

**STAFF REPORT: AUGUST 12, 2020 MEETING**

**PREPARED BY: B. CAGNEY**

**APPLICATION NUMBER: 20-6762**

**ADDRESS: 14801 PENROD**

**HISTORIC DISTRICT: ROSEDALE PARK**

**APPLICANT: FRANK MASTROIANNI**

**PROPERTY OWNER: DONNA WILSON**

**SCOPE OF WORK: INSTALL NON-INSULATED ENCLOSURE AROUND REAR PORCH**

**PROVISIONAL COMPLETE DATE: 6-30-2020**

**DATE OF STAFF SITE VISIT: 8-5-2020**



*Front Elevation, Penrod St. Staff Photo*



*Corner View, Penrod & Eaton, Staff Photo*

## **EXISTING CONDITIONS**

Located on the corner of Penrod and Eaton, 14801 Penrod is a two-story home, built in 1925. The home is most notably characterized by the light grey, gambrel style roof. The home is clad in what appears to staff as aluminum lap siding with a wide reveal. The front of the home (facing east) features a simple, raised porch that consists of a brick base with a concrete cap. A white, metal railing runs around the perimeter of the porch. The rear of the home features a small “bump-out” addition with an extended roof, functioning as both a walk out terrace from the second floor and as a covered porch below on the northwest corner of the home. A detached garage is located on the southwest corner of the property, accessed from Eaton Street.

The HDC records currently available to staff do not indicate that any COA’s have been issued for this address. In staff’s opinion, the non-historic siding was likely installed prior to Rosedale Park’s 2007 designation. **Google Streetview images indicate that the siding was present in 2009.** Unfortunately, staff was unable to access a designation slide (address not in archive) or Sanborn map (17A) for this address.

## **PROPOSED SCOPE OF EXTERIOR WORK:**

**Rear Porch Repair and Enclosure:** The applicant proposes **to add a non-insulated enclosure to both sides** of the 5’x5’ rear porch on the east side of the building.

- In-kind replacement of existing **deteriorated wood porch structure** with **pressure treated wood to include porch decking, steps, steps, posts rails and spindles.**
- Install **“Three-Season Sunroom,”** manufactured product by *Waynecraft*.
  - The proposed product is made of aluminum panels and extruded aluminum frames.

- **The North elevation of the proposed sunroom** features a sliding glass window while the **west elevation** has a ‘self storing’ window and a screen storm door.
  - No additional information on the windows and door was provided by the applicant or was easily available on the manufacturer’s website.

**Front Porch Repair:**

- **The applicant is proposing to remove and rebuild the brick foundation on the front and sides of the existing 18’-4” x 8’ front porch.**
- Existing bricks will be reused when possible and any new bricks will closely match the existing brick.
- Bricks will be acid washed to clean surfaces after work is complete.

**STAFF OBSERVATIONS:**

**Location:** As stated in the existing conditions, the home is located on the corner of Penrod and Eaton, both areas of work are visible from the public right of way.

**Rear Porch Repair and Enclosure:** In general, the addition of a non-insulated porch enclosure will not result in the removal or destruction of any character defining features of the home. It is likely that the system can be removed at a future date without damaging the home. However, staff concerns remain over the materiality and overall design of the proposed enclosure. Staff acknowledges that the rest of the home is clad in a non-historic siding material although the commission typically does not approve aluminum siding for historic age homes in designated districts. Additionally, the size, shape and operation of the proposed windows are not of a compatible style with the rest of the home.

**Front Porch Repair:** Typically, this scope of work can be approved administratively by staff. However, the application is not clear how the brick base has deteriorated. Additional information would be appreciated, although staff does understand that most home owners do not take on this type of work for fun. Additionally, the applicant has not explicitly stated in the application what will happen with the concrete deck so staff must assume that the existing concrete deck will remain.

**RECOMMENDATIONS:**

Staff recommends that the Commission issue a Certificate of Appropriateness to repair the front and rear decks based on the Secretary of the Interior’s Standards for Rehabilitation. However, as it is currently proposed, staff recommends that the Commission deny the installation of the non-insulated enclosure. In this particular instance, where the existing siding is already synthetic, the addition of the aluminum enclosure does not necessarily contrast with the existing materials. Further, the Rosedale Park Elements of Design does list vinyl and aluminum as existing materials throughout the neighborhood at time of the 2007 designation. Therefore, staff would feel comfortable recommending approval for this work item under Secretary of the Interior’s Standards for Rehabilitation 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment* and 10) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired*, with the following conditions:

1. Knee walls and sill height of proposed windows align with the existing window sills on the west elevation.
2. The operational window be double-hung instead of a slider.
3. The color of wall panels are painted to match existing siding.



*Front Porch, Staff Photo*



*Rear of home from Eaton St., Staff Photo*



*Side and rear view of home from Eaton St., Staff Photo*



*Rear view of home from Eaton St., Staff Photo*



Penrod St

Google

Image capture: Aug 2009

Historic District Commission  
City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Historic District Commission: Project Review Request

ePLANS Permit Number: BLD2020-01494

Italy American Construction is planning on doing some work at 14801 Penrod. We are planning on repairing the front and back porches of the house. The front porch is a 15' x 8' brick porch. We will be removing and rebricking the front porch with the same brick or matching brick if needed. Once this is done, the brick will be acid washed. The back porch is a 5' x 5' wood porch. The wood is deteriorating and needs to be replaced with the same kind of wood. Listed below is the full description of the project.

- Remove brick on front porch and rebrick exterior of front porch with same or matching brick.
- Clean brick with acid wash when done.
- Rebuild 5' x 5' wood back porch.
- Replace decking, treads and risers.
- Replace step.
- Install non-white insulated enclosure at back porch.
- Install 36" self storing storm door.
- Adjacent wall to have sliding glass window and screen.

Please see the pictures below for existing conditions.

Thank you,  
Deanna Fries  
Italy American Construction  
8401 N. Telegraph rd.  
Dearborn Hgts, MI. 48127  
(313) 278-7500 - Office  
(313) 278-7501 - Fax  
permits@iac1954.com


Fri 7/10/2020 8:36 AM

Sam Ferrise <sferrise@iac1954.com>

[EXTERNAL] 14801 PENROD REAR PORCH RENOVATRION

To Brendan Cagney

Cc Deanna Fries

 You replied to this message on 7/10/2020 11:44 AM.



Message



14801 PENROD PORCH & CONC-11X17XP (2).pdf (96 KB)



14801 PENROD PORCH & CONC-11X17XP.pdf (97 KB)

Mr. Cagney,

Attached are two views of railings to show attachment.

The railing elevation view shows all code requirements for handrails.

The top rail must be graspable per the code requirement.

Per MRC code at least one handrail is required. With the addition of a door the left side does not need a handrail. The open door would block access to it.













*Four Season Sunroom*



*Three Season Sunroom*



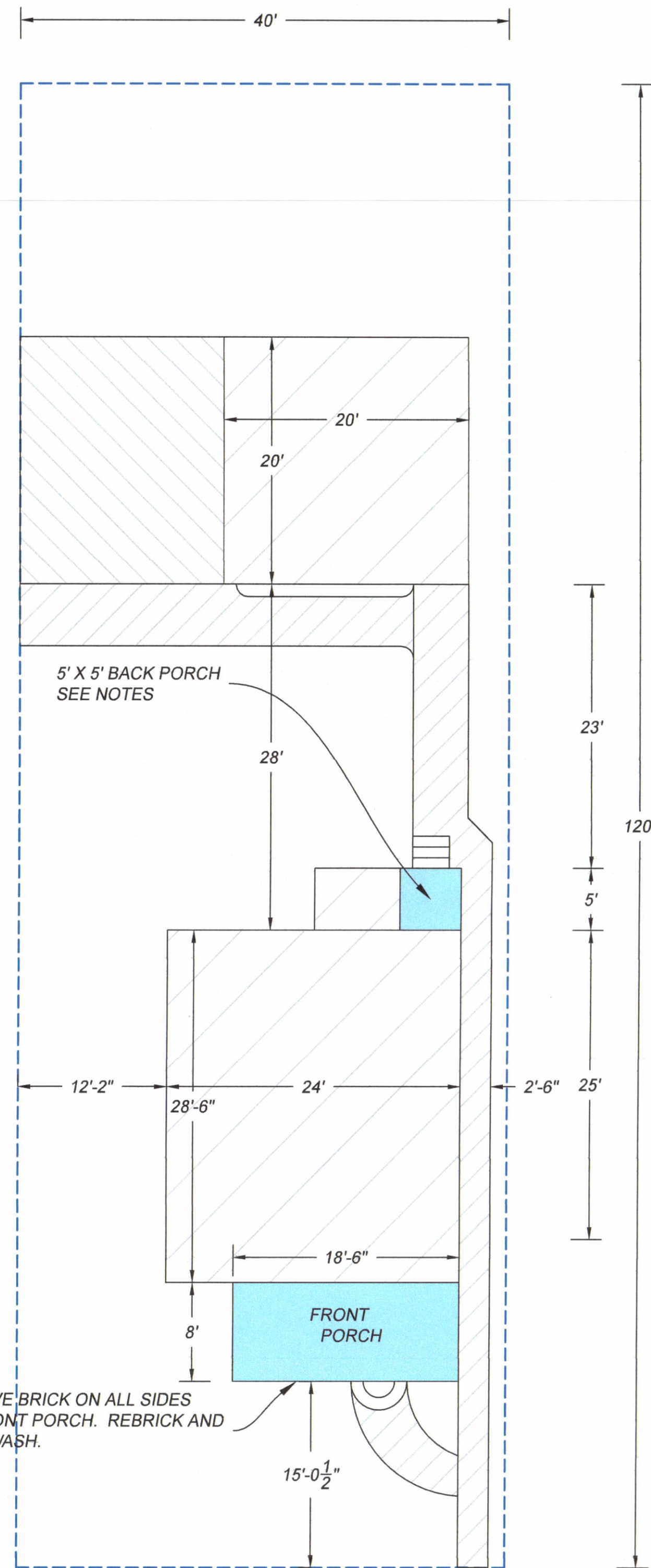


**GENERAL NOTES**

- THESE PLANS ARE PROTECTED BY COPYRIGHT AND ARE NOT TO BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE AUTHOR
- APPLICABLE BUILDING CODES ARE AS FOLLOWS  
- MICHIGAN RESIDENTIAL BUILDING CODE 2015  
- CITY OF DETROIT BUILDING CODE  
- CITY OF DETROIT ZONING CODE
- PRIOR TO THE START OF CONSTRUCTION, THE LICENSED CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO COMMENCE
- ALL FEDERAL, STATE, AND LOCAL CODES SHALL BE CONSIDERED A PART OF THE SPECIFICATIONS OF THE BUILDING AND SHOULD BE ADHERED TO EVEN IF THEY ARE IN CONFLICT WITH THIS DOCUMENT
- ANY CHANGES REQUESTED TO PLANS PRIOR TO CONSTRUCTION MUST BE REPORTED IN THE MANNER DICTATED BY THE AUTHOR OF THIS DOCUMENT AND AGREED TO BY BOTH CUSTOMER AND AUTHOR
- APPROVAL OF THESE PLANS BY THE REQUIRED MUNICIPAL REVIEWER SIGNIFIES A THOROUGH REVIEW AND ADHERENCE TO THE REQUIRED INSPECTION SCHEDULE BY THE CONTRACTOR LIMITS THE INDEMNITY OF THE MUNICIPALITY

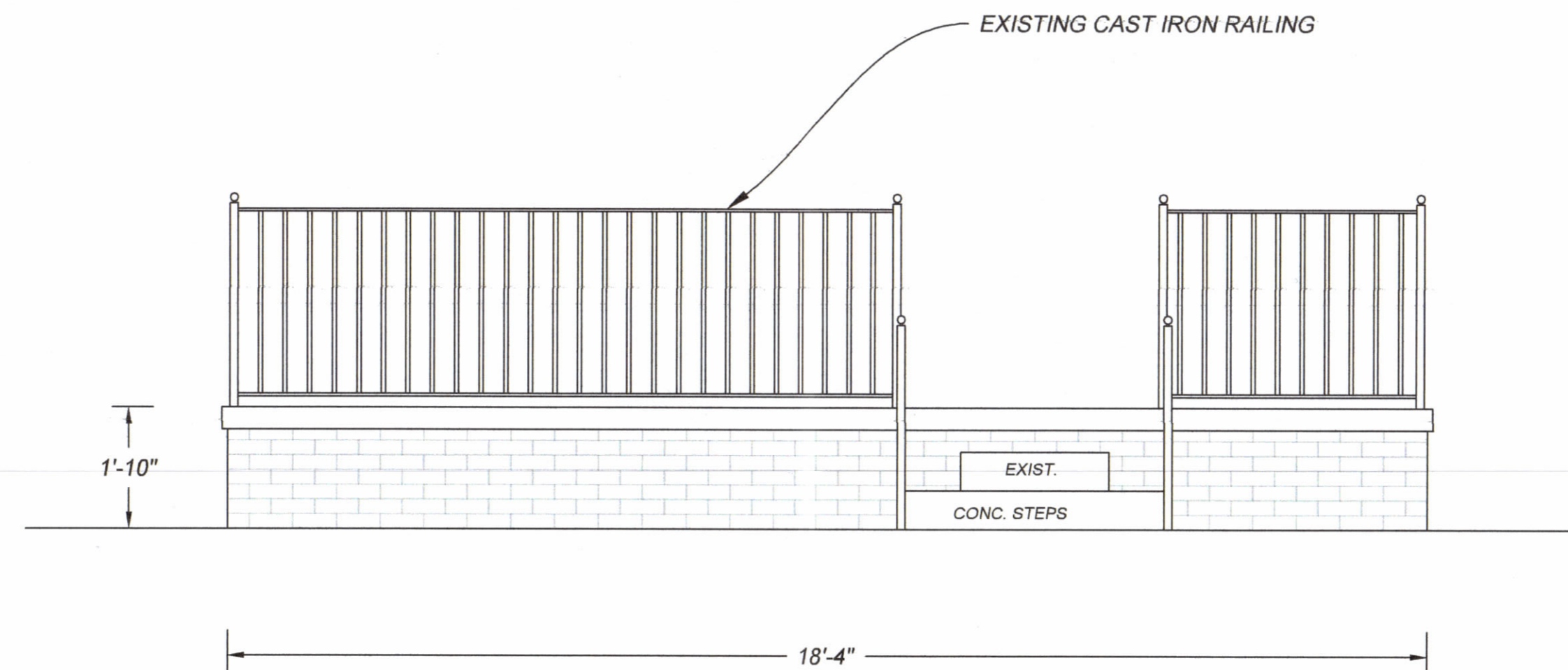
**CONSTRUCTION NOTES**

- DRAWING PAGES WILL BE SCALED ON EITHER (24" X 36") OR (11" X 17") PAPER AND PRESERVE PROPER FORMATTING & MEASUREMENTS
- DOOR SIZES ARE INDICATED IN DRAWINGS NOMINALLY AND IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ROUGH OPENINGS BASED ON THE DOOR MANUFACTURER'S SPECIFICATIONS
- BRACE ALL EXTERIOR CORNERS OF STUD WALLS WITH METAL STRAP BRACING LET INTO STUDS ON 45 DEGREE DIAGONALS FROM PLATE TO PLATE
- ALL RAFTER TAILS TO RECEIVE GALV. HURRICANE STRAPS AT WALL TOP PLATES TO PREVENT WIND UPLIFT



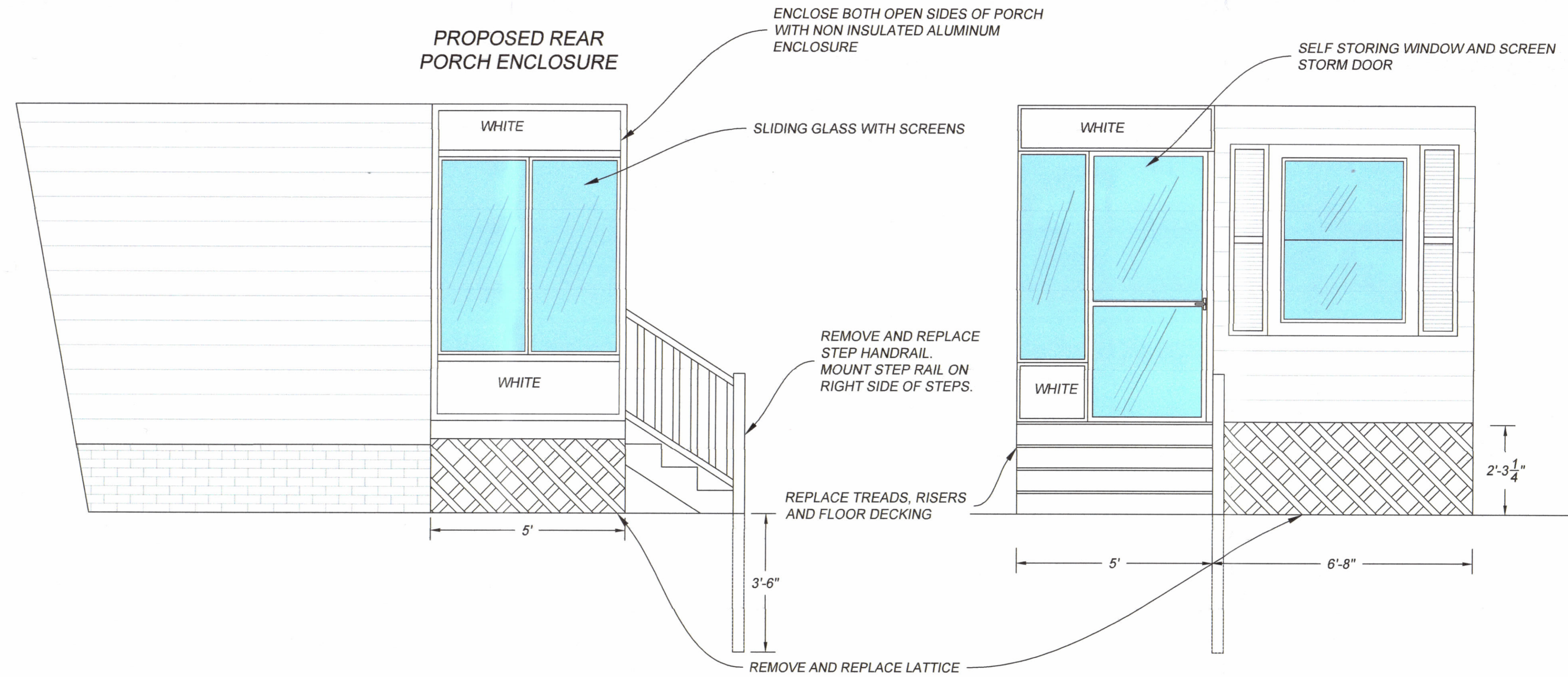
**SITE PLAN**

SCALE 1/8" = 1'



**FRONT PORCH ELEVATION**

SCALE 1/2" = 1'



**SIDE ELEVATION**

SCALE 1/2" = 1'

**REAR ELEVATION**

SCALE 1/2" = 1'

**SHEET INDEX**

DESCRIPTION	DESCRIPTION
A.001	GENERAL NOTES SITE SURVEY GARAGE FLOOR PLAN SECTION ELEVATIONS

**SET ISSUE DATES**

DATE: ISSUE:

**SHEET NOTES**

REF: NOTES:  
DRAWN BY: S.A. FERRISE  
CHECKED BY:

SHEET No.

**A-1**

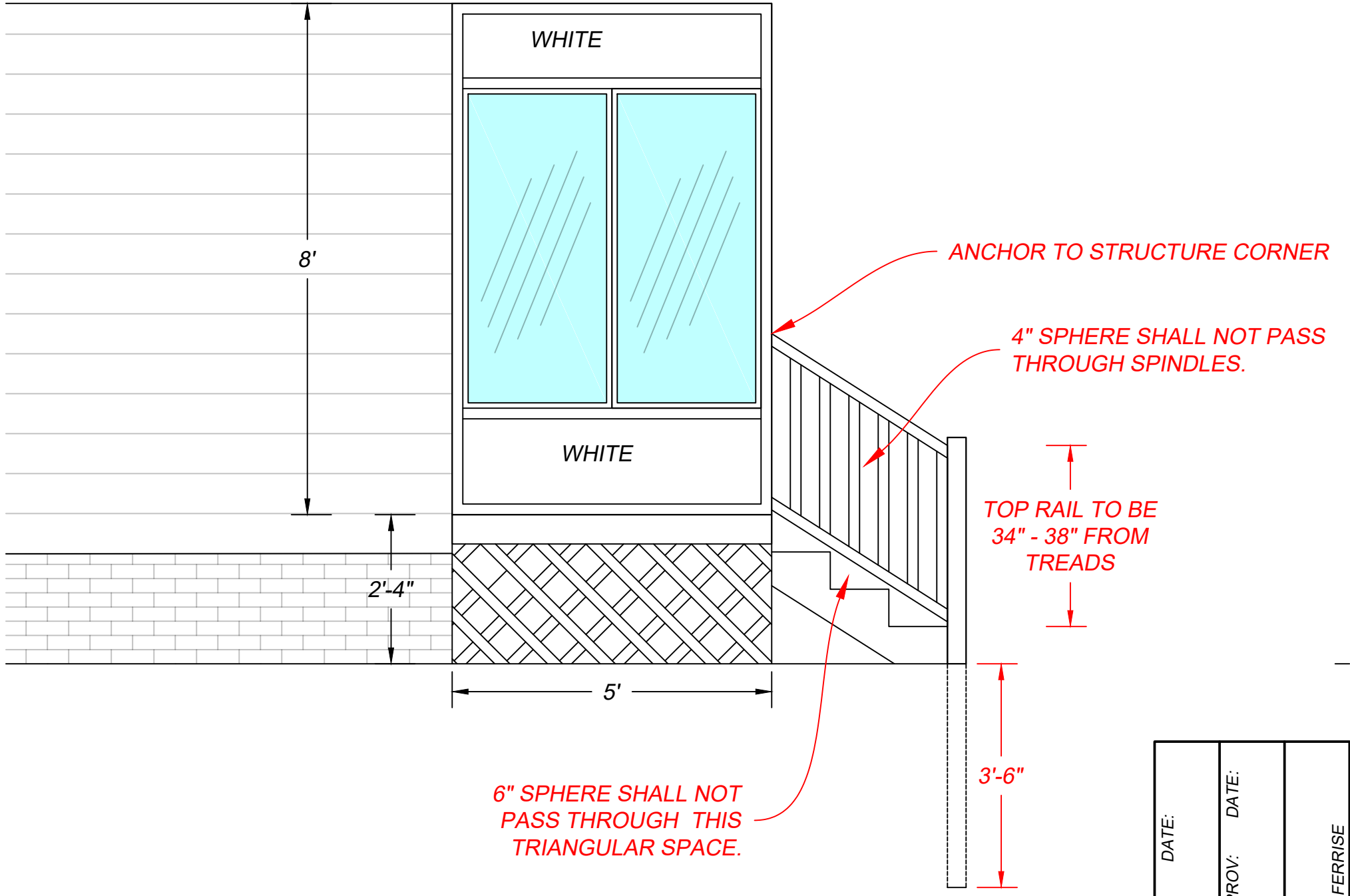
Page 1 OF 1

PROJECT No. TM2003

DATE CREATED: 12-MAY-2020

**WILSON RESIDENCE**  
**14801 PENROD**  
**DETROIT, MI 48223**  
**313-338-9767**

**REAR PORCH ENCLOSURE**  
**REPLACE FRONT PORCH BRICK**

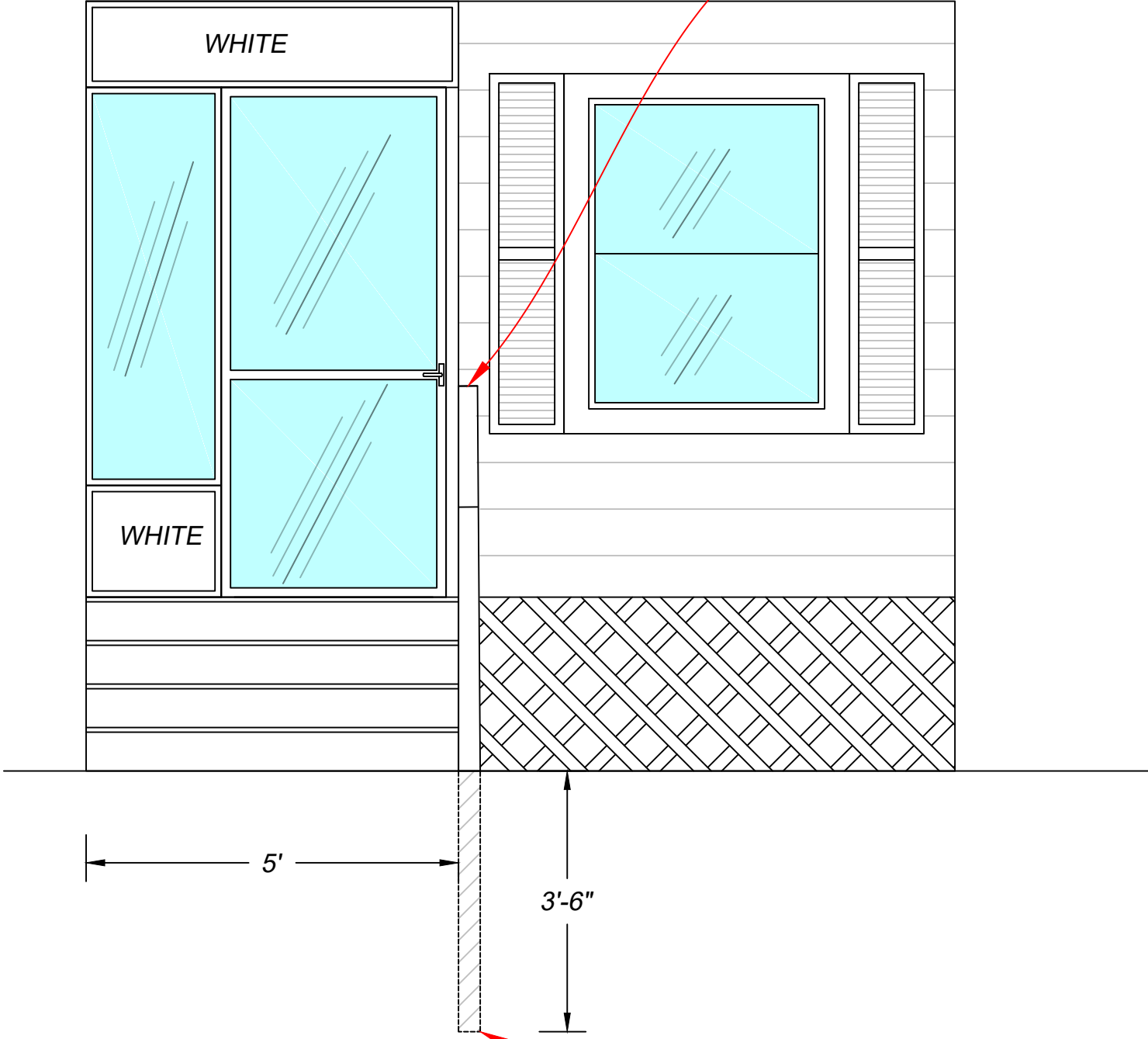


6" SPHERE SHALL NOT PASS THROUGH THIS TRIANGULAR SPACE.

POST, RAILS, SPINDLES AND LATTICE TO BE P.T. LUMBER. PORCH DECKING AND STEPS TO BE REPLACED SAME AS.

<b>WILSON RESIDENCE</b>		APPROVED BY:	DATE:
14801 PENROD		CUSTOMER APPROV:	DATE:
DETROIT, MI 48223		JOB NUMBER:	DATE:
313-338-9767		TM2003	13-MAY-2020
		SCALE: 1/2" = 1'	
		DATE: 13-MAY-2020	
		DRAWN BY: S.A. FERRISE	

TOP RAIL TO BE ANCHORED TO CORNER OF EXISTING STRUCTURE.



BOTTOM RAIL POST TO BE SET MIN. 42" BELOW GRADE.

MRC R311.7.7  
REQUIRES AT LEAST ONE HANDRAIL  
PROVIDED ON ONE SIDE OF CONTINUOUS  
RUN OF TREADS OR FLIGHT WITH FOUR  
OR MORE RISERS.

APPROVED BY:	DATE:
CUSTOMER APPROV:	DATE:
DRAWN BY: S.A. FERRISE	
PORCH REPAIR & CONCRETE AS SAME	
JOB NUMBER: TM2003	
SCALE: 1/2" = 1'	
DATE: 13-MAY-2020	
<b>WILSON RESIDENCE</b> <b>14801 PENROD</b> <b>DETROIT, MI 48223</b> <b>313-338-9767</b>	



THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: 6/4/20

## PROPERTY INFORMATION

ADDRESS: 14801 PENROD AKA: \_\_\_\_\_

HISTORIC DISTRICT: ROSEDALE PARK

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner  Contractor  Tenant or  
Business Occupant  Architect/Engineer/  
Consultant

NAME: FRANK MASTROIANNI COMPANY NAME: ITALY AMERICAN CONSTRUCTION

ADDRESS: 8401 N. TELEGRAPH RD CITY: DEARBORN HGTS STATE: MI ZIP: 48127

PHONE: (313) 278-7500 MOBILE: \_\_\_\_\_ EMAIL: PERMITS@IAC1954.COM

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

P2 - BUILDING PERMIT APPLICATION

Date: 6/4/20

PROPERTY INFORMATION

Address: 14801 PENROD Floor: Suite#: Stories:
AKA: Lot(s): Subdivision:
Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
Foundation Only Change of Use Temporary Use Other:
Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
REMOVE AND REBUILD FRONT PORCH. CLEAN BRICKS WITH ACID WASH WHEN DONE REPAIR BACK WOOD
PORCH BY REPLACING DECKING, TREADS AND RISERS. REPLACE STEP, STORM DOOR AND WINDOW

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No
(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area
Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements
(must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings,
existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**

Property Owner/Homeowner is Permit Applicant

Name: DONNA WILSON Company Name: \_\_\_\_\_  
Address: 14801 PENROD City: DETROIT State: MI Zip: 48223  
Phone: (313) 338-9767 Mobile: \_\_\_\_\_  
Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**

Contractor is Permit Applicant

Representative Name: FRANK MASTROIANNI Company Name: ITALY AMERICAN CONSTRUCTION  
Address: 8401 N. TELEGRAPH RD City: DEARBORN HGTS State: MI Zip: 48127  
Phone: (313) 278-7500 Mobile: \_\_\_\_\_ Email: PERMITS@IAC1954.COM  
City of Detroit License #: LIC2001-01717

**TENANT OR BUSINESS OCCUPANT**

Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**

Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan  
Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: FRANK MASTROIANNI Signature: \_\_\_\_\_ Date: 6/4/20  
(Permit Applicant)

Driver's License #: M 236 261 001 777 Expiration: 10/09/21  
Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan  
Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.

