

DHDC 24-00355

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

7/17/2024

CERTIFICATE OF APPROPRIATENESS

Tim Flintoff
2761 E. Jefferson
Detroit, MI

**RE: Application Number 24-00355; 1108 VAN DYKE; WEST VILLAGE Historic District
Project Scope: DEMOLISH GARAGE; ERECT GARAGE; REHABILITATE DWELLING**

Dear Applicant,

At the Regular Meeting that was held on 7/10/2024, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on 7/17/2024, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

House

- Repair roof as required using in-kind materials. Install new copper colored, aluminum gutters and downspouts. Retain and repair stone coping
- Repair, tuckpoint, and re-paint existing brick as required to match existing to include the west elevation, all existing chimneys, etc.
- Repair all windows as required. Use like materials and match existing profiles when replacing damaged components.
- Repair areas of deteriorated stucco at the exterior to include the addition of a soldier course of brick to the base of the wall, at grade, at the north, south, and east sides.
- Repair and replace wood fascia and trim as required. Use like materials and match existing profiles when replacing damaged components. Paint to match existing
- Retain and repair existing wood shutters. Where shutters are missing, replicate new wood shutters to match existing
- Repair wood porch canopy and columns (North side). Use like materials and match existing profiles when replacing damaged components at the canopy. Install new asphalt shingle roof to match existing. If columns cannot be repaired, they will be replaced with wood columns to match the existing. The existing rough-cut stone bases at the columns will be

retained and reinstalled. The semi-circular stone steps will be retained and repaired with in-kind materials where necessary

- Reconstruct the projecting sun porch bay at the north elevation. Currently, the bay is supported on a wood timber and brick foundation and was originally clad in stucco, although the majority of the stucco has deteriorated. The work at this location will include the following:
 - Salvage the existing windows and have them repaired and reconstructed as required.
 - The wood structure of the bay itself will be temporarily supported as required to remove the existing wood timber and brick foundation below.
 - A new concrete and CMU foundation will be constructed to support a new wood rim joist at the edge of the floor line.
 - All damaged wood cladding, trim, and structure will be removed if beyond repair, and replaced in kind with materials, thicknesses, and profiles to match existing.
 - Existing repaired windows will be reinstalled
 - All wood will be painted white to match existing
- Sitework includes the following
 - Retain and repair the existing brick walkway and brick/stone steps
 - Install a new brick paver patio to the west. Hedges (species not provided) to the west will line the patio
 - Remove three trees

Garage

- Demolish existing garage
- Erect a new garage that has the same footprint as the existing per submitted drawings. The building, which includes a ground floor and a mezzanine level, will measure 20'-9" in height (at the roof ridge line). The roof is side gabled, exterior walls will be clad with lapped cement fiber siding, and windows are aluminum-clad wood units.

However, note that this work has been approved with the following conditions:

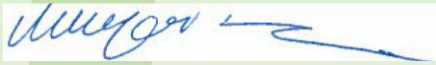
- The wood shutters which were originally located at the building's west side shall be replicated according to the house's appearance in the designation slides.
- Prior to cleaning/removing the paint from any of the existing brick elements at the home and the issuance of the permit, the applicant shall afford HDC staff the opportunity to review the method they shall employ to do the work. Should staff determine that the work will damage the brick, it will be forwarded to the Commission for review at a regular meeting.
- The above-grade portion of the rebuilt projecting sunporch bay's new concrete base shall be clad with stucco and painted so that it has an appearance that is consistent with the rest of the home.
- All remaining shutter dogs/tie backs at all walls and the existing planter box platforms/shelves at the shall be retained.
- The primary entry porch rebuild/repair shall be in kind/match the existing in material, dimension, and design to include the current brick

elements.

- The new patio design shall be executed per the drawings submitted to the HDC on 7/10/2024 (see the attached)
- The existing honey locust tree to the west of the house shall be evaluated to see if it can be safely trimmed/cut back to preserve and protect the structure. An arborist will submit a report to confirm if this is possible to staff for review
- If the honey locust tree to the west of the house will be kept, the construction drawings shall be revised to show protection around its dripline to ensure its health during construction of the patio
- If the honey locust tree to the west of the house will be removed, it shall be replaced with a new large shade tree

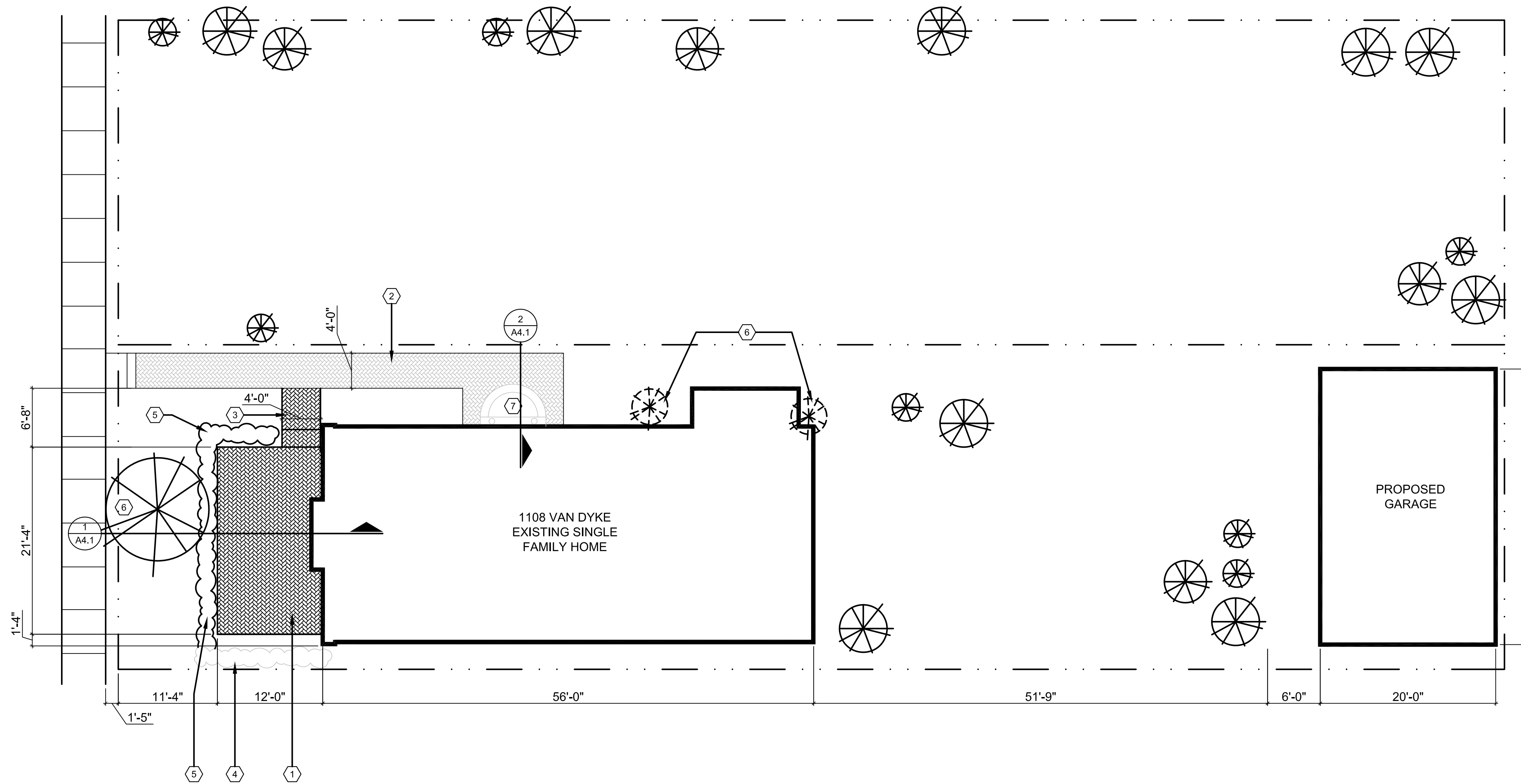
Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:

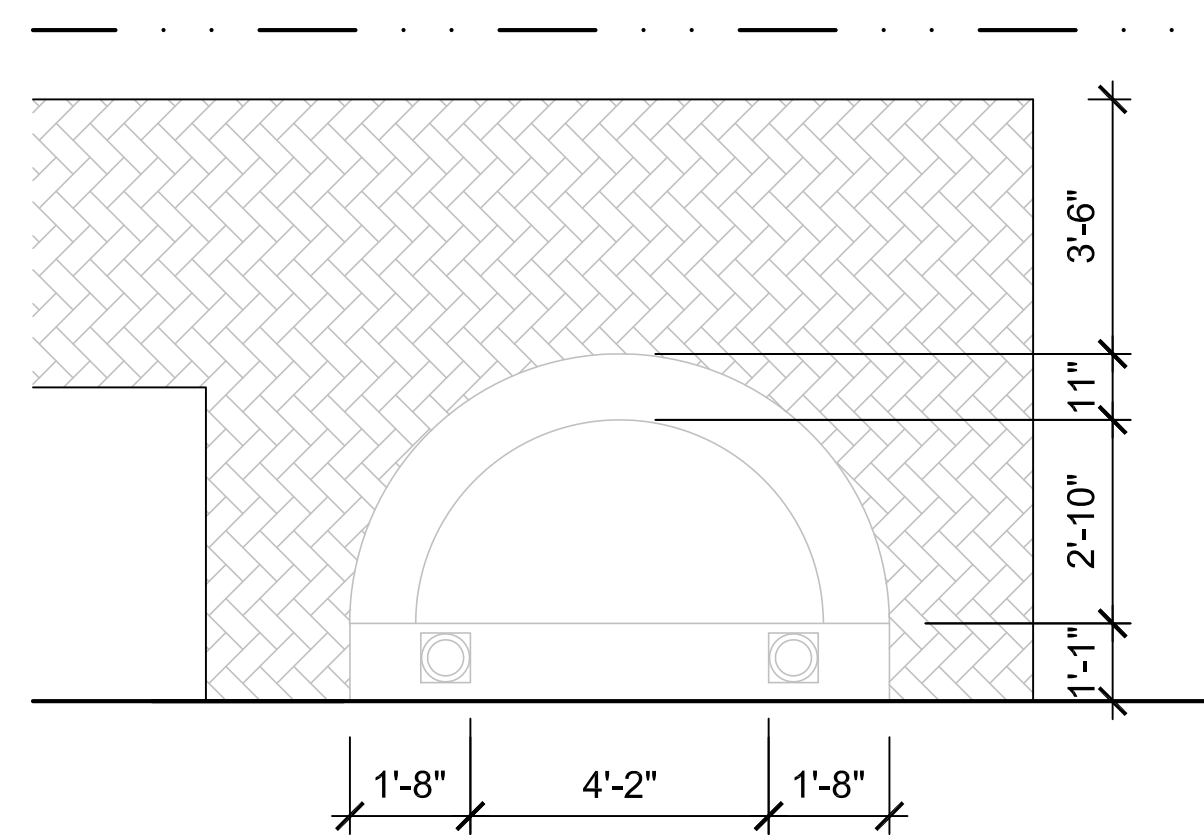


Jennifer Ross
Detroit Historic District Commission

GENERAL PLAN NOTE:
 ALL EXISTING PLANTINGS ON SITE TO REMAIN, UNLESS NOTED OTHERWISE.



SITE PLAN
 SCALE: 1/8"=1'-0"



PORCH PLAN DETAIL
 SCALE: 3/8"=1'-0"

- SITE PLAN KEY NOTES:**
 (TYPICAL THIS SHEET ONLY)
- ① NEW BRICK PATIO TO MATCH EXISTING
 - ② EXISTING BRICK PATH / STAIRS TO REMAIN
 - ③ NEW BRICK STAIR TO MATCH EXISTING
 - ④ EXISTING HEDGE
 - ⑤ NEW HEDGE
 - ⑥ TREE TO REMAIN IF DEEMED VIABLE BY ARBORISTS; REPLACE IF NOT FOUND VIABLE
 - ⑦ EXISTING PORCH TO BE REPAIRED- EXISTING FOOTPRINT TO REMAIN

ARCHITECT:
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CONSULTANT:

Project :
 1108 VAN DYKE ST.
 DETROIT, MI 48214

Issued for :
 HDC 07/10/2024

Drawn by :
 ANJ

Check by :
 THF

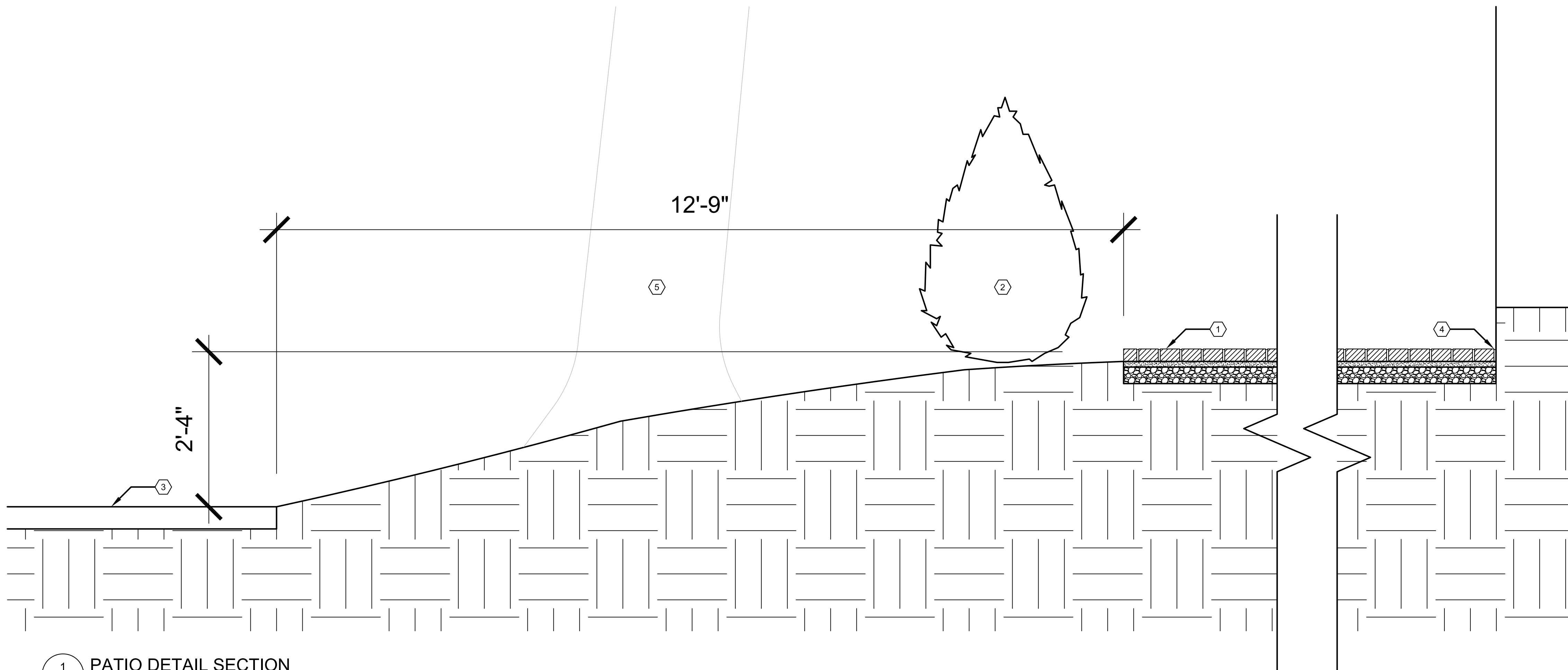
Sheet Title :
 SITE PLAN

Project No. :
 2023015

Sheet No. :
SP1.1

NOT FOR CONSTRUCTION

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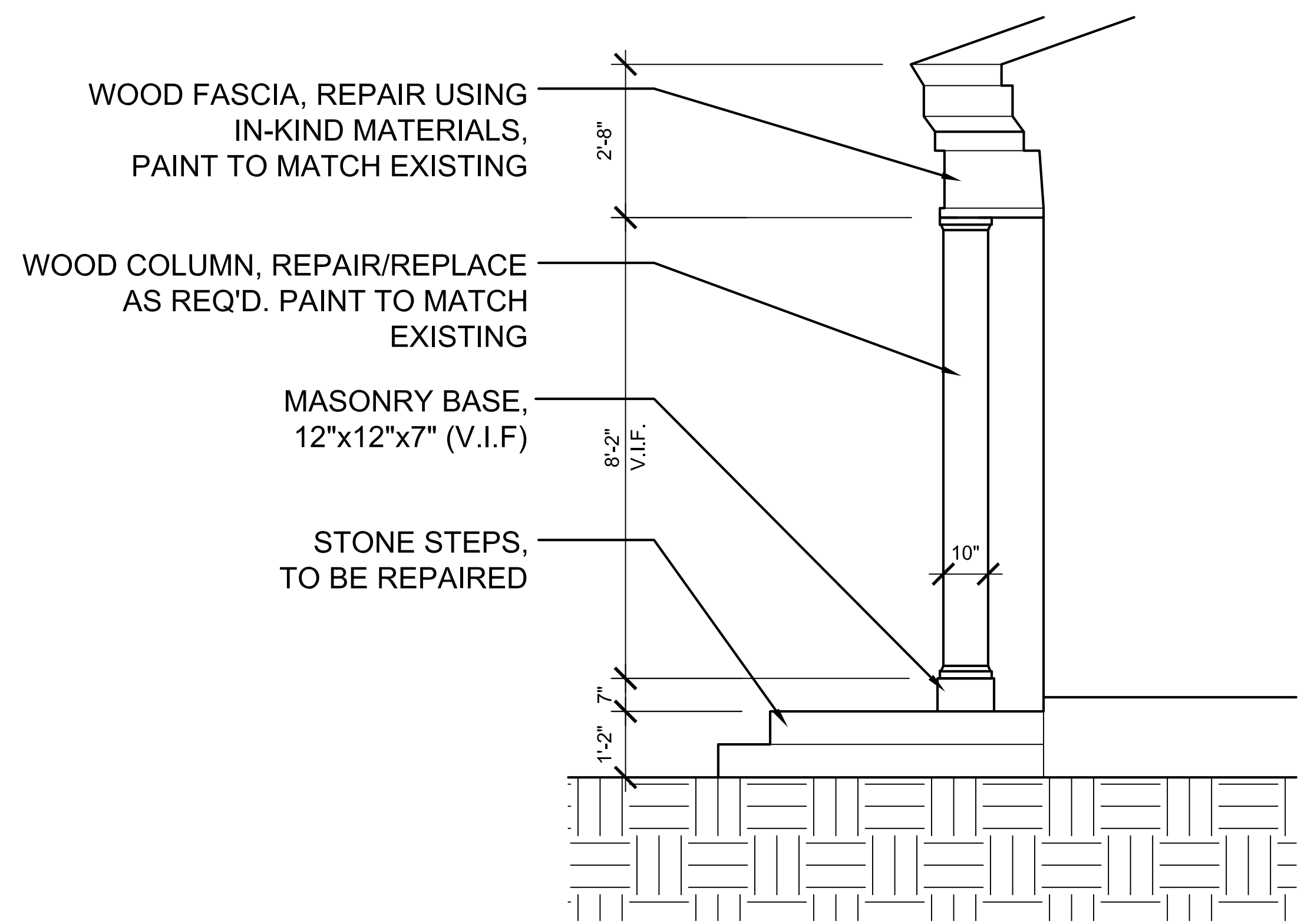


1 PATIO DETAIL SECTION
 SP1.1 SCALE: 1/2" = 1'-0"

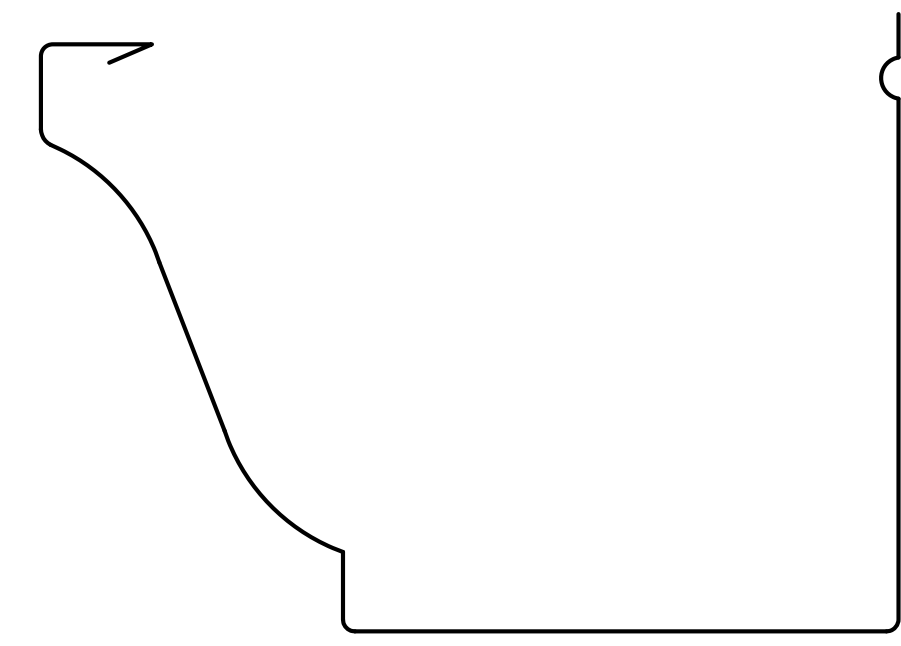
SECTION KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- 1 BRICK (MATCH TO EXISTING WALKWAY) PAVERS ON SAND ON COMP. GRAVEL FILL
- 2 DECORATIVE HEDGE
- 3 EXISTING SIDEWALK
- 4 EXPANSION JOINT AS REQ'D
- 5 EXISTING / REPLACEMENT TREE (SEE SITE PLAN)



2 PORCH DETAIL SECTION
 SP1.1 SCALE: 1/2" = 1'-0"



3 K-STYLE GUTTER PROFILE
 A3.1 NOT TO SCALE

ARCHITECT:
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Sheet Title :
 DETAIL
 SECTIONS

Project No. :
 2023015

Sheet No. :
A4.1

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