

# DHDC 23-8393

## APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808  
DETROIT, MICHIGAN 48226

07/24/2024

### NOTICE TO PROCEED

Robert J. Kraemer, Principal  
Kraemer Design Group  
1420 Broadway  
Detroit, MI 48226

**RE: Application Number 23-8393; 1322, 1326, 1332-1336 Broadway; Broadway Avenue Local Historic District**  
**Project Scope: Demolish building at 1332-1336 Broadway, partial demolition at rear and rehabilitation of historic front facades at 1322 & 1326 Broadway, erect new multi-family building**

Dear Applicant,

At the Regular Meeting that was held on June 14, 2023, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1)/5(6) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and (6), and Sections 21-2-73, 75 and 78 of the 2019 Detroit City Code; and subsequent to staff’s certification of the satisfaction of conditions stated therein and by the DHDC, the DHDC hereby issues a Notice to Proceed (“NTP”) for the following work, with an effective date of July 24, 2024, as the work does not meet the Secretary of the Interior’s Standards for Rehabilitation and the district’s Elements of Design, but is without substantial detriment to the public welfare and without substantial derogation from the intents and purposes of Article II, Chapter 21, and where one or more of the conditions of Section 21-2-75 have been met:

***Per the attached drawings and documents, demolish building at 1332-1336 Broadway, partial demolition at rear and rehabilitation of historic front facades at 1322 & 1326 Broadway, erect new multi-family building.***

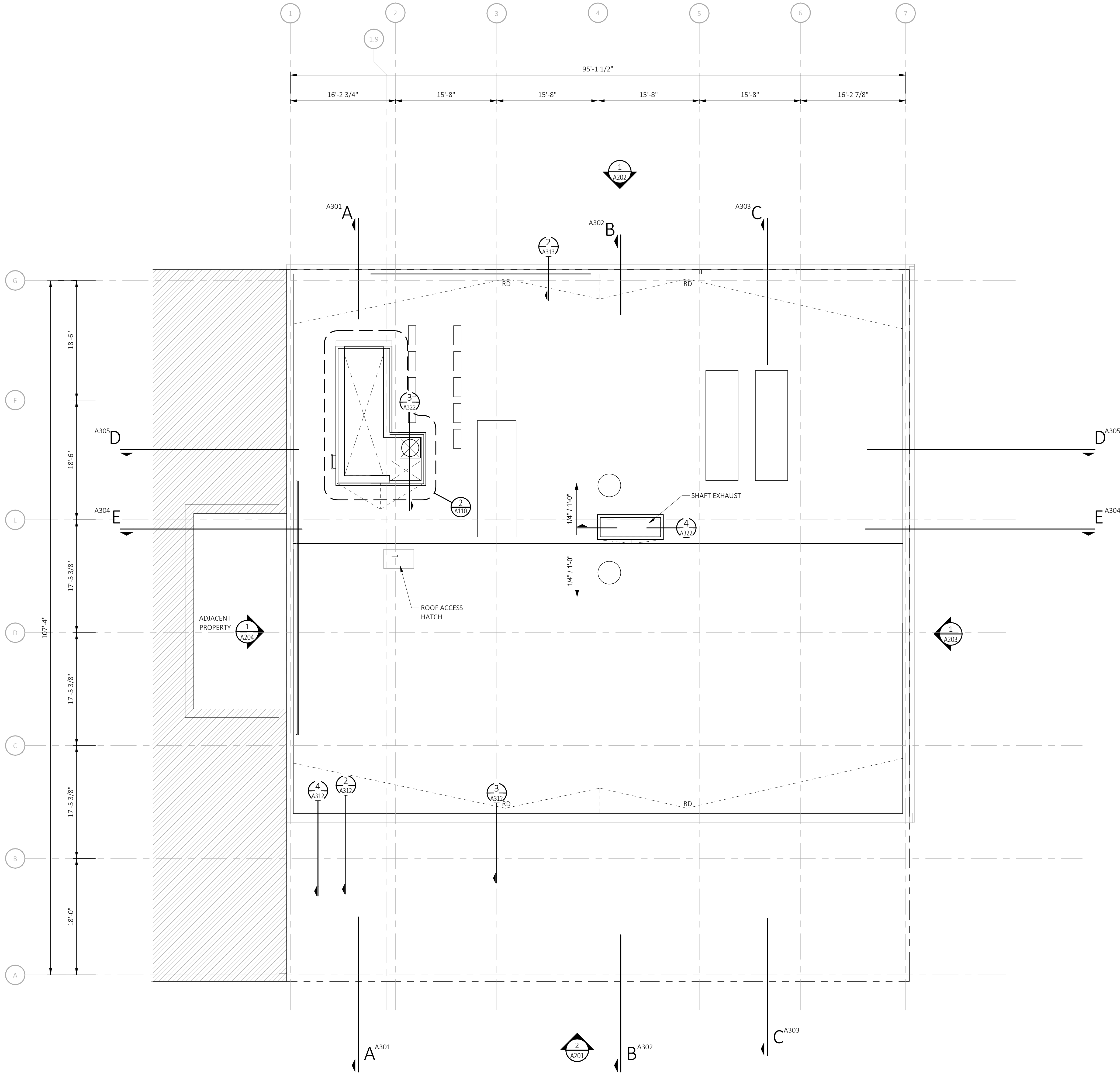
Please retain this NTP for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov).

For the Commission:

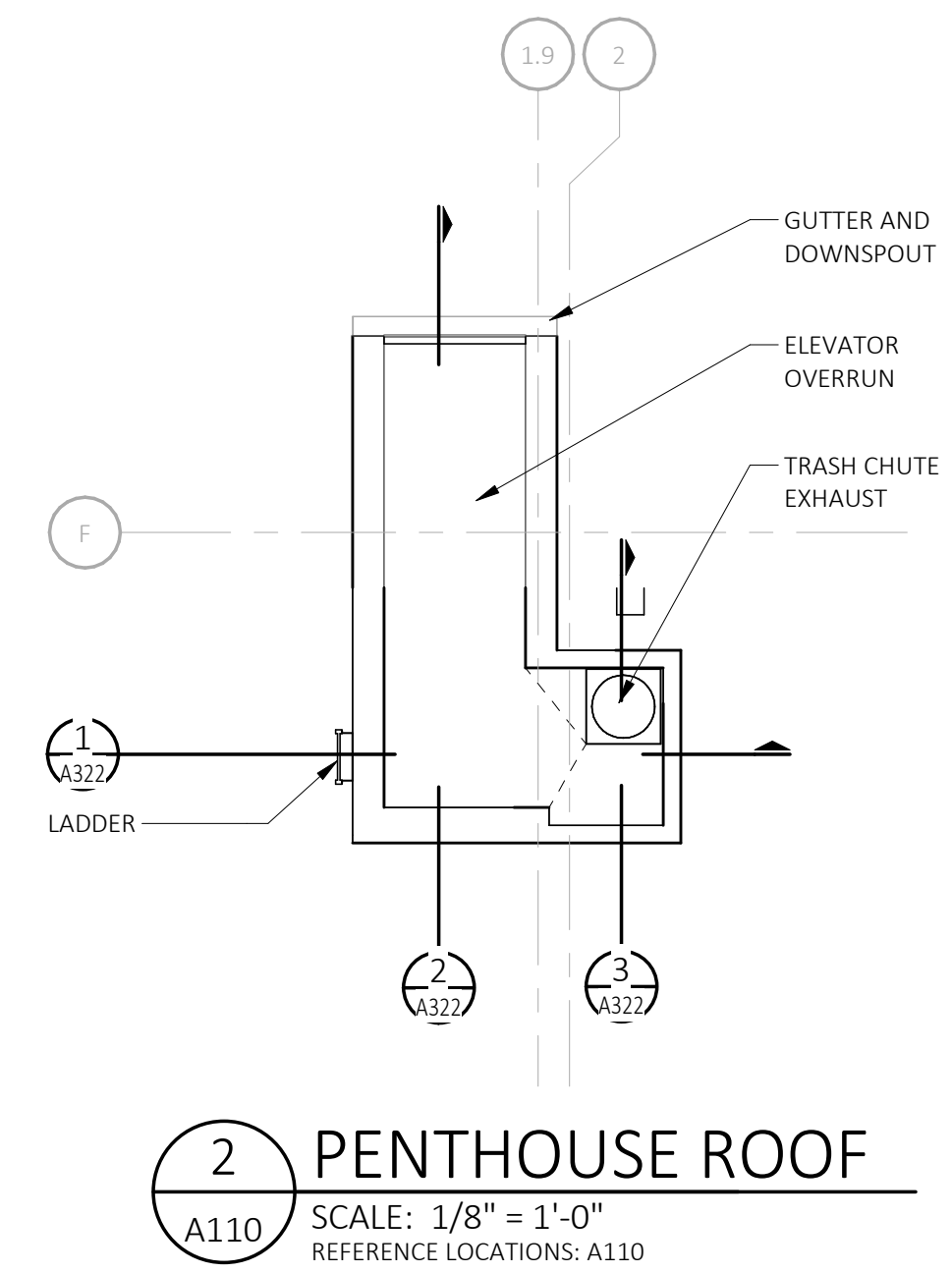


Garrick Landsberg, Director

6/20/2023 12:15:54 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



**ROOF**  
SCALE: 1/8" = 1'-0"



**2 PENTHOUSE ROOF**  
SCALE: 1/8" = 1'-0"  
REFERENCE LOCATIONS: A110

**ROOFING GENERAL NOTES**

- A CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL, MEP, AND STRUCTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- B DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM AND COORDINATE.
- C REFER TO NOMENCLATURE FOR TYPE OF ROOF SYSTEM. AREAS ARE MARKED WITH DESIGNATED LETTER, SEE ROOF PLAN AND NOMENCLATURE.
- D MINIMUM SLOPE ALLOWABLE ON THE ROOF SHALL BE NO LESS THAN 1/4" PER FOOT. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS OVER 20" IN WIDTH.
- E CONTRACTOR TO ENSURE RUNOFF PITCHES AWAY FROM ROOF EXPANSION JOINTS AND ROOF AREA SEAMS. ELEVATE ROOF EXPANSION JOINTS A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE.
- F ALL CRICKET AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH 1/4" PER FOOT MIN. SLOPE. CRICKET THE UP-SLOPE SIDE OF ALL SQUARE CURBS AND PROJECTIONS.
- G ALL PIPING, CONDUITS, ETC. SHALL BE A MIN. 10" ABOVE ROOF SURFACE. PROVIDE PORTABLE PIPE HANGERS WITH PROTECTION PADS.
- H PROVIDE 22 GAUGE STAINLESS STEEL, 2D FINISH, TREATED WOOD CURB AND BOX HOOD AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS. SEE A321 FOR TYPICAL ROOF DETAILS.
- I ISOLATE ALL HEAT PIPES/FLUES AS RECOMMENDED & OUTLINED IN THE NRCA MANUAL FOR ISOLATED STACK FLASHING. REFER TO MEP DRAWINGS FOR SIZE AND LOCATION OF DECK PENETRATIONS AND ROOFTOP EQUIPMENT.
- J PROVIDE WALKWAY PROTECTION PADS AROUND ALL ROOF HATCHES, MECHANICAL UNITS, AT ROOF TOP ACCESS DOORS, AND LADDERS (TOP & BOTTOM).
- K CONTRACTOR SHALL REFER TO A321 FOR TYPICAL ROOF DETAILS IN ADDITION TO DETAILS SPECIFICALLY NOTED ON PLANS.
- L CONTRACTOR TO ENSURE ALL ROOFTOP PENETRATIONS (EQUIPMENT, SOIL STACKS, ETC.) ARE INSTALLED MIN. 2'-0" FROM OTHER DECK PENETRATIONS, RISE WALLS, AND ROOF EDGE.
- M THROUGH WALL BASE FLASHING MIN. HEIGHT 10" AND MAX. HEIGHT 20" FROM FINISH DECK. DO NOT STEP THROUGH WALL FLASHING CLOSER THAN 5'-0" FROM CORNERS.
- N LOCATE PERIMETER DRAINS MAX. 6'-0" FROM EDGE TYPICAL UNLESS SHOWN OTHERWISE.
- O CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- P OVERFLOW DRAINS SHALL BE SET 2" HIGHER THAN MAIN ROOF DRAIN ELEVATIONS UNLESS NOTED OTHERWISE. OVERFLOW DRAINS SHALL NOT HAVE STRAINERS UNLESS REQUIRED BY LOCAL CODES.
- Q AVOID THE USE OF PITCH PANS ON LOW-PITCH ROOFS EXCEPT WHERE NO OTHER SOLUTION CAN BE USED.
- R SECURE NAILERS AND CANT STRIPS TO ROOF DECK, NOT TO PARAPETS OR ADJACENT WALLS, TYPICAL.
- S CONTRACTOR SHALL PROVIDE ALL EQUIPMENT CURBS AND STANDS NECESSARY FOR ROOFTOP EQUIPMENT.

ROOF LEGEND	
KEY TO ROOF PLAN	
	SCUPPER AND DOWNSPOUT
	DOWNSPOUT
	ROOF DRAIN
	GUTTER
	GUTTER SLOPE
	ROOF/TAPERED INSULATION SLOPE
	HATCH DENOTES EXTENT OF PROTECTIVE ROOF OVERLAYMENT, TYPICAL AT ALL GREASE DUCT EXHAUSTS. REFER TO SPECIFICATIONS.



**KraemerDesignGroup**  
Detroit, MI | Toledo, OH | Charleston, SC  
1420 Broadway | Detroit, MI 48226 | (313) 965-5399  
www.kraemerdg.com

Architect

Consultant

**BASCO**  
P.C. & S.P.A.  
220 CONGRESS, SUITE 2  
DETROIT, MI

Owner

**BROADWAY LOFTS**  
1326-1336 BROADWAY ST  
DETROIT, MI

Project

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

©COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW 06-02-23  
OWNER REVIEW 05-10-23  
50% DESIGN DVLPMNT 03-31-23

Revision Date

Date PERMIT DATE

Project Number ---

Sheet Title  
**ROOF PLAN**

Sheet Number

**A110**

THE FOLLOWING DIMENSION EQUALS ONE INCH WHEN PRINTED TO SCALE.

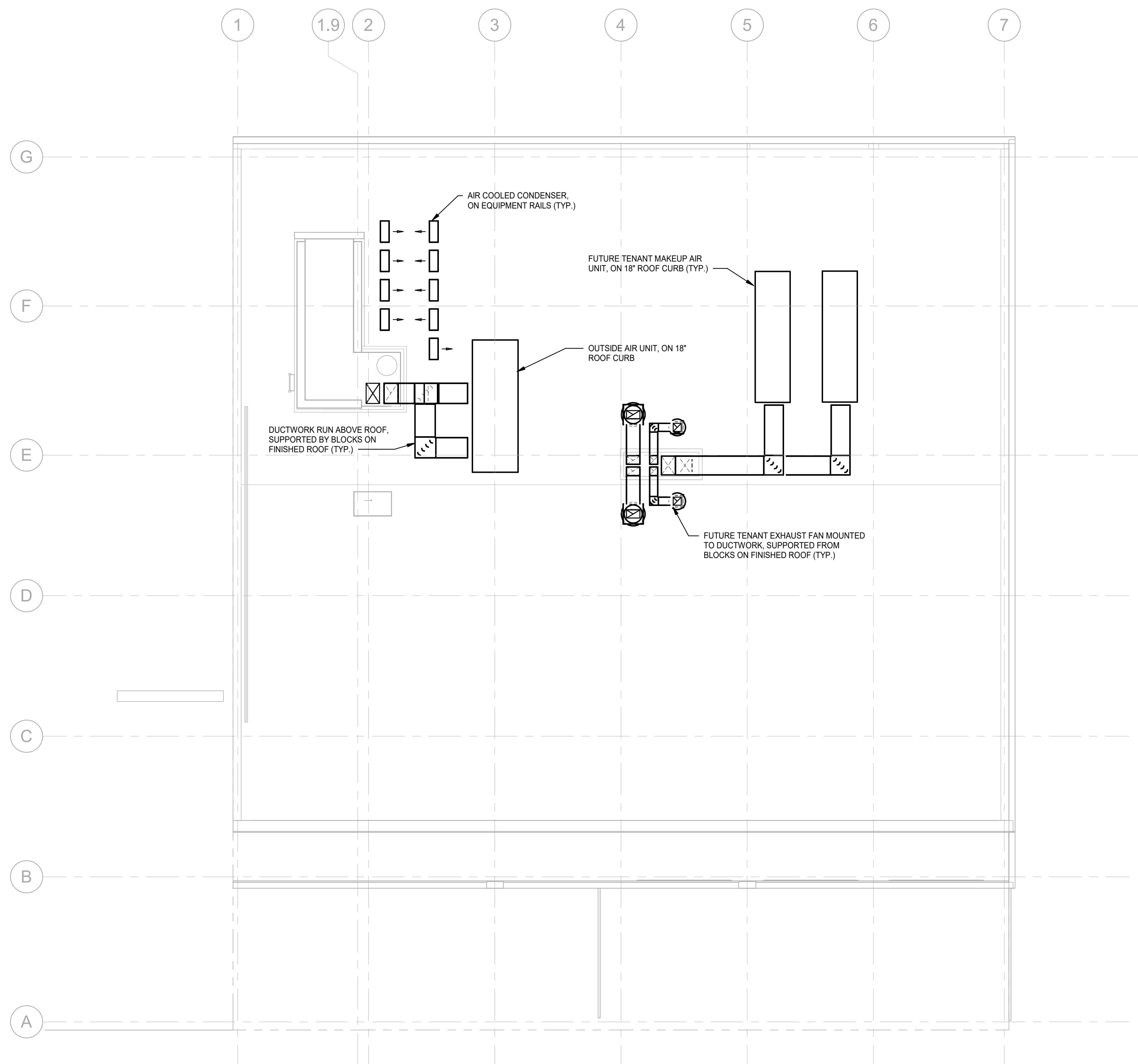
E

D

C

B

A



**ROOF HVAC PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET METAL GENERAL NOTES:**

- 1 THESE DRAWINGS ARE DIAGRAMMATIC AND REPRESENT THE GENERAL INTENT AND ARRANGEMENT OF SYSTEMS. THEY ARE NOT TO BE CONSIDERED FABRICATION/COORDINATION/SHOP DRAWINGS. COORDINATION WITH OTHER TRADES IS REQUIRED. PROVIDE THE ADDITIONAL FITTINGS AND OFFSETS THAT WILL BE REQUIRED TO COMPLETE EACH SYSTEM AND TO AVOID INTERFERENCES WITH ALL OTHER SYSTEMS INCLUDING THE STRUCTURE, PIPING SYSTEMS, ELECTRICAL CONDUITS, BUS DUCTS, CABLE TRAY, LIGHT FIXTURES, ETC. AND/OR OTHER SPACE CONSTRAINTS.
- 2 INSTALL SYSTEMS SUCH THAT REQUIRED CLEARANCE AND SERVICE ACCESS SPACE IS PROVIDED AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AND AROUND ANY COMPONENTS WHICH REQUIRE SERVICE ACCESS.
- 3 PIPING AND DUCTWORK SHALL NOT BE INSTALLED ABOVE ELECTRICAL TRANSFORMERS, SWITCHBOARDS, PANELBOARDS OR MOTOR CONTROL CENTERS.
- 4 COORDINATE AND PROVIDE ACCESS DOORS WITHIN INACCESSIBLE CEILING, SHAFT, AND CHASE AREAS FOR ALL COMPONENTS WHICH REQUIRE SERVICE ACCESS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- 5 PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL SYSTEMS.
- 6 REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR DIMENSIONED LOCATION OF GRILLES, REGISTERS, AND DIFFUSERS.
- 7 REFER TO TEMPERATURE CONTROLS STANDARD MOUNTING HEIGHTS DETAIL FOR ELEVATIONS OF WALL MOUNTED TEMPERATURE CONTROL DEVICES.

**# CONSTRUCTION KEY NOTES:**

**KraemerDesignGroup**  
Detroit, MI | Toledo, OH | Charleston, SC  
1420 Broadway | Detroit, MI 48226 | 313.965.5399  
www.kraemerdsgroup.com

Architect

**Peter Basso Associates Inc**  
CONSULTING ENGINEERS  
5145 Livestock, Suite 100  
Troy, Michigan 48068-3276  
Tel: 248-879-5666  
Fax: 248-879-0007  
www.PeterBassoAssociates.com  
PBA Project No: 2023-0131

Consultant

**BASCO**  
DETROIT

Owner

**BROADWAY LOFTS**  
1326-1336 BROADWAY ST  
DETROIT, MI

Project

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

©COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

Revision \_\_\_\_\_ Date \_\_\_\_\_

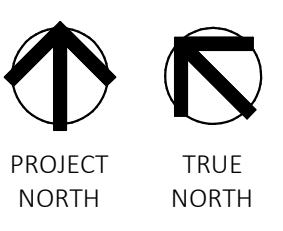
Date \_\_\_\_\_ MONTH XX, 2021

Project Number \_\_\_\_\_ Project Number \_\_\_\_\_

Sheet Title  
**ROOF HVAC PLAN**

Sheet Number

**M410**



30 X 42 | 01/18/2023 10:53:11 AM | C:\REVIT LOCAL FILES\2023-0131 Broadway Lofts MEP\_v03\_r1\mep\FBA.rvt

30 x 42 | PLOTTED ON 6/26/2023 11:00:05 AM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWDY LOFTS KDG ARCH V23\_theresa.schorr.rvt

Architect

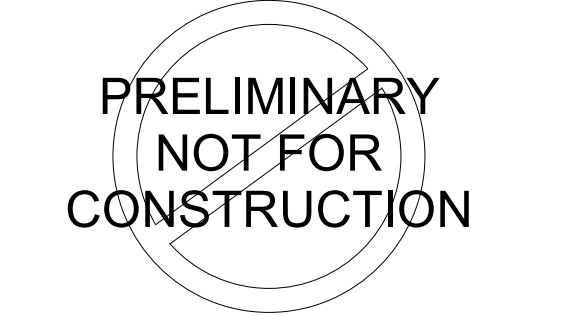
Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project



Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

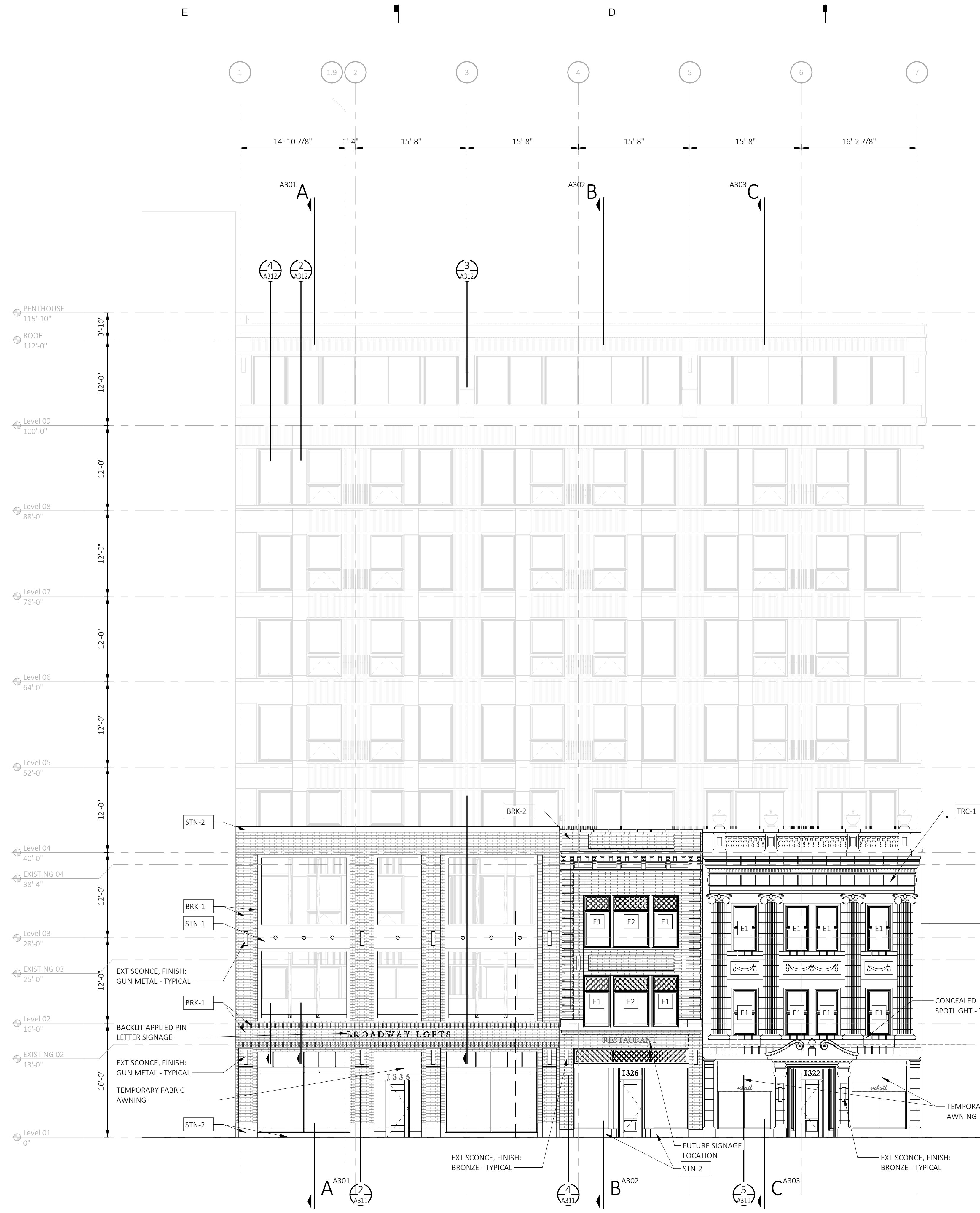
OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

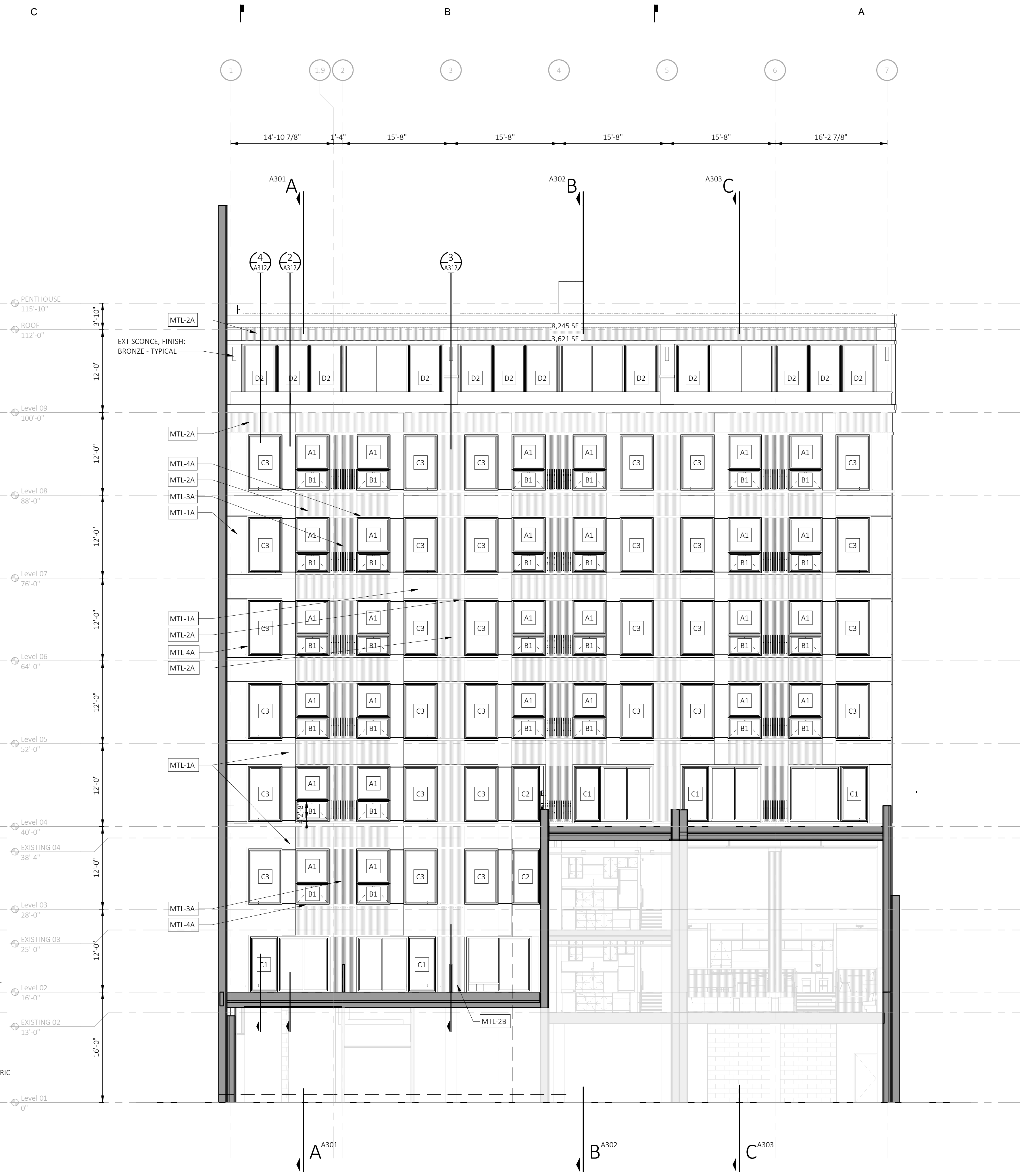
Sheet Title  
**EXTERIOR ELEVATIONS**

Sheet Number

**A201**



**1 EL-SOUTH ELEVATION**  
 A201 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101

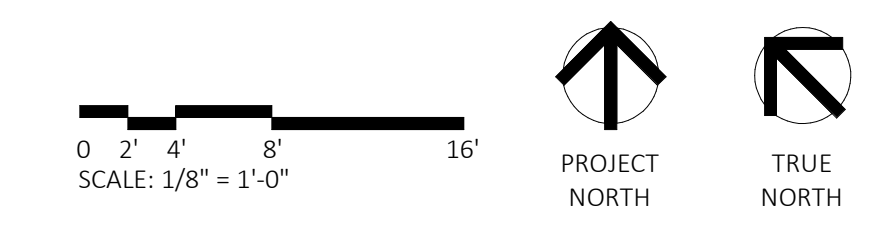


**2 EL-SOUTH ELEVATION TOWER**  
 A201 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101

**EXTERIOR ELEVATION MATERIAL LEGEND**

MTL-1A	FLAT, FINISH: CHAMPAGNE	BRK-1	BRICK TECH, FINISH: OBSIDIAN VELOUR
MTL-1B	FLAT, FINISH: CLASSIC BRONZE	BRK-2	EXISTING BRICK
MTL-2A	CORRUGATED, FINISH: CHAMPAGNE	BRK-3	BELDEN BRICK, FINISH: GRAPHITE BLACK VELOUR
MTL-2B	CORRUGATED, FINISH: MEDIUM BRONZE	STN-1	HISTORIC STONE PANELS
MTL-3A	CORRUGATED PERFORATED, FINISH: CHAMPAGNE	STN-2	LIMESTONE
MTL-3B	CORRUGATED PERFORATED, FINISH: MEDIUM BRONZE	TRC-1	EXISTING TERRA COTTA
MTL-4A	TRIM, FINISH: CHAMPAGNE		
MTL-4B	TRIM, FINISH: CLASSIC BRONZE		

- GENERAL NOTES**
- REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
  - REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
  - REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
  - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
  - SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REINTEGRANT CORNERS.
  - PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
  - EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
  - APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.



30 x 42 | PLOTTED ON 6/20/2023 12:15:58 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\20230808 BROWDY LOFTS KDG ARCH V23\_theresa.schorr.rvt

E | | | D | | | C | | | B | | | A

1  
2  
3  
4  
5



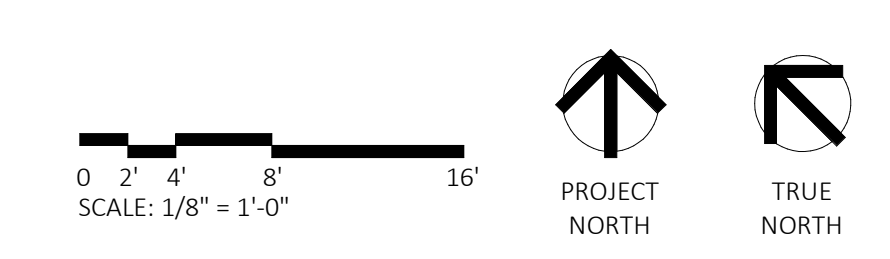
**1 EL-NORTH ELEVATION**  
 A202 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101

**EXTERIOR ELEVATION MATERIAL LEGEND**

MTL-1A	FLAT, FINISH: CHAMPAGNE	BRK-1	BRICK TECH, FINISH: OBSIDIAN VELOUR
MTL-1B	FLAT, FINISH: CLASSIC BRONZE	BRK-2	EXISTING BRICK
MTL-2A	CORRUGATED, FINISH: CHAMPAGNE	BRK-3	BELDEN BRICK, FINISH: GRAPHITE BLACK VELOUR
MTL-2B	CORRUGATED, FINISH: MEDIUM BRONZE	STN-1	HISTORIC STONE PANELS
MTL-3A	CORRUGATED PERFORATED, FINISH: CHAMPAGNE	STN-2	LIMESTONE
MTL-3B	CORRUGATED PERFORATED, FINISH: MEDIUM BRONZE	TRC-1	EXISTING TERRA COTTA
MTL-4A	TRIM, FINISH: CHAMPAGNE		
MTL-4B	TRIM, FINISH: CLASSIC BRONZE		

- GENERAL NOTES**
- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
  - B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
  - C REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
  - D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
  - E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
  - F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
  - G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
  - H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

- GENERAL NOTES**
- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
  - B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
  - C REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
  - D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
  - E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
  - F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
  - G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
  - H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.



**KraemerDesignGroup**  
 Detroit, MI | Toledo, OH | Charleston, SC  
 1420 Broadway | Detroit, MI 48226 | 313.965.5399  
 www.kraemerdg.com

Architect

Consultant

**BASCO**  
 ARCHITECT  
 220 CONGRESS, SUITE 2  
 DETROIT, MI

Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.  
© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

Project Number

Sheet Title  
**EXTERIOR ELEVATIONS**

Sheet Number

**A202**

30 x 42 | PLOTTED ON 6/20/2023 12:15:59 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWDY LOFTS KDG ARCH V23\_theresa.schorr.rvt

**GENERAL NOTES**

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
- F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

**KraemerDesignGroup**  
 Detroit, MI | Toledo, OH | Charleston, SC  
 1420 Broadway | Detroit, MI 48226 | 313.965.5399  
 www.kraemerdg.com

Architect

Consultant

**BASCO**  
 CONSULTANTS  
 220 CONGRESS, SUITE 2  
 DETROIT, MI

Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

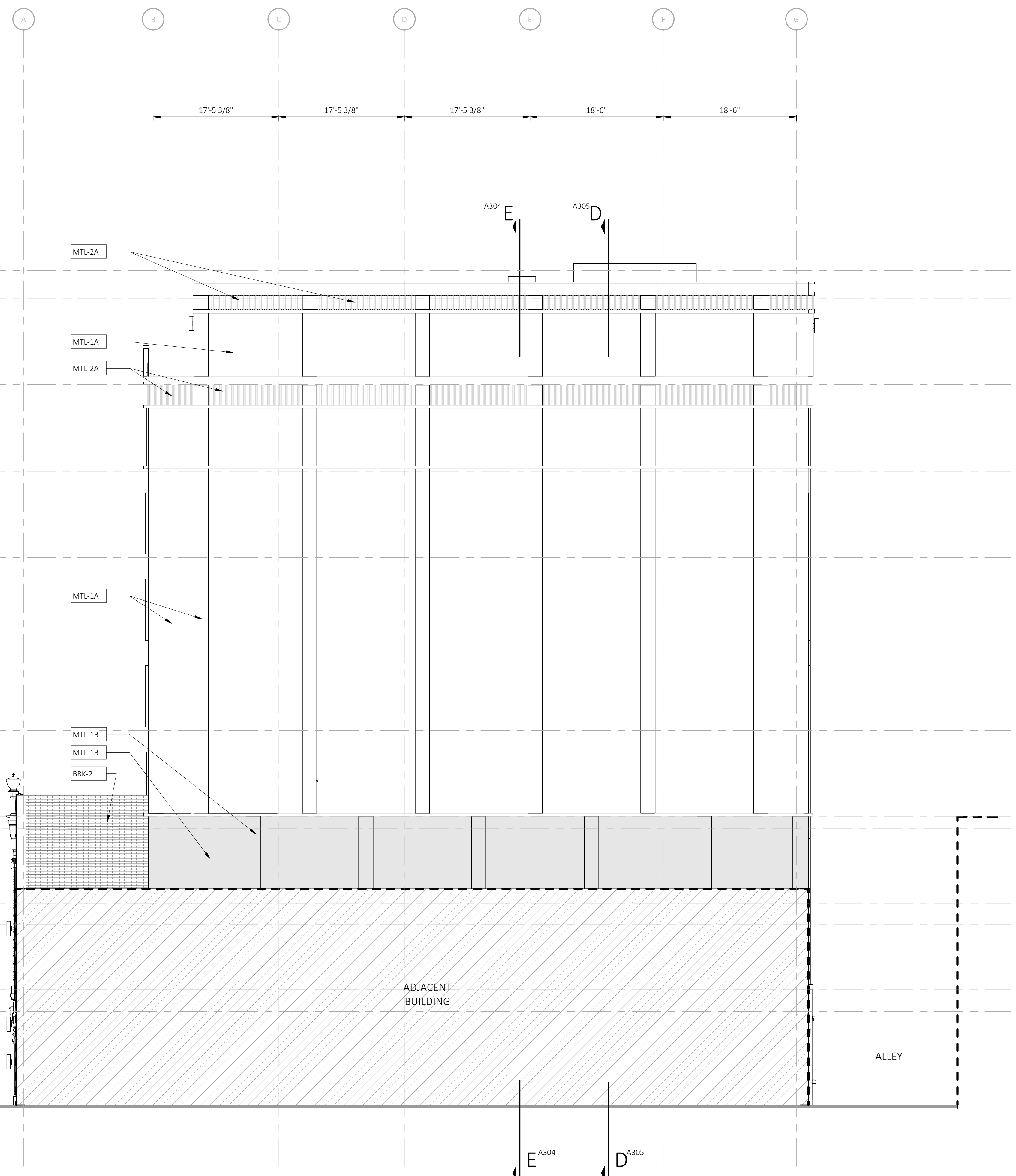
Revision	Date
Date	PERMIT DATE

Project Number

Sheet Title  
**EXTERIOR ELEVATIONS**

Sheet Number

**A203**



**1 EL-EAST ELEVATION**  
 A203 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101

**EXTERIOR ELEVATION MATERIAL LEGEND**

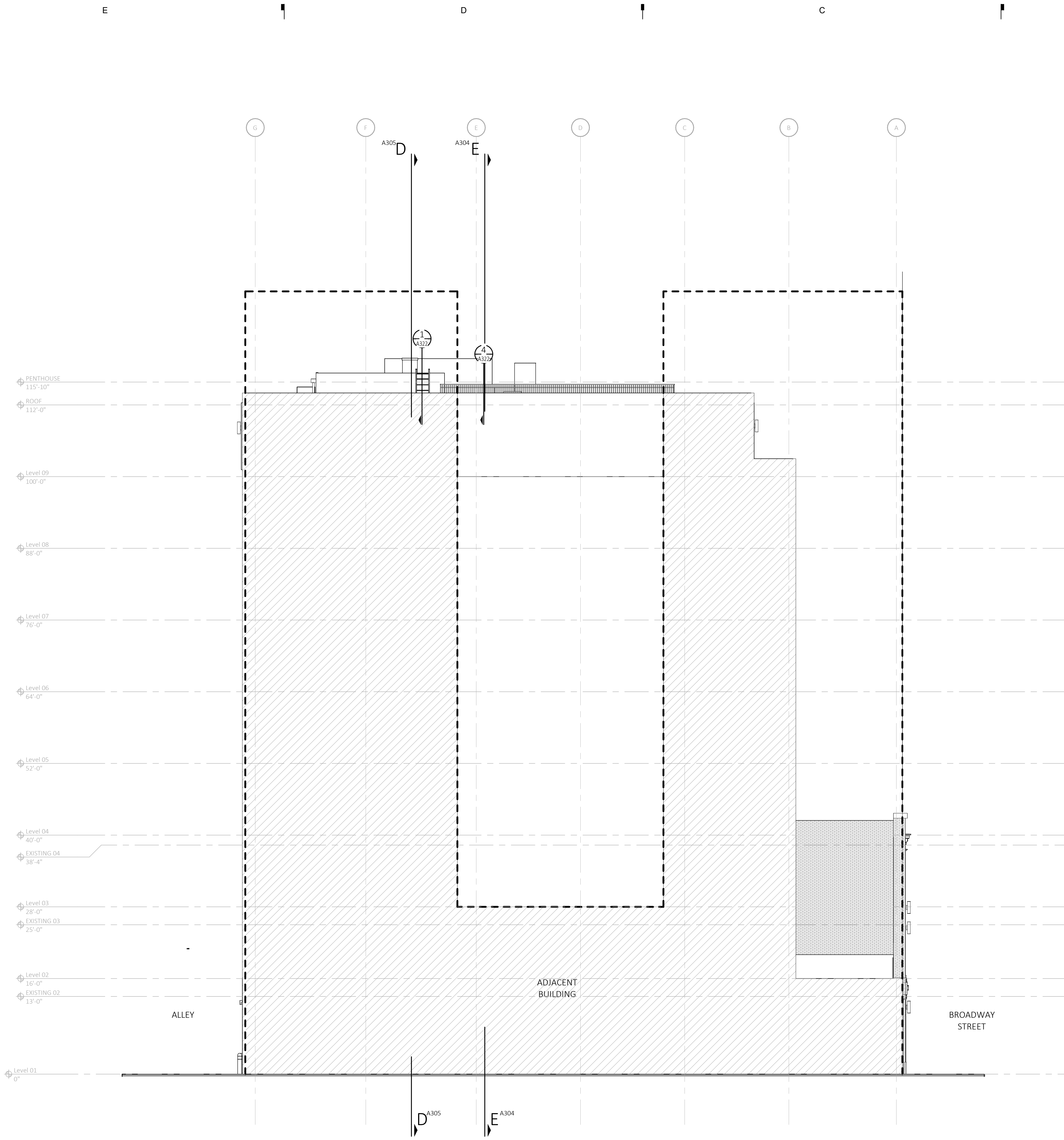
MTL-1A	FLAT, FINISH: CHAMPAGNE	BRK-1	BRICK TECH, FINISH: OBSIDIAN VELOUR
MTL-1B	FLAT, FINISH: CLASSIC BRONZE	BRK-2	EXISTING BRICK
MTL-2A	CORRUGATED, FINISH: CHAMPAGNE	BRK-3	BELDEN BRICK, FINISH: GRAPHITE BLACK VELOUR
MTL-2B	CORRUGATED, FINISH: MEDIUM BRONZE	STN-1	HISTORIC STONE PANELS
MTL-3A	CORRUGATED PERFORATED, FINISH: CHAMPAGNE	STN-2	LIMESTONE
MTL-3B	CORRUGATED PERFORATED, FINISH: MEDIUM BRONZE	TRC-1	EXISTING TERRA COTTA
MTL-4A	TRIM, FINISH: CHAMPAGNE		
MTL-4B	TRIM, FINISH: CLASSIC BRONZE		

**GENERAL NOTES**

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
- F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.



30 x 42 | PLOTTED ON 6/20/2023 12:16:01 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



1 EL-WEST ELEVATION  
 A204 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A101

**GENERAL NOTES**

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REENTRANT CORNERS.
- F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

**KraemerDesignGroup**  
 Detroit, MI | Toledo, OH | Charleston, SC  
 1420 Broadway / Detroit, MI 48226 (313) 965-5399  
 www.kraemerdg.com

Architect

Consultant

**BASCO**  
 ARCHITECT  
 220 CONGRESS, SUITE 2  
 DETROIT, MI

Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

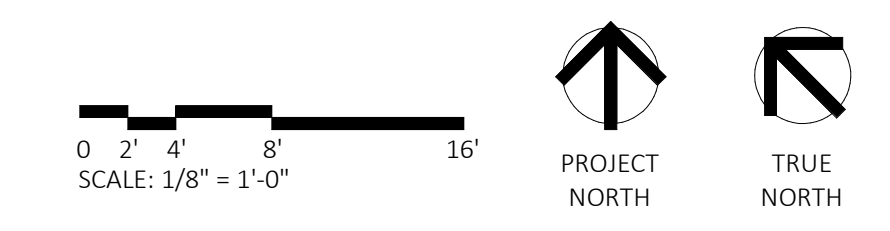
Revision	Date
Date	PERMIT DATE

Project Number ---

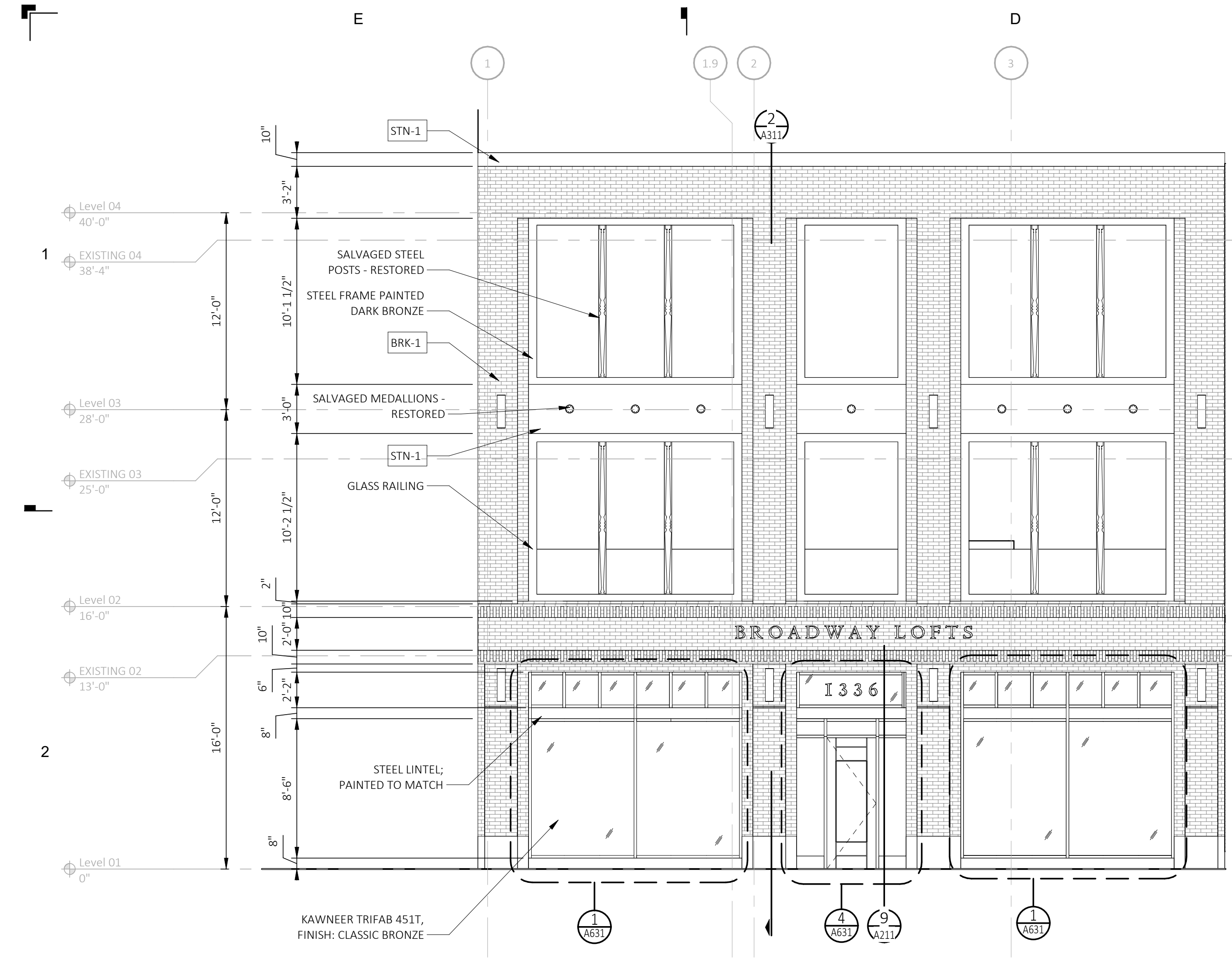
Sheet Title  
**EXTERIOR  
 ELEVATIONS**

Sheet Number

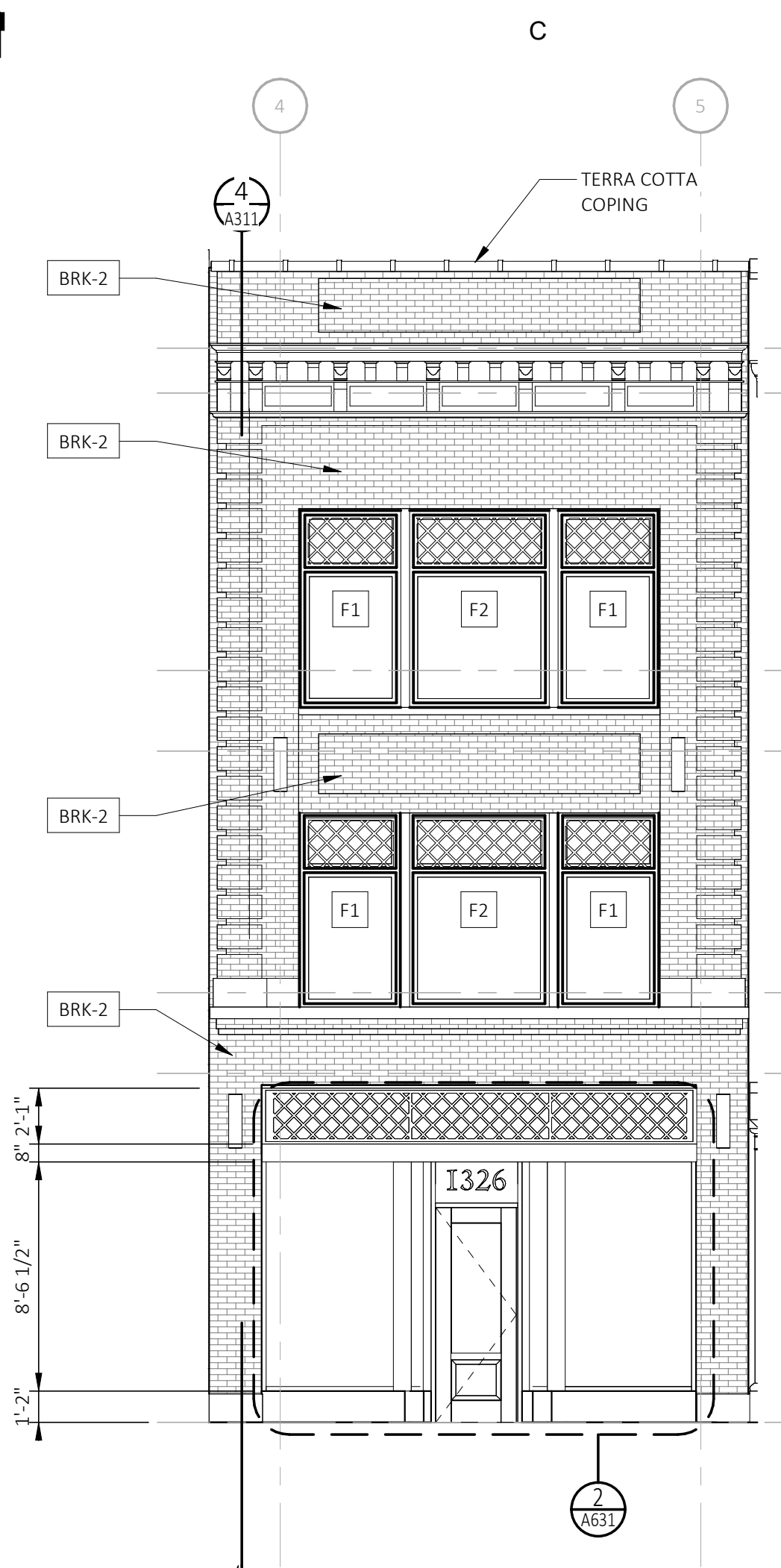
**A204**



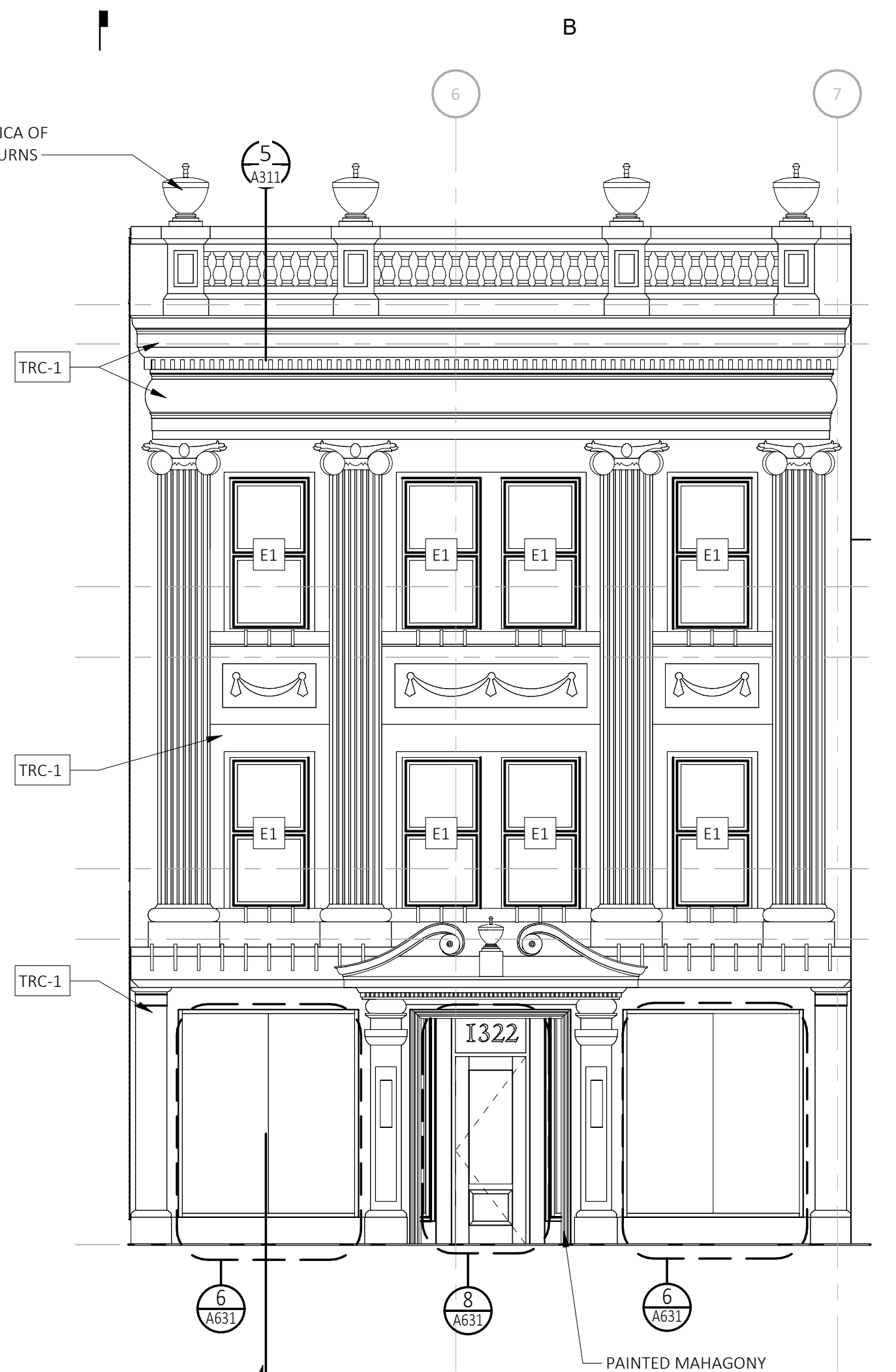
30 x 42 | PLOTTED ON 6/20/2023 12:16:02 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



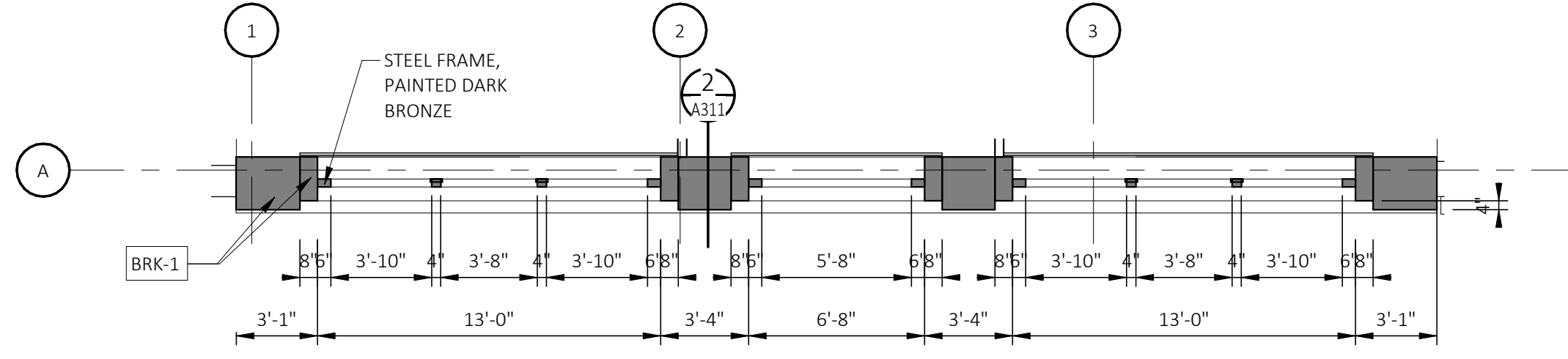
**1 EL ENL-1332-1336 ELEVATION**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A101



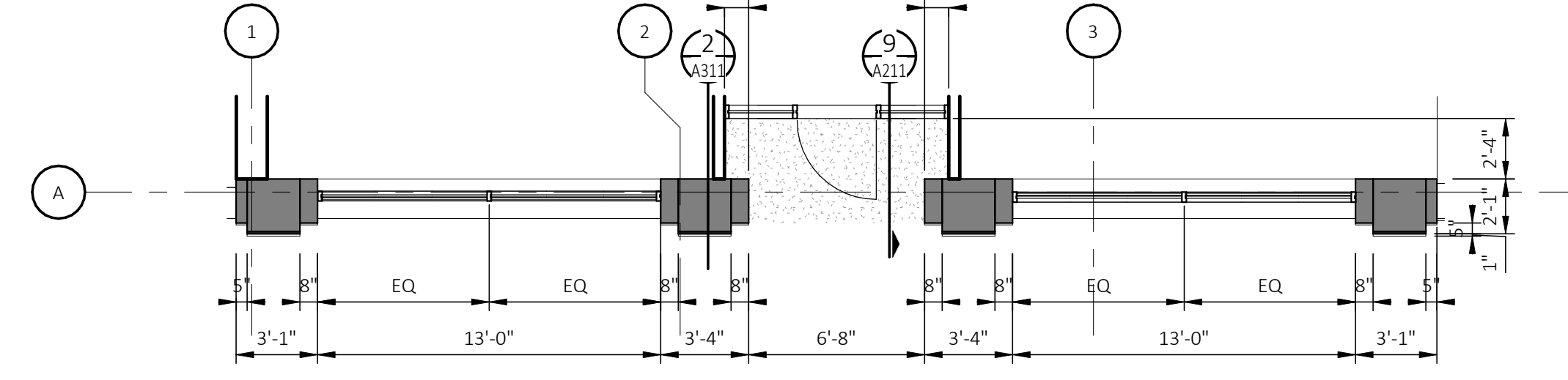
**5 EL ENL-1326 ELEVATION**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A101



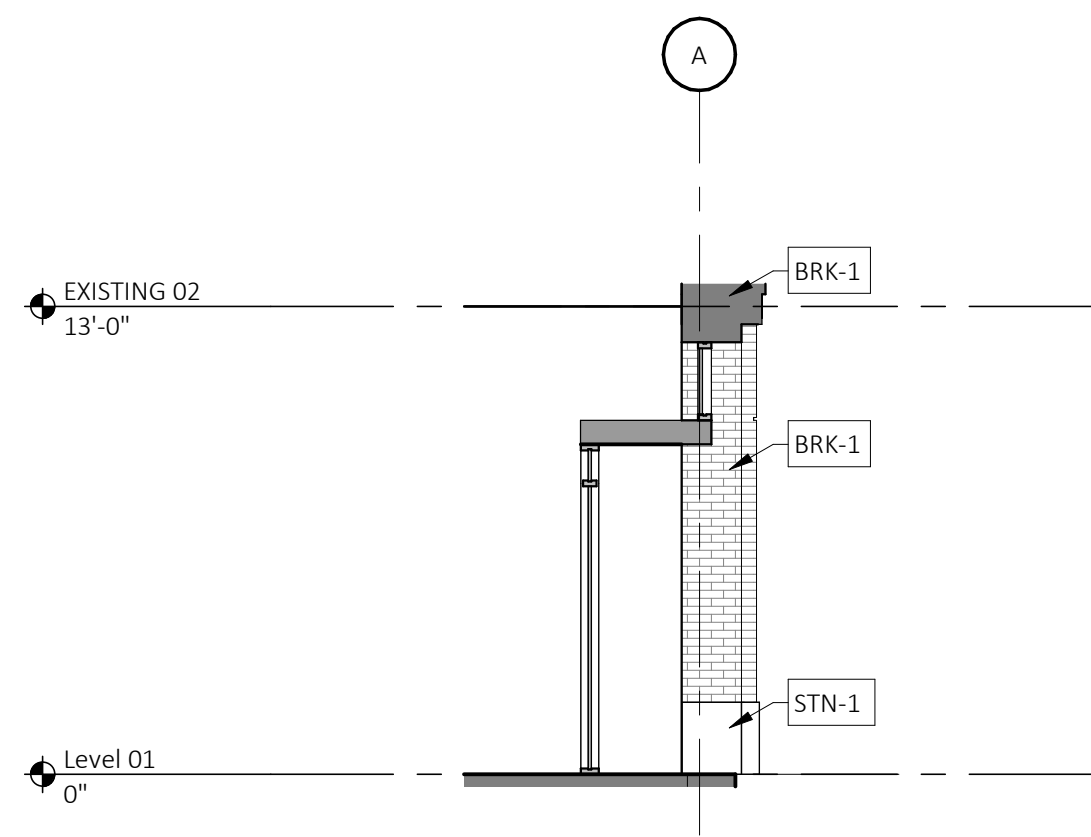
**6 EL ENL-1322 ELEVATION**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A101



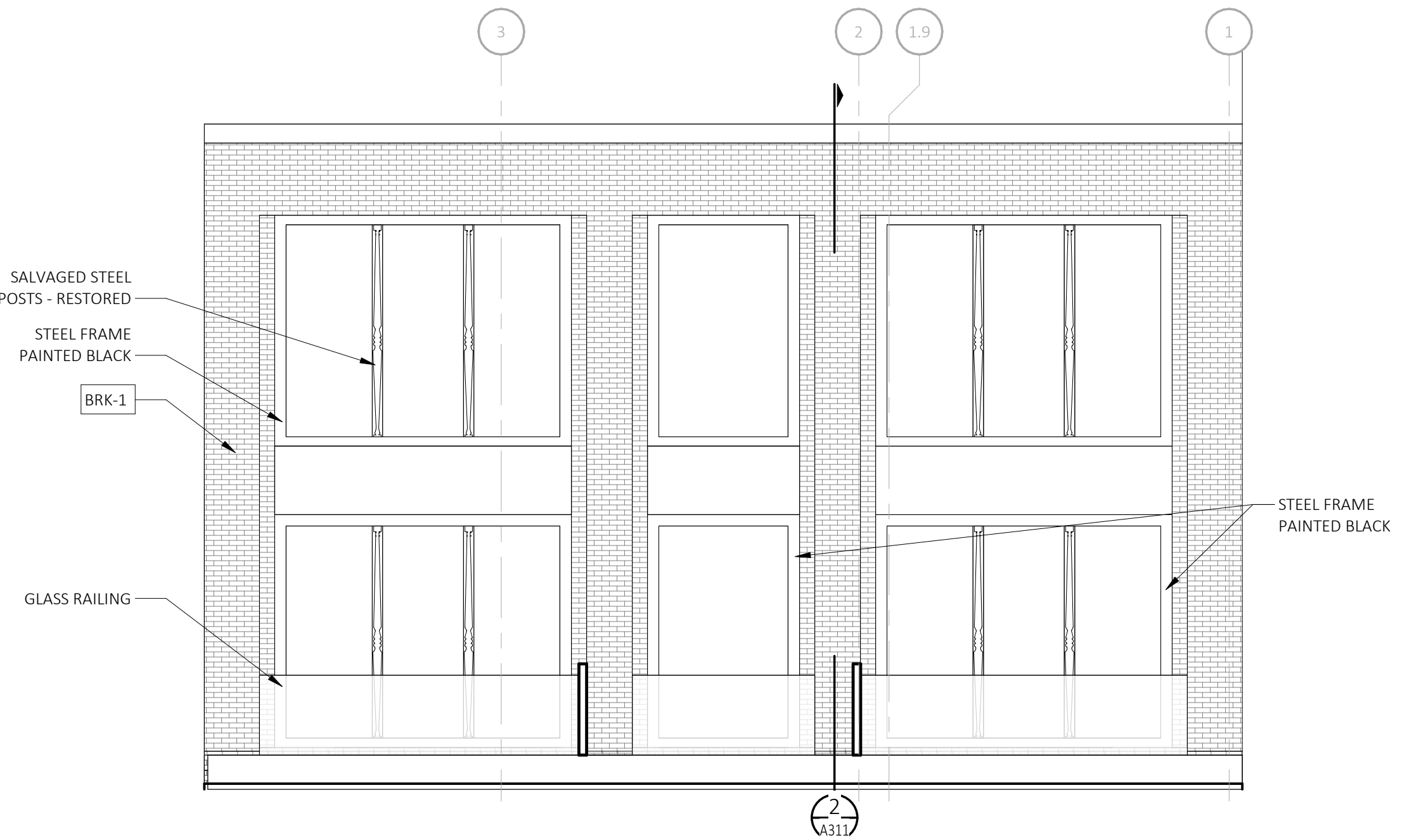
**7 ENL-1332-1336 INFILL 2ND FLOOR**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A102



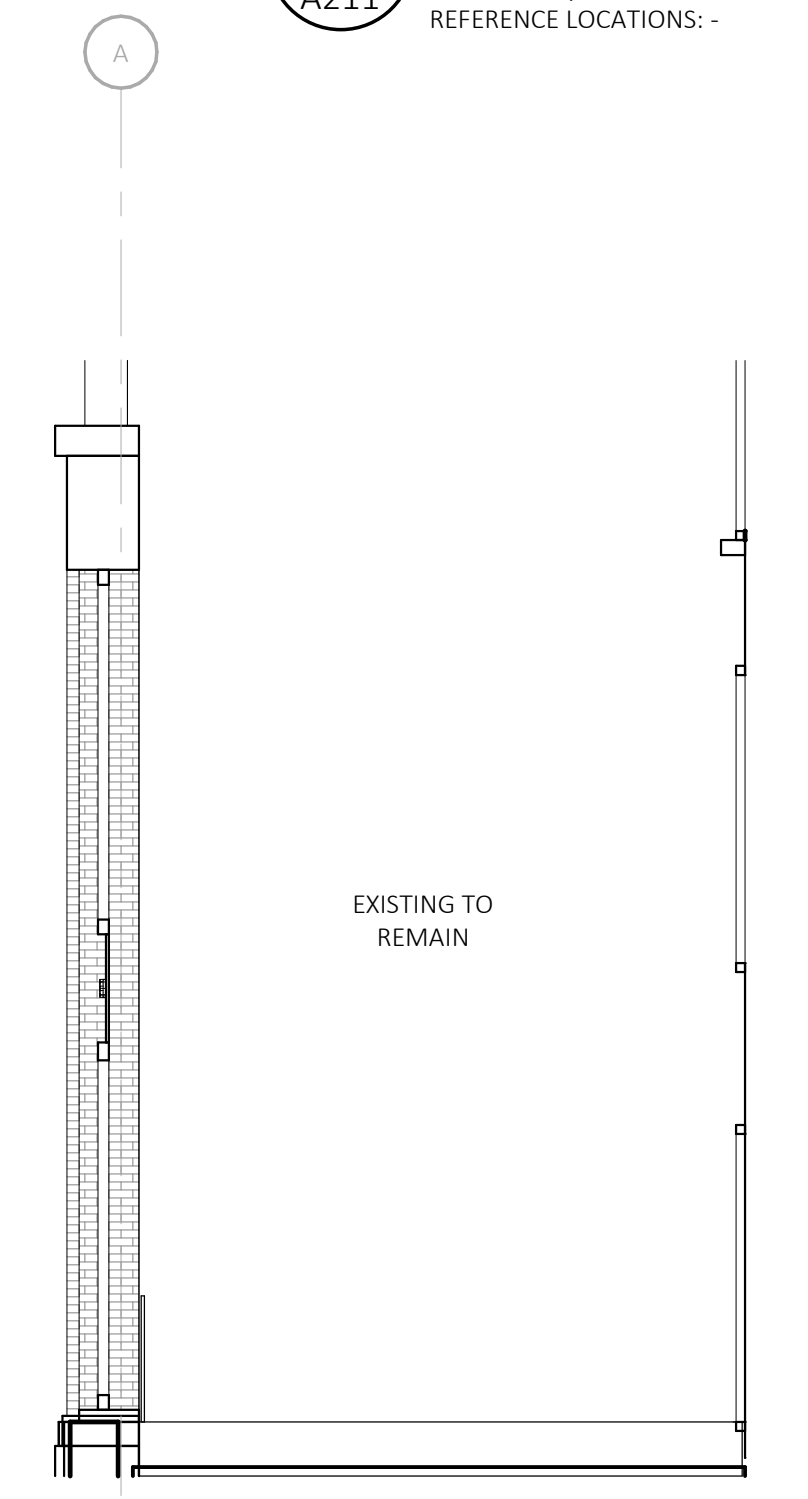
**8 ENL-1332-1336 1ST FLOOR**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A101



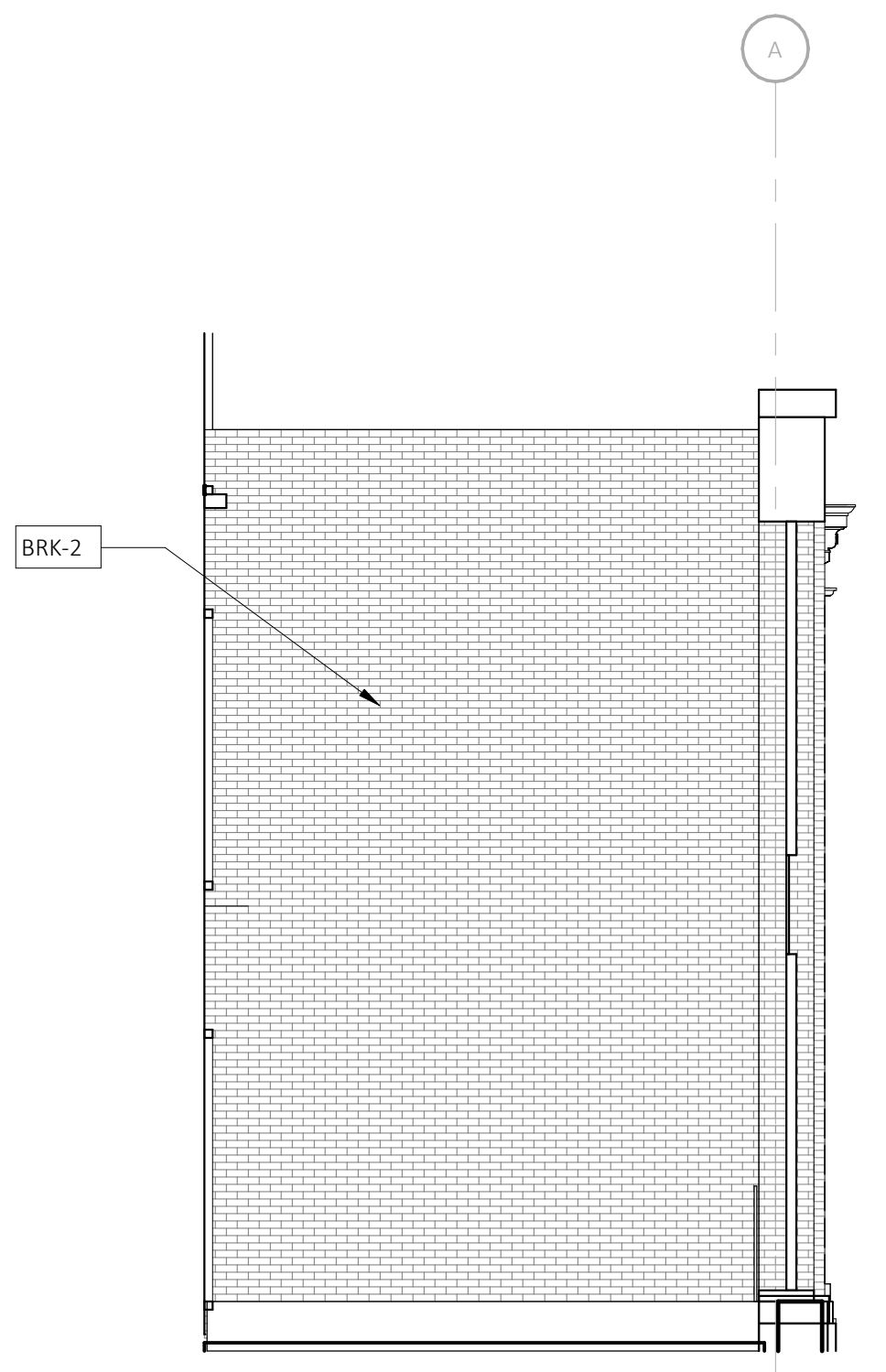
**9 SC ENL-1332-1336 ENTRY**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: -



**4 EL-EXT-1332-1336**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A102



**3 EL-EXT EXIST HARVARD SQUARE**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A102



**2 EL-EXT EXIST 1326**  
A211 SCALE: 3/16" = 1'-0"  
REFERENCE LOCATIONS: A102

**EXTERIOR ELEVATION MATERIAL LEGEND**

MTL-1A	FLAT, FINISH: CHAMPAGNE	BRK-1	BRICK TECH, FINISH: OBSIDIAN VELOUR
MTL-1B	FLAT, FINISH: CLASSIC BRONZE	BRK-2	EXISTING BRICK
MTL-2A	CORRUGATED, FINISH: CHAMPAGNE	BRK-3	BELDEN BRICK, FINISH: GRAPHITE BLACK VELOUR
MTL-2B	CORRUGATED, FINISH: MEDIUM BRONZE	STN-1	HISTORIC STONE PANELS
MTL-3A	CORRUGATED PERFORATED, FINISH: CHAMPAGNE	STN-2	LIMESTONE
MTL-3B	CORRUGATED PERFORATED, FINISH: MEDIUM BRONZE	TRC-1	EXISTING TERRA COTTA
MTL-4A	TRIM, FINISH: CHAMPAGNE		
MTL-4B	TRIM, FINISH: CLASSIC BRONZE		

**GENERAL NOTES**

- A REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C REFER TO ROOF PLAN FOR PARAPET AND OVERHANG INFORMATION.
- D SEE ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING REQUIREMENTS AND FIXTURE TYPES.
- E SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. PROVIDE CONTROL JOINTS AT ALL MASONRY REINTEANT CORNERS.
- F PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- G EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- H APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.

**EXTERIOR RESTORATION NOTES**

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, PERMITS AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORKSTATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THRU SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE, UNLESS NOTED OTHERWISE IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY / STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OR CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- M. ALL MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA).
- N. INSPECT ALL TERRA COTTA UNITS FOR DAMAGE, SPALLING OR CRAZING.
- O. WHERE TERRA COTTA GLAZING HAS SPALLED AND THE CLAY SUBSTRATE IS IN GOOD CONDITION, COAT RAW CLAY WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- P. WHERE TERRA COTTA UNITS HAVE SPALLED SIGNIFICANTLY, PATCH DAMAGED AREAS WITH APPROVED MASONRY REPAIR MORTAR AS REQUIRED BY DEPTH OF DAMAGED AREA. COAT PATCHED AREA WITH APPROVED BREATHABLE SEALER TO MATCH COLOR OF EXISTING GLAZING.
- Q. WHERE TERRA COTTA HAS DETERIORATED BEYOND REPAIR, REMOVE AFFECTED TERRA COTTA UNITS AND PROVIDE NEW TERRA COTTA UNITS TO MATCH EXISTING PROFILE, COLOR AND FINISH.
- R. SEE TERRA COTTA RESTORATION SPECIFICATIONS FOR APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL TERRA COTTA RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.



**KraemerDesignGroup**  
Detroit, MI | Toledo, OH | Charleston, SC  
1420 Broadway | Detroit, MI 48226 | (313) 965-5399  
www.kraemerdg.com

Architect

Consultant



Owner

**BROADWAY LOFTS**  
1326-1336 BROADWAY ST  
DETROIT, MI

Project

**PRELIMINARY NOT FOR CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23

Revision	Date
Date	PERMIT DATE

Project Number

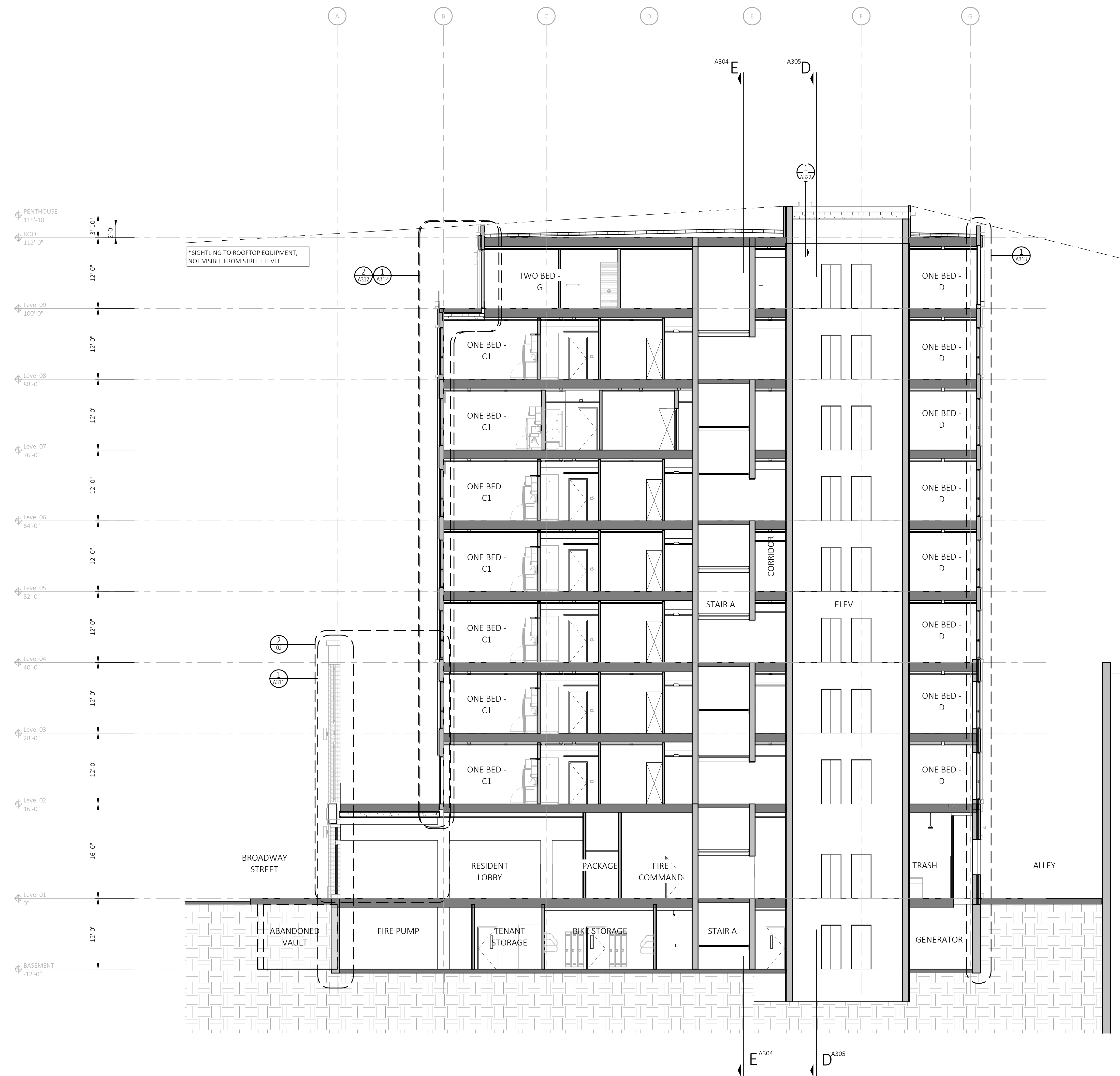
Sheet Title  
**ENLARGED EXTERIOR ELEVATIONS**

Sheet Number

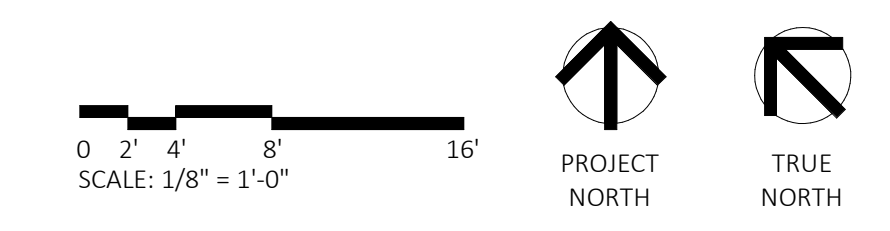
**A211**



30 x 42 | PLOTTED ON 6/20/2023 12:16:04 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



**A SECTION N/S 1**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A100



Architect

Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

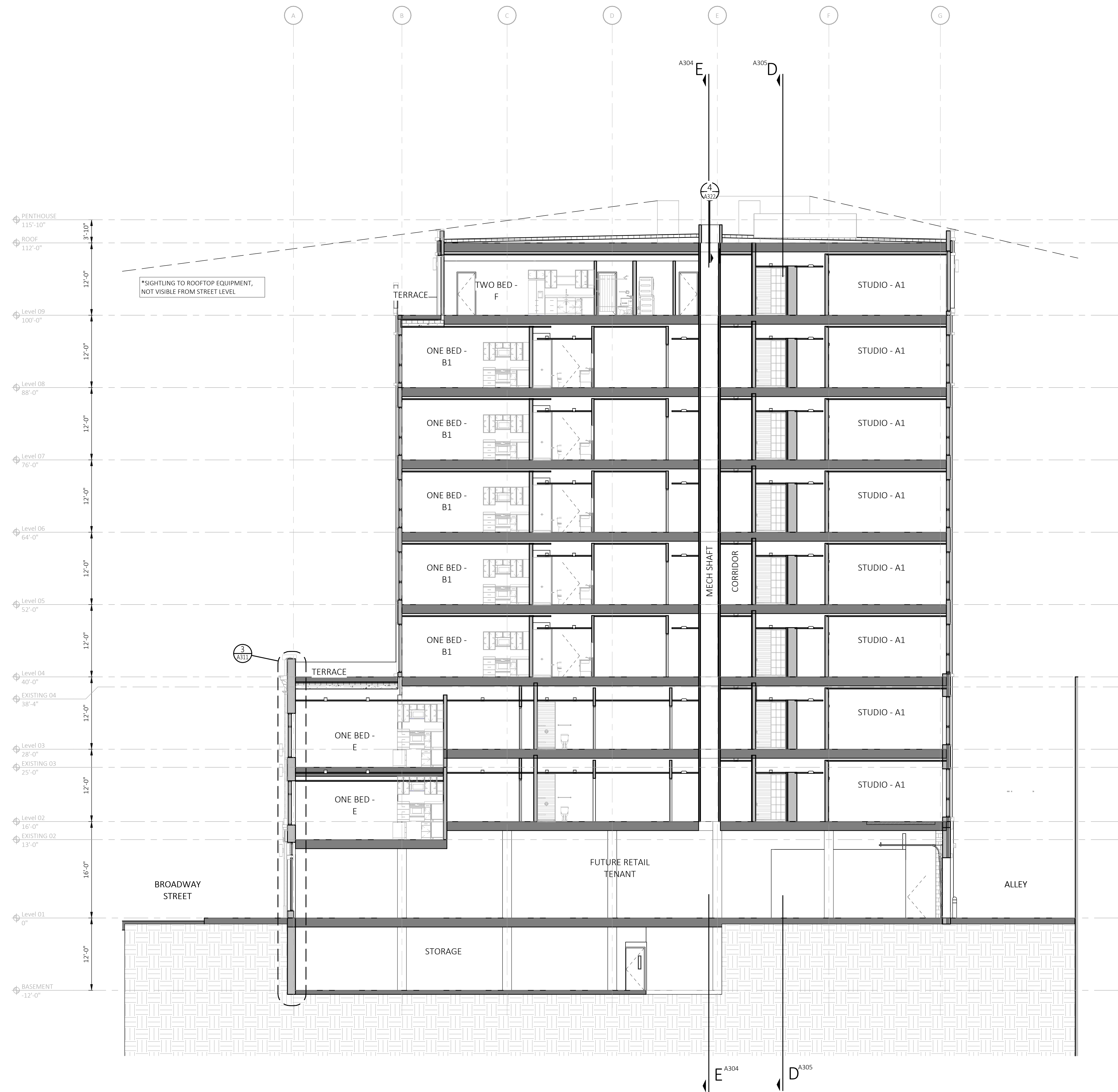
Project Number ---

Sheet Title  
**BUILDING  
 SECTIONS**

Sheet Number

**A301**

30 x 42 | PLOTTED ON 6/20/2023 12:16:06 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



**B SECTION N/S 2**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A100



Architect

Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

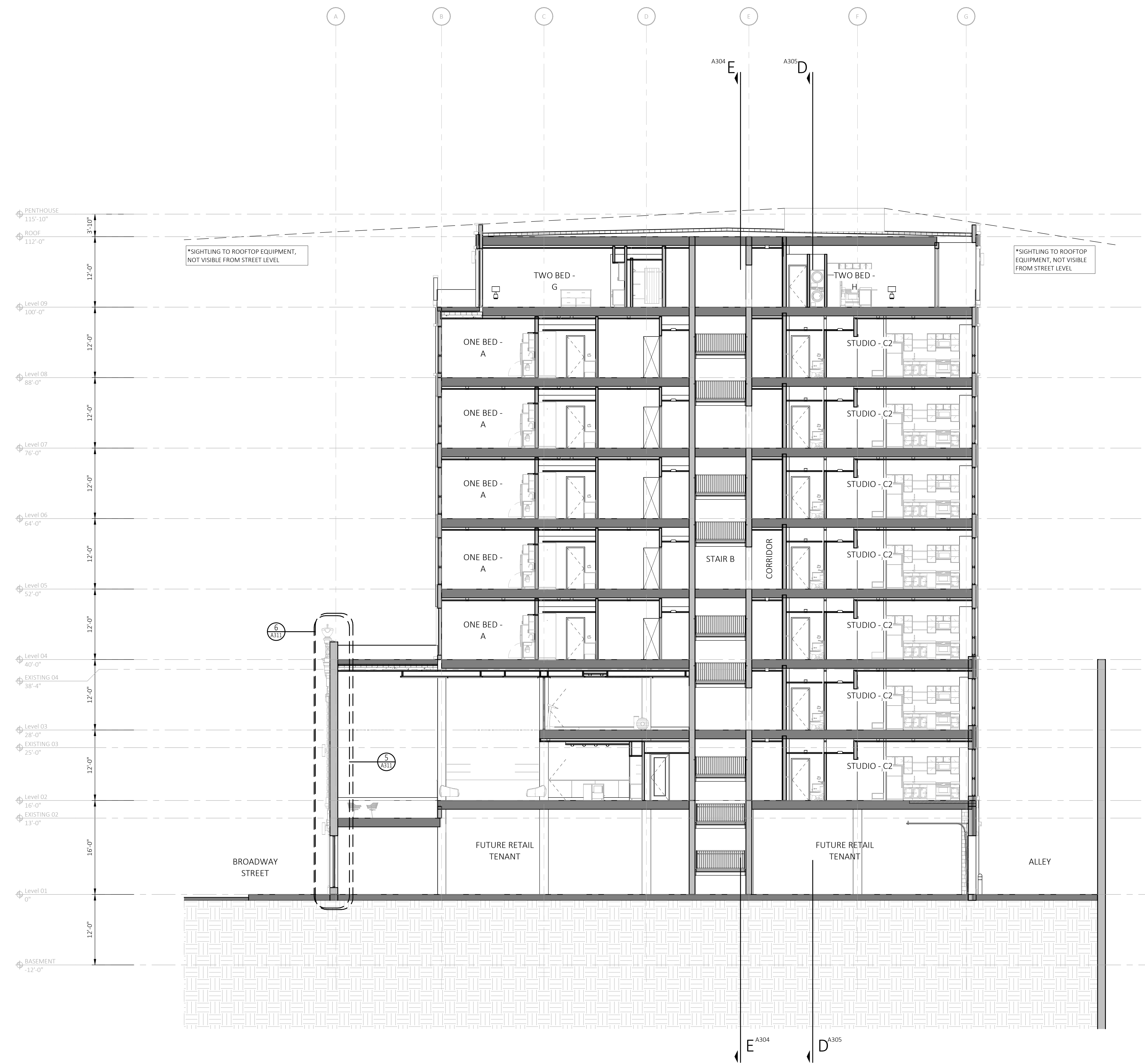
Project Number ---

Sheet Title  
**BUILDING  
 SECTIONS**

Sheet Number

**A302**

30 x 42 | PLOTTED ON 6/20/2023 12:16:12 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



**C SECTION N/S 3**  
 A303 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A100



Architect

Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.


OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

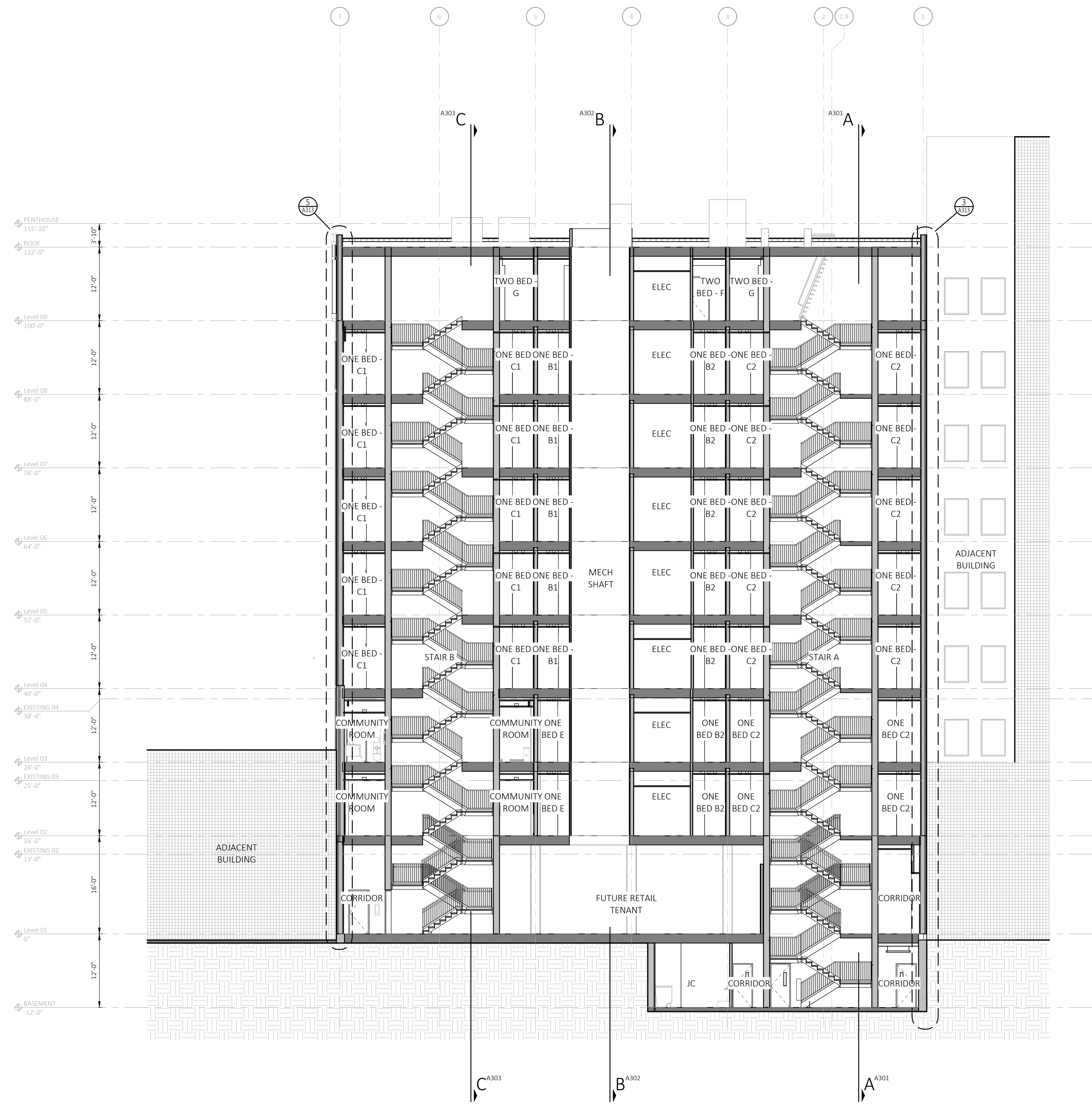
Project Number ---

Sheet Title  
**BUILDING SECTIONS**

Sheet Number

**A303**

30 x 42 | PLOTTED ON 6/20/2023 12:16:14 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH v23\_theresa.schorr.rvt



**E SECTION E/W 1**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A100



Architect

Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

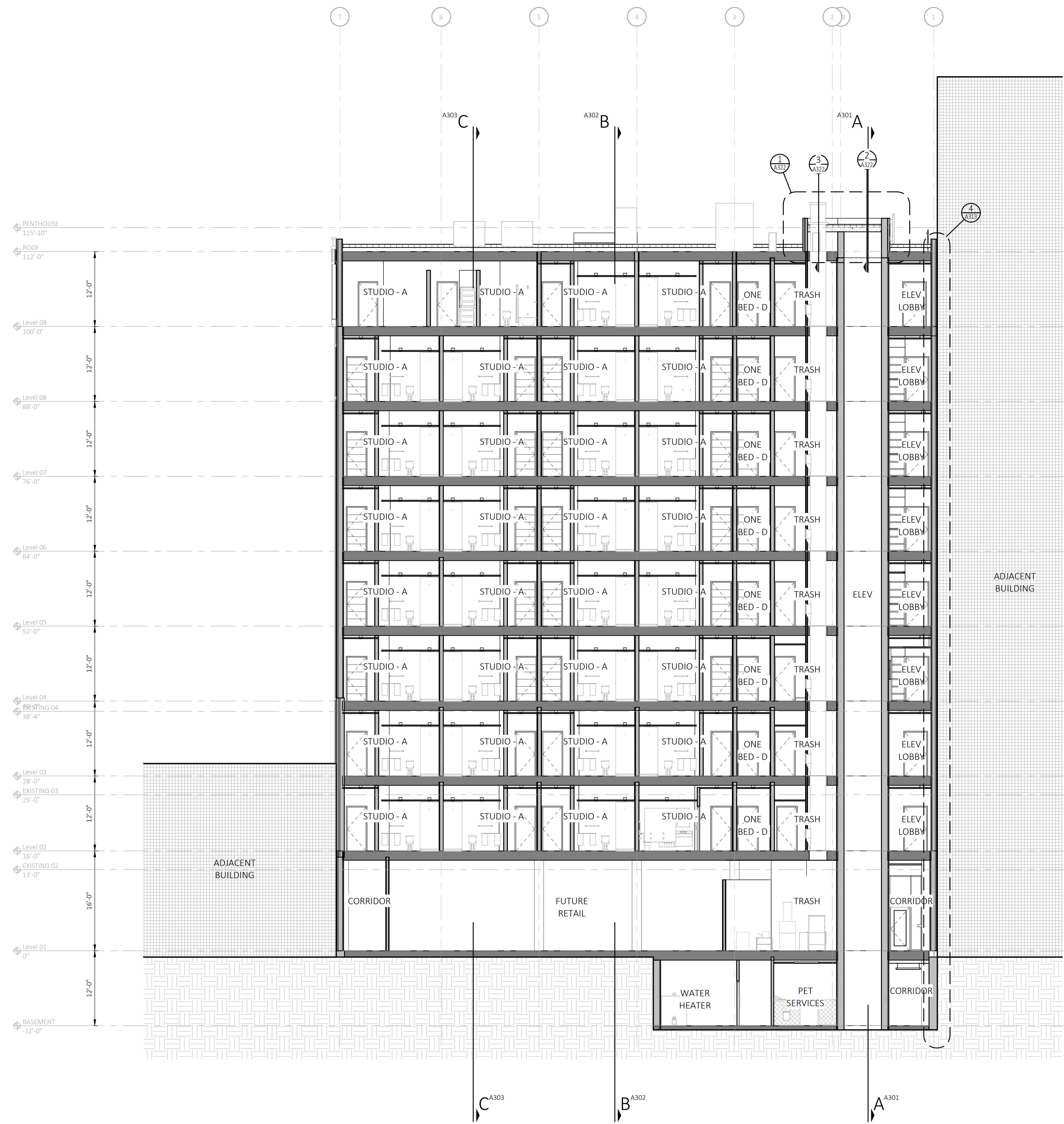
Project Number ---

Sheet Title  
**BUILDING  
 SECTIONS**

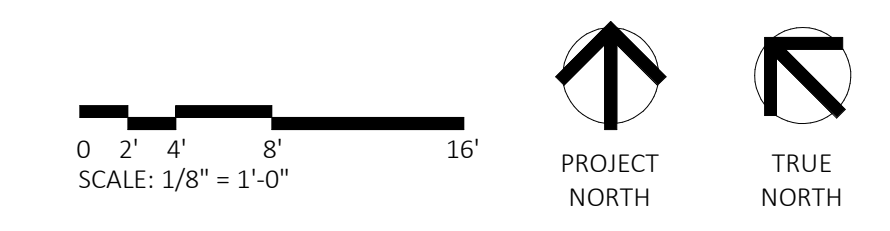
Sheet Number

**A304**

30 x 42 | PLOTTED ON 6/20/2023 12:16:16 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH V23\_theresa.schorr.rvt



**D SECTION E/W 2**  
 SCALE: 1/8" = 1'-0"  
 REFERENCE LOCATIONS: A100



Architect

Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

OWNER REVIEW	06-02-23
OWNER REVIEW	05-10-23
50% DESIGN DVLPMNT	03-31-23

Revision	Date
Date	PERMIT DATE

Project Number ---

Sheet Title  
**BUILDING  
 SECTIONS**

Sheet Number

**A305**

Architect

Consultant



Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

© COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

Revision \_\_\_\_\_ Date \_\_\_\_\_

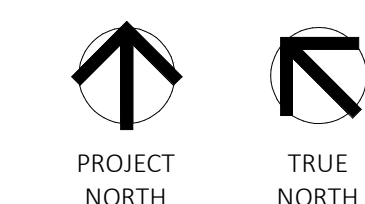
Date \_\_\_\_\_ PERMIT DATE \_\_\_\_\_

Project Number \_\_\_\_\_

Sheet Title  
**EXTERIOR WALL  
 SECTIONS**

Sheet Number

**A311**



**1 1336 SOUTH WALL SECTION**  
 A311 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A301

**2 1336 SOUTH WALL SECTION**  
 A311 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: 01

**3 1326 SOUTH WALL SECTION**  
 A311 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A302

**4 1326 SOUTH WALL SECTION**  
 A311 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: 01

**5 1322 SOUTH WALL SECTION**  
 A311 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: 01

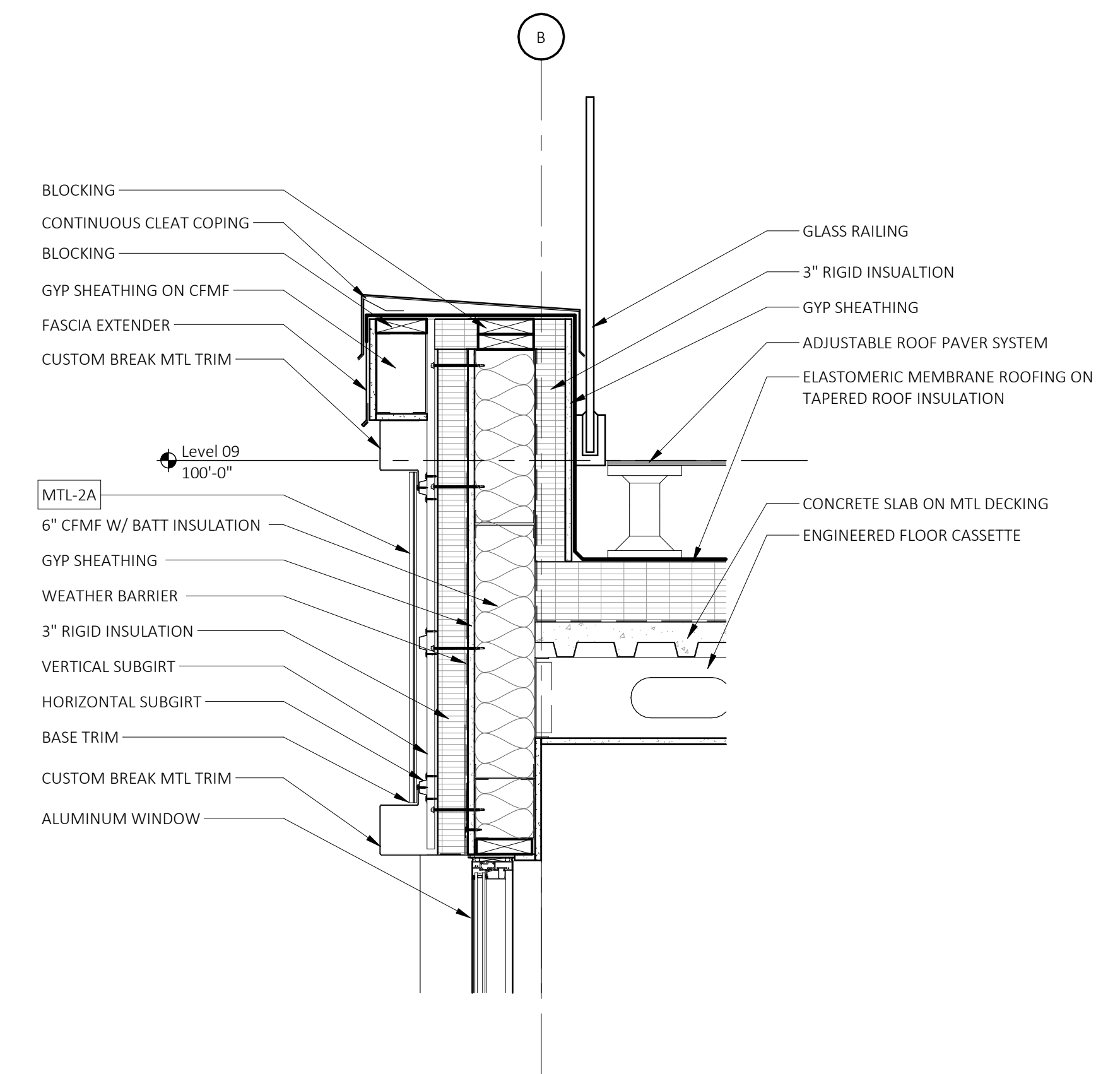
**6 1322 SOUTH WALL SECTION**  
 A311 SCALE: 1/4" = 1'-0"  
 REFERENCE LOCATIONS: A303

30 x 42 | PLOTTED ON 6/20/2023 12:16:17 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWNY LOFTS KDG ARCH v23\_theresa.schorr.rvt

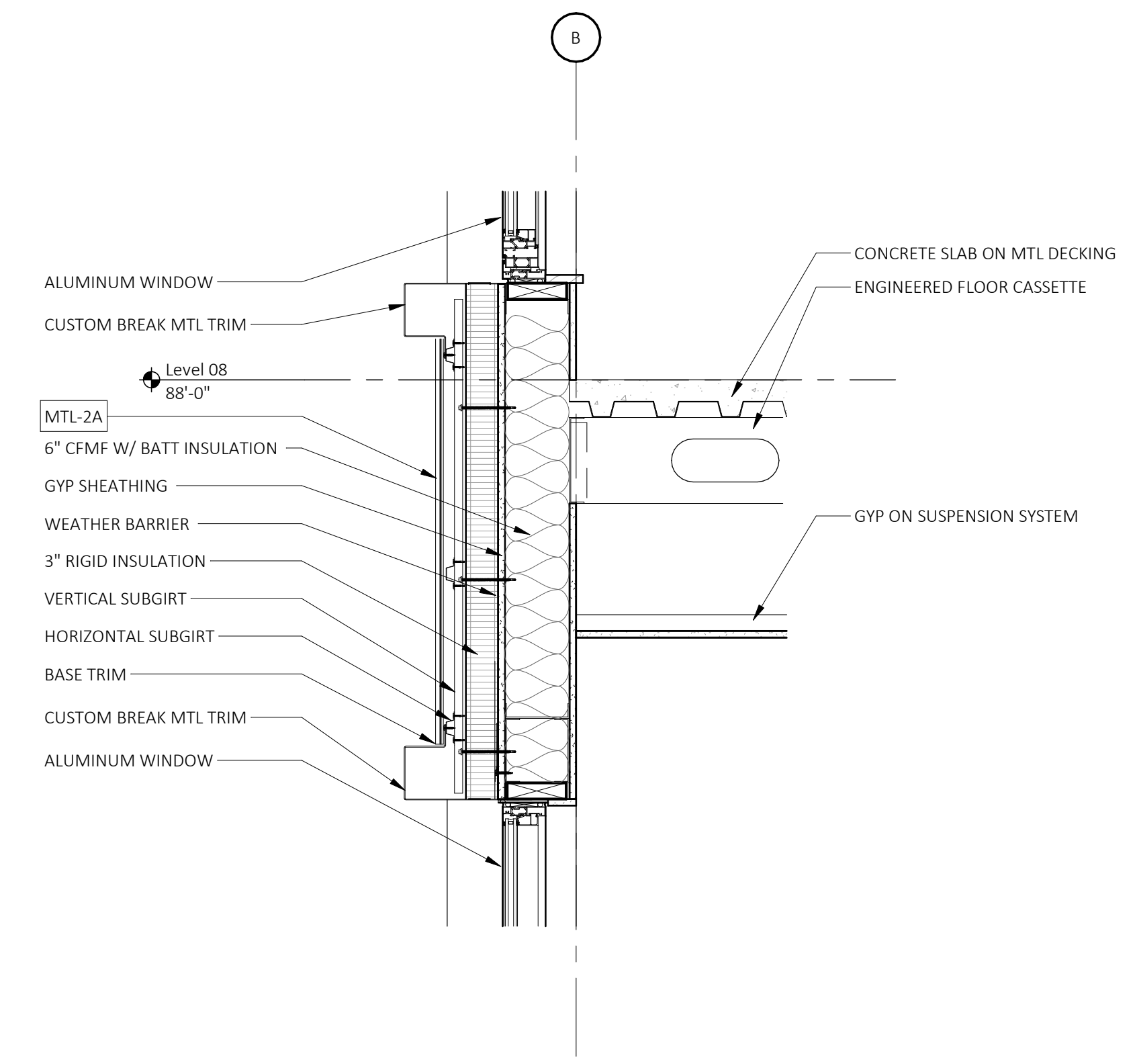




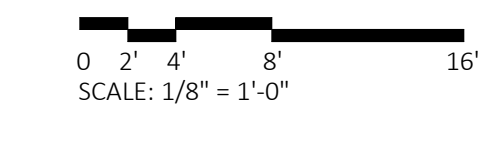




**1 TOWER SOUTH WALL PARAPET**  
 SCALE: 1" = 1'-0"  
 REFERENCE LOCATIONS: A312



**2 TOWER SOUTH WALL TYP SPANDREL**  
 SCALE: 1" = 1'-0"  
 REFERENCE LOCATIONS: A312



OWNER REVIEW	06-02-23
--------------	----------

Revision	Date
----------	------

Date	PERMIT DATE
------	-------------

Project Number	---
----------------	-----

Sheet Title  
**EXTERIOR PLAN/  
 WALL DETAILS**



A600 - WINDOW SCHEDULE								
TYPE	HEIGHT	WIDTH	FRAME		SASH		GLASS	REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH		
A1	5'-0"	4'-10"						
B1	3'-0"	4'-10"	AL	BRONZE			IG-1	
C1	8'-0"	3'-10 171/256"	AL	BRONZE			IG-1	
C2	8'-0"	4'-0"	AL	BRONZE			IG-1	
C3	8'-0"	4'-10"	AL	BRONZE			IG-1	
D1	10'-0"	4'-4 1/2"	AL	BRONZE			IG-1	
D2	10'-0"	4'-10"	AL	BRONZE			IG-1	
E1	6'-6"	3'-4 1/4"	AL				IG-1	
F1	7'-4"	3'-0"	AL				IG-1	
F2	7'-4"	5'-3"	AL				IG-1	

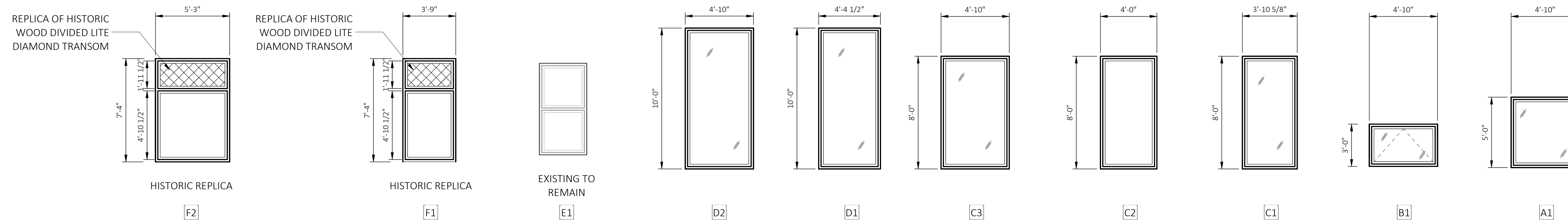
### GENERAL NOTES

- A ALL DIMENSIONS SHALL BE VIF BY CONTRACTOR.
- B COMPLETION OF FACADE RESTORATION AND CLEANING IS RECOMMENDED BEFORE WINDOW INSTALLATION BEGINS. IF FACADE CLEANING OCCURS AFTER WINDOW INSTALLATION/RESTORATION, NEW WORK SHALL BE PROTECTED SUFFICIENTLY TO AVOID DAMAGE TO FINISHES FROM CLEANING SOLUTIONS.
- C PROVIDED ELEVATIONS ARE FOR REFERENCE ONLY AND FOR BIDDING PURPOSES. FINAL LOCATION AND OPERATION SHALL BE CONFIRMED WITH THE FLOOR PLANS PRIOR TO INSTALLATION.
- D PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- E CONTRACTOR TO CONFIRM THAT ALL MATERIALS TO BE REMOVED FOR NEW WINDOW INSTALLATION HAVE BEEN ABATED AS REQUIRED, IF APPLICABLE.
- F NEW WINDOW ASSEMBLIES SHALL BE INSTALLED AT THE SAME DEPTH IN THE ROUGH OPENING FROM THE EXTERIOR FACE OF MASONRY AS THE EXISTING WINDOWS, UNLESS NOTED OTHERWISE.
- G ALL EXISTING MATERIALS/STRUCTURE SHALL BE VERIFIED BY CONTRACTOR TO ENSURE THAT EXISTING SURFACES/STRUCTURE ARE SUITABLE FOR WINDOW INSTALLATION.
- H PROVIDE BARRIER-FREE HARDWARE AT OPERABLE WINDOWS, INCLUDING ANY EXTENSIONS FOR REQUIRED REACH RANGE, AT LOCATIONS NOTED.
- I ANY WINDOWS REMOVED SHALL HAVE NEW WINDOWS INSTALLED, OR OPENING BOARDED UP, AT END OF EACH WORKDAY.
- J PROVIDE OPENING PROTECTIVES PER SPECIFICATIONS. REFER TO LIFE SAFETY PLANS AND ELEVATIONS FOR RATED WINDOW LOCATIONS AND SPECIFICATIONS FOR WINDOW REQUIREMENTS.
- K AT THE ONSET OF DEMOLITION, REMOVE ONE WINDOW FROM EACH TYPICAL CONDITION AND REVIEW CONDITION OF ROUGH OPENING WITH ARCHITECT AND OWNER TO CONFIRM EXTENTS OF DEMO, CONDITION/REPAIR OF UNDERLYING ROUGH OPENING, AND ANY MITIGATION PRIOR TO COMMENCING WITH FULL WINDOW REMOVAL.
- L PROVIDE SOLID DRW BLOCKING AT JAMBS AND HEADER OF ROUGH OPENING AFTER DEMO OF EXISTING WINDOWS FOR ATTACHMENT OF NEW WINDOW ASSEMBLIES.

**KraemerDesignGroup**  
 Detroit, MI | Toledo, OH | Charleston, SC  
 1420 Broadway | Detroit, MI 48226 | (313) 965-5399  
 www.kraemerdsg.com

Architect

### WINDOW ELEVATIONS



### REMARKS

1. NOTE

### WINDOW DETAILS

### GLASS TYPES

- IG-1 INSULATING GLASS UNITS
  - GL-1 MONOLITHIC GLAZING
- (REFER TO SPECIFICATIONS FOR FURTHER INFORMATION ON GLASS TYPES)

### MATERIALS LEGEND

- AL ALUMINUM
- WD WOOD
- ST STEEL
- FG FIBERGLASS
- V VINYL

Consultant

**BASCO**  
 P.C.A.P.T.  
 220 CONGRESS, SUITE 2  
 DETROIT, MI

Owner

**BROADWAY LOFTS**  
 1326-1336 BROADWAY ST  
 DETROIT, MI

Project

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF KRAEMER DESIGN GROUP, LLC AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, LLC.

©COPYRIGHT 2023 KRAEMER DESIGN GROUP, LLC

Revision \_\_\_\_\_ Date \_\_\_\_\_

Date \_\_\_\_\_ PERMIT DATE \_\_\_\_\_

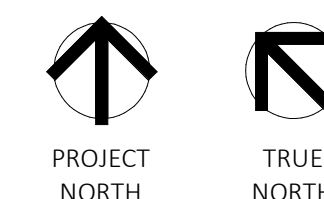
Project Number \_\_\_\_\_

Sheet Title  
**WINDOW  
 ELEVATIONS AND  
 SCHEDULE**

Sheet Number

**A621**

0 2' 4' 8' 16'  
 SCALE: 1/8" = 1'-0"



30 x 42 | PLOTTED ON 6/20/2023 4:27:12 PM | C:\Users\theresa.schorr\Documents\REVIT FILES\2023008 BROWDY LOFTS KDG ARCH v23\_theresa.schorr.rvt







