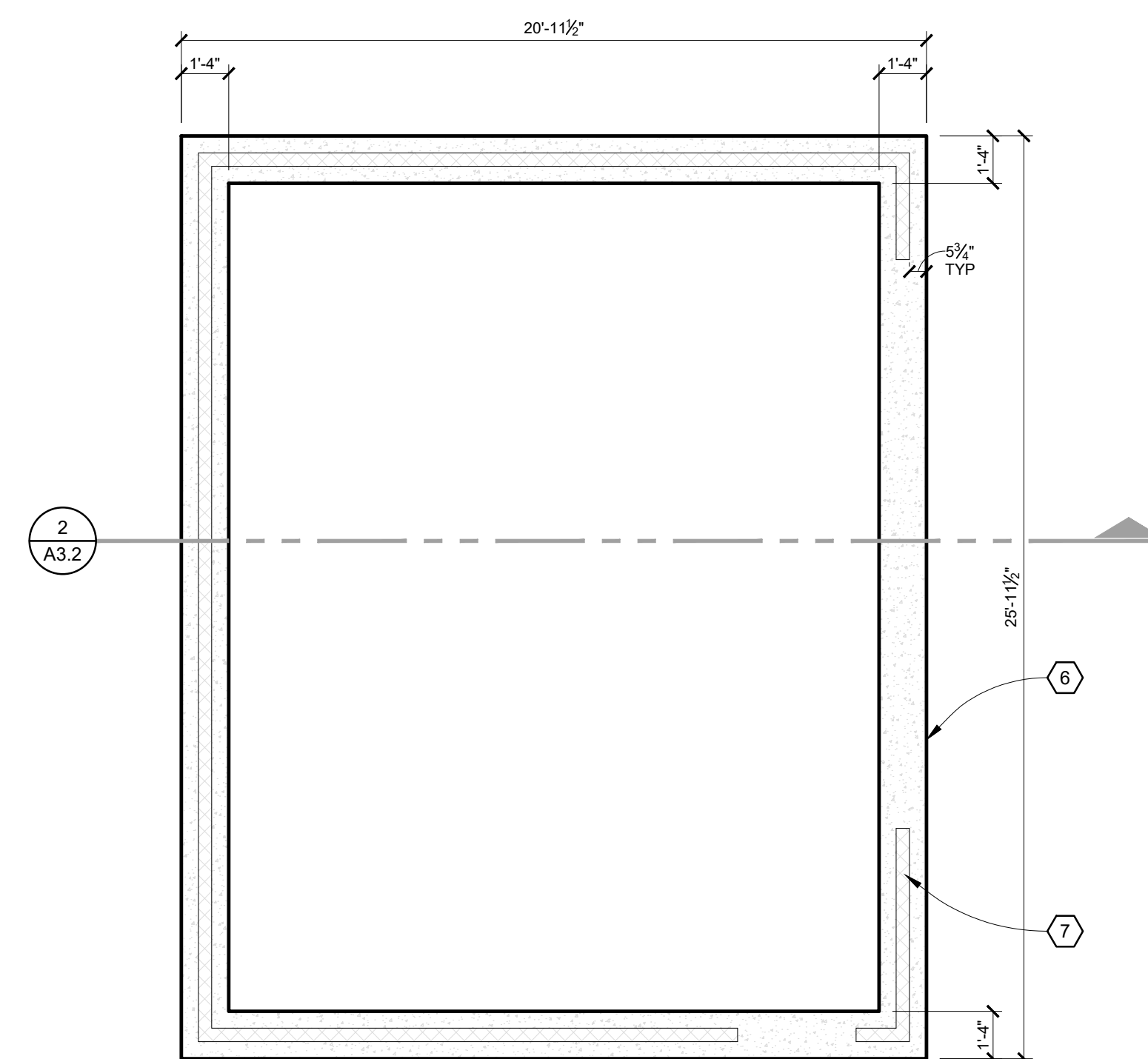
**SHEET NO.**  
A1.3



**GARAGE ROOF PLAN - NEW WORK**  
SCALE: 1/4"=1'-0"



**GARAGE PLAN - NEW WORK**  
SCALE: 1/4"=1'-0"



**GARAGE FOUNDATION PLAN - NEW WORK**  
SCALE: 1/4"=1'-0"



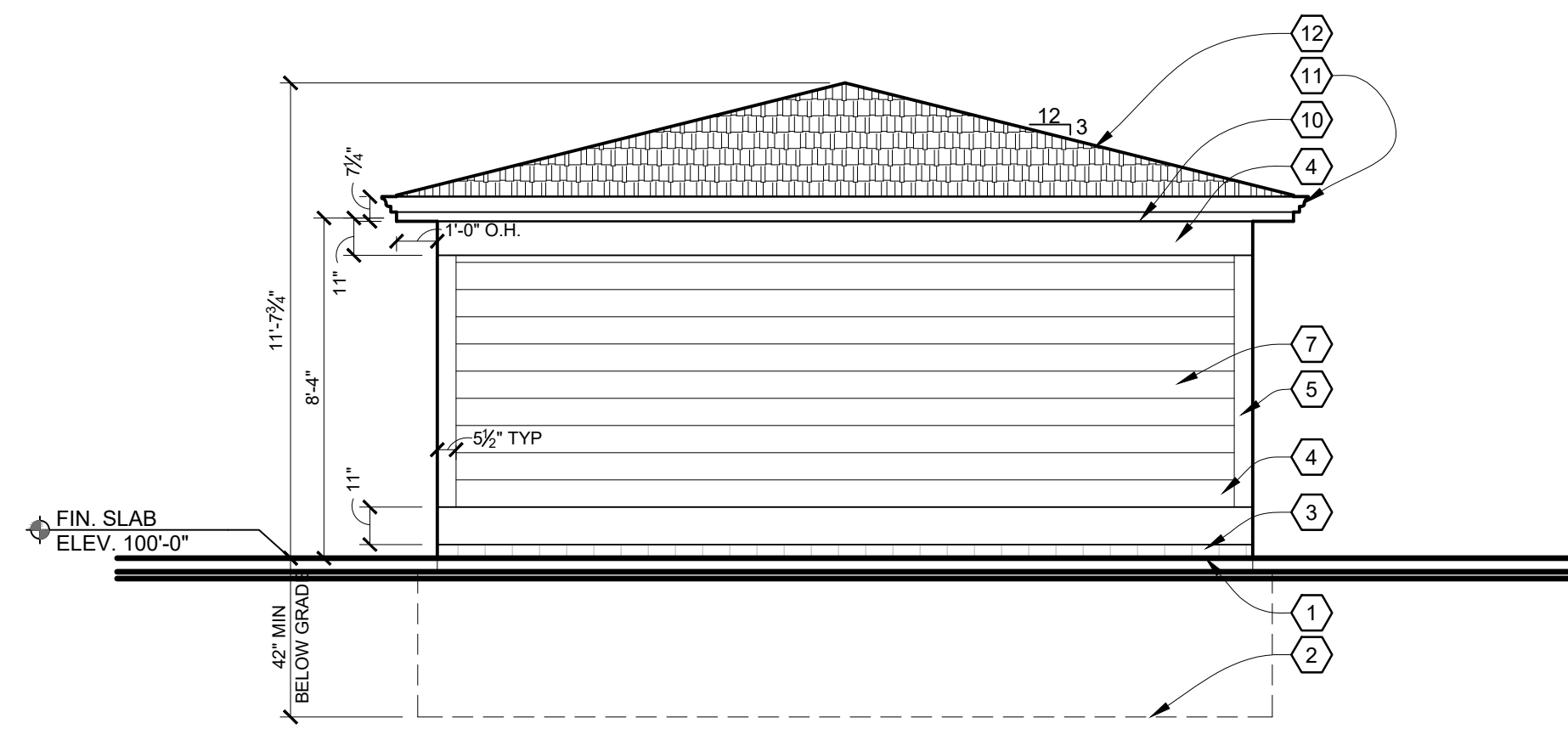
**GENERAL ELEVATION NOTES:**

1. ALL FINISH/ TRIM SUPPLIERS SHALL SUBMIT SHOP DRAWINGS OR SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL BY OWNER/ ARCHITECT PRIOR TO ORDERING.
2. ALL CUT ENDS OR DRILLED LUMBER SHALL BE REPAIRED WITH SEALER.
3. PROVIDE 1x BLOCKING BEHIND ALL WALL MOUNTED ITEMS, VERIFY SIZES.

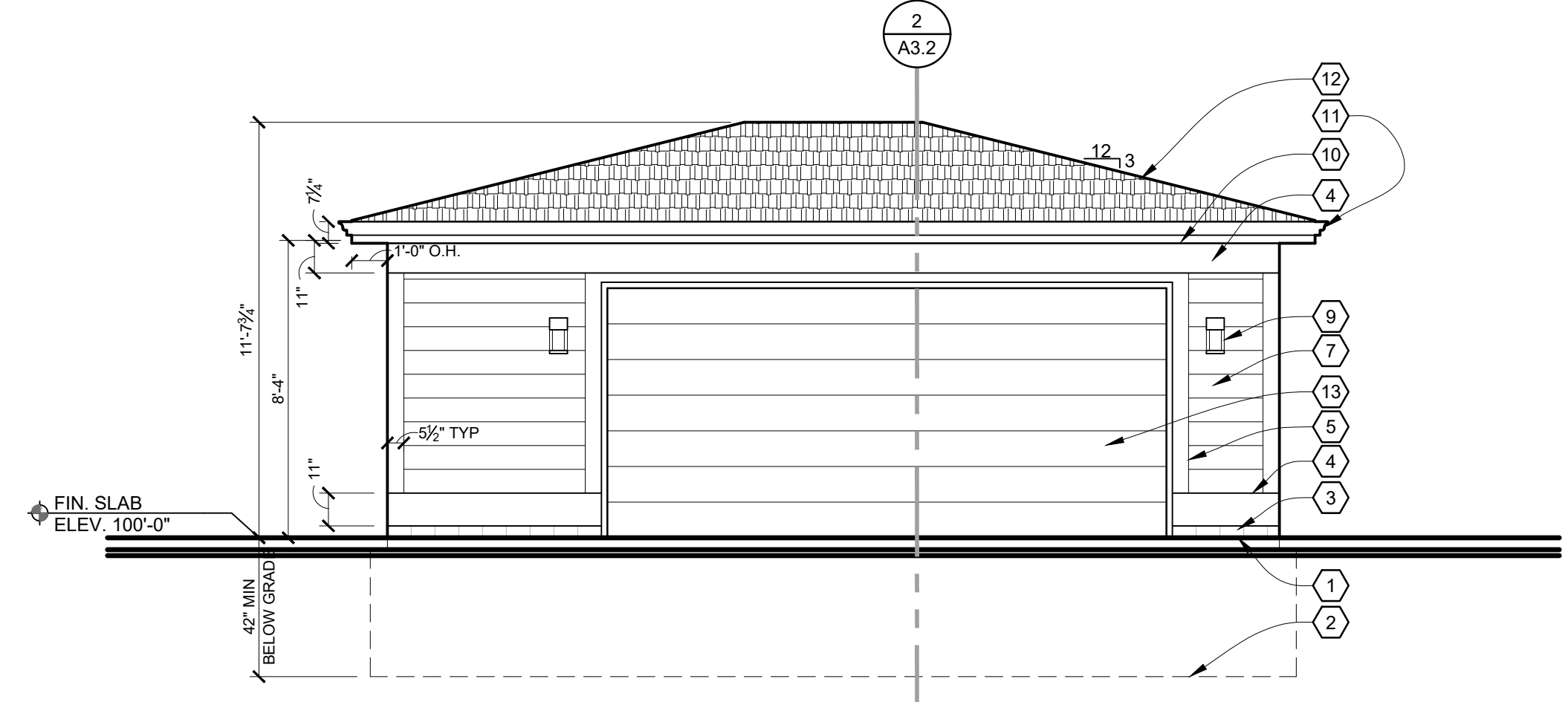
**EXTERIOR ELEVATION KEY NOTES:**

- 1 INDICATES LINE OF GRADE
- 2 INDICATES LINE OF NEW TRENCH FOOTING TO MIN 3'-6" BELOW FINISHED GRADE
- 3 4" CMU STARTER COURSE
- 4 1x TRIM BOARD; MRT, PAINT.
- 5 1x TRIM; TYP. PAINT.
- 6 DOOR & FRAME; PAINT.
- 7 JAMES HARDIE SIDING w/ 8" REVEAL; COLOR TBD BY OWNER
- 8 WINDOW AND FRAME
- 9 EXTERIOR WALL SCONCE AS SELECTED BY OWNER
- 10 1x8 MRT WD. FASCIA BD; PRIME & PAINT
- 11 CONTINUOUS PRE-FINISHED SEAMLESS ALUM. GUTTER SYSTEM w/ DOWN SPOUTS
- 12 ARCHITECTURAL SHINGLES ON NEW CONSTRUCTION; SEE ROOF PLAN
- 13 7" O.H. DOOR w/ OPENER

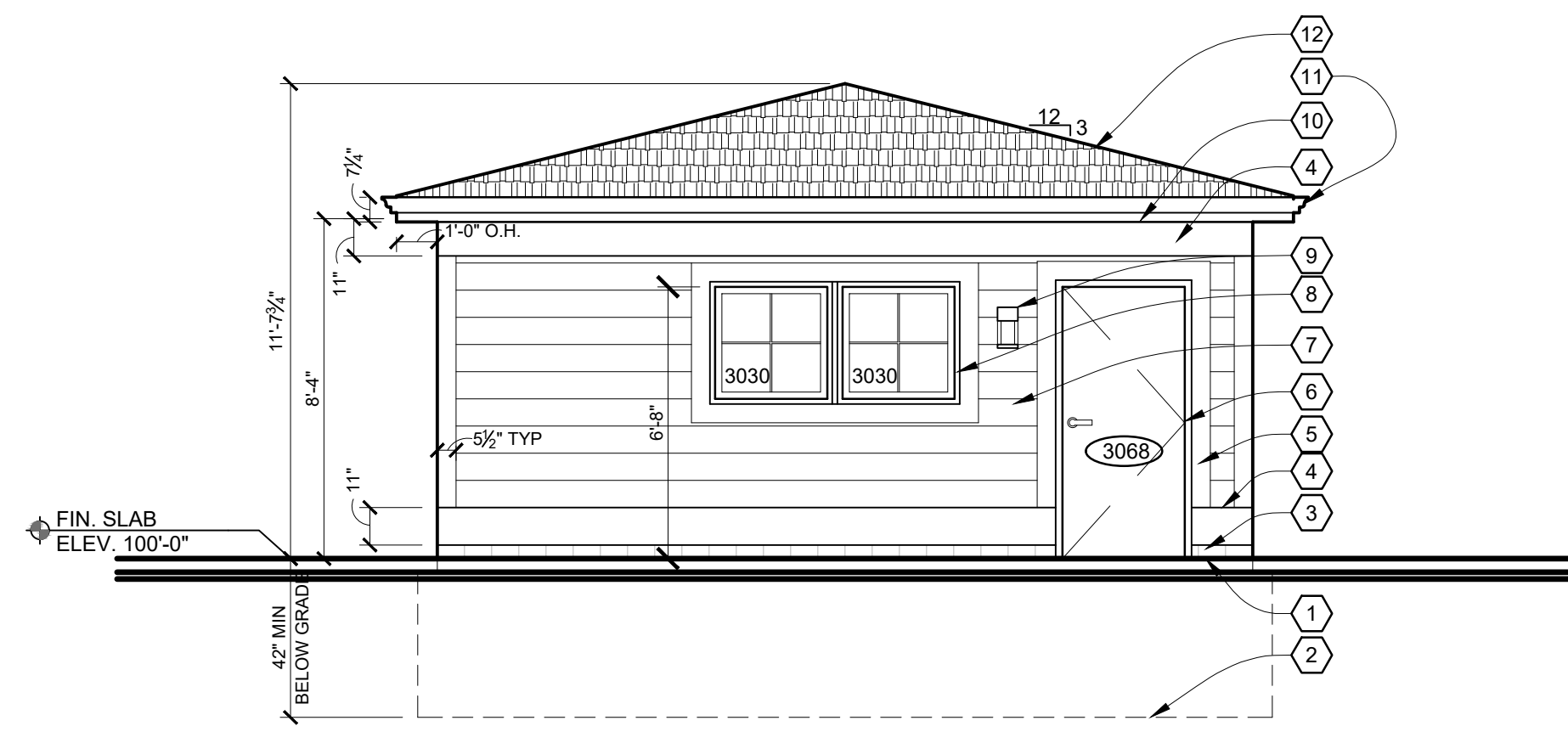
NOTE:  
CONTRACTOR TO PROVIDE AND INSTALL CONTINUOUS ALUM. GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS IN APPROPRIATE LOCATIONS; COORDINATE COLOR AND PROFILE SELECTION w/ OWNER



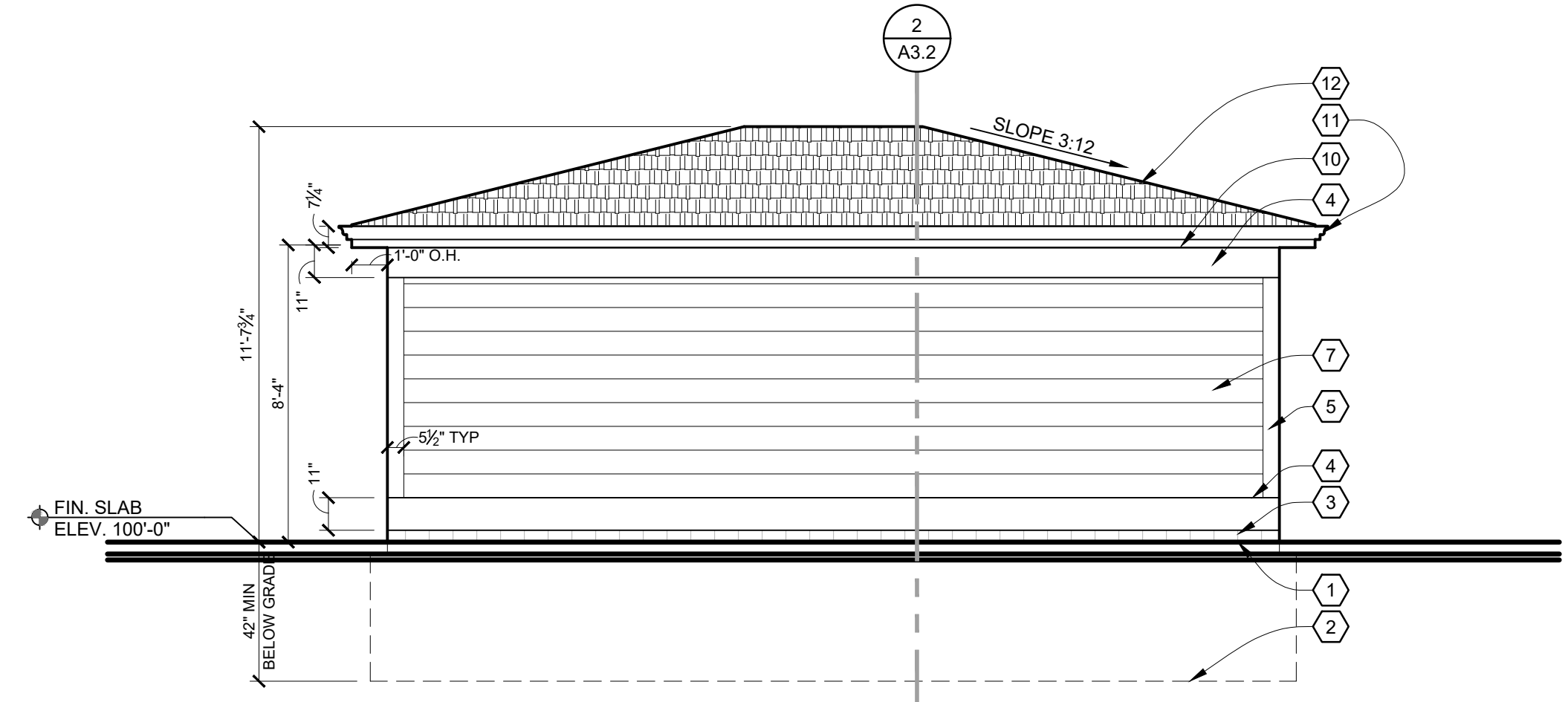
**NORTH ELEVATION**  
SCALE: 1/4"=1'-0"



**EAST ELEVATION**  
SCALE: 1/4"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"



**WEST ELEVATION**  
SCALE: 1/4"=1'-0"

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ISSUED	BIDS/ PERMITS
12.02.20	

FILE 1939\_A2-3\_GarageExtElevations.dwg  
DRAWN RILEY L. RINMAN  
CHECKED KEVIN J. CROSBY  
SEAL

**CLIENT**  
CHARLES WILLIAMS

**PROJECT**  
WILLIAMS RESIDENCE ADDITION  
550 FISKE FISKE DR  
DETROIT, MI 48214

**JOB NO.**  
1939

**SHEET**  
GARAGE  
EXTERIOR ELEVATIONS

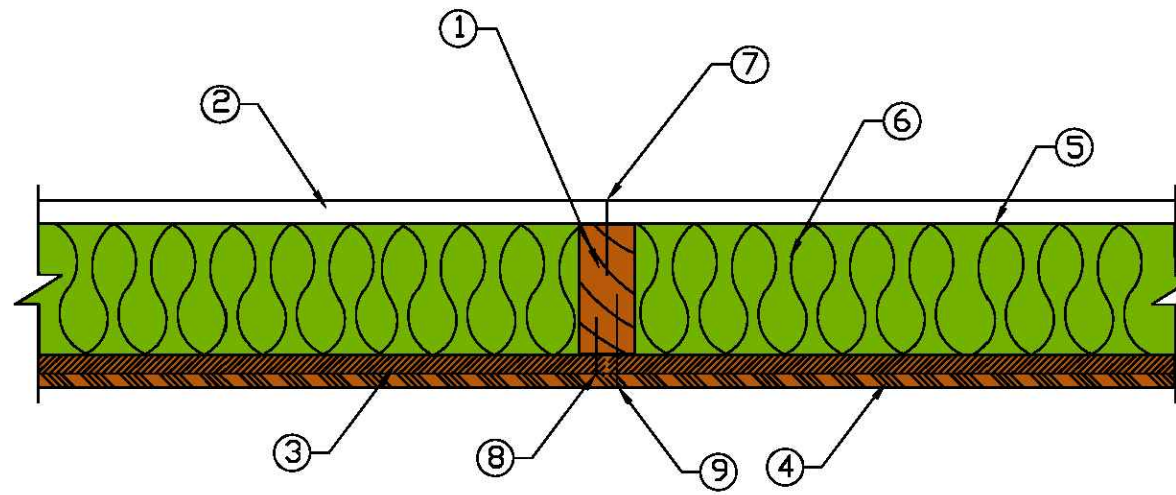
**SHEET NO.**  
A2.2



**WALL SECTION KEY NOTES:  
(TYPICAL THIS SHEET ONLY)**

- 1 CONCRETE TRENCH FOOTING w/ #4 BARS 24" O.C. VERT. AND 24" O.C. HORIZ.
- 2 CONTINUOUS PRE-FINISHED ALUMINUM FLASHING w/ DRIP EDGE
- 3 SLAB ON GRADE 4" CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON 4" COMPACTED SAND BASE.
- 4 1/2" EXPANSION JOINT.
- 5 INDICATES LINE OF GRADE; PITCH AWAY FROM STRUCTURE
- 6 1/2" ANCHOR BOLT @ 32" O.C. 12" FROM CORNERS AND ENDS
- 7 2x4 MRT SILL PLATE w/ SILL SEALER
- 8 EXTERIOR NON-RATED WALL JAMES HARDIE SIDING w/ 6" REVEAL (OR ALT. VINYL SIDING) ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2x4 WD STUDS @ 16" O.C. ON 1/2" GYP. BD. (GYP. BD FINISH OPTIONAL. COORDINATE w/ OWNER)
- 9 1x TRIM BOARD, MRT, PAINT. COORDINATE w/ EXTERIOR ELEVATIONS
- 10 2x4 DOUBLE TOP PLATE
- 11 CONTINUOUS PRE-FINISHED SEAMLESS ALUM. GUTTER SYSTEM
- 12 1x8 MRT WD. FASCIA BD. PRIME & PAINT
- 13 ROOFING 25 YR ARCHITECTURAL SHINGLES ON 15# FELT (TAPE) ON 1/2" APA RATED SHEATHING - SEE ROOF PLAN
- 14 2x WD. BLOCKING/ FRAMING
- 15 PRE-FINISHED VENTED SOFFIT PANELS
- 16 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
- 17 EXTERIOR 1-HR RATED WALL JAMES HARDIE SIDING w/ 6" REVEAL (ALT. VINYL SIDING) ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2x4 WD STUDS @ 16" O.C. w/ MINERAL WOOL INSULATION, 4 MIL VAPOR BARRIER AND 5/8" TYPE X GYP. BD. AT INTERIOR FACE OF WALL; INSTALL PER AMERICAN WOOD COUNCIL ASSEMBLY WS4-1.3; SEE DESCRIPTION, THIS SHEET.

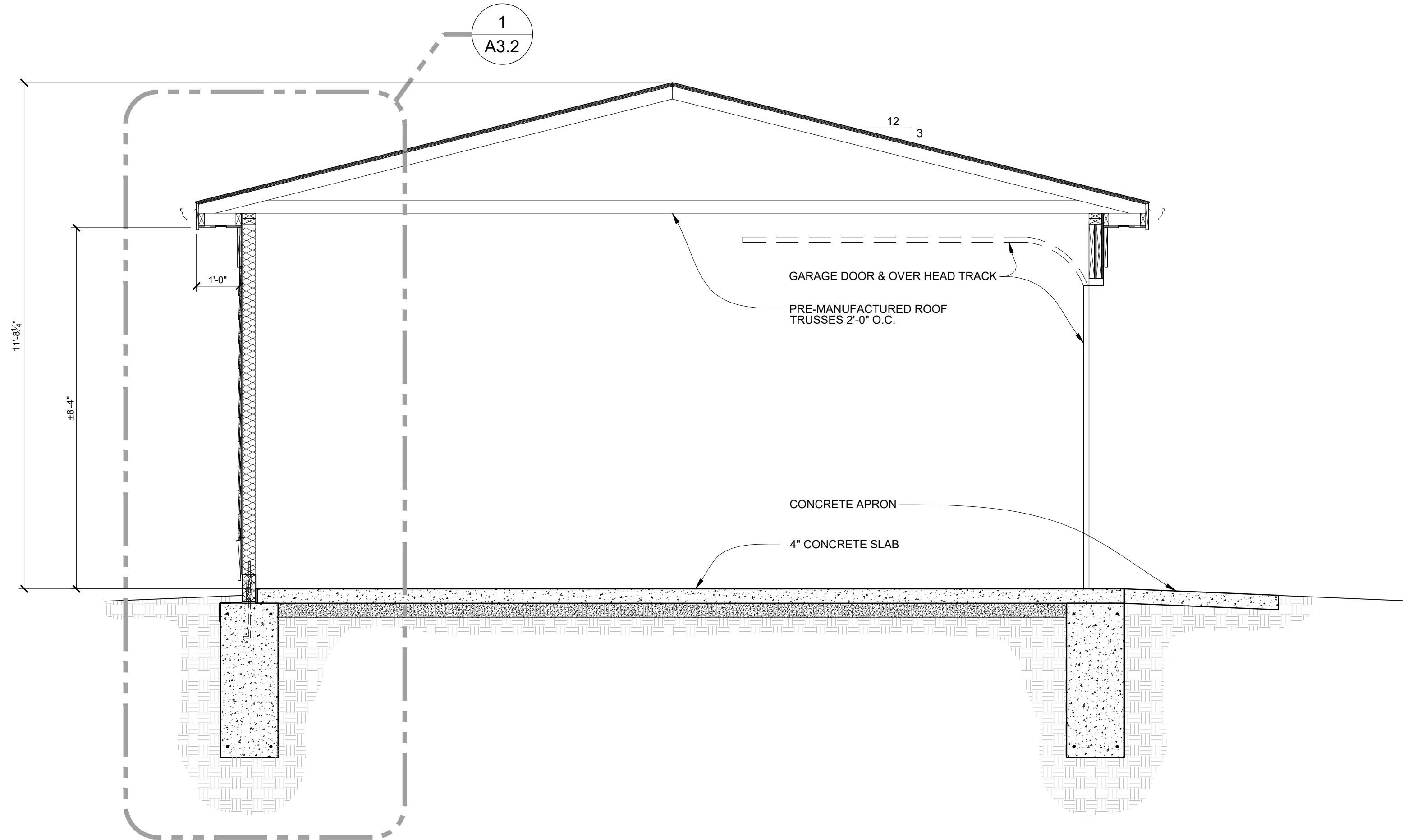
**WS4-1.3 One-Hour Fire-Resistance-Rated Wood-Frame Wall Assembly  
(Rated from gypsum wallboard side)  
2x4 Wood Stud Wall - 78% Design Load - ASTM E 119/NFPA 251**



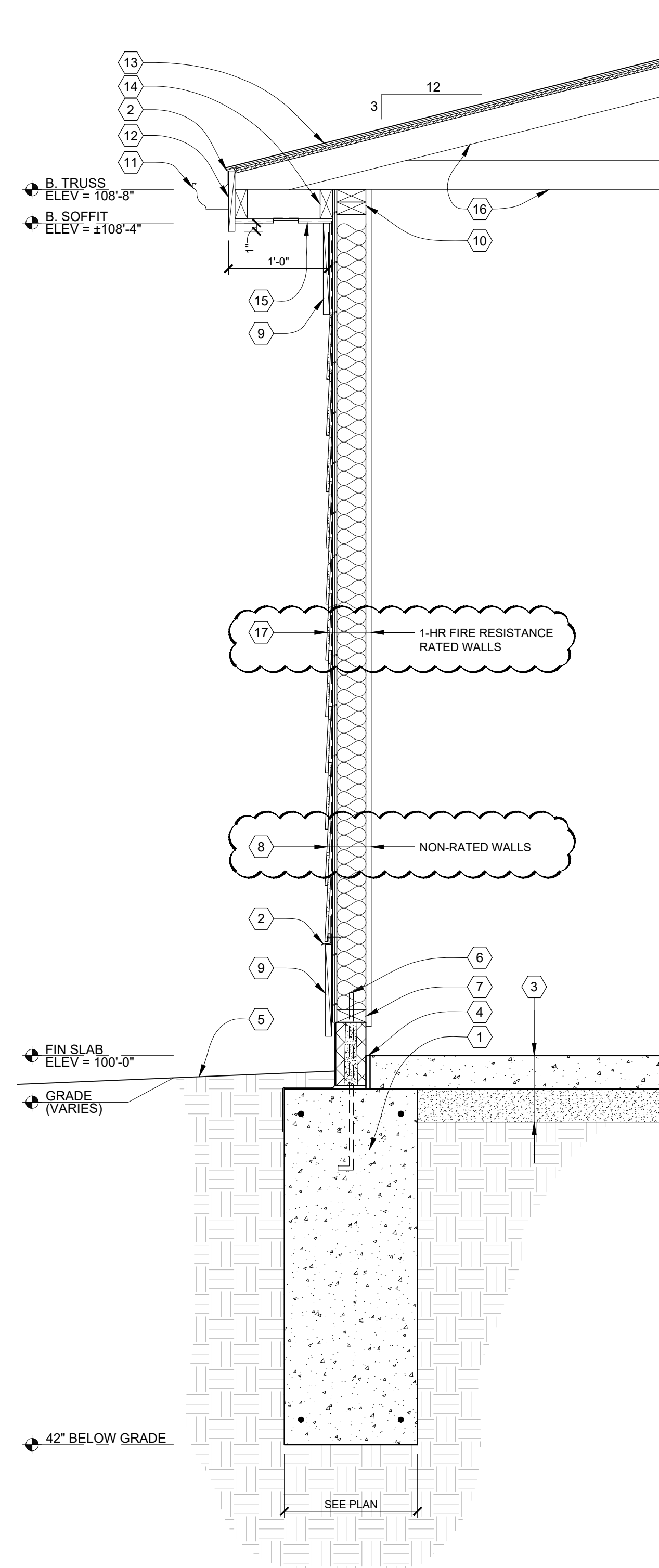
1. Framing - Nominal 2x4 wood studs, spaced 16 in. o.c., double top plates, single bottom plate
2. Interior Sheathing - 5/8 in. Type X gypsum wallboard, 4 ft. wide, applied vertically, unblocked
3. Exterior Sheathing - Minimum 1/2 in. fiberboard sheathing. *Alternate construction - minimum 1/2 in. lumber siding or 1/2 in. wood-based sheathing.*
4. Exterior Siding - 3/8 in. hardboard shiplap edge panel siding. *Alternate construction - lumber, wood based, vinyl, or aluminum siding.*
5. Vapor Barrier - 4-mil polyethylene sheeting
6. Insulation - 3-1/2-inch-thick mineral wool insulation (2.5 pcf, nominal)
7. Gypsum Fasteners - 6d cement coated box nails spaced 7 in. o.c.
8. Fiberboard Fasteners - 1-1/2 in. galvanized roofing nails - 6 in. o.c. in the field, 3 in. o.c. panel edges
9. Hardboard Fasteners - 8d galvanized nails - 8 in. o.c. in the field, 4 in. o.c. panel edges
10. Joints and Fastener Heads - Wallboard joints covered with paper tape and joint compound; fastener heads covered with joint compound

Tests conducted at the Gold Bond Building Products Fire Testing Laboratory  
Test No: WP-584 (Fire Endurance & Hose Stream) March 19, 1981  
Third Party Witness: Warnock Hersey International, Inc.  
Report WHI-690-003

This assembly was tested at 78% design load using an l/d of 33, calculated in accordance with the 2018 National Design Specification® for Wood Construction. The authority having jurisdiction should be consulted to assure acceptance of this report.



2 BUILDING SECTION  
A3.2 SCALE: 1/2"=1'-0"



1 WALL SECTION  
A3.2 SCALE: 1"=1'-0"

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DO NOT SCALE DRAWINGS

ISSUED	BIDS/ PERMITS
12.02.20	
12.18.20	ADDENDUM #1

FILE:1939\_A3.3\_GarageSections.dwg  
DRAWN: RILEY L. NINNAN  
CHECKED: KEVIN J. CROSBY  
SEAL

CLIENT  
CHARLES WILLIAMS

PROJECT  
WILLIAMS RESIDENCE ADDITION  
550 FISKE FISKE DR  
DETROIT, MI 48214

JOB NO.  
1939

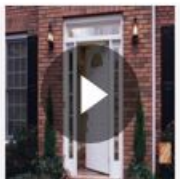
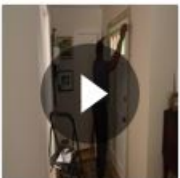
SHEET  
GARAGE SECTIONS

SHEET NO.  
A3.2









Exterior View

# 36 in. x 80 in. 9 Lite Primed Steel Prehung Left-Hand Inswing Back Door with Brickmould

by **JELD-WEN** >

★★★★★ (83) v

[Write A Review](#)

[Questions & Answers \(41\)](#)

- Made of durable rust-resistant galvanized steel
- Prehung steel door includes frame for easier installation
- Actual unit size is 37-7/16 in. x 81-3/4 in.
- [See More Details](#)

## \$295<sup>74</sup>

 **Save up to \$100** on your qualifying purchase. Apply for a Home Depot Consumer Card

Common Door Size (WxH) in.: **36 x 80**

32 x 80

**36 x 80**

Door Handing: **Left-Hand/Inswing**

**Left-Hand/Inswing**

Right-Hand/Inswing

**How to Get It**





Best Seller

1378

# Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles (33.33 sq. ft. per Bundle) (21-pieces)

by **GAF** >

★★★★★ (354) v

[Write A Review](#)

[Questions & Answers \(120\)](#)

Detroit 7 Mile/Meyers Store

✓ 144 in stock Aisle 16, Bay 030 [Text to Me](#)

- Architectural asphalt shingles covered by Lifetime Ltd. Warranty
- Classic Natural Shadow® effect provides look of even-toned wood
- Class A fire rating & 130 mph wind warranty provide peace of mind
- [See More Details](#)

**BULK PRICE ELIGIBLE** **\$25<sup>98</sup>** /bundle  
Buy **36** or more **\$22.08** /bundle

 **Save up to \$100** on your qualifying purchase.  
[Apply for a Home Depot Consumer Card](#)

Color/Finish: **Charcoal**





Internet #303866775 Model #TR4SAMPLNS



# Take Home Sample Transformations Double 4 in. x 24 in. Vinyl Siding in Stone Gray

by **Ply Gem** > (Brand Rating: 3.8/5) **i**

★★★★☆ (4) ▾

[Write A Review](#)

[Questions & Answers \(11\)](#)

- 0.040 in. thickness for superior resistance to impact
- Oversized lock mechanism and full-length return for secure setup
- Backed by manufacturer's limited lifetime warranty
- [See More Details](#)

## \$849

 **Save up to \$100** on your qualifying purchase. [Apply for a Home Depot Consumer Card](#)

Color/Finish: **Ivory**



### How To Get it

This item is currently out of stock

