

STAFF REPORT: 09-09-2020 MEETING
APPLICATION NUMBER: 20-6832
ADDRESS: 421 EAST FERRY AVENUE
HISTORIC DISTRICT: EAST FERRY AVENUE
APPLICANT: DAVID EIFRID, GREENLIFE BUILDING
PROPERTY OWNER: JENNIFER NOBLE
DATE OF PROVISIONALLY COMPLETE APPLICATION: 08/28/2020
DATE OF STAFF SITE VISIT: 08/29/2020

PREPARED BY: A. DYE

SCOPE: ERECT REAR ADDITION, EXTERIOR PAINTING

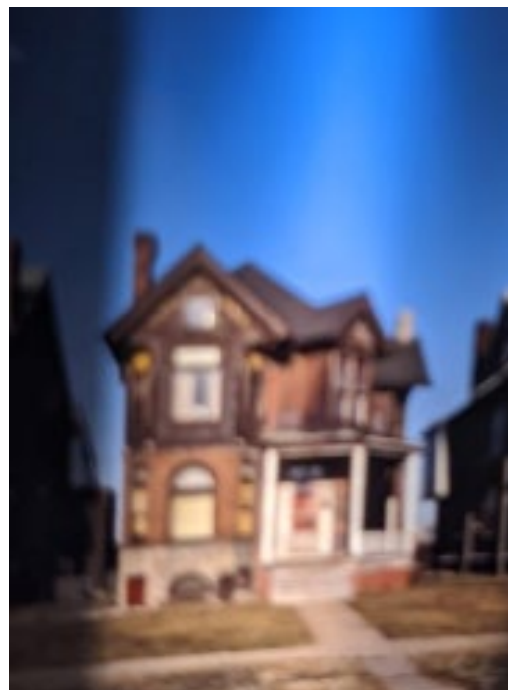
EXISTING CONDITIONS

Constructed in 1887, the 2-1/2 story Queen Anne-Stick (sometimes called Eastlake) style house is located on the western edge of its lot. A gray stone foundation rises to meet orange brick covering the first floor, while diamond-shaped tin panels offer a unique textural quality to the upper stories. The hip roof is disguised by multiple gables: the inline east and west gables bisect the side elevations, while the street elevation offers a front-facing gable extending down into a two-story bay, and an adjacent smaller (2nd story-only) box bay set at a 45-degree angle. A rounded window on the front elevation bay offers a geometric contrast to the sharp angles on the upper floors; the semi-circular form is carried through to the below basement window (which is currently hidden by landscaping). A one-story porch begins at the front entrance and wraps around the east side elevation where it terminates at a side entrance.

Queen Anne-Stick styles use wall surfaces as primary decorative elements. This house's brick and tin faced exterior walls, coupled with ornamental window casings (second floor), carved stone headers (first floor), corner brackets, heavy vergeboards, and singularly detailed gables (with carved wood designs, tin paneling, or varying shapes of wood shingles), creates multi-colored and multi-textured surfaces at each turn.



HDC Staff Photo, 8/28/20



Designation Slide, 1981
(HDAB staff photo, taken from slide)

While most of the exterior wall surface materials remain, the front porch, doors, windows and roof material have been replaced. The dominant window style is one-over-one double-hung, but fixed windows (most notably the front bay window) have also been installed. Some window openings have wood storms, while others do not. An entry door leading into the basement has been cut into the brick on the western angled wall of the front bay window.

As seen in the below photograph, a one-story deck, sitting on CMU, and stairs are located at the rear of the house. A single entry (steel door) and single window opening (1/1, double-hung, wood replacement window) are the only exterior penetrations on this elevation. The downspout runs down the wall to the left of the deck.



Existing rear elevation



At the rear of the lot is a newer, two-story building. The lots on both sides of 421 E. Ferry also have residential two-story structures at the rear of their lots. A condominium association was formed and owns the greenspaces. Fencing (brick half-walls to the west of 421 and iron fencing to the east of 421) span the front corners of the three buildings, enclosing the six structures into one large lot. HDC staff confirmed that while the property is part of the North Ferry Condominium, the property owner owns 421 E. Ferry. The applicant confirmed the association has approved the addition as it extends into the greenspace.



Image Left: Sanborn Map, 1897 –original address was 149 E. Ferry
 Image Below: Close-up of the image at the left; the map indicates a porch extended across the front of the house. The map also indicates the second floor is faced with (the FR likely stands for fire-resistant) tin cladding.



Image Left: Sanborn Map, 1921. Within a span of 24 years, the neighborhood was built out and the transition to the current address is underway.

Looking closely at the house, and comparing it to the 1897 map, the house in 1921 shows the front porch was altered to its current footprint and the rear of the house was reduced and a small deck constructed.

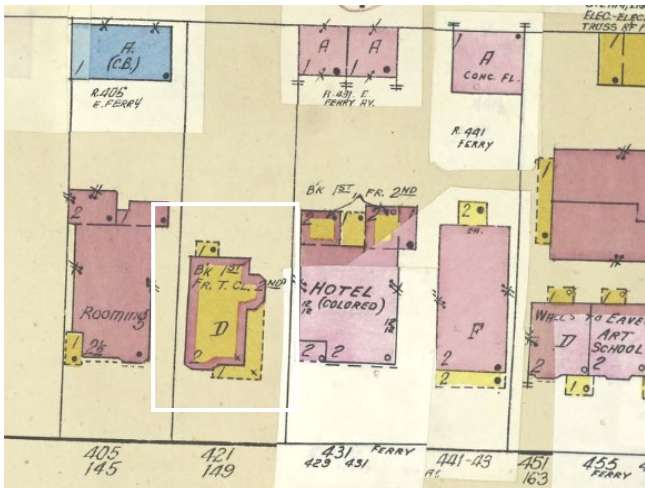
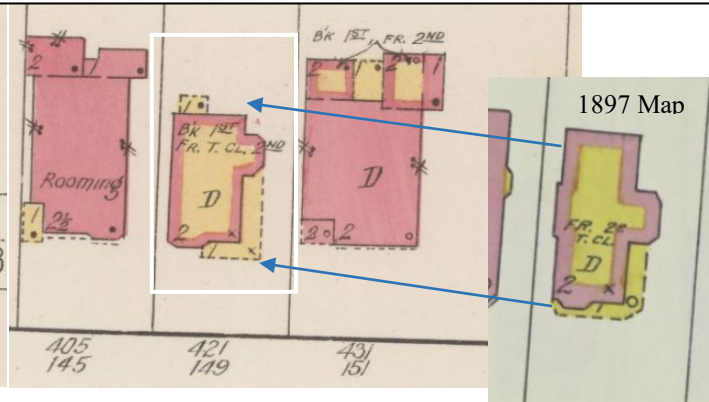


Image Left: Sanborn Map, 1950. No further changes occurred to 421 E. Ferry, while the property to the right went from a dwelling to a hotel.
 In the early 20th century, a discriminatory restriction in property deeds forbade African Americans from owning property west of Brush Street, including Ferry Avenue.

PROPOSAL

Per the applicant's narrative, they are requesting approval for an addition and exterior painting, which will include the following items:

- Demolish existing rear wood deck
- Erect single story rear addition and smaller deck.
 - The new construction will be set-in eight inches from the historic east and west elevations.
 - The depth of the addition is 6'-4".
 - New brick, matching in color, pattern, dimension and profile to the house's historic brick, will be used.
 - The roof will have a 3/12 pitch (the main structure has a 12/12 pitch) and will be covered with asphalt shingles, matching those on the house.
 - Two wood (primed wood exterior sash) double-hung (1/1) Marvin Ultimate windows, one on the east elevation and one on the south elevation, will be installed.
 - A single door will be installed on the rear elevation.
 - A single-story platform deck (8'-5" wide x 5'-0" deep) will be erected; stairs will descend to the back yard.
 - Composite decking is currently being considered for the platform deck and stairs. Color to be selected by property owner.
- The tin paneling wrapping the upper floors of the house (as well as the tin and wood shingles within the gables) will be repainted a color that coordinates with Color System B. The color will be submitted to HDC staff for review.

STAFF OBSERVATIONS AND RESEARCH

- The East Ferry Historic District was designated in 1981.
- The original address for the house was 149 East Ferry.
- According to the Sanborn maps, staff believes the house received exterior alterations between 1897 and 1921, including a revised/new front porch and a reduced rear extension. This may explain why the rear elevation is devoid of architectural detailing (outside of the wall materials), as the other three sides are resplendent in detail.
- J.L. Hudson purchased the house in 1909. In 1912 he sold it to the J.L. Hudson Company and it was occupied by James B. Webber, who was Hudson's nephew Executive Vice President and General Manager of the department store. The Hudson-Webber Land Company sold it in 1925.
- It is not clear when the original windows were replaced; the district designation photograph shows a similar window condition to the present day within the front elevation's bay window. However the double-hung windows may be different, but due to the blurriness of the designation photograph, a clear comparison can't be made at this time. The applicant is submitting an application for window replacement at the October meeting. A clear photo of the designation slide will be available within that staff report.
- Staff does not know when the basement door was added, but it is visible in the 1981 designation photograph. It is currently disguised from the public-right-of-way by landscaping.
- The Final Report for the East Ferry Avenue Historic District lists the color of the tin paneling at the time of designation as brown (which is substantiated in the designation photo).
- In 1997 HDC staff issued a COA for the rebuilding of the front porch, window repair/replacement with wood windows, and exterior painting.
- In 2006, the Commission approved the construction of residential structures along the rear lots lines/alley at 411 and 421 East Ferry.
- In 2018, HDC staff approved slight revisions to the structures, which have since been built.
- In the Fall of 2019, HDC staff was alerted to the blue paint color applied to the upper floors of the house. As a COA was not issued, this is a current violation.
- Prior to the current owner's purchase in March 2020, this house served as the office for Petit Bateau, LLC, who oversaw the development of condominiums on this and adjacent properties.
- The proposed addition will not be seen from the public-right-of way.
- The applicant set the addition in 8-inches from the existing side elevations, so the new brick (while matching the old, will still look different than the weathered brick) walls will end against the historic rear wall. This will allow the addition to be clearly seen as new construction, and will allow the house to retain evidence of its historic

footprint.

- As the roof will have a lower pitch, the ridge will return to the house just under the tin paneling/existing molding.

ISSUES

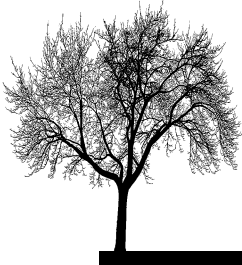
- The current placement of the rear elevation downspout will be impacted by the addition. It is not clear on the drawings where the downspout will be relocated.
- The catalog cut confirming the design, material, finish and manufacturer for the new rear entry door has not been submitted. The elevation drawing shows a door with two lower panels and glass within the upper half of the door.
- At the time of the staff report, the property owner had not selected an exterior paint palette. The applicant confirmed the colors will be selected from Color System B and submitted to HDC staff for review.
- Due to the material and patterning of the tin cladding, special care needs to be taken with surface preparation for the repainting so the tin is not scraped and damaged.

RECOMMENDATION

It is staff's opinion that the work as proposed will not result in the removal of historic materials or the alteration of features and spaces that characterize the property. The work is also compatible with the property's historic character. Staff therefore recommends that the Commission issue a Certificate of Appropriateness for the work as proposed because it meets the Secretary of the Interior Standards for Rehabilitation.

However, staff recommends the COA be issued with the following conditions:

- The exterior paint palette will be submitted to HDC staff for review and will conform to Color System B.
- Catalog cuts confirming the composite deck material, color, and design details of the balusters and balustrade will be submitted to HDC staff for review.
- A catalog cut of the new exterior entry door, confirming its design, material, finish and color will be submitted to HDC staff for review.
- Should the property owner elect to construct a wood platform deck and stairs, drawings confirming the design of the balusters and balustrade will be submitted to HDC staff for review. The wood shall be left untreated for a minimum of three months (and not longer than six months) so it may properly dry before being painted. The paint color will be submitted to HDC staff for review.



Greenlife Building, LLC

47974 West Road
Wixom, MI 48393
(734) 718-7078
(248) 669-9508 Fax

August 8, 2020

Historical District Commission

Re: 421 E Ferry St
The Residence of Jennifer Noble

Request for approval of addition, exterior painting and interior remodel.

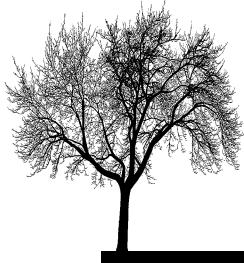
We are requesting approval for an addition, interior remodel and exterior paint for 421 E ferry.

The original house was built in 1902 in the Queen Ann Victorian style. Our goal is to keep or restore all the original details of the home. Some of the original interior features have been modified by previous owners so we are trying to bring back as close to what we believe was the original design intent from 1902.

This home was used as an office for the previous developer for about 20 years. Because of this, the home did not have a functional kitchen but a conference and break room. The bedrooms were turned into office spaces. And the bathrooms were not designed functionally for a family.

The first floor powder room has been an issue on this house. The current design locks the conference room/kitchen area into a very tight and non-functional design. We are recouping the existing first floor powder into the kitchen area. We contemplated moving the powder room to the center of the home but that forces us to lose some of the original trim and moldings and we feel alters the original design intent of the sitting and common room too much. We also contemplated moving the powder onto the dust porch, but after discussions with the HDC staff, felt that altered the original curb appeal of the home. HDC staff suggested we research the addition off the rear of the building where it is not visible from the street view. This approach adds significant costs to the home owner but after further review, we feel it is the best path forward for the long term stewardship of this property. The addition allows for us to add a well needed mudroom and powder room without affecting the original interior design intent nor affecting the original curb appeal to the home. We have attached the current site plan and proposed construction plans.

We plan to save and restore all original interior trim and moldings. We also plan to match original moldings with custom trim to keep a consistency to the original design. We also plan to restore the fireplace surrounds back to what was popular in 1902. We are currently working with Pewabic Pottery on designs for the era.



Greenlife Building, LLC

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The exterior of the house was painted by the previous owner a color (blueish) which does not align with the approved HDC colors. The painting work is also of very poor quality. We plan to restore and repaint the exterior with a color combination from Color System B which was provided by the HDC. We can provide the final color pallet once the homeowner makes the final selection.

We also plan to use fixtures and finishes which align with what was common in 1902 Queen Ann homes. The kitchen cabinets and countertops will also reflect some of the common features of the 1902 kitchen. These final decisions are still in the works but we can provide the HDC with any updates along the construction process. We would appreciate as much feedback from the HDC to help in our final decisions.

Please feel free to contact us with any additional information or concerns.

David Eifrid

Greenlife Building, LLC





Basement Entrance



West Elevation.
The brick half-walls span 405 and 421 E. Ferry, with mailboxes for the residences at the rear of the lots.



West elevation gable

HDC Staff Photographs – Site Visit, 08/29/2020





View between 421 and 441 E. Ferry, looking north towards the newly constructed buildings at the rear of the lots.

Applicant Photographs



Applicant Photographs



Applicant Photographs



Applicant Photographs



Applicant Photographs



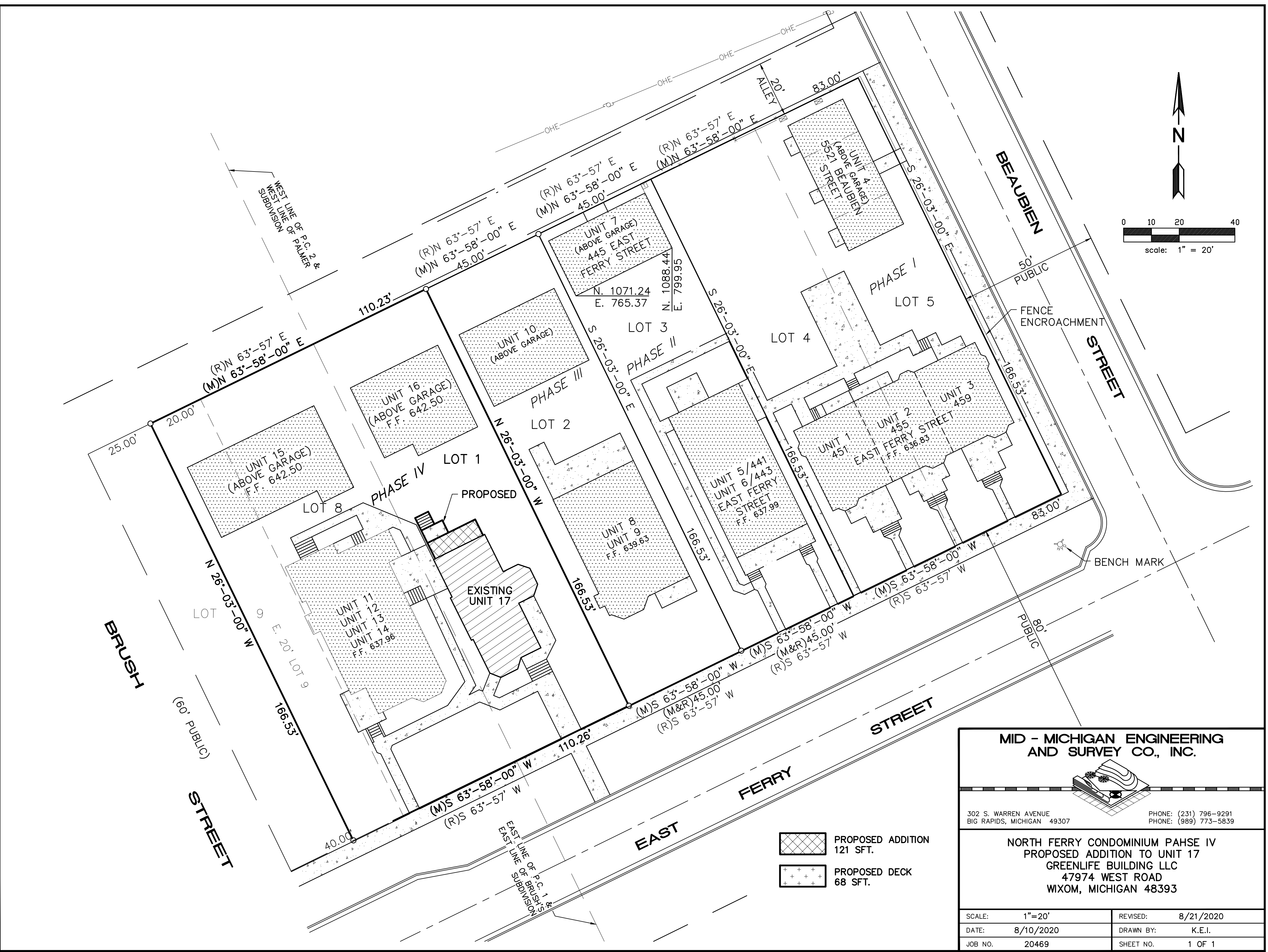
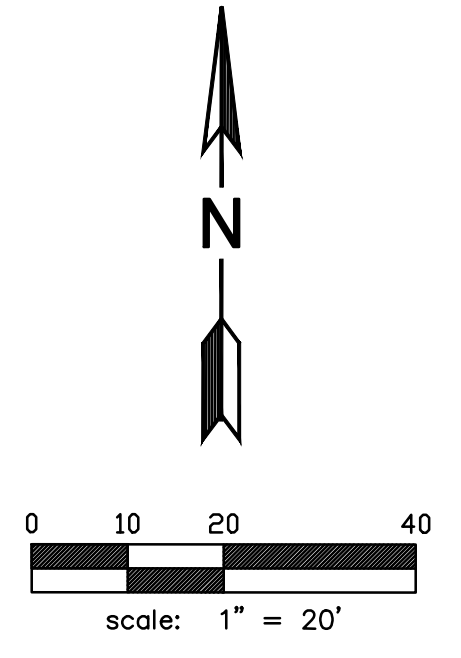
Applicant Photographs



Applicant Photographs

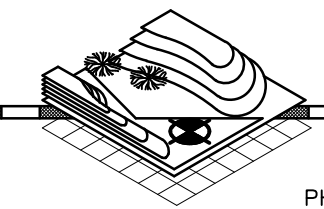


Visual sample of reclaimed brick



- PROPOSED ADDITION
121 SFT.
- PROPOSED DECK
68 SFT.

**MID - MICHIGAN ENGINEERING
AND SURVEY CO., INC.**



302 S. WARREN AVENUE
BIG RAPIDS, MICHIGAN 49307

PHONE: (231) 796-9291
PHONE: (989) 773-5839

**NORTH FERRY CONDOMINIUM PHASE IV
PROPOSED ADDITION TO UNIT 17
GREENLIFE BUILDING LLC
47974 WEST ROAD
WIXOM, MICHIGAN 48393**

SCALE: 1"=20'	REVISED: 8/21/2020
DATE: 8/10/2020	DRAWN BY: K.E.I.
JOB NO. 20469	SHEET NO. 1 OF 1



A2 DESIGNS
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02/2018/10/18

PROPOSED
INTERIOR
RENOVATION FOR:

**JENNIFER
NOBEL**

421 E FERRY ST
DETROIT, MI 48202

DEMOLITION
PLANS



PERMITS
06-15-20

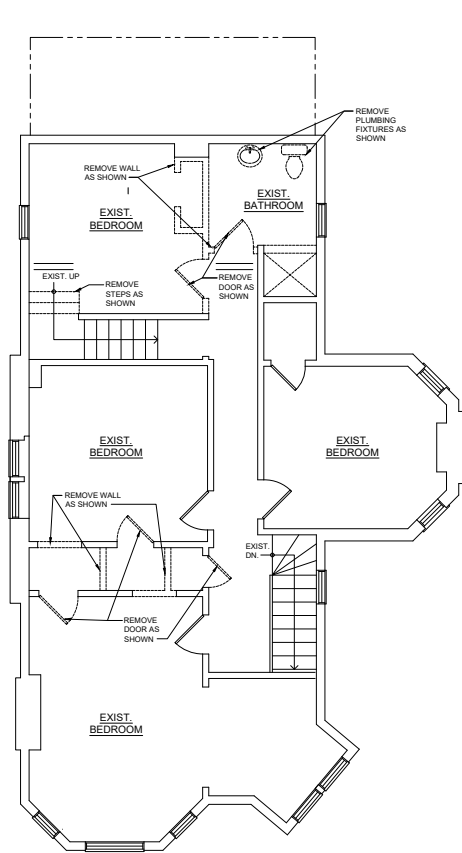
OWNER REVIEW
07-23-20

PERMITS
07-26-20

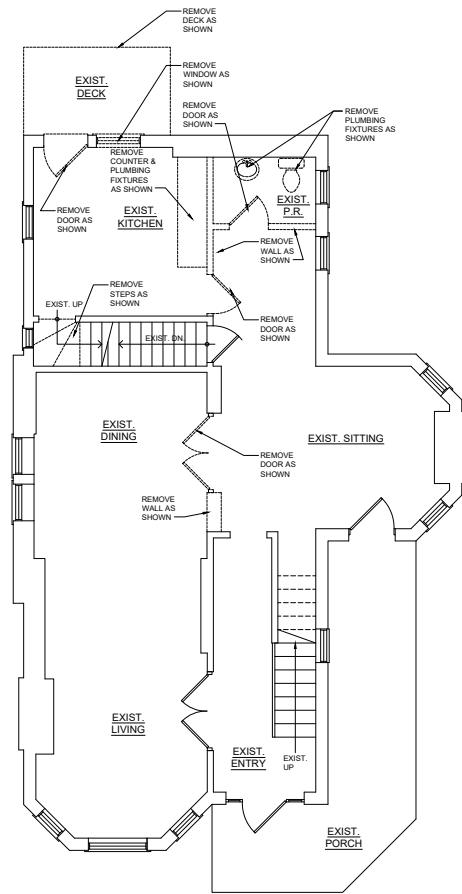
REVISED PER
CONTR.
08-13-20

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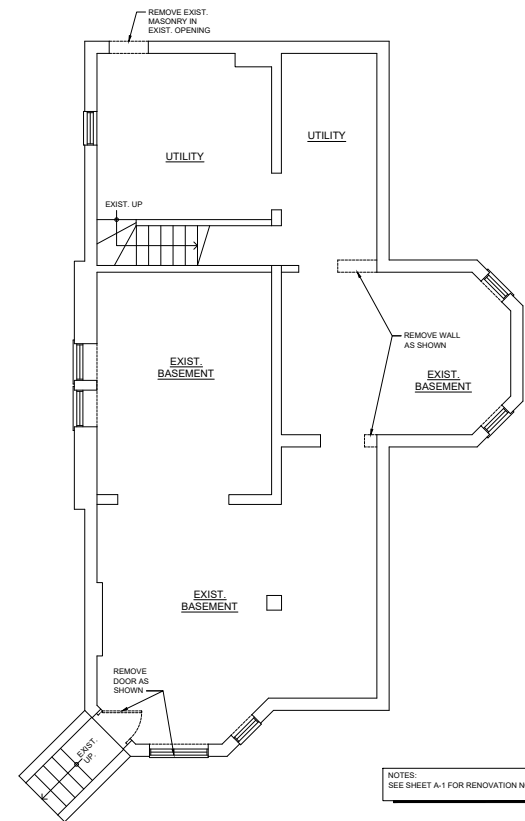
A-2



N
SECOND FLOOR DEMO PLAN
SCALE: 1/8"=1'-0"



N
FIRST FLOOR DEMO PLAN
SCALE: 1/8"=1'-0"



N
BASEMENT DEMO PLAN
SCALE: 1/8"=1'-0"

NOTES:
SEE SHEET A-1 FOR RENOVATION NOTES.



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08/28/2020

PROPOSED
INTERIOR
RENOVATION FOR:

JENNIFER
NOBEL

421 E FERRY ST
DETROIT, MI 48202

SECOND
FLOOR &
ATTIC PLANS



PERMITS
06-15-20

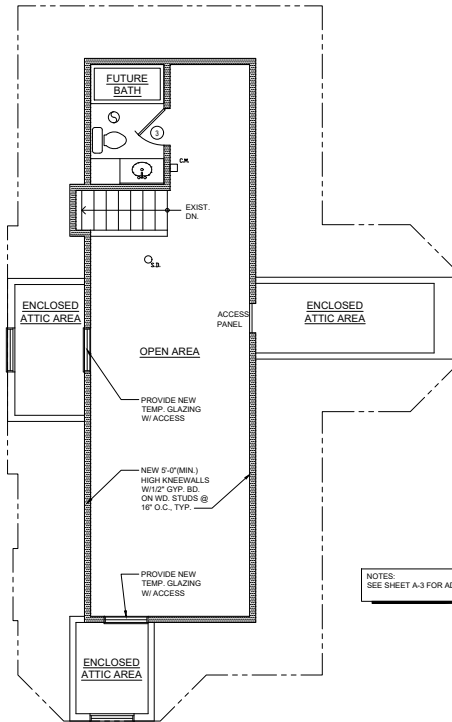
OWNER REVIEW
07-23-20

PERMITS
07-26-20

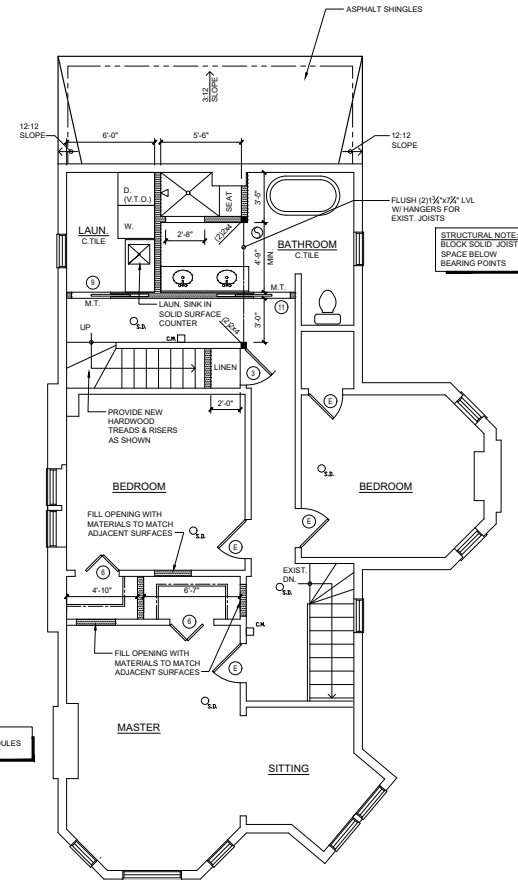
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CONTR.
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A-4



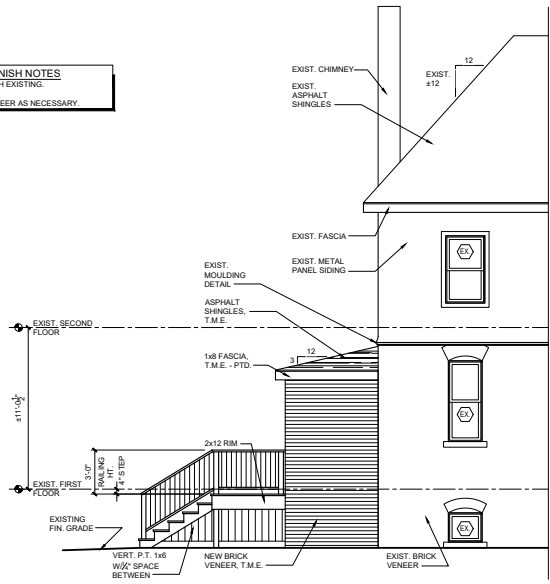
ATTIC PLAN
SCALE: 1/8"=1'-0"



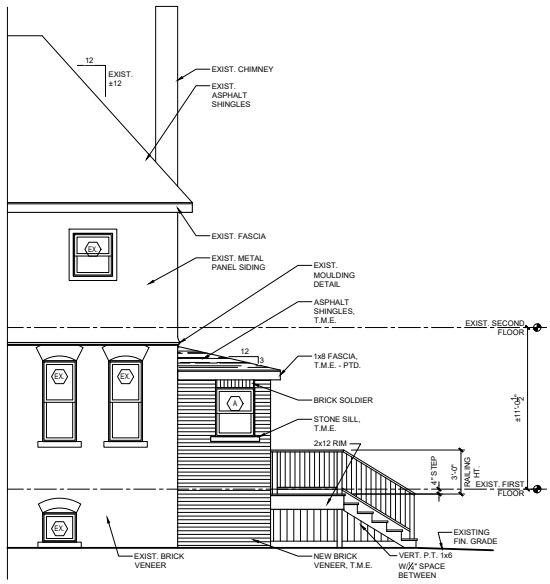
SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

- ROOF NOTES**
1. INSTALL ICE AND WATER SHIELD PER SECTION R905.1.2 AT ALL LEADING EDGES OF EAVES, OVERHANGS, AND VALLEYS AND AT ALL PROTRUSIONS THROUGH THE ROOF DECK.
 2. INSTALL ICE AND WATER SHIELD ALONG GABLE AND DORMER WALLS ABUTTING ROOF SURFACE. ALLOW FOR A MINIMUM 1" OF ICE AND WATER SHIELD ON WALL AND A MINIMUM 3" ON ROOF SURFACES. FLASHING SHOULD BE INSTALLED MINIMUM 6" UP THE WALL AND 4" ON THE DECK UNDER THE ROOFING MATERIAL WITH A MINIMUM OF 3" OVERLAP.
 3. FLASHING AT VERTICAL WALLS WILL EXTEND NO LESS THAN 6" UP ALL VERTICAL WALLS AND PER METAL ROOF MANUFACTURER DETAILS. INSTALL ICE AND WATER SHIELD PER ROOF NOTE #4 TYP.
 4. PROVIDE MANUFACTURER RECOMMENDED FLASHING AT ALL ROOF PENETRATIONS.

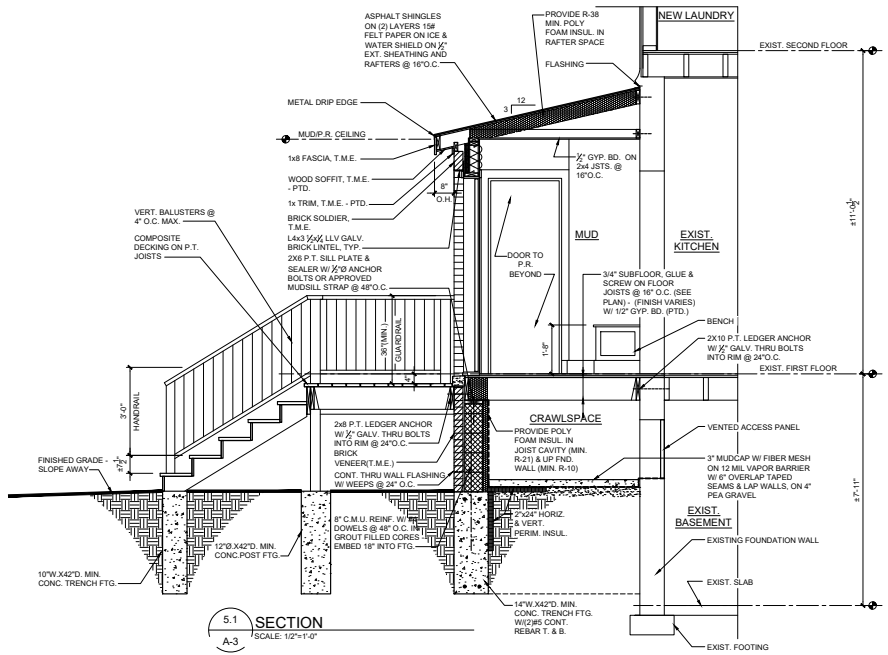
- ELEVATION / EXTERIOR FINISH NOTES**
1. ALL NEW FINISHES TO MATCH EXISTING.
 2. REPAIR EXISTING BRICK VENEER AS NECESSARY.



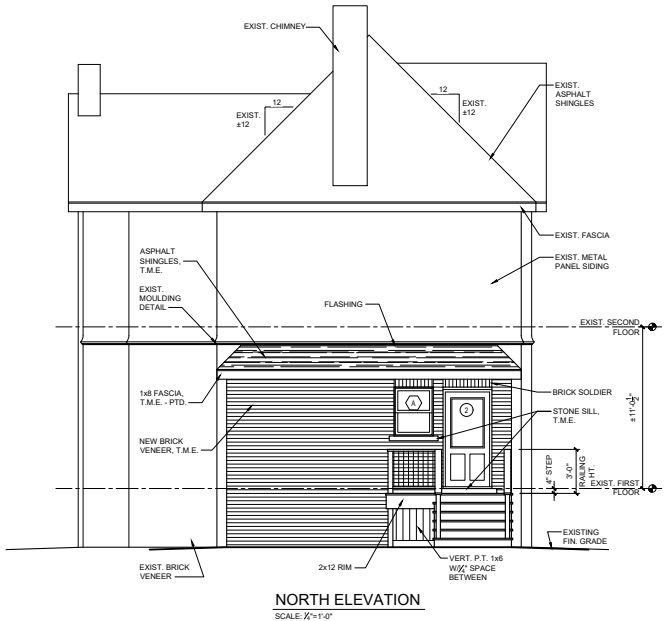
PARTIAL WEST ELEVATION
SCALE: 1/2"=1'-0"



PARTIAL EAST ELEVATION
SCALE: 1/2"=1'-0"



S.1 SECTION
SCALE: 1/2"=1'-0"



NORTH ELEVATION
SCALE: 1/2"=1'-0"

