

STAFF REPORT: SEPTEMBER 9, 2020 MEETING

PREPARED BY: B. CAGNEY

APPLICATION NUMBER: 20-6830

ADDRESS: 14838 PENROD

HISTORIC DISTRICT: ROSEDALE PARK

APPLICANT: FRANK MASTROIANNI

PROPERTY OWNER: JOSEPH & TRACEY COLES

SCOPE OF WORK: DEMOLISH EXISTING GARAGE; ERECT NEW GARAGE

PROVISIONAL COMPLETE DATE: 8-4-2020

DATE OF STAFF SITE VISIT: 9-3-2020



14838 Penrod, Staff Photo 9-3-2020

Existing Conditions

Located mid-block on Penrod between Chalfonte Ave. and Eaton Ave., 14838 Penrod was built in 1937. The two-story home is characterized by its light brown brick façade and the detailed arched portico surrounding the front door. The west-facing, front façade also features a simple front porch clad in brick with a stone cap on the south side and a projecting bay window on the north side. The home has a side-gable roof covered in light brown asphalt shingles, approved by HDC staff in the spring of 2019. This is the only record for this address in the HDC digital archives. Staff was unable to access a designation slide (address not in digital archive) for this address.

The existing detached garage is located on the southeast corner of the property, and is accessed from Penrod, sharing a curb-cut with the adjacent home to the south. The garage features wooden lapped siding, a two-car garage door and a hipped roof. A Sanborn map from 1950 indicates that **a garage was present at this location**, staff assumes this is the existing garage. Google Maps in 2009 indicate that the **garage once had two (2) single car garage doors**, and these were replaced prior to 2011 with a single car garage door. The current condition of the garage indicates **disrepair as indicated by the exterior photos submitted by the applicant**. As stated in the HDC application, the applicant states that the garage has a

“very severe lean,” which can be seen in the provided photos. The photos also indicate what the applicant describes as “a dip towards the middle of the door header” and damage to the siding. Additionally, “the back of the garage appears to be bowing in,” and “there is damage to the siding and roof.” Upon request for photos of the garage interior, staff learned that the garage was already demolished because it was considered a safety hazard to the owner. **The applicant has provided a statement noting that it was beyond repair.**

Current Proposal

The applicant proposes to demolish the existing garage and build a new garage in the same location. The detailed scope of work is as follows:

- **Demolish existing two car garage** and remove from site
- **Demolish two sections of concrete driveway** and remove from site
 - **Create new concrete apron as proposed**
- **Build a new 18’x20’ garage** in same location as existing garage with the following features:
 - 8” x 24” rat wall pinned with steel rods
 - “Savoy” front facing gable roof with 6/12 pitch and 1’ overhang at the front elevation
 - **Dimensional asphalt shingles by *Certainteed – Landmark*** (color not specified)
 - Vinyl soffits and aluminum trim
 - Triple top plates
 - **16’ x 7’ steel garage door by *Amarr*** (white)
 - **Vinyl Dutchlap siding by *Certainteed*** (color not specified)
 - 4-1/2” profile, woodgrain finish, .42” thickness

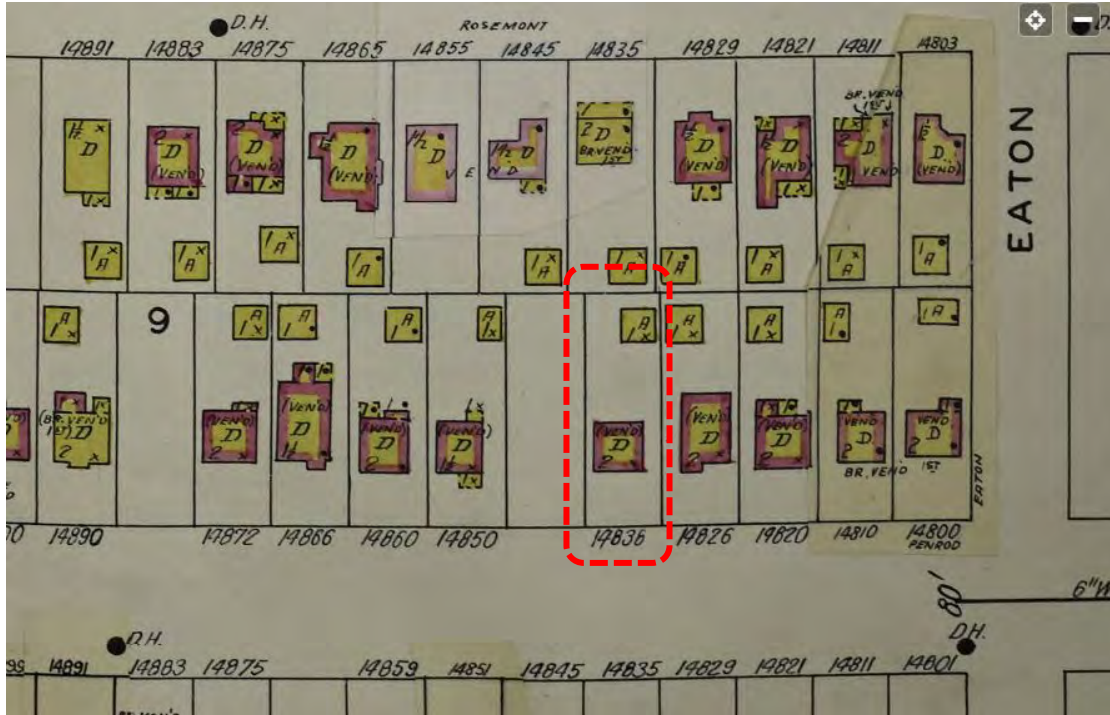
Staff Observations:

- **Location:** The proposed garage will be slightly visible from Penrod Ave.; however it will be erected in the location of the previous garage, and is typical for the neighborhood.
- **Materials:** The applicant is proposing to use synthetic materials which are generally not appropriate for this historic district. The side gables of the home appears to show some type of synthetic lap siding (specific material unknown) present in **2009 Google Street view images.**
- **Original Garage Door Configuration:** **It appears that prior to 2011, the dual, single car garage doors were replaced with a single, two-car garage door.** It is possible that the removal of the central column predicated the structural failures present on the garage today.
- **Original Garage Roof Profile:** The existing garage features a hip roof, while the applicant is proposing a front facing gable roof.
- **Front Porch:** **It appears that the front porch was modified after 2011 without a COA.**

Recommendations:

- **Demolition of Existing Garage:** Based on the provided exterior photos, it is staff’s opinion that the existing garage is in a state of structural disrepair and the demolition of the garage should be approved.
- **Construction of new garage w/ new concrete slab:** Staff recommends that the Commission issue a Certificate of Appropriateness for the proposed work based on Secretary of the Interior’s Standards for Rehabilitation with the condition that the siding and trim of the structure be composed of wood (smooth finish) or cement-fiber board (smooth finish) with color selected from HDC Color System C. Additionally, staff recommends that the Commission consider two additional items conditional for approval: 1) As the original garage features a hipped roof, the Commission should consider whether a front facing gable roof is appropriate for the proposed garage; 2) The original garage featured dual, single car garage doors that were removed without

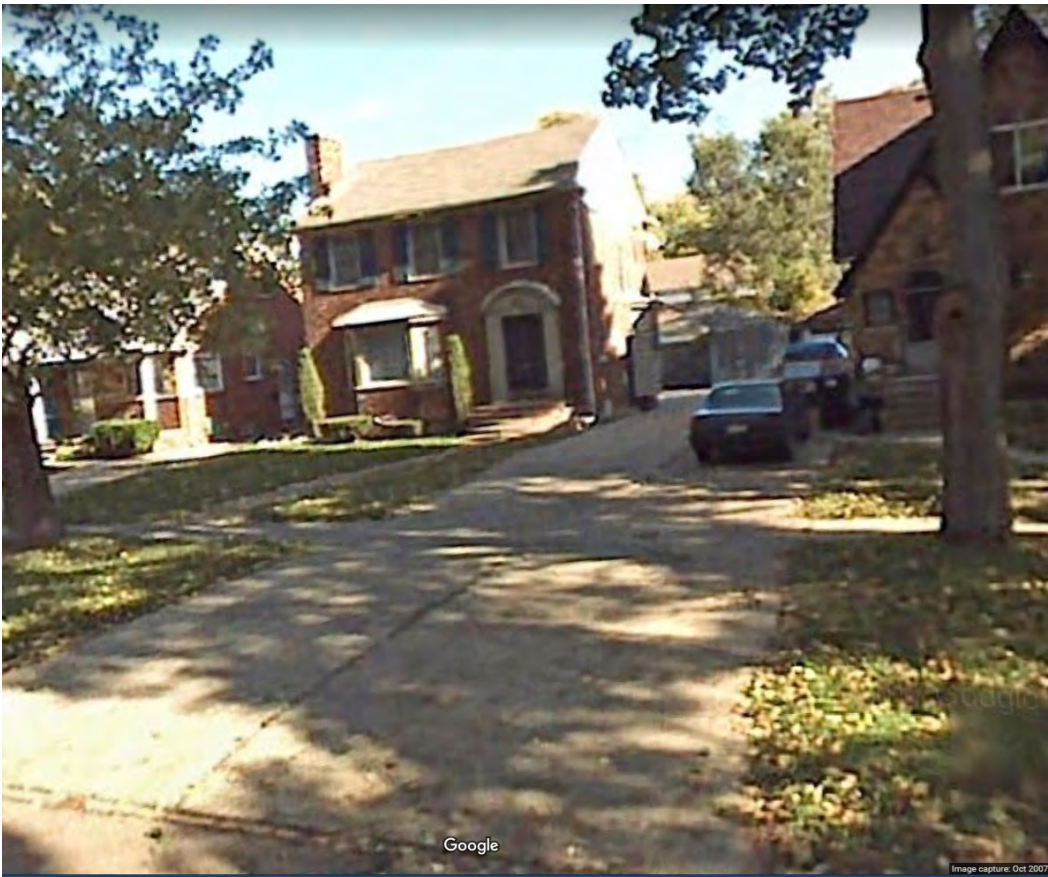
permit and whether the new garage should maintain that feature, per Secretary of the Interior's Standards for Rehab 6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*



Sanborn Map from 1938- 1950 indicating the location of the garage on site and address was once 14836, Library of Congress Digital Achieve.



Sanborn Map from 1938- 1950, Library of Congress Digital Achieve.



Google Streetview, 2007.



Google Streetview, 2009.



Google Streetview, 2011.



1-800
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ADT







Detroit Historic Commission
2 Woodward Ave. Suite 808
Detroit, MI. 48226

Project Review Request
RE: 14838 Penrod
EPLANS Permit Number: BLD2020-02453

To whom it may concern,

Italy American Construction is proposing to tear down and build a new garage on 14838 Penrod for Mr. Joseph and Mrs. Tracey Coles. The following pictures are of the current state of the garage.





Front / Left Side



Left Side



Left side / Back



Left Side / Back



BACK



RIGHT SIDE

As you can see in the pictures, this garage has a very severe lean. If you look closely at the picture showing the front of the garage, you can see there is a dip towards the middle of the door header along with damage to the siding. The back of the garage appears to be bowing in as well and there is damage to the siding and roof.

Scope of Work:

- Tear down existing two car frame garage.
- Break out existing concrete floor and two sections of apron.
- Add to existing 8" x 24" rat wall as needed and pin with steel rods.
- Pour concrete apron per plans.
- Build a new 18'x 20' savoy gable garage with a 6/12 pitch roof and triple top plates.
- Install new 16' x 7' garage door with 3 hand controllers and key release.
- Vinyl Dutchlap siding, Vinyl Soffit and Aluminum Trim.
- All work to be done to code.

MATERIALS:

SHINGLES:

Company: Certainteed

Style: Landmark

Color: TBD

[Certainteed - Roofing Website](#)

SIDING:

Company: Certainteed

Style: American Legend - Vinyl Dutchlap

Color: TBD

[Certainteed - Siding Website](#)

GARAGE DOOR

Company: Amarr

Style: Stratford - Short Panel

Color: White

[Amarr - Garage Door Website](#)

Thank you,

Deanna Fries

Italy American Construction

8401 N. Telegraph Rd.

Dearborn Hgts. MI. 48127

Office: (313) 278-7500

Fax: (313) 278-7501

Permits@iac1954.com

Detroit Historic Commission
2 Woodward Ave. Suite 808
Detroit, MI. 48226

Explanation of Demo
RE: 14838 Penrod
EPLANS Permit Number: BLD2020-02453

To whom it may concern,

As you can see in the pictures, the garage was leaning to the left. A tree limb fell on the back of the garage causing the roof to bear more weight than it was designed to. This downward pressure from the falling of the tree limb caused the entire garage to shift. The back wall buckled in from the pressure and shifted the garage. This caused one of the back corners to lean out making the entire garage lean to the side. Because of the buckling, it would be impossible to straighten the leaning of the garage. The structural integrity of the garage was compromised.

The effects of the damage from the tree limb can even be seen from the front of the garage. The door header is bowing in, stressing that there has been structural damage and it can no longer support the weight of the roof.

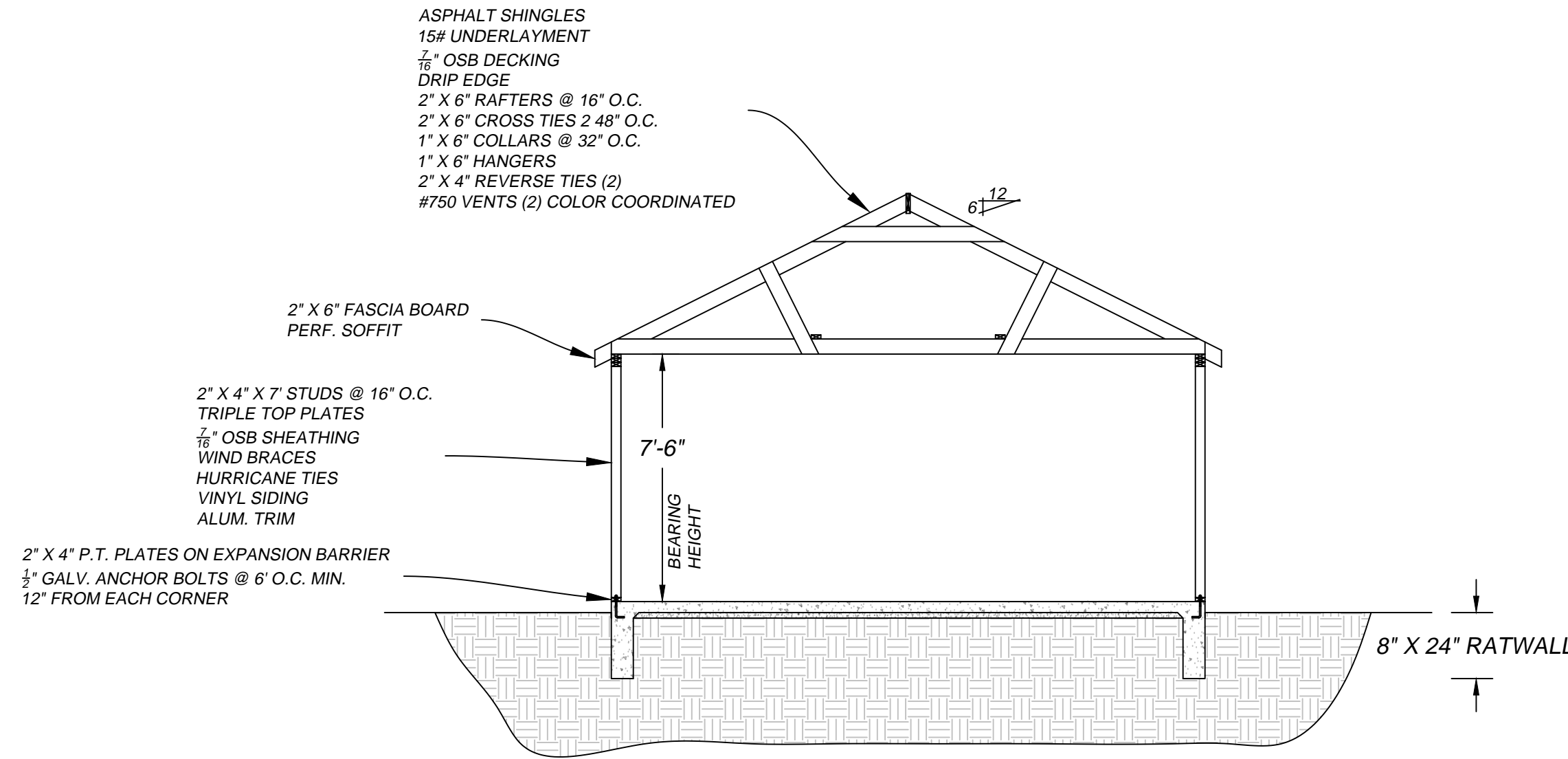
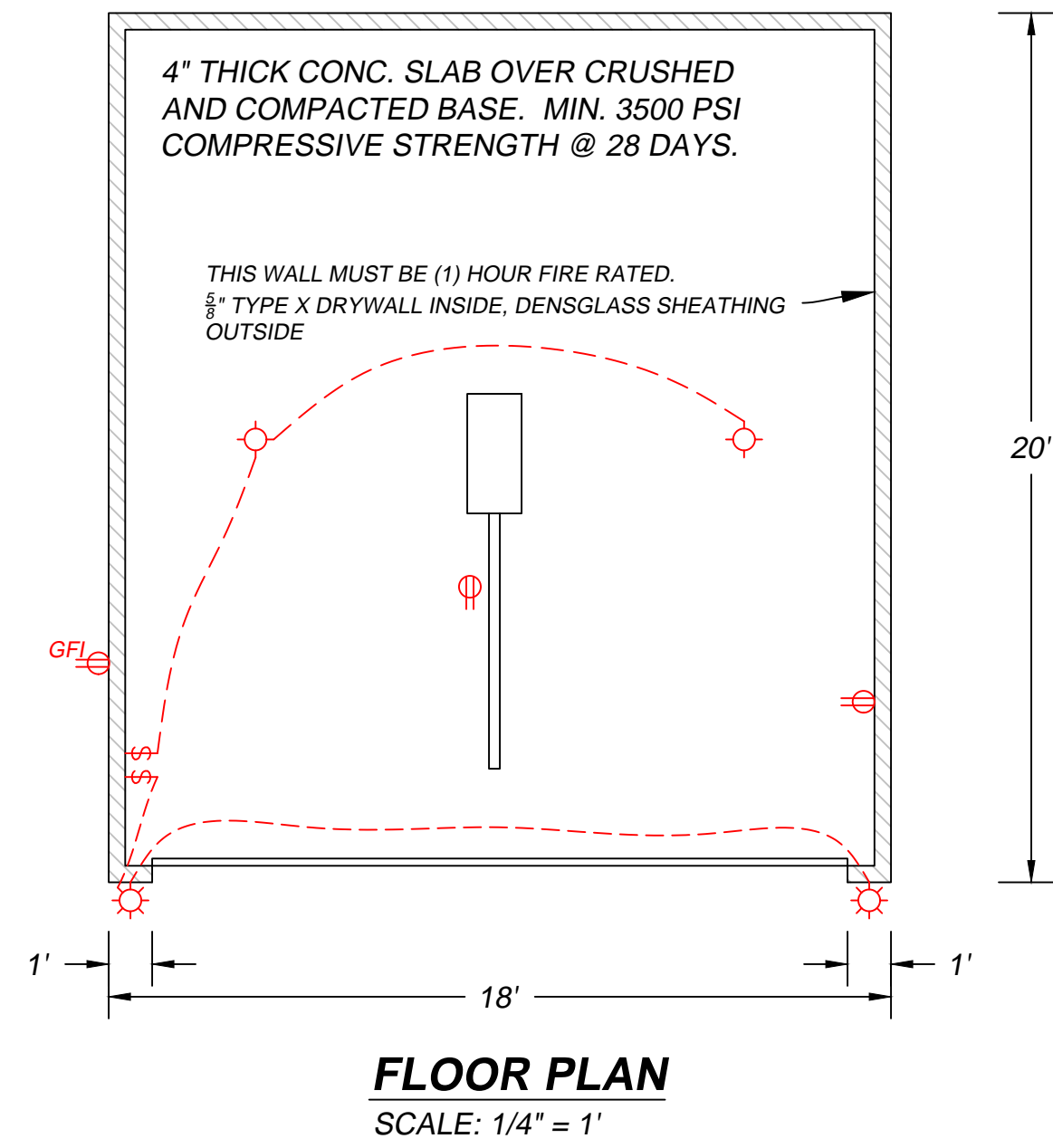
My biggest concern was that the garage was going to fall on its own, since the support for the roof was failing and the back wall was buckling in. All of the individual issues with the garage lead to a larger issue; the garage cannot be salvaged. Any attempt to brace a single wall to fix an issue could lead to another wall failing, putting our workers at risk of injury. The best course of action was to tear down the garage and potentially build a new one that is up to code and structurally sound.

Italy American Construction has been in business for 66 years. We have built many garages throughout the years and seen many garages in every state of disrepair. Our concern in this case, was for the safety of the homeowner and our workers. I felt that the removal of the garage needed to happen as soon as possible in order to prevent a potential accident.

Thank you,
Anthony Mastroianni

Italy American Construction
8401 N. Telegraph Rd.
Dearborn Hgts. MI. 48127
Office: (313) 278-7500
Fax: (313) 278-7501
Permits@iac1954.com

PROPOSED GARAGE



GENERAL NOTES

- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE NOT TO BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE AUTHOR
- APPLICABLE BUILDING CODES ARE AS FOLLOWS
- MICHIGAN RESIDENTIAL BUILDING CODE 2015
- CITY OF ROYAL OAK BUILDING CODE
- CITY OF ROYAL OAK ZONING CODE
- PRIOR TO THE START OF CONSTRUCTION, THE LICENSED CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO COMMENCE
- ALL FEDERAL, STATE, AND LOCAL CODES SHALL BE CONSIDERED A PART OF THE SPECIFICATIONS OF THE BUILDING AND SHOULD BE ADHERED TO EVEN IF THEY ARE IN CONFLICT WITH THIS DOCUMENT
- ANY CHANGES REQUESTED TO PLANS PRIOR TO CONSTRUCTION MUST BE REPORTED IN THE FASHION DICTATED BY THE AUTHOR OF THIS DOCUMENT AND AGREED TO BY BOTH CUSTOMER AND AUTHOR
- APPROVAL OF THESE PLANS BY THE REQUIRED MUNICIPAL REVIEWER SIGNIFIES A THOROUGH REVIEW AND ADHERENCE TO THE REQUIRED INSPECTION SCHEDULE BY THE CONTRACTOR LIMITS THE INDEMNITY OF THE MUNICIPALITY

GENERAL SITE NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO LOCATE ALL TREES AND VERIFY ALL EXISTING GRADE LEVELS
- IT SHALL BE THE RESPONSIBILITY OF THE PERMIT HOLDER TO VERIFY ALL SITE MEASUREMENTS PRIOR TO OR DURING CONSTRUCTION AND THE HOMEOWNER SHALL BE RESPONSIBLE FOR EXISTING AND FUTURE SPRINKLER HEADS
- GENERAL CONTRACTOR OR PERMIT HOLDER WILL VERIFY ALL SITE MEASUREMENTS PRIOR TO SITE (1) SOIL EROSION AND (2) STORM WATER RUN OFF DURING CONSTRUCTION
- WHEN POSSIBLE, IT SHALL BE COMMON PRACTICE TO LOCATE BUILDING SERVICE MODULES (SUCH AS METERS, CLEAN OUTS, VENT STACK, ETC.) OUT OF DIRECT LINE OF SITE FROM THE STREET

CONSTRUCTION NOTES

- DRAWING PAGES WILL BE SCALED ON EITHER, (24" X 36") OR (11" X 17") PAPER AND PRESERVE PROPER FORMATTING & MEASUREMENTS.
- DOOR SIZES ARE INDICATED IN DRAWINGS NOMINALLY AND WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ROUGH OPENINGS BASED ON THE DOOR MANUFACTURER'S SPECIFICATIONS
- BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH METAL STRAP BRACING LET INTO STUDS ON 45 DEGREE DIAGONALS FROM PLATE TO PLATE
- ALL RAFTER TAILS TO RECEIVE GALV. HURRICANE STRAPS AT WALL TOP PLATES TO PREVENT WIND UPLIFT

FDTN. & CONC. NOTES

- ALL DIMENSIONS ARE CALCULATED FROM OUTSIDE FACE OF MASONRY TO OUTSIDE FACE OF MASONRY
- FROST DEPTH IS ASSUMED TO BE 42" BELOW GRADE
- COMPRESSIVE STRENGTH OF CONCRETE TO MEET OR EXCEED THE REQ'S OF MRC TABLE R402.2 UNDER THE CATEGORY OF SEVERE POTENTIAL FOR WEATHERING
- FOOTINGS SHALL REST ON UNDISTURBED SOIL AND GENERAL CONTRACTOR SHALL VERIFY SOIL IS FREE OF LOOSE DEBRIS AND WATER PRIOR TO POURING OF CONCRETE
- CONTRACTOR TO BE AWARE OF EXISTING FOUNDATIONS AND PREVENT AGAINST OVER EXCAVATION BELOW EXISTING FDTN. BEARING LINE
- PER MRC R506.22 A MIN. 4" THICK BASE COURSE SHALL BE PLACED ON THE PREPARED SUB-GRADE WHERE THE SLAB IS BELOW GRADE EXCEPT WHEN THE SUB-GRADE FALLS WITHIN THE CLASSIFICATION OF GROUP 1 OF MRC TABLE R405.1
- PER MRC R506.23 A 6 MIL THICK VAPOR RETARDER (OR BETTER) WITH MIN. 6" JOINT LAPPING SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND BASE WHERE APPLICABLE

CONTRACT NOTES

- TEAR DOWN EXISTING TWO CAR FRAME GARAGE.
- BREAKOUT EXISTING CONC. FLOOR AND TWO SECTION OF APRON AS SHOWN.
- ADD TO EXISTING RATWALL AS NEEDED AND PIN WITH STEEL RODS.
- BUILD NEW 18' X 20' SAVOY GABLE GARAGE WITH 6-12 PITCH AND TRIPLE TOP PLATES.
- INSTALL NEW 16' X 7' O.H. DOOR WITH 2 HAND CONTROLLERS AND KEY RELEASE.
- VINYL DUTCH LAP SIDING, PERF. VINYL SOFFIT AND ALUM TRIM.



COLES RESIDENCE
14838 PENROD
DETROIT, MI 48223
313-719-8412

PROPOSED 18' X 20' GARAGE
CONCRETE FLAT WORK

SHEET INDEX

DESCRIPTION

GENERAL NOTES
SITE SURVEY
GARAGE FLOOR PLAN
SECTION
ELEVATIONS

SET ISSUE DATES

DATE: ISSUE:

SHEET NOTES

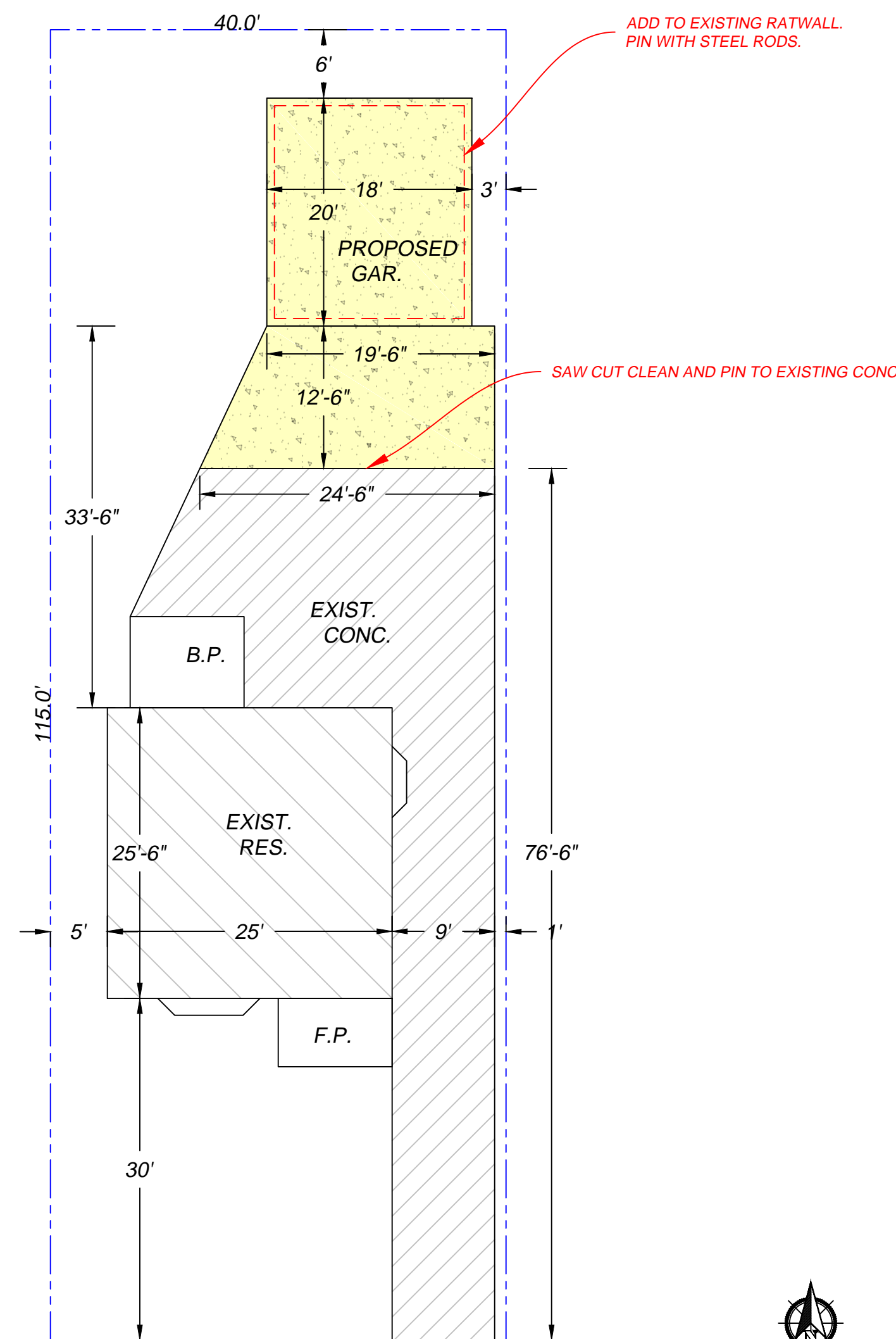
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DRAWN BY: S.A. FERRISE
CHECKED BY:

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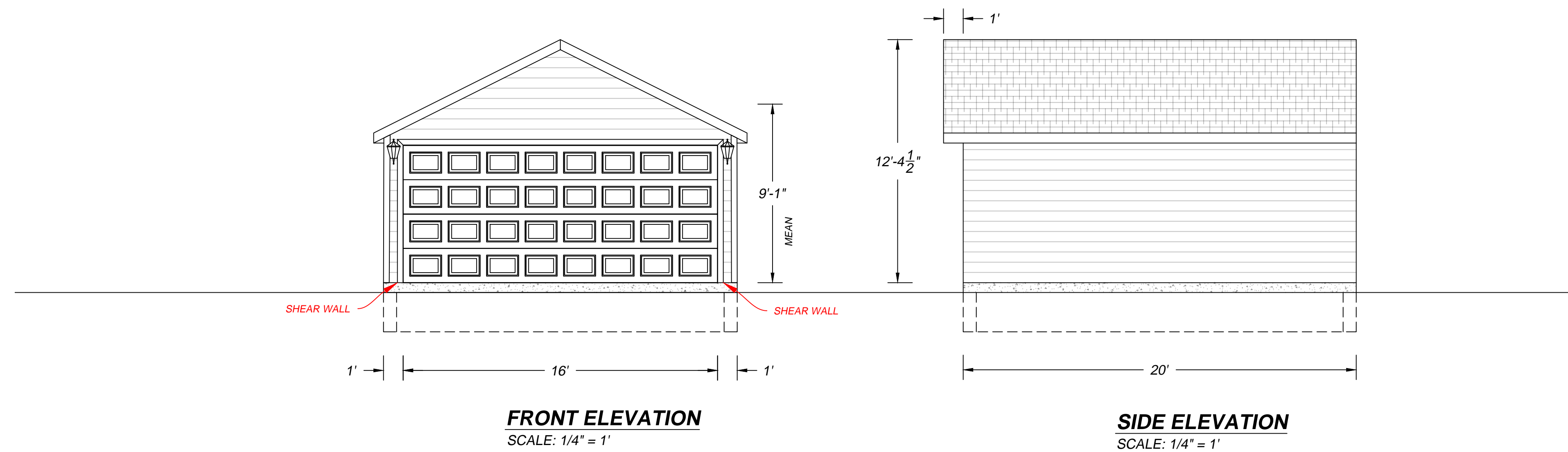
A-1
Page 1 OF 1

PROJECT No. TG2005

DATE CREATED: 13-JULY-2020



SITE PLAN
SCALE: 3/32" = 1'



Wolverine American Legend™

Siding

Life happens here.™

CertainTeed
SAINT-GOBAIN

Choose great looks that last.

3 styles. 21 colors. Wolverine American Legend™ clapboard and dutchlap siding, with its attractive woodgrain texture, has features that allow for precise installation on your home. Designed to stay beautiful with very little effort, Wolverine American Legend features fade-resistant colors, is very durable and offers exceptional value.



STUDfinder™ Technology



GripLock™ Technology




PermaColor™ Protection



On Cover:

Siding: Wolverine American Legend Double 4" Clapboard in buckskin.

1 Trim: Vinyl Carpentry® and Restoration Millwork®.



Installing vinyl siding is a smart investment, with **one of the highest returns** of any major home remodeling project when it's time to sell.

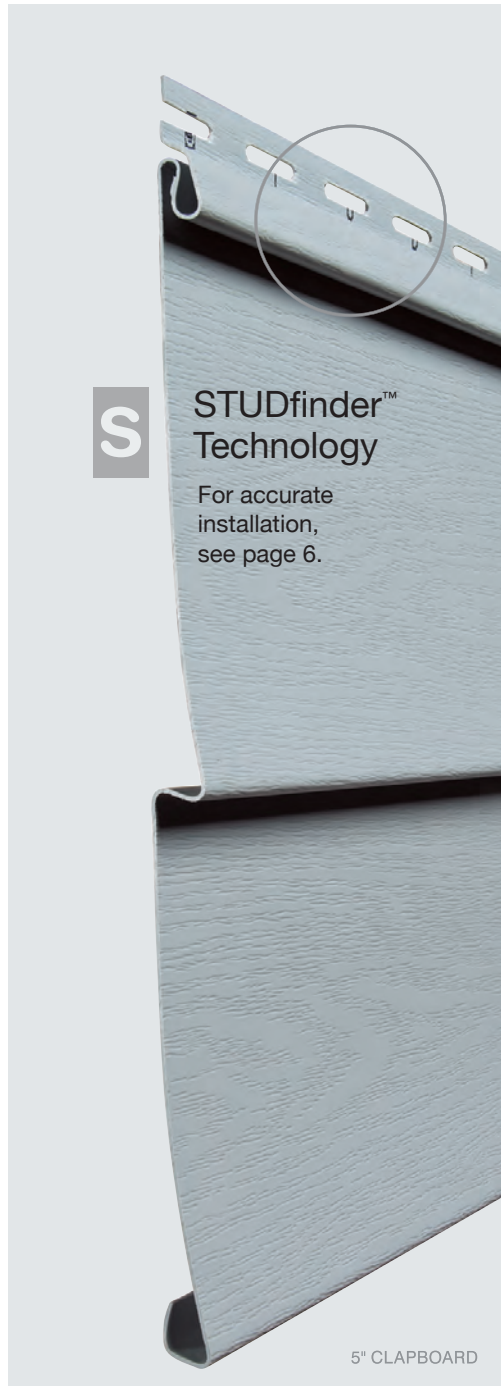
75.6%

Return on investment
for vinyl siding

Source: *Remodeling* magazine
2019 Cost vs. Value Report

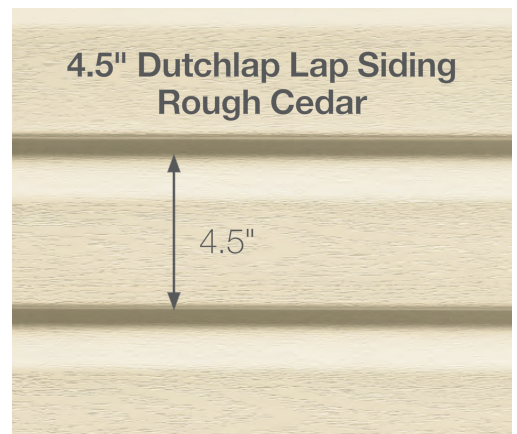
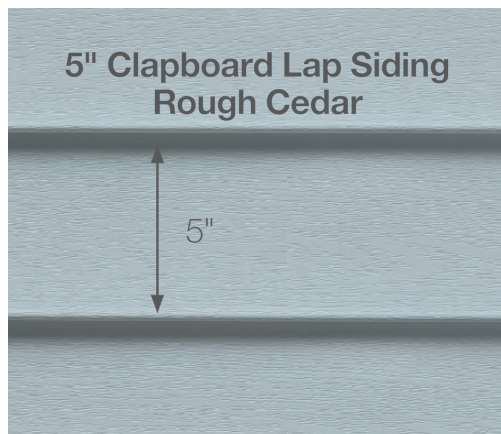
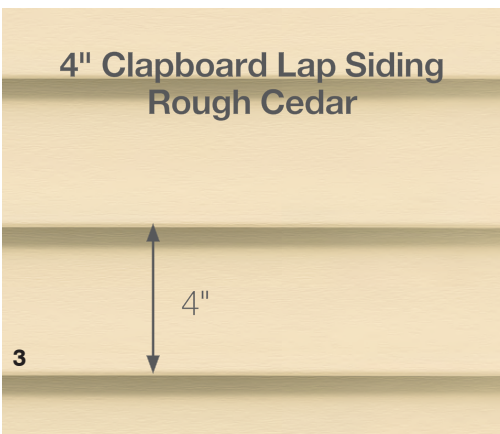
Siding: Wolverine American Legend Double 4" Clapboard and Cedar Impressions Double 6-1/4" Half-Round Perfection Shingles in heritage cream.

Trim: Vinyl Carpentry® and Restoration Millwork®.



3 Styles. Great features.

Wolverine American Legend consists of traditional styles with European roots: Clapboard and Dutchlap. The Clapboard style is the most traditional and found in all parts of the United States. The Dutchlap style provides strong shadow lines and is highly popular in the Mid-Atlantic region.



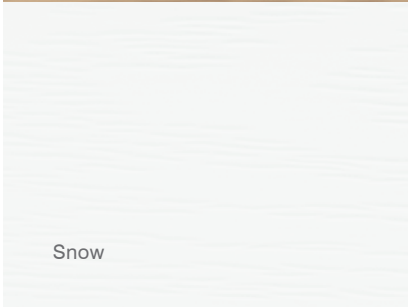


Buckskin

Light Maple

Cypress

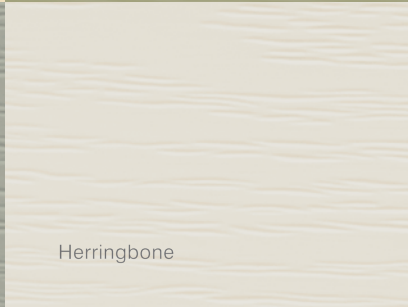
Heritage Cream



Snow



Seagrass



Herringbone



Flagstone

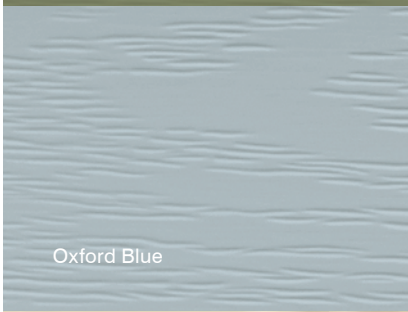
21 Long-Lasting Colors



PermaColor™ system assures color performance, resistance and durability. Wolverine American Legend siding has a special blend of resin, superior micro-ingredients and state-of-art pigment chemistry.



Spruce



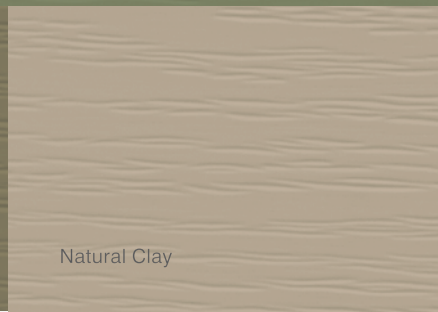
Oxford Blue



Autumn Yellow



Hearthstone



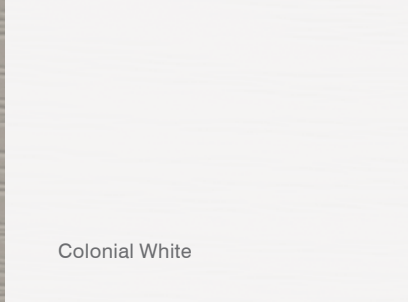
Natural Clay



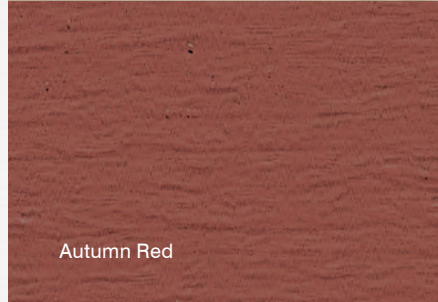
Desert Tan



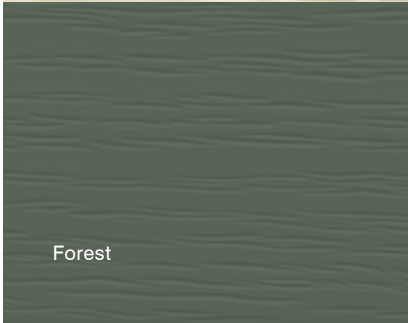
Granite Gray



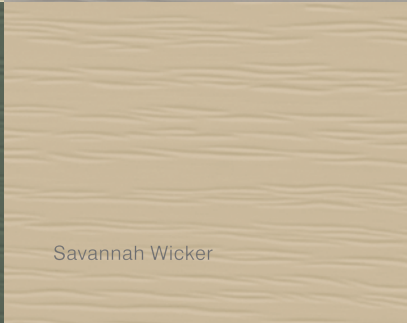
Colonial White



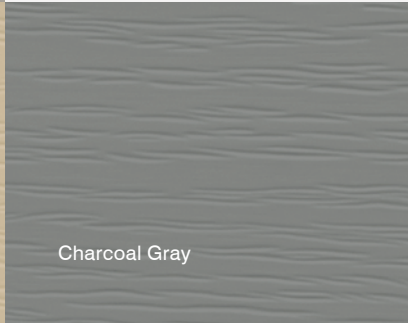
Autumn Red



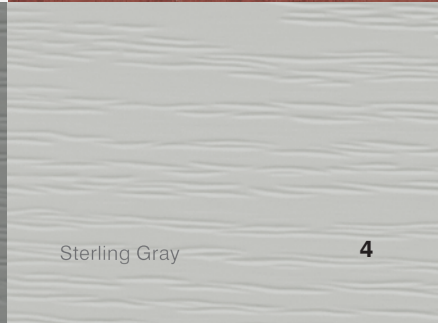
Forest



Savannah Wicker



Charcoal Gray



Sterling Gray

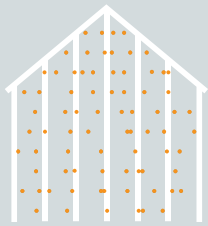
Wolverine American Legend is better...



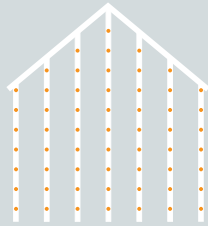
Siding: Wolverine American Legend Double 4" Clapboard in buckskin.
Trim: Vinyl Carpentry® and Restoration Millwork®

...for safety.

STUDfinder™ is an installation system with letters on the Wolverine American Legend panel nail hem to ensure proper nailing to wood studs, to protect you from unwanted dangers such as damaged pipes or wires, or exposed nails.



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With STUDfinder



...for protection.

When installed with Wolverine American Legend siding, CertaWrap™ Weather Resistant Barrier is the added layer of protection against air and moisture damage.

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Warranty

Wolverine American Legend has a lifetime limited warranty.



Trusted Brand

CertaTeed siding is the brand preferred by building professionals and homeowners, from surveys conducted by national trade magazines. CertaTeed is an industry leader for over 100 years.



Sustainable

CertaTeed vinyl siding offers significantly lower environmental impact than other cladding options.†

†Based on life cycle assessment studies conducted through the National Institute of Standards and Technology (NIST)

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What is your color and design comfort level?

NOVICE
 You are not sure about colors and are not sure where to start.

ColorCoach™
 Gives you a virtual swatchbook to get started.



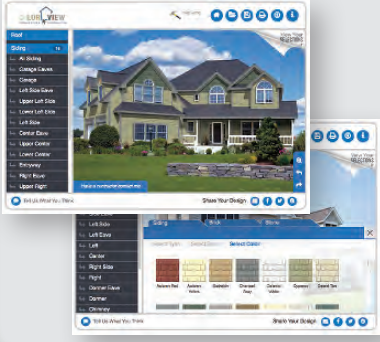
CertainTeed CurbAppeal™
 Download this free iPad® app to help with CertainTeed product selection or to inspire ideas.



INTERMEDIATE
 You understand color and enjoy experimenting with color combinations but aren't exactly sure which color direction you want to go.

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 Mix and match colors and styles on a wide variety of pre-populated home styles to get ideas.



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 You already know what colors you want to use, but would like to see how the products available in your color theme will look together on your home.

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DIY
 Immediately begin designing by uploading a project picture and quickly mix and match products on your own project.



OR

Pro
 Have a photo of your home professionally masked in a few days so you can visualize in ColorView tool.



Trim-It™
 Creates distinction with a wide offering of accent and decorative trim products from both composite and vinyl product lines.



CertainTeed products are designed to work together and complement each other in color and style to give your home a beautiful finished look.

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Extruded Fence



Vinyl Siding

Molded Fence



Insulated Siding

Decking and Railing



Soffit

Roofing and Ventilation



PVC Exterior Trim and Beadboard

Housewrap



Vinyl Carpentry® Trim



Stone



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20 Moores Road Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 certainteed.com

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Wolverine American Legend™

Vinyl Siding

General Description: Wolverine American Legend™ Siding provides the look of wood siding, but does not require the upkeep common to wood. Wolverine American Legend Siding is available in a selection of profiles and finishes that offer the industry’s best real wood replication. It is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. Wolverine American Legend is also an ideal product for remodeling.

Styles:

Profile	Finish	Panel Projection (Nominal)	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket
Double 4” Clapboard	Woodgrain	9/16”	.042”	GripLock™ post-formed positive lock	21	½”, 5/8”, 3/4”
Double 5” Clapboard	Woodgrain	9/16”	.042”	GripLock™ post-formed positive lock	21	½”, 5/8”, 3/4”
Double 4½” Dutchlap	Woodgrain	9/16”	.042”	GripLock™ post-formed positive lock	18	½”, 5/8”, 3/4”

Colors: Wolverine American Legend siding profiles are available in the industry’s widest selection of colors. All colors are Spectrophotometer controlled and utilize exclusive PermaColor™ color science.

Colonial White (01)	Herringbone (04)	Snow (31)	Granite Gray (42)	Charcoal Gray (46)	Spruce (16)
Autumn Yellow (10)	Light Maple (55)	Sterling Gray (33)	Natural Clay (60)	Flagstone (97)	
Desert Tan (7)	Savannah Wicker (59)	Buckskin (41)	Oxford Blue (32)	Forest (47)	
Heritage Cream (11)	Seagrass (30)	Cypress (37)	Autumn Red (23)	Hearthstone (19)	

STUDfinder™: The patented STUDfinder Installation System combines precisely engineered nail slot locations with graphics. Nail slots are positioned 16" on center to allow for alignment with studs. STUDfinder graphics centered at each slot provide a quick and easy guide to help locate studs.

Accessories: CertainTeed manufactures a wide range of siding accessories that are compatible with Wolverine American Legend siding styles and colors. Accessory products include installation components, soffit, window and door trim, corner lineals, corner systems and decorative moldings.

Composition: Wolverine American Legend siding products are produced using PVC resin.

Technical Data: Wolverine American Legend siding is in compliance with ASTM specification for Rigid Polyvinyl Chloride (PVC) Siding D 3679, and the requirements of section R703.11 of the International Residential Code, and section 1404.14 of the International Building Code. American Legend siding meets or exceeds the properties noted in Table 1.

Table 1:

ASTM E 84	Meets Class A flame spread requirements as tested according to ASTM E84.
ASTM D 635	Material is self-extinguishing with no measurable extent of burn when tested in accordance with this specification.
NFPA 268	Radiant Heat Test - Ignition Resistance of Exterior Walls - Conclusion that Wolverine met the conditions for allowable use as specified in section 1406 of the International Building Code.

Important Fire Safety Information: When rigid vinyl siding is exposed to significant heat or flame, the vinyl will soften, sag, melt or burn, and may thereby expose material underneath. Care must be exercised when selecting underlayment materials because many underlayment materials are made from organic materials that are combustible. You should ascertain the fire properties of underlayment materials prior to installation. All materials should be installed in accordance with local, state and federal Building Code and fire regulations.

Wind Load Testing: Wolverine American Legend siding has been tested per ASTM D 5206 standard test method for wind load resistance to withstand negative wind load pressures and their mph equivalents as shown in the chart below. All products exceed industry standards for wind load performance. Check with your local building inspector for wind load requirements in your area for the type of structure you are building

Table 2

Product	Fastener Spacing	2015/2018 IBC/IRC			2021 IBC/IRC		
		Standard Design Pressure Rating	Maximum Windspeed (mph)		Standard Design Pressure Rating	Maximum Windspeed (mph)	
			ASD	ULT		ASD	ULT
Double 4" Clapboard	Nails 16" o.c.	71.9	173	223	45.1	137	177
Double 4-1/4" Dutchlap	Nails 16" o.c.	77.2	179	231	48.9	143	187
Double 5" Clapboard	Nails 16" o.c.	55.6	152	196	40.0	129	166

* Windload calculations based on ASTM D3679, ASCE 7-10, 30ft High, Exposure B

Documents: Wolverine Vinyl Siding meets the requirements of one or more of the following specifications.

- Texas Department of Insurance Product Evaluation EC-11
- Conforms to ASTM Specification D3679
- ICC-ES Evaluation Report ESR-1066
- Florida BCIS Approval FL1573
- For specific product evaluation/approval information, call 800-233-8990.

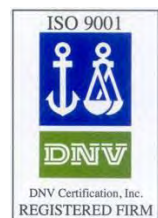
Installation: Prior to commencing work, verify governing dimensions of building, examine, clean and repair, if necessary, any adjoining work on which the siding is in any way dependent for its proper installation. Sheathing materials must have an acceptable working surface. Siding, soffit and accessories shall be installed in accordance with the latest editions of CertainTeed installation manuals on siding and soffit. Installation manuals are available from CertainTeed and its distributors.

Warranty: CertainTeed supports Wolverine American Legend siding products with a Lifetime Limited Warranty including PermaColor Lifetime Fade Protection to the original homeowner. The warranty is transferable if the home is sold.

Technical Services: CertainTeed maintains an Architectural Services staff to assist building professionals with questions regarding CertainTeed siding products. Call 800-233-8990 for samples and answers to technical or installation questions.

Sample Short Form Specification: Siding as shown on drawings or specified herein shall be Wolverine American Legend Vinyl Siding as manufactured by CertainTeed Siding, Malvern, PA. Installation shall be in accordance with manufacturer's instructions.

Three-part Format Specifications: Long form specifications in three-part format are available from CertainTeed by calling our Architectural Services Staff at 800-233-8990. These specifications are also available on our website at certainteed.com.



CertainTeed LLC
20 Moores Road
Malvern, PA
certainteed.com
© 01/20

LANDMARK[®] SERIES

Luxury and Designer Roofing Shingles



CertainTeed
SAINT-GOBAIN



NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee the identical match of the actual product color to the graphic representations throughout this publication.




Trust Your Home to Landmark®

Few things in this world are as precious as the place that you call home. It is much more than just a house. It's the foundation from which you build your life. That's why having a roof that gives your home long-lasting curb appeal and protection from the elements is so important. At CertainTeed, our benchmark for success is our customers' total peace of mind. And we wouldn't have it any other way.

Our dedication to making the highest-quality roofing systems continues to earn the respect of top building professionals. And our product portfolio offers the widest variety of design and color options in the industry. It's no wonder that more than a million homeowners across North America choose CertainTeed each year.

And the job doesn't stop once the roof goes on. Every CertainTeed product is backed by our industry-leading manufacturer's warranty, allowing you to rest confidently and comfortably for years to come.

 +  +  = PEACE OF MIND

High-Quality, Reliable Choice + Industry-Best Warranty + Century of Trusted Performance

Technology that protects
the beauty of your roof and
strengthens its performance.





Landmark, shown in Moire Black

NAILTrak[®] Shingle Technology

The bond that holds it together.

For more than a decade, NailTrak has improved shingle installation by providing a nailing area three times wider than that of a typical laminate shingle. This increases efficiency and accuracy in installation, providing homeowners greater peace of mind. Landmark[®] shingles also feature our specially-formulated Quadra-Bond[®] adhesive, providing industry-leading resistance to delamination. Together, our NailTrak and Quadra-Bond technologies deliver the strength and durability that allow your roof to stand the test of time.

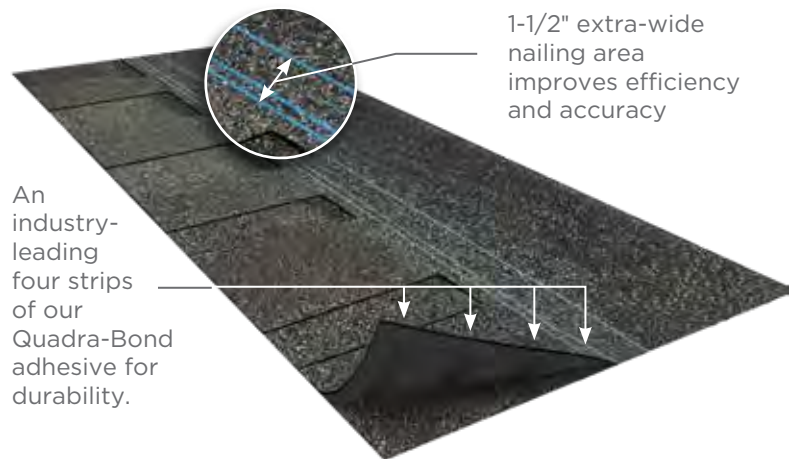


Diagram for illustrative purposes only.

STREAKFighter[®] Algae-Resistant Shingle Technology

The ultimate in stain protection.

Those streaks you see on other roofs in your neighborhood? That's algae, and it's a common eyesore on roofing throughout North America. CertainTeed's StreakFighter technology uses the power of science to repel algae before it can take hold and spread. StreakFighter's granular blend includes naturally algae-resistant copper, helping your roof maintain its curb appeal and look beautiful for years to come.

Granule with StreakFighter Technology

- Ceramic coating
- Copper layer
- Mineral core

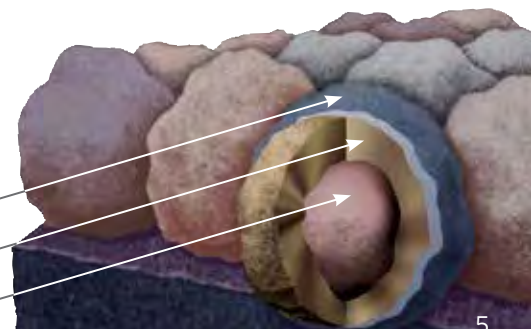


Diagram for illustrative purposes only.



The Trusted Classic

LANDMARK®

Owning a Landmark roof brings peace of mind. Landmark's dual-layered construction and exceptional durability provide long-lasting protection for your home.

- Dual-layered for extra dimensionality and protection from the elements
- Offers the widest array of colors in the industry
- Independently certified as meeting the highest quality standards for roofing



Silver Birch

LANDMARK® COLOR PALETTE



Silver Birch

CRRC Product ID 0668-0072



Granite Gray



Driftwood



Moire Black



Mountain Timber



Burnt Sienna



Georgetown Gray



Weathered Wood



Cinder Black



Black Walnut



Heather Blend



Resawn Shake





The Expert's Choice

LANDMARK® PRO Architect 80

A refined union of vision and value, our PRO line leads its class in optimal performance and variety of color.

- Engineered to meet professional contractors' exacting specifications
- Available in a wide selection of eye-catching **Max Def** colors
- Outweighs standard laminates to provide greater protection from the elements



Max Def Moire Black

LANDMARK® PRO/Architect 80 COLOR PALETTE



Max Def Granite Gray



Max Def Georgetown Gray



Cinder Black



Max Def Black Walnut



Max Def Weathered Wood



Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



9434

Top Shelf

LANDMARK[®] PREMIUM

A sophisticated look, brilliantly executed. Our Premium line is engineered to protect, enhance and endure.

- Outclasses ordinary roofing in both appearance and performance
- Tough two-piece laminated fiberglass-based construction
- Features **Max Def** colors for a deeper, richer mixture of surface granules



Max Def Weathered Wood

LANDMARK® PREMIUM COLOR PALETTE



Max Def Weathered Wood



Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



Landmark Premium, shown in Max Def Moire Black





Depth of Character

LANDMARK® TL

Dramatically thick. Classically elegant. These wood-inspired shakes offer triple lamination for rugged wear with real charisma.

- Look of hand-split cedar
- Patented 3-layer laminate
- Random tab design and unique natural shadows
- A luxury-class shingle produced at a fraction of the cost of wood shake



Shenandoah

LANDMARK® TL COLOR PALETTE



Country Gray



Moire Black



Max Def Black Walnut



Shenandoah

Strength with Style

LANDMARK®

- Dual-layer durability
- Industry-best lifetime limited warranty
- 10-year StreakFighter® algae-resistance warranty



LANDMARK® PRO

Architect 80

- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year StreakFighter® algae-resistance warranty



LANDMARK® PREMIUM

- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year StreakFighter® algae-resistance warranty



LANDMARK® TL

- Triple-layer, high performance
- Rustic appearance of hand-split wood shakes
- Industry-best lifetime limited warranty
- 15-year StreakFighter® algae-resistance warranty



LANDMARK SERIES

SPECIFICATIONS

- Two-piece (Landmark, Landmark Pro and Landmark Premium) and three-piece (Landmark TL) laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate

For U.S. building code compliance, see product specification sheets.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference www.certainteed.com to determine approved products by manufacturing location.

Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications (Landmark PRO, Landmark Premium and Landmark TL)
- StreakFighter® algae-resistance warranty (10-year – Landmark, 15-year – Landmark PRO, Landmark Premium and Landmark TL)
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

See actual warranty for specific details and limitations.

The ColorView® Visualizer: Design your Dream Home with the Click of a Mouse

CertainTeed created the ColorView tool to help homeowners bring their creative vision to reality.

Just look through a photo library of homes to choose one that looks most like your own. Then click on the roof to easily switch designs and see what CertainTeed product looks best. You can choose from hundreds of different roofing design and color combinations, and even add roof accents in different colors. All before anyone raises a hammer.

Want to visualize different roofing styles on your own home? You can upload photos to ColorView and have them digitally masked by one of our design professionals, or use DIY mode to upload and mask your own photos.

Plus, you can print or share your ColorView photos with family and friends to get their feedback. Visit colorview.certainteed.com and get started.



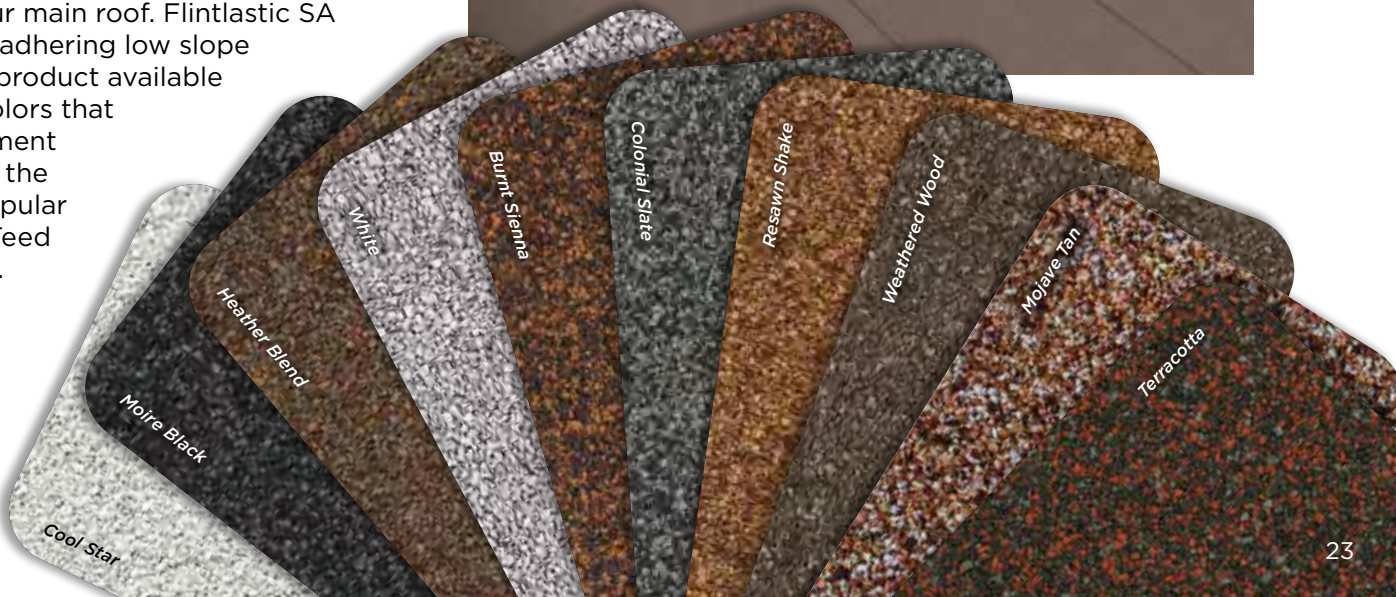


Add a Little Accent to Your Roof

CertainTeed offers Mountain Ridge®, an accessory product used for capping hips and ridges. It is the perfect finishing touch for your roof, offering blended color and high-profile design. CertainTeed also offers Shadow Ridge®, a low-profile design for capping hip and ridges.

Color Companion Products for Flat Roof Areas

With CertainTeed Flintlastic® SA, you can coordinate flat roof areas like carports, canopies and porches with your main roof. Flintlastic SA is a self-adhering low slope roofing product available in ten colors that complement some of the most popular CertainTeed shingles.





Integrity Roof System™

A COMPLETE APPROACH TO LONG LASTING BEAUTY AND PERFORMANCE



With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System combines key elements that help ensure you have a well-built roof for long-lasting performance.

1. Waterproofing Underlayment

The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.

2. Water-Resistant Underlayment

Provides a protective layer over the roof deck and acts as a secondary barrier against leaks.

3. Starter Shingles

Starter Shingles are the first course of shingles that are installed and designed to work in tandem with the roof shingles above for optimal shingle sealing and performance.

4. Shingles

Choose from a variety of Good-Better-Best styles to complement any roof design and fit your budget.

5. Hip & Ridge Caps

Available in numerous profiles, these accessories are used on the roof's hip and ridge lines for a distinctive finishing touch to your new roof.

6. Ventilation

A roof that breathes is shown to perform better and last longer. Ridge Vents, in combination with Intake Vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in the summer and drier in the winter.

learn more at:

certainteed.com/roofing

Landmark Series
available in
areas shown



CertainTeed

CEILING • DECKING • FENCE • GYPSUM • INSULATION • RAILING • ROOFING • SIDING • TRIM

20 Moores Road Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 certainteed.com

BUILD YOUR DOOR

- Make selections in order shown - Design, Window, Color and Construction.
- Available options may vary based on design, color and construction selections.
- Once all selections are complete save your door design to your favorites to share with others.

1 Select door design: Short Panel

Showing 1 of 4



2 Select window: Short Panel

Showing 1 of 5 out of 21



With **Mosaic Window Options** you decide the number and location of windows to create the door design you want.

See [Mosaic Windows Options](#) page or [Style Guide](#) for more information and design ideas. Mosaic Window Options not shown in Door Summary or Door Builder image.

3 Select color: True White

Showing 1 of 5 out of 9



Choose color to see construction availability.



Over 700 factory-applied colors available. See [Amarr Color Zone](#) page for more information. Color Zone options not shown in Door Summary or Door Builder image.

4 Select construction: Stratford ST1000



ST1000 Single-layer: Steel Details

ST2000 Double-layer: Steel + Insulation

[Need Some Help?](#)



DOOR SUMMARY

[Find A Dealer](#)

Door Design: Short Panel

Windows: Short Panel

Color: True White

Construction*: Stratford ST1000

Decorative Hardware: Amarr Lock

[Save to Favorites](#)

*Not shown in image.



Please Note: Door shown represents an 8'x7' Amarr garage door. Actual design may vary based on door width and height. Entrematic reserves the right to modify designs without notice. Actual color may vary due to screen presentation, ask your dealer for color sample before ordering. Download additional door drawings and specifications [here](#).

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 7-31-20

PROPERTY INFORMATION

ADDRESS: 14838 PENROD AKA: _____

HISTORIC DISTRICT: ROSEDALE PARK

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Other: <u>REPLACE GARAGE</u>	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: FRANK MASTROIANNI COMPANY NAME: ITALY AMERICAN CONSTRUCTION

ADDRESS: 8401 N. TELEGRAPH RD CITY: DEARBORN HGTS STATE: MI ZIP: 48127

PHONE: (313) 278-7500 MOBILE: _____ EMAIL: PERMITS@IAC1954.COM

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 7-29-20

PROPERTY INFORMATION

Address: 14838 PENROD Floor: Suite#: Stories:
AKA: Lot(s): Subdivision:
Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: [X] New [] Alteration [] Addition [] Demolition [] Correct Violations
[] Foundation Only [] Change of Use [] Temporary Use [X] Other: REPLACE GAARGE
[] Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
TEAR DOWN EXISTING TWO FRAME GARAGE. BREAK OUT EXISTING CONCRETE FLOOR AND SECTIONS OF APRON.
INSTALL CONCRETE PER PLAN AND ADD TO EXISITNG RATALL. BUILD 18' X 20' GABLE GARAGE.

[] MBC use change [] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

[] HVAC/Mechanical [] Electrical [] Plumbing [] Fire Sprinkler System [] Fire Alarm

Structure Type

[] New Building [] Existing Structure [] Tenant Space [] Garage/Accessory Building
[] Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No
(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

[] Residential-Number of Units: [] Office-Gross Floor Area [] Industrial-Gross Floor Area
[] Commercial-Gross Floor Area: [] Institutional-Gross Floor Area [] Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements
(must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings,
existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: JOSEPH & TRACEY COLES Company Name: _____
Address: 14838 PENROD City: DETROIT State: MI Zip: 48223
Phone: (313) 719-8412 Mobile: _____
Driver's License #: _____ Email: _____

Contractor Contractor is Permit Applicant

Representative Name: FRANK MASTROIANNI Company Name: ITALY AMERICAN CONSTRUCTION
Address: 8401 N. TELEGRAPH RD City: DEARBORN HGTS State: MI Zip: 48127
Phone: (313) 278-7500 Mobile: _____ Email: PERMITS@IAC1954.COM
City of Detroit License #: LIC2001-01717

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: FRANK MASTROIANNI Signature: *Frank Mastroianni* Date: 7-29-20
(Permit Applicant)

Driver's License #: M 236 261 001 777 Expiration: 10/09/21
Subscribed and sworn to before me this _____ day of _____ 20____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.





ITALY AMERICAN CONSTRUCTION CO., INC.

RESIDENTIAL & COMMERCIAL
COMPLETE MODERNIZATION & CUSTOM GARAGE BUILDERS

JOB #

TG 2005

8401 N. Telegraph
Dearborn Heights, MI 48127
(313) 278-7500
(313) 278-7501 Fax
1-877-98-ITALY Toll-Free

SPECIFICATIONS AND CONTRACT

www.italyamerican.com
LICENSED, BONDED & INSURED
STATE LICENSE NO. 48313

Name MR. + MRS. JOSEPH / TRACEY COLES
Address 14838 PENROD
City DETROIT County WAYNE
Directions SEE ADDENDUM

Date 7-3-2020 Lot No. _____
Phone (313) 719-8412 Lot Size _____
Email _____ Sub. _____
Side of Street _____ Liber. _____
Zip 48223 Page _____
Between Sts. _____

This Agreement made this 3rd day of JULY, 2020 by and between MR. + MRS. JOSEPH / TRACEY COLES of 14838 PENROD hereinafter called Owner, and Italy American Construction Co., Inc. of 8401 N. Telegraph Rd., Dearborn Heights, MI 48127, or 140 W. Highland Rd., Highland, MI 48357, hereinafter called Contractor. Owner and Contractor for the considerations hereinafter named agree as follows: Unless otherwise specified herein the Contractor shall furnish all of the materials and perform all of the work hereinafter set forth.

(1) TEAR DOWN EXISTING 2 CAR FRAME GARAGE. (2) BREAKOUT EXISTING CONCRETE FLOOR (2) SECTIONS OF APRON. (3) INSUL CONC. PER PLAN ADD TO EXISTING PATHWALKS. (4) BUILD A 18'X20'-1" HI. SAVOY GABLE GARAGE, 6" PITCH TRIPLE TOP PLATE PROFILES.

CONCRETE / MASONRY / SITE PREP

Removing thicker and/or reinforced concrete is an additional cost to contract price

Miss Dig NO 6" Flatwork NO
Demo 2 CAR FRAME Base CRUSHED COMPACT
Concrete Breakout 635# Ratwall 8" X 24" ADDED
Asphalt Removal NO Footing NO
Sod/Dirt Removal IF ANY Build-up 6" TO 8"
Garage Floor 4" Brick/Block Work NO
Driveway/Apron/Patio/Approach _____ Wire/Fiber Mesh NO
(2) SECTIONS Re-Rod PIN TO EXISTING PAT
Sidewalk NO Fence/Gate Removal NO
4" Flatwork YES Conduit YES Visqueen NO
6 Bag Mix YES Bolts 6 @ 2' + 1 @ 1'

STRUCTURAL SPECIFICATIONS

Size 18'X20' Style GABLE
Front O.H. 1' Roof Pitch 6/12
Studs 7' - 16' O.C.
Roof Sheathing 7/16 OSB Wall Sheathing 7/16 OSB Firewall YES (1)
Wall Liner HOUSE BRAD Top Plate(s) TRIPLED
Treated Bottom Plate YES "X" Cornice OPEN
Metal Wind Braces YES Triple Corner Studs YES
Truss NO Rafters 2" X 16 @ 16' Collar Ties 32" O.C.
Cross Ties 4-2" X 4" Hangers YES
Reverse Ties 2-2" X 4" Brick Front NO
Overhead Door Size 16' X 7' SHORT PANEL 45° Corners ?
Overhead Door Style SHORT PANEL WHITE
Door Opener & Accessories 1/2 HP + 2 HS (KEY RELEASE)
Service Door w/Lockset NO Deadbolt NO
Window Size & Type NO

ELECTRICAL SPECIFICATIONS

If existing electrical service does not meet code, any extra cost will be added to original contract price

New Service NO Existing Service YES
Move Meter NO Interior Wall Outlets 1
Interior Lights 2 Single Switches 2 3 Way NO
Coach Lights 2 Flood Lights NO Exterior G.F.I. (1)
Door Opener Outlet 1 Electrical Trench Filled YES

ROOFING SPECIFICATIONS

Dimensional Shingle _____ Clean-Up YES
Type 15 # FELT ROOF DECK Ice Guard NO
Drip Edge METAL Vents 2 # 750 COLOR COORDINATED
Drip Edge Color _____

SIDING SPECIFICATIONS

Type VINYL DUTCH LAP Color _____
Trim ALUM. Color _____
Soffit PERF. VINYL Color _____
Gutters NO Color NO
Posts NO Railings NO

SPECIAL NOTES

* CUSTOMER PAYING CASH FOR DEMO. TO BE DONE 1ST WHILE CUSTOMER OBTAINING LOAN FOR REMAINDER OF JOB.

PAYMENT: I/We, the Owner(s) MR. JOSEPH + MRS. TRACEY shall pay the Contractor for the performance of the Agreement subject to additions and deductions provided therein as follows: **TOTAL CONTRACT PRICE \$** _____ **

DOWN \$ _____ upon DEMO. OF GARAGE (CASH)
\$ _____ upon CONC. (LOAN)
\$ _____ balance upon substantial completion of the work.

**NOTE: Contract price pending City plan review and approval. Any changes could result in a change of total contract price.

THE AGREEMENT: This Agreement constitutes the entire understanding and agreement of the parties, and no other understanding, warranties, or representations, collateral or otherwise, shall be binding unless in writing and signed by both of the parties. Unless work and materials therefor are specified herein, the same is excluded and Contractor is not to perform or provide same. Contractor is not bound by any oral expression or representation by its agents purporting to act on its behalf, or by any commitment or arrangement not specified in this Agreement. All prior discussions, quotations and negotiations are merged in this agreement.

OWNER'S RIGHT TO CANCEL: IF THIS AGREEMENT WAS SOLICITED AT YOUR RESIDENCE AND YOU DO NOT WANT THE GOODS OR SERVICES, YOU MAY CANCEL THIS AGREEMENT BY MAILING A NOTICE TO THE CONTRACTOR. THE NOTICE MUST SAY THAT YOU DO NOT WANT THE GOODS OR SERVICES AND MUST BE MAILED BEFORE MIDNIGHT ON THE THIRD BUSINESS DAY AFTER YOU SIGN THIS AGREEMENT. THE NOTICE MUST BE MAILED TO: ITALY AMERICAN CONSTRUCTION CO., INC., 8401 N. TELEGRAPH RD., DEARBORN HTS., MI 48127.

CANCELLATION: If Owner cancels this Contract at any time before Contractor begins work, except as expressly permitted by law, he agrees to pay Contractor an amount equal to its loss of profits forthwith as damages which the parties agree is fair and reasonable compensation, plus any costs actually expended by Contractor in connection with this Agreement.

CONTRACT BECOMES EFFECTIVE: This Agreement shall become binding and effective either: (a) When actual performance of work has been commenced: or (b) When this Agreement has been accepted by the Contractor at its office by a duly authorized officer. Contractor will deliver its acceptance to Owner or send notice of acceptance to Owner by regular mail. However actual receipt of such notice is waived by Owner.

OWNER'S ACKNOWLEDGEMENTS: Owner hereby acknowledges receipt of a duly executed duplicate copy of this Agreement at the time of its execution with all the blank spaces filled in to the extent applicable to this project.

By the execution of this Agreement on the day and year first above written Owner acknowledges that he has read this Agreement, including specifications and drawings, if any, included herein, before signing and hereby further acknowledges that he understands all covenants and conditions herein.

THE TERMS AND CONDITIONS ON THE REVERSE SIDE AND ALL SUBSEQUENT PAGES, INCLUDING ANY ATTACHED DRAWINGS, AND THEIR REVERSE CONSTITUTE A PART OF THIS AGREEMENT AND ARE SPECIFICALLY INCORPORATED HEREIN BY REFERENCE.

ACCEPTED (date) 7-3-2020 _____ 20____

ITALY AMERICAN CONSTRUCTION CO., INC.

By Tony Nastroianni
Representative

Tracey Coles
Purchaser
CONC. + GARAGE PORTION SUBJECT TO LOAN APPROVAL

COLOR SYSTEM C

ASSOCIATED ARCHITECTURAL STYLES: (16) COLONIAL REVIVAL, (17) NEO-DUTCH COLONIAL, (18) NEO-GEORGIAN, (19) POST-DEPRESSION COLONIAL

As the nineteenth century waned, American domestic architecture began to return to simpler lines inspired in part by our colonial past. With this revival paint colors also changed. Body colors moved towards the pastels; white again became the most popular trim color and was even used for sash. This trend developed in the 1890s, but only for colonial and classically inspired houses; the darker colors found in the High and Late Victorian Styles continued to be popular and it would be inappropriate to use the colonial colors listed for houses not in the Colonial Revival style. Knowledge of true colonial colors was primitive in the late 19th and early 20th centuries. The so-called "Williamsburg" dark reds, uniform blues and greens that resulted from early studies to discover colors used in the colonial era were actually decades in the future.

For the stucco or clapboard, frame colonial, yellow was the most popular body color, although gray or blue was used. Normally these were then trimmed with white or ivory on the cornice, cornerboards, window frames, sash, etc., depending on which gave the lesser contrast. The yellow, gray and blue were less often used as trimming colors for masonry houses where the darker red brick or stone usually was accompanied by white or ivory trim and dark green shutters.



COLOR SYSTEM C

ACCEPTABLE COLOR COMBINATIONS *MS = MUNSELL STANDARD

BODY	TRIM	SASH	SHUTTERS
A:3, A:4, C:1, C:2, C:3, C:4, C:5	C:4, C:5	Match trim color or occasionally B:19	Match trim color or A:8, B:11, B:12, B:13, B:17
Dark brick or stone	A:3, A:4, C:1, C:2, C:3, with C:4, C:5 preferred	Match trim color or occasionally B:19	Match trim color or A:8, B:11, B:12, B:13, B:17



A:3 Light Yellow
MS: 5Y 8/6



A:4 Pale Yellow
MS: 2.5Y 8.5/4



A:8 Blackish Green
MS: 2.5BG 2/2



B:3 Light Yellow
MS: 2.5Y 8/6



B:11 Grayish Olive Green
MS: 5GY 4/2



B:12 Grayish Green
MS: 10G 4/2



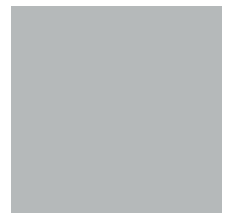
B:13 Moderate Olive Brown
MS: 2.5Y 4/4



B:17 Light Olive
MS: 10Y 5/4



B:19 Black
MS: N 0.5/



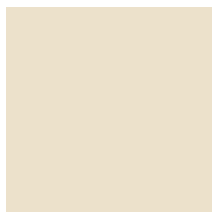
C:1 Light Bluish Gray
MS: 10B 7/1



C:2 Light Yellow
MS: 2.5Y 8.5/6



C:3 Pale Blue
MS: 10B 6/4



C:4 Yellowish White
MS: 5Y 9/1



C:5 Yellowish White
MS: 2.5Y 9/2

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SUBMIT ALL DOCUMENTATION TO: hdc@detroitmi.gov

- (D) The defined elements of design, as provided for in section 25-2-2 of this code, are as follows:
- (1) *Height.* The height of the single-family residential structures in the Rosedale Park Historic District range from one (1) story to two-and-one-half (2 1/2) stories tall, the half-stories contained within the roof. The standards, as defined in original deed restrictions, shall be met by new single-family residences. Additions to existing buildings shall be related to the existing structure. Garages are generally one-story tall. The three (3) apartment buildings on West Outer Drive near Grand River Avenue are two-stories tall on a high basement. The red brick church on Fenkell at Stahelin has a slightly vaulted sanctuary section that is nearly three stories in height and two single-story wings.
 - (2) *Proportion of buildings= front façades.* The typical front façades of residential buildings in the Rosedale Park Historic District are often wider than tall or as wide as tall to their eaves. Tall half-stories with dormers provide additional height.
 - (3) *Proportion of Openings Within the Façades.* Proportion of openings varies greatly according to the style of the building. Typical openings are taller than wide, but individual windows are often grouped together to fill a single opening which is wider than tall. Windows are often subdivided; buildings designed in English Revival styles frequently display leaded glass in casement windows and transoms. In buildings derived from classical precedents, double-hung sash windows are further subdivided by muntins. A variety of arched openings and bay windows exist throughout the district. Modernistic-style residential buildings have large openings with a variety of proportional relationships. Dormers projecting from the front roof slopes of many houses in the district add to the window area. Openings range from twenty percent (20%) to seventy-five percent (75%) of the front façades, most falling into the twenty-five percent (25%) to thirty-five percent (35%) range.
 - (4) *Rhythm of Solids to Voids in Front Façades.* In buildings derived from classical precedents, voids are usually arranged in a symmetrical and evenly-spaced manner within the façades. In buildings of other styles, particularly those of English Revival sub-styles, voids are arranged with more freedom, but usually result in balanced compositions. Voids often dominate the design of the front façades of modernistic style houses.
 - (5) *Rhythm of Spacing of Buildings on Streets.* The spacing of the buildings is generally determined by the lot sizes and the setbacks from side lot lines. There is a general regularity in the widths of subdivision lots from one block to another, and a shared rhythm and cadence along the streetscapes. Generally, all residences or parts thereof, including cornices, balconies, pergolas or porches, are not nearer than three (3) feet to the side lot line, or as defined by specific subdivision or deed restrictions.
 - (6) *Rhythm of Entrance and/or Porch Projections.* Entrance and porch types usually relate to the style of the building. Generally, entrances and porches on buildings of English Revival precedents exhibit freedom of placement and orientation, while buildings of classical inspiration typically have porches and entrances centered on the front façade. A common entry arrangement on vernacular English Revival houses is that of a slightly projecting, steeply gabled vestibule or gabled wall punctured with an arched opening. On smaller scaled buildings of later building styles, such as the Garrison Colonials, minimalist traditionals, and ranches, entrances and porches are positioned on one side of the front façade. Some houses have entrances that recede while others have porches, steps, and/or entrances that project. Most porches occupy a single bay while others, particularly on Arts and Crafts and Bungalow style houses, span the length of the front façade. Side and rear secondary entrances and porches and enclosed sunrooms are common. A rhythm of entrances and porches is not discerned due to the variety of house designs in the district.
 - (7) *Relationship of Materials.* Masonry is the most significant material in the majority of houses in the Rosedale Park Historic District, in the form of pressed or wire cut brick, often

combined with wood, stone, and/or stucco. Wood is almost universally used for window frames, half-timbering, and other functional trim. Windows are commonly either of the metal casement or wooden sash variety. Aluminum siding and aluminum canted windows on later buildings are sometimes original; vinyl siding and vinyl windows, where they exist, are replacements. Glass block exists as an original material in some window openings of buildings in Amodern@ styles. Roofs on the majority of the houses in the Rosedale Park Historic District are asphalt shingled, while several original slate roofs still exist. Garages, where they are contemporary with the residential dwelling, often correspond to it in materials.

- (8) *Relationship of Textures.* The major textural relationship is that of brick laid in mortar, often juxtaposed with wood or smooth or rough-faced stucco and/or stone elements and trim. Textured brick and brick laid in patterns creates considerable interest, as does half-timbering, leaded and subdivided windows, and wood shingled or horizontally- sided elements. Some Arts and Crafts style buildings have stone as their major first floor material, providing a rustic, organic appearance, and stucco or wood at second story level. Slate roofs have particular textural values where they exist; asphalt shingles generally do not.
- (9) *Relationship of Colors.* Natural brick colors B such as red, yellow, brown, or buff B dominate in wall surfaces. Natural stone colors also predominate; where stucco or concrete exists, it usually remains in its natural state, or is painted in a shade of cream. Roofs are in natural slate colors, and asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style. The buildings derived from classical precedents, such as the Neo-Dutch Colonials and Garrison Colonials, generally have woodwork painted in the white or cream range. English Revival style buildings generally have painted wood trim and window frames of dark brown, gray, buff, or shades of cream, depending on the main body color. Half timbering is most frequently stained or painted dark brown. Stained and leaded glass, where it exists as decoration visible on the front façade, contributes to the artistic interest of the building. The original colors of any building, as determined by professional analysis, are always acceptable for a house, and may provide guidance for similar houses. Colors used on garages should relate to the colors of the main dwelling.
- (10) *Relationship of Architectural Details.* The architectural elements and details of each structure generally relate to its style. Contributing residential buildings, constructed between 1917 and 1955, were designed in styles identified as English Tudor Revival, Arts and Crafts, Bungalow, Colonial Revival, Dutch Colonial Revival, Foursquare, Prairie, French Renaissance, Ranch, Garrison Colonial, Minimal Traditional, and International, or hybrids of these styles. Characteristic elements and details displayed on vernacular English Revival-influenced dwellings include arched windows and door openings, steeply pitched gables, towers, clustered chimneys, and sometimes half-timbering. Classically-derived styles display modest detail and architectural elements, mostly in wood in the form of columned porches, shutters, cornices, and keystones. A great variety of dormer types (shed, gabled, hipped, round-arched, and wall dormers), complimentary to the style of pre-circa 1935 buildings, are very common throughout the district. Porte cocheres and archways adjoining the main body of the house add architectural interest where they exist. Modern styles are generally characterized by smooth, relatively unadorned wall surfaces, horizontal bands of windows, and simplicity. The bank building at the corner of Grand River Avenue and Fenkell at 18203 Ashton was designed in a pared down Neo-classical style typical of its period. The red brick church on Fenkell at Stahelin features a triple set of double doors, stylized cross, and substantial stone piers demarcating its principal entrance. In general, the district is rich in early to mid-twentieth century architectural styles.
- (11) *Relationship of Roof Shapes.* A variety of roof shapes exists, relating to the style of the

dwellings. Common on English Revival buildings are steeply sloped pitched or hipped roofs with complex arrangements of secondary roof shapes, including steeply sloped gables, clipped gables, and shed roofs. These roofs are commonly interrupted by gabled, shed, and multi-sided dormers, and substantial chimneys which are sometimes clustered. Bungalows feature low-slung, side facing gable roofs with shed dormers. Classically-inspired buildings display pitched or hipped roofs with less slope, with or without dormers. Roofs of houses built later in the period of development of the district, such as those of modern inspiration, tend to have significantly lower slopes. Flat roofs are not typical except on porches, sunrooms, and other small extensions of a primary building with a pitched roof, with the exception of the International style building facing Stoepel Park No. 1 at 14901 Minock. Flat roofs as the main roof of a primary building are generally not appropriate in the district.

- (12) *Walls of Continuity.* The common setbacks of houses on straight residential streets create strong visual walls of continuity. This is augmented by the landscaped features in the public right-of-ways, such as the traffic islands and tree lawns planted with mature trees.
- (13) *Relationship of Significant Landscape Features and Surface Treatments.* Monumental features mark the entrance to Rosedale Park near Grand River Avenue at Ashton Boulevard and Fenkell with an elaborate set of brick and stone piers; at Glastonbury with brick piers and masonry globes, bearing a plaque identifying the area=s developers; and at Piedmont, the more modest of the three with its very squat brick piers bearing masonry globes. The flat terrain of the area is divided with principal streets oriented north-south and alternating eighty (80) feet and one hundred (100) feet in width, and five east-west streets fifty (50) feet wide. The district is separated from the Grand River Avenue commercial lots by an alley. The typical treatment of individual residential properties is that of a dwelling erected on a flat or slightly graded front lawn. The front lawn area is generally covered with grass turf, subdivided by a straight or curving concrete or brick walk leading to the front entrance and a single width side driveway leading to a garage. There is variety in the landscape treatment of individual properties. Lack of front yard fencing in all but the western part of the district is a result of subdivision restrictions that prevent fences nearer to the front line of the property than the rear of the building. The placement of trees on the tree lawn between the concrete public sidewalk and masonry curb varies from block to block or street to street. Lots in Rosedale Park Subdivision No. 4, on Auburn, Minock, and Plainview, have no curbs, and feature wide tree lawns. Replacement trees on the public right-of-way should be characteristic of the area and period. Original street lighting standards throughout the district have tall fluted poles with crane=s necks and replacement lanterns. Many have been replaced by tall, modern steel poles. A specific light standard was designed for Outer Drive, and many still exist.
- (14) *Relationship of Open Space to Structures.* The curbed, landscaped traffic islands in the center of the north-south street require that the road curves around them. Minock, Auburn, and Plainview on the western end of the district do not have the landscaped islands in the public right-of-way, although West Outer Drive has some wide medians. Public sidewalks line each side of the street, and are set back from the road by a tree-lawn that widens when not opposite a landscaped traffic island. All houses have ample rear yards as well as front yards. Wider lots in Rosedale Park permitted side drives with garages at the rear of the lots. Where dwellings are located on corner lots, garages face the side street. Garages, when original, often correspond in materials to the main body of the dwelling, but are of modest, one-story, simple box design with single or double-doors. Some later houses in the west part of the district were originally built with garages that were integrated into the main body of the dwelling. About half of the original garages in the district have been removed and/or replaced. Fences of metal, wood, or stone separate individual properties from the alley

behind the Grand River Avenue commercial frontage. While there are a few hedges between properties in front, hedges and backyard fences are common along the east-west streets, and backyard fences are common throughout the district. Stoepel Park No. 1, outside of the district=s southern and western edge, preserves open space, as does Flintstone Park, outside of the district at its southeastern edge.

- (15) *Scale of Façades and Façade Elements.* The Rosedale Park Historic District comprises a single-family residential neighborhood of moderately scaled dwellings. Houses erected in the 1940s and 1950s are generally smaller in scale than those built in the earlier phase of development. Three (3) multi-unit apartment buildings, on the west side of West Outer Drive near Grand River Avenue, are also moderately scaled. Elements and details within are appropriately scaled, having been determined by the style, size and complexity of the individual buildings. Window sash are usually subdivided by muntins and casement windows are leaded, affecting the apparent scale of the windows within the façades.
- (16) *Directional Expression of Front Elevations.* The houses in the Rosedale Park Historic District are horizontal or neutral in directional expression. Large architectural elements within façades are frequently vertical in directional expression, such as multi-storied projecting gabled sections, clustered chimneys, or columns. The three (3) apartment buildings on West Outer Drive are horizontal in directional expression.
- (17) *Rhythm of Building Setbacks.* Front yard setbacks are generally consistent on each residential street in the Rosedale Park Historic District, as prescribed by the deed restrictions, although porches, entrance arrangements, window projections, and irregular massing result in the appearance of variety.
- (18) *Relationship of Lot Coverages.* The lot coverage for the single-family dwellings ranges generally from twenty-five percent (25%) percent to thirty-five percent (35%), including the garage, whether freestanding or attached.
- (19) *Degree of Complexity within the Façades.* The degree of complexity has been determined by what is typical and appropriate for a given style. Overall, there is a higher degree of complexity in the English Revival style buildings, where their façades are frequently complicated by gables, bays, irregularly placed openings and entrances, and irregular massing, than those of other styles. The façades of classically inspired buildings and modernistic buildings are more straightforward in their arrangement of elements and details.
- (20) *Orientation, Vistas, Overviews.* The orientation of buildings is generally toward the north-south streets, with the exception of the house at 14901 Minock, which faces Stoepel Park No. 1. The primary vistas are created by the landscaped traffic islands. Because of the standard setbacks and lack of front yard fencing, the streetscape appears as an unbroken greenbelt.
- (21) *Symmetric or Asymmetric Appearance.* Front façades of buildings range from completely symmetrical to asymmetrical but balanced compositions. English Revival style buildings are irregular in layout and asymmetrical in appearance. The classically-inspired buildings are generally symmetrical. The modernistic buildings are not symmetrical but result in highly ordered compositions.
- (22) *General Environmental Character.* The Rosedale Park Historic District is a solid, fully developed, large residential area of just under 1600 moderately-scaled single family dwellings, built-up in the period between World War I and World War II and complemented with typical examples of compatible houses from the 1950s. Its landscaped features within the public right-of-ways results in a park-like setting. Located approximately twelve miles from the city=s center, the Grand River Avenue commercial strip is to its north; otherwise, the area features several other substantial residential subdivisions, including North Rosedale Park and Grandmont.

Section 2. All ordinances or parts of ordinances, or resolutions, in conflict with this ordinance are

repealed.

Section 3. This ordinance is declared necessary for the preservation of the public peace, health, safety, and welfare of the people of the City of Detroit.

Section 4. If this ordinance is passed by a two-thirds (2/3) majority of City Council members serving, it shall be given immediate effect and shall become effective upon publication in accordance with Section 4-116 of the 1997 Detroit City Charter; otherwise, it shall become effective in accordance with Section 4-115 of the 1997 Detroit City Charter.

Approved as to form only:

John E. Johnson, Jr.
Corporation Counsel