

HDC2024-00183

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

05/14/2024

CERTIFICATE OF APPROPRIATENESS

Anthony Askew
Edmund Place Partners LLC
64 Edmund Place
Detroit, MI 48202

**RE: Application Number HDC2024-00183; 64 Edmund Place; Brush Park Historic District
Scope: Erect rear addition and roof decks, restore full-width front porch, install windows**

Dear Applicant,

At the Regular Meeting that was held on May 8, 2024, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on May 14, 2024, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

Per the attached drawings and documentation, erect rear addition and roof decks, restore full-width front porch, install windows

With the following conditions:

- ***The four chimneys on the main house be repaired and preserved.***
- ***The “doghouse” elements housing the new stairs to the mid-building roof deck be redesigned to be less obtrusive, via internal reconfiguration of the stairs, the introduction of glass planes to allow greater transparency through the elements, and/or reintroduction of a rooftop balustrade as seen in historic photographs.***
- ***Window product selection and configuration throughout the rehabilitated areas of the building will be true wood or aluminum-clad wood units, with vertically oriented double-hung configuration compatible with Italianate or Colonial Revival examples. A new front elevation depicting revisions to the first-floor, front-facing windows shall be submitted.***

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable

ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Garrick B. Landsberg
Director of Historic Preservation, Staff to the Commission

COA



April 15, 2024

64 Edmund Pl.,
Detroit, MI 48201

RE: 64 Edmund Renovations, District Historic Commission Submission

Project Narrative

64 Edmund Place is a large residential building in the historic Brush Park neighborhood whose construction dates back to the 1800s. The prominent brick home sits in the middle of the block, between Woodward Ave. and John R. St. Currently, the structure has extensive damage due to age and neglect. The intent of this project is to turn 64 Edmund Pl. into a 3-unit multifamily residence with modern amenities, while maintaining its historic character.

The structure is two stories, clad on all four sides with brick. It features tall window bays, several of which have notable arching brick headers. No original windows remain. All new windows in existing bays will be Anderson 400 series single-hung in black. The front facade features a covered wood porch and stair to a central entry. Above is a centered rectangular window bay and circular window bay. Historic photos show the current porch is not original to the structure, and it is not seen as contributing to its historic character. It will be demolished, and a new covered wood porch and stair will be constructed, to align with the home's character. It will feature painted wood columns and railings. The west facade features a protruding wood bay window near the street, which will be repaired using in-kind materials and painted to match the porch. A new wood porch and entry will be added to the west side of the structure, in place of a previously existing window. This porch will have a modern black aluminum railing. All exterior detailing will be repaired as required with in-kind materials. Existing bricks will be tuckpointed as required.

The existing roof on the north mass of the structure is a square hip, with 2 brick chimneys on 2 sides. The peak of the hip is flat, with a pointed skylight feature. Damaged roof elements will be removed and replaced with new wood roof trusses. The roof will be clad with asphalt shingles. The chimneys will also be removed.. Roof eave detailing similar to that seen in historic photos will be added on the front facade and wrap the sides of the hip roof. The roof of the south portion has extensive damage, and what

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remains will be demolished. A new membrane roof will be constructed in its place.

A new 3rd story doghouse and roof deck will be constructed on top of the existing structure. The doghouse structure will be clad in Hardie board and batten siding (final color TBD). Its modern appearance will differentiate it from the historic structure, but its small stature allow it to still be complementary. The roof deck, divided between 2 units, will have a modern composite decking and aluminum railing.

The interior walls and floors of the existing structure will be demolished as required, and rebuilt. There will be new mechanical, electrical, and plumbing systems. The existing basement will be excavated approximately 2'-0".

A new 2-story addition will be constructed at the structure's rear. The south wall of the existing structure will be demolished as required to facilitate access to the addition. Like the doghouses, it is intended to be notably visually different from, but still a complement to, the historic structure. It will have three 2-car garages, with living spaces and a private roof deck above. The first floor will be clad in a brick that coordinates with the existing structure. The second floor will be clad in the same Hardie board and batten siding as the 3rd story doghouses. The addition will have a shallow gable roof, with two single-sloped dormers facing the rear. It will feature tall window bays on each side, using the same Anderson 400 series windows in black seen throughout the project. Sliding glass doors, also Anderson 400 series, and a modern full-lite exterior door will open to the roof deck. This roof deck will be the same modern composite decking and aluminum railing as the others.



April 15, 2024

64 Edmund Pl.,
Detroit, MI 48201

RE: 64 Edmund Renovations, District Historic Commission Submission

Scope of Work

1. Demolition of interior walls and floors
2. Demolition of southeast (rear) exterior wall
3. Demolition of existing front porch
4. Removal of damaged roof elements on northwest mass
 - a. Removal of existing chimneys
5. Removal of remaining roof elements on southeast mass
6. Excavate existing basement level (+/- 2'-0")
 - a. Underpin existing foundation walls as required
 - b. Construct new basement slab
7. Replace missing windows in existing openings
 - a. Anderson 400 series single hung windows in black
 - b. Void spaces below new windows to be clad with black metal panel
8. Existing bay window to be repaired using in-kind materials and painted
9. Construct new painted wood front porch
 - a. Porch covering, columns, and railings to be painted wood
10. Construct new side entry porch
 - a. Masonry with black aluminum railing
11. Demolish west exterior wall as required for new side entry door in existing window space
12. Construct new membrane roof on existing southeast mass
13. Repair/Replace existing exterior detailing as required using in-kind materials

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14. Construct new 3rd story doghouses and roof decks on existing building
 - a. To be clad with Hardie board and batten siding in rich espresso
 - b. Windows to be Anderson 400 series in black
 - c. Roof decks to be Trex Signature in whidbey with aluminum railing in black
 - d. Stained wood trellis overhead
15. Build out interior
 - a. New wood framed floors and walls
 - b. Existing masonry walls to be furred out with wood framing and gyp. bd. interior
 - c. Coordinate new mechanical, electrical, and plumbing systems
16. Construct new rear addition
 - a. 1st floor brick to coordinate with existing
 - b. 2nd floor clad in Hardie board and batten siding in rich espresso
 - c. Windows and sliding doors to be Anderson 400 series in black
 - d. Roof deck to be Trex Signature in whidbey with aluminum railing in black

THE STANDART HOUSE

MULTI-FAMILY RESIDENTIAL RENOVATION

64 EDMUND PLACE,
DETROIT, MI 48201

ARCHITECT
4545 ARCHITECTURE | DESIGN
TIMOTHY FLINTOFF
2761 E. JEFFERSON, SUITE 302
DETROIT, MI 48207

PROJECT DATA

BUILDING CODE AUTHORITY:
CITY OF DETROIT

APPLICABLE CODES:

BUILDING CODE
ALSO KNOWN AS THE "MICHIGAN RESIDENTIAL BUILDING CODE"
2015 MICHIGAN RESIDENTIAL CODE (MRC) AS AMENDED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2018 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN
AMMENDMENTS PART 8.

ENERGY CODE
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS
AMERICANS WITH DISABILITIES ACT (ADA)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

PROJECT DESCRIPTION:
RENOVATION OF EXISTING RESIDENTIAL BUILDING & NEW CONSTRUCTION
ADDITION INTO MULTIFAMILY HOUSING (3 UNITS)

BUILDING DATA:
STORIES: 2 + BASEMENT

SPRINKLERED: NO

ENERGY EFFICIENCY
COMPLY WITH SECTION N102 OF THE 2015 MICHIGAN RESIDENTIAL CODE
CLIMATE ZONE: 5A

CEILING:	R-38
WOOD FRAMED WALL:	R-20 OR R-13(CAVITY)+R5(SHEATHING)
MASS WALL:	R-20/R-17
FLOOR:	R-30 OR FILL CAVITY, R-19 MIN.
SLAB:	R-10 (2'-0" DEEP)

BUILDING HEIGHTS:	FROM GRADE	CEILING HEIGHT
BASEMENT	-(5'-10")	9'-0"
FIRST FLOOR	4'-2"	10'-6"
SECOND FLOOR	15'-8"	9'-0"
ROOF (HIGH POINT)	36'-5"	

PARKING
2 GARAGE SPACES/UNIT

BUILDING AREAS:

UNIT	AREA
UNIT 1	4042 GSF
UNIT 2	4050 GSF
UNIT 3	3560 GSF

TOTAL BUILDING 11,652 GSF



SHEET INDEX

SP1.1	SITE PLAN
A1.1	BASEMENT FLOOR PLAN
A1.2	FIRST FLOOR PLAN
A1.3	SECOND FLOOR PLAN
A1.4	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS

SYMBOL LEGEND	ABBREVIATIONS
<p>Drawing Navigation</p> <p>Elevation Callout</p> <p>Sheet Number Drawing Number</p> <p>Section Callout</p> <p>"SIM" (if present) means this condition is similar to the drawing referenced.</p> <p>Drawing Number Sheet Number</p> <p>Detail Callout</p> <p>"SIM" (if present) means this condition is similar to the drawing referenced.</p> <p>Drawing Number Sheet Number</p> <p>Other</p> <p> Keynote Tag - refer to keynotes on that sheet</p> <p> Wall Tag - refer to Wall Schedule</p> <p> Door Tag - refer to Door Schedule</p> <p> Window Tag - refer to Window Schedule</p> <p> Floor Level Elevation</p>	<p>@ ACOUST Acoustical</p> <p>ACT Acoustic Ceiling Tile</p> <p>ADJ Adjacent</p> <p>AFF Above Finish Floor</p> <p>ALUM Aluminum</p> <p>ANOD Anodized</p> <p>BD Board</p> <p>BLDG Building</p> <p>BLK Block</p> <p>BLKG Blocking</p> <p>CEM Cement</p> <p>CJ Control Joint</p> <p>CLG Ceiling</p> <p>CL Centerline</p> <p>CO Clean Out</p> <p>COL Column</p> <p>CONC Concrete</p> <p>CG Corner Guard</p> <p>CONST Construction</p> <p>CONT Continuous</p> <p>CORR Corrugated</p> <p>CPT Carpet</p> <p>CT Ceramic Tile</p> <p>DET Detail</p> <p>DIA Diameter</p> <p>DM Dimension</p> <p>DN Down</p> <p>DO Door Opening</p> <p>DR Door</p> <p>DWG Drawing</p> <p>EA Each</p> <p>ELEV Elevation</p> <p>EW Each Way</p> <p>EXG Existing</p> <p>EXIST Existing</p> <p>EXP Expansion, Exposed</p> <p>FD Floor Drain</p> <p>FDN Foundation</p> <p>FRP Fiber Reinforced Panels</p> <p>FIN Finish</p> <p>FLR Floor</p> <p>FO Face Of</p> <p>FOS Face of Stud</p> <p>FR Frame</p> <p>FTG Footing</p> <p>FV Field Verify</p> <p>GA Gauge</p> <p>GALV Galvanized</p> <p>GYP Gypsum</p> <p>HDW Hardware</p> <p>HM Hollow Metal</p> <p>HORIZ Horizontal</p> <p>HT Height</p> <p>ID Inside Diamtere</p> <p>INSUL Insulation</p> <p>INT Interior</p> <p>JT Joint</p> <p>LAV Lavatory</p> <p>LG Long</p> <p>LLO Long Leg Outstanding</p> <p>LLV Long Leg Vertical</p> <p>MAX Maximum</p> <p>MECH Mechanical</p> <p>MET Metal</p> <p>MEZZ Mezzanine</p> <p>MI Miscellaneous Iron</p> <p>MIN Minimum</p> <p>MISC Miscellaneous</p> <p>MO Masonry Opening</p> <p>NIC Not In Contract</p> <p>NTS Not To Scale</p> <p>OC On Center</p> <p>OD Outside Diameter</p> <p>OPNG Opening</p> <p>OPP Opposite</p> <p>PLG Plate Glass</p> <p>PLS Plate Steel</p> <p>PLAM Plastic Laminate</p> <p>PLAS Plaster</p> <p>PREFAB Prefabricated</p> <p>PROJ Project, Projection</p> <p>PSF Pounds per Square Foot</p> <p>PT Paint, Point, Pressure Treated</p> <p>R Riser</p> <p>RA Return Air</p> <p>RB Rubber Base</p> <p>RC Roof Conductor</p> <p>RCP Reflected Ceiling Plan</p> <p>RD Roof Drain</p> <p>RF Rubber Flooring</p> <p>REINF Reinforced, Reinforcing</p> <p>REQD Required</p> <p>RFG Roofing</p> <p>RM Room</p> <p>RS Roof Sump</p> <p>RT Rubber Tile</p> <p>SAN Sanitary</p> <p>SCHED Schedule</p> <p>SHT Sheet</p> <p>SIM Similar</p> <p>SPEC Specification</p> <p>SS Service Sink</p> <p>STL Steel</p> <p>STD Standard</p> <p>STOR Storage</p> <p>STRUCT Structural</p> <p>SUSP Suspended</p> <p>SW Switch</p> <p>SYM Symmetrical</p> <p>T Tread</p> <p>T&B Top and Bottom</p> <p>TEL Telephone</p> <p>TERR Terrazzo</p> <p>T&G Tongue and Groove</p> <p>THK Thick, Thickness</p> <p>THRES Threshold</p> <p>TOS Top Of Steel</p> <p>TYP Typical</p> <p>U/C Undercut</p> <p>UNO Unless Noted Otherwise</p> <p>VB Vinyl Base</p> <p>VCT Vinyl Composition Tile</p> <p>VIF Verify In Field</p> <p>W Wide</p> <p>VERT Vertical</p> <p>WAINS Wainscot</p> <p>WC Water Closet</p> <p>WD WIN Wood Window</p> <p>WT Wight</p> <p>WWF Welded Wire Fabric</p>

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CONSULTANT:

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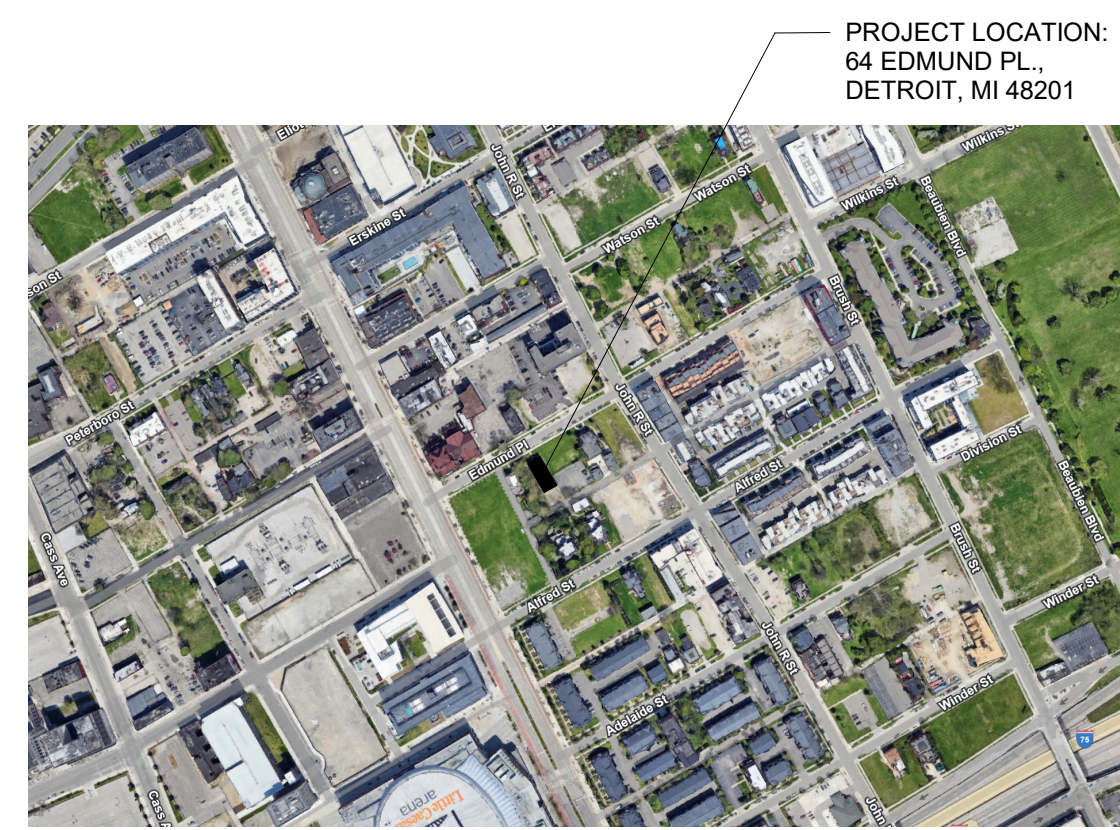
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PROJECT
INFORMATION

Project No. :
2022017

Sheet No. :

TS1.1

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PROJECT LOCATION:
64 EDMUND PL.,
DETROIT, MI 48201

1 PROJECT LOCATION

BINDER STRIP LOCATION

GENERAL NOTES:

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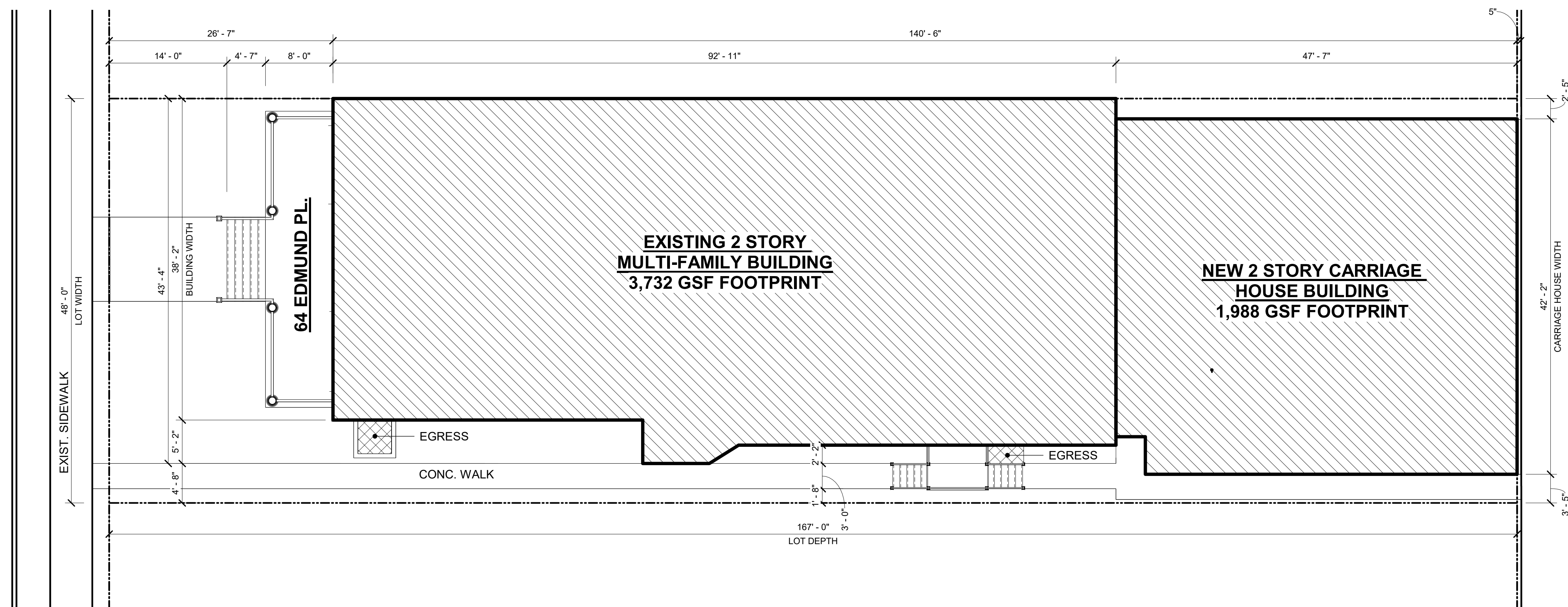
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 SITE PLAN

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SP1.1



1 CONCEPTUAL SITE PLAN
 SCALE: 1/8" = 1'-0"

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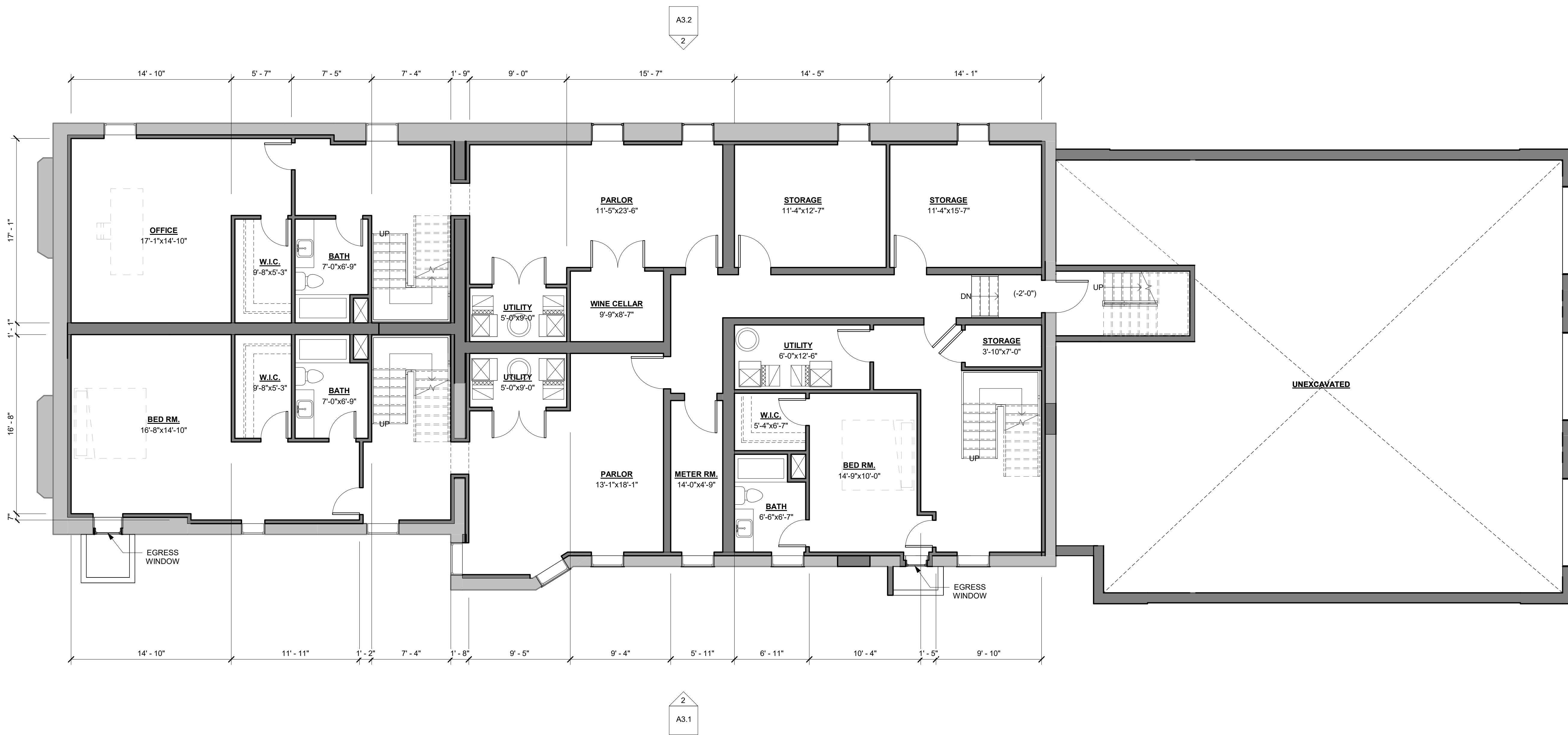
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 BASEMENT FLOOR
 PLAN

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A1.1



1 BASEMENT
 SCALE: 3/16" = 1'-0"

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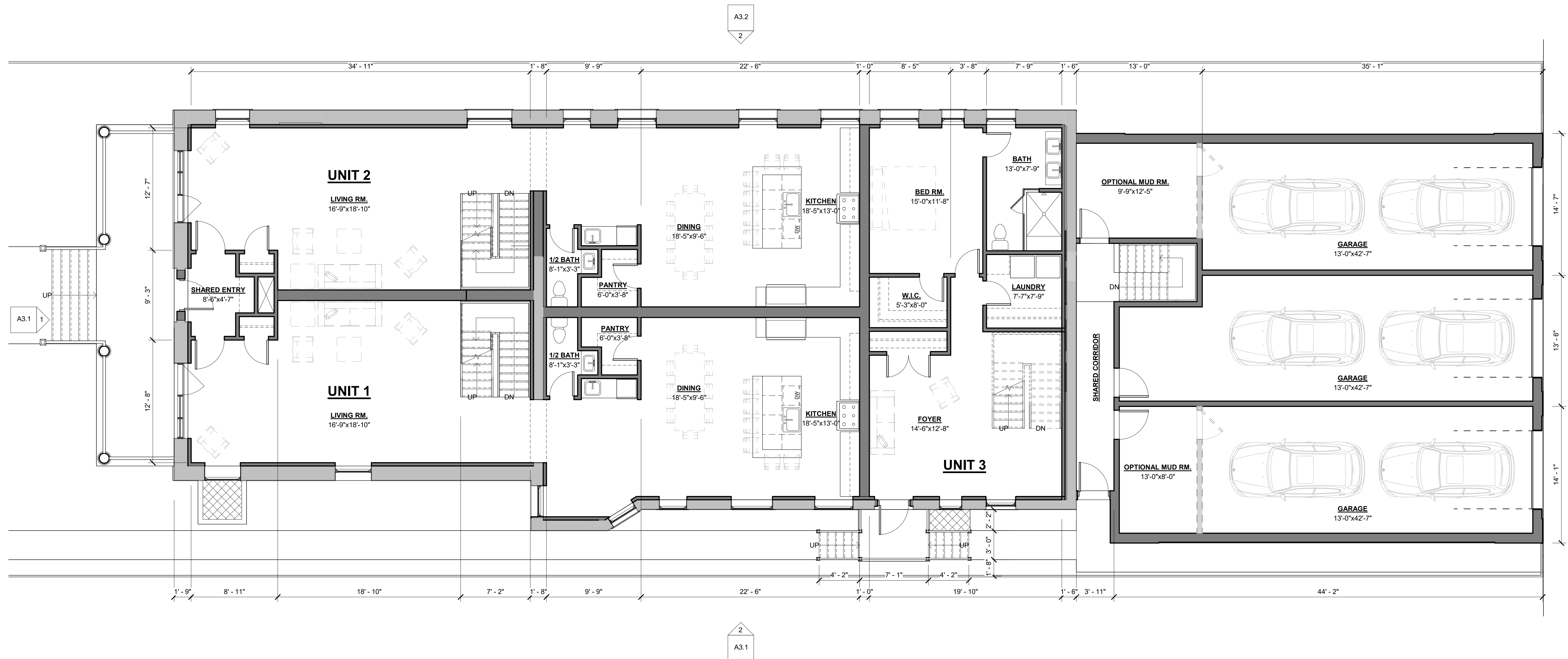
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 FIRST FLOOR PLAN

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A1.2



1 FIRST FLOOR
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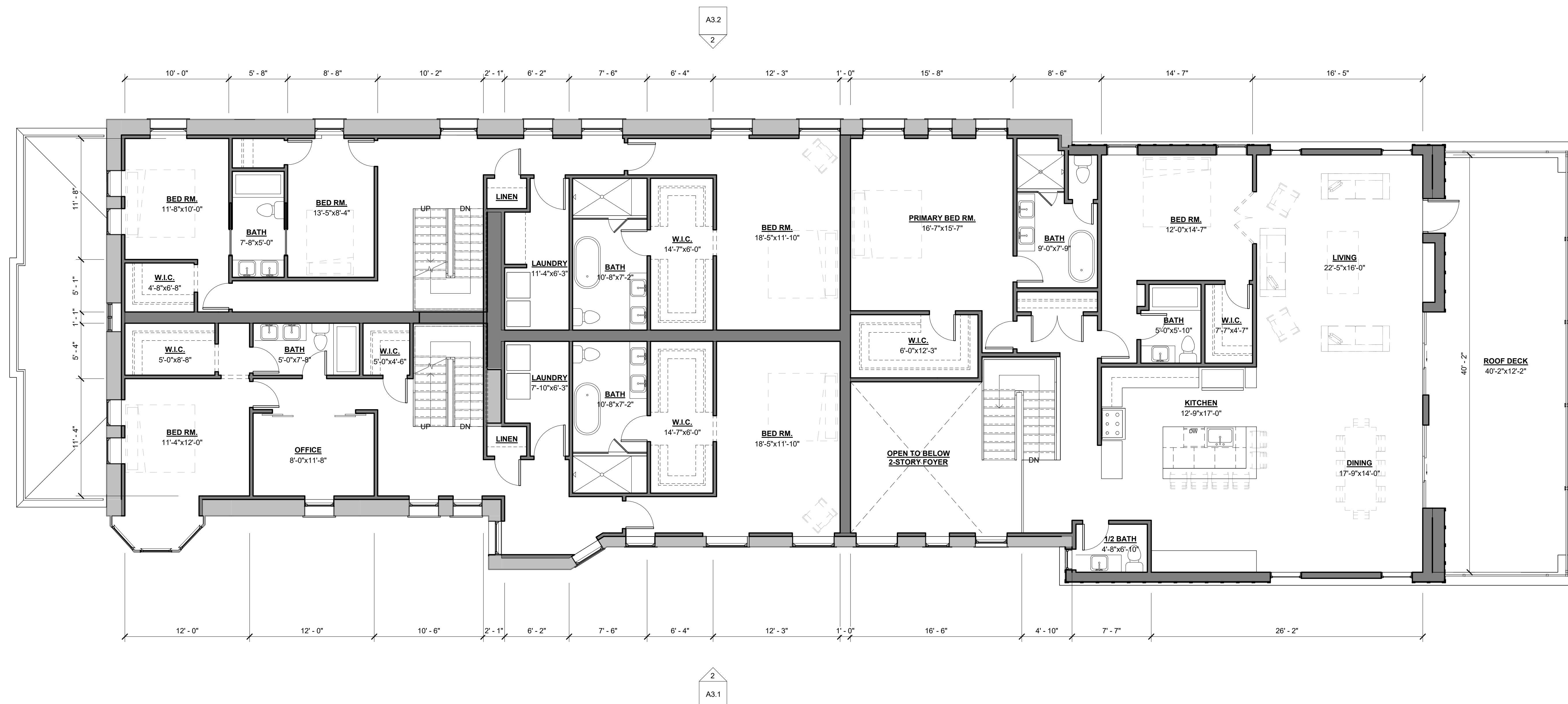
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 SECOND FLOOR PLAN

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A1.3



1 SECOND FLOOR
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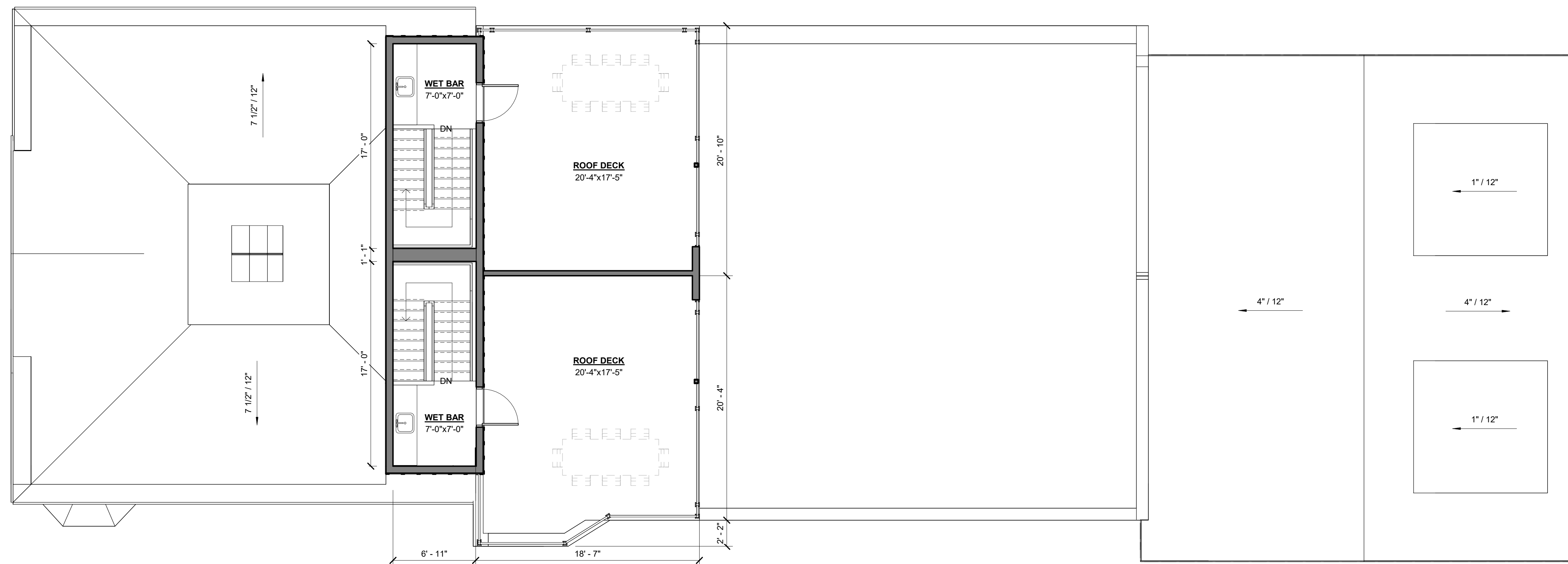
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 ROOF PLAN

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Sheet No. :

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1 ROOF
 SCALE: 3/16" = 1'-0"

BINDER STRIP LOCATION

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GENERAL ELEVATION/SECTION NOTES:

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- REFER TO SIDING MANUFACTURER INSTALLATION INSTRUCTIONS AND STANDARD DETAILS
- CONTRACTOR TO VERIFY/COORDINATE CODE REQUIRED WINDOW EGRESS REQUIREMENTS

ELEVATION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 SINGLE-HUNG WINDOW, BASIS OF DESIGN: ANDERSON 100 SERIES, BLACK
- 2 ROUND COLUMN, 1'-0" DIAM.
- 3 WOOD RAILING, MIN. 42" TALL, PAINTED BLACK
- 4 WOOD PORCH, WRAPPED, PAINTED BLACK
- 5 EXISTING ROOF TO BE REPAIRED AS REQ'D USING IN-KIND MATERIALS
- 6 DECORATIVE WOOD RAILING, PAINTED BLACK
- 7 ROOF ICE AND WATER SHIELD ON 3/4" WOOD SHEATHING ON WOOD ROOF JOISTS
- 8 WOOD FASCIA, BLACK
- 9 EXISTING BRICK TO BE REPAIRED AS REQ'D USING IN-KIND MATERIALS
- 10 DECORATIVE RAFTER TAIL ON 10" FRIEZE BOARD, BLACK
- 11 JAMES HARDIE BOARD AND BATTEN SIDING WITH 3" COLOR-MATCHED TRIM AT ALL CORNERS AND EDGES. FINAL COLOR TBD.
- 12 ALUMINUM RAILING, MIN. 42" TALL BLACK, BASIS OF DESIGN: TREX SIGNATURE SERIES
- 13 PORCH AND STAIR WITH BRICK CLADDING
- 14 BRICK, TBD.
- 15 STAINED WOOD TRELLIS
- 16 CASEMENT WINDOW, BASIS OF DESIGN: ANDERSON 100 SERIES, BLACK
- 17 ASPHALT SHINGLE ROOF
- 18 7'-0" x 8'-0" OVERHEAD GARAGE DOOR, BLACK
- 19 SLIDING GLASS DOOR, BASIS OF DESIGN: ANDERSON 100 SERIES, BLACK

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 Author

Sheet Title :
 EXTERIOR
 ELEVATIONS

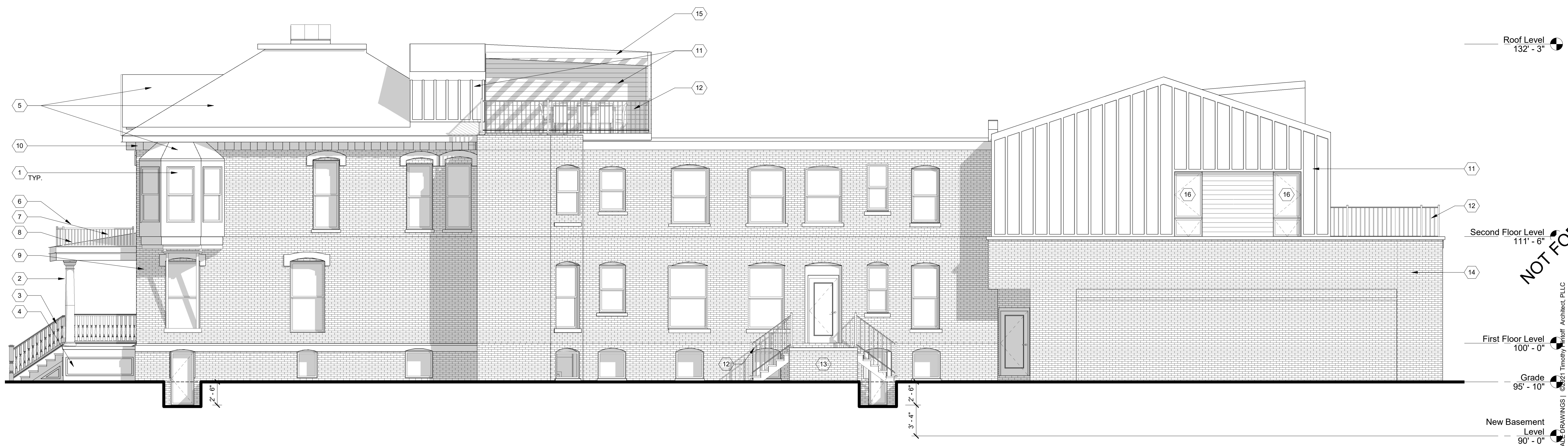
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 2022017

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1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

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GENERAL ELEVATION/SECTION NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
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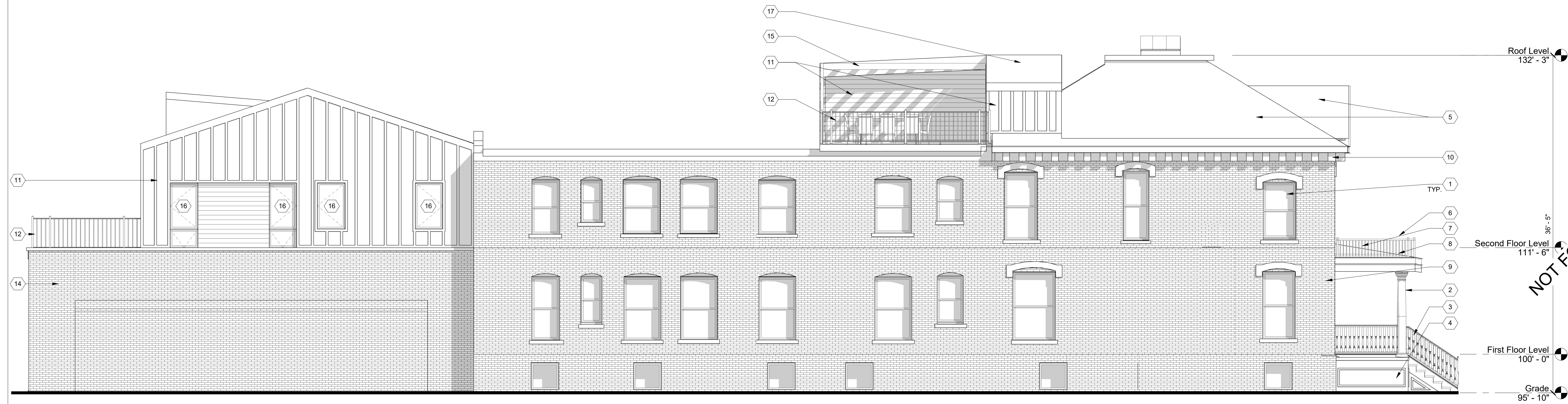
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 ELEVATIONS

Project No. :
 2022017

Sheet No. :
A3.2



1 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
 SCALE: 3/16" = 1'-0"

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