



May 18, 2021

CERTIFICATE OF APPROPRIATENESS

Emily Peterson
Nepelu LLC
1951 Chicago Boulevard
Detroit, MI 48206

RE: Application Number 21-7222; 1920 Atkinson, Atkinson Avenue Historic District

Dear Ms. Peterson:

At the regularly scheduled meeting held virtually on May 12, 2021, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of May 18, 2021.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Rehabilitation and adaptive reuse of the house (first floor as restaurant, upper floors as residential apartments), the construction of a rear yard patio and pergola that will connect to the patio at the adjacent property (9321 Rosa Parks Boulevard), and the construction of three parking spaces at the alley for the use of the residential apartments.

- 01: All Windows will be either repaired to previous historic condition or rebuilt using the same materials and will be painted with historical colors per drawing set.
 - Including trim, sash, and sills to match existing profiles.
 - Sash to be painted B:18 Dark Reddish Brown; Trim to be painted A:8 Blackish Green
 - Window sash for window opening W22 is no longer present; a metal frame for the three-part unit remains.
- 02: Elimination of an Existing Window (DW) for New Residential Door Entrance (103) at the back of the building.
 - New door sill height.
- 03: Move the Door (103) higher and further west to accommodate the new Residential Door Entrance (103) at the back of the building.
- 04: Replace All Exterior Doors (See Drawings).
 - Door 100, 102, 103 to be commercial grade with weatherstrip, sweep, and threshold. Paint historical colors per drawing set.
 - Door 104 & 105. Paint historical colors per drawing set.

- Trim to match existing profile and lite configuration to mimic adjacent windows. Paint historical colors per drawing set.
- New doors will be fiberglass. Door design - flush panel with glass opening (four-over-six pattern) on upper-half of door. Doors will be built by historic window contractor and true divided lights will fill the glass area.
- 05: Front Porch to be Rebuilt and Widened in Same Materials as Existing.
 - One set of stairs to be added to the front elevation porch at the southeast corner.
 - Existing porch will not be removed. It will remain at the same height and become four feet wider.
- 06: Demolished Rear Porch will be removed. New Wood Deck for Outdoor Patio with Pergola.
- 07: New ADA Ramp Connected to Existing Ramp at 9321 Rosa Parks
- 08: Tuck Pointing and Repair of Existing Masonry as Needed.
- 09: Existing Gutters to be Repaired and Painted A:8 Blackish Green
- 10: Construct three parking spaces at rear of lot between back of enclosed deck/pergola and alley.

The COA was issued with the following conditions:

- The three windows that need to be fabricated for window opening W22 will be wood (with wood exterior), double-hung windows with true-divided, or simulated divided, light glass. Mullions, similar to the dimensions of structural historic mullions will be fabricated and installed. The existing wood window casings will remain and be repaired as needed. Finish color for this opening will match the remaining windows and trim. The window order confirming dimensions, operation, material, and finish shall be submitted for staff review.
- A catalog cut for the rear entry railing will be submitted for staff review.
- Evidence of the window and door opening proposed for removal on the rear elevation will be retained and will consist of: the double rowlock headers and the brick infill will be laid in a running bond pattern within the openings. Vertical joints will be used to separate the infill brick from the existing brick wall.
- If new brick is needed within this project, it shall match the historic brick in density, dimension, color and pattern.
- New mortar shall match the existing mortar in composition and color, the mortar joints shall match in dimension and profile.
- Lighter, contrasting color(s), sympathetic to the color palette of Color System C, will be selected for the windows and trim and will be submitted to HDC staff for review and approval.
 - *5/11 applicant email:* Window/Building Trim: C4-Yellowish White; Window Sash, Doors, Gutters/Downspouts: B19-Black.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Audra Dye
Staff, Detroit Historic District Commission

iannuzzi studio

architecture + design

DHDC NARRATIVE

Existing Conditions

Built in 1920, 1920 Atkinson St is a 2½ story 2,305 sq ft brick building with an asphalt gable roof that has been abandoned for 30+ years. It is constructed with wood framing and features a front porch. Currently, it has been boarded and demoed to the studs by previous owners. The property has no gutters, mechanical, electrical, or plumbing. It is missing internal floors and internal stairs, rot is prevalent.

Project Description

The building at 1920 Atkinson has been abandoned for over 30 years and fallen into disrepair, creating an unwanted eyesore for the area. This project will bring new life into the property that would benefit the entire community and create the missing piece to a commercial corner at the cross section of Atkinson Street and Rosa Parks Blvd, across the street from Gordon Park. The overall goal is to increase population density and encourage more walkable areas for residents of Boston Edison, Atkinson, and Clairmont.

1920 Atkinson was acquired from the Landbank by the same owners of The Congregation Detroit (which was an abandoned church turned into a café) to offer the local community more amenities by renovating this 100-year house. Since the acquisition, the owners have received approval and converted the property's zoning from residential to SD-1 with overwhelming support of the community and community leaders.

The proposed project will be a mixed-use building with a restaurant on the first floor and two apartments on the remaining floors. With the restaurant, there will be an outdoor wood deck seating with pergola on the north side of the building (back of the property) matching the design of The Congregation Detroit, a project approved by HDC. The deck will connect to the ADA ramp from The Congregation Detroit, which will make the combined properties an even larger asset for the local community.

All windows, brickmolds, and windowsills will be repaired to previous historic condition or rebuilt using the same materials. A window on the north side (back of the building) will be bricked in as it conflicts with the new residential entrance for which the door sill will be raised to allow for enough head clearance for new internal stairs.

All exterior doors are non-historic and rotted or non-existent and will be replaced by doors that match the historic windows. Some of the door wood trims are rotted and may need to be replaced. Trims that cannot be repaired will be replaced with ones built to match existing. Because the first floor will be a commercial space, all existing doors are not to code and must swing out.

iannuzzi studio

architecture + design

DHDC NARRATIVE

Proposed Work for Approval

- *01: All Windows will be Either Repaired to Previous Historic Condition or Rebuilt Using the Same Materials and will be Painted with Historical Colors per Drawing Set.*
 - A. Including trim, sash, and sills to match existing profiles.
- *02: Elimination of an Existing Window (DW) for New Residential Door Entrance (103) at the back of the building.*
 - A. New door sill height.
- *03: Move the Door (D103) higher and further west to accommodate for the New Residential Door Entrance (103) at the back of the building.*
- *04: Replace All Exterior Doors (See Drawings).*
 - A. Door 100, 102, 103 to be commercial grade with weatherstrip, sweep, and threshold. Paint historical colors per drawing set.
 - B. Door 104 & 105. Paint historical colors per drawing set.
 - B. Trim to match existing profile and lite configuration to mimic adjacent windows. Paint historical colors per drawing set.
- *05: Front Porch to be Rebuilt and Widened in Same Materials as Existing (See Drawings).*
- *06: Demolished Rear Porch will be removed. New Wood Deck for Outdoor Patio with Pergola.*
- *07: New ADA Ramp Connected to Existing Congregation Ramp.*
- *08: Tuck Pointing and Repair of Existing Masonry as Needed.*
- *09: Existing Gutters to be Repaired and Painted A:8 Blackish Green*

- *10: Three New Parking Spots for Tenants Adjacent to the Rear Porch*

THE RECTORY

1920 ATKINSON ST.

Detroit, Michigan 48206

Owner:
Amy Peterson, Antonio Luck, Betsy Murdoch

Architect:
Iannuzzi Studio PLLC
1410 Service St. Suite 202
Detroit, MI 48207

Contact: David Iannuzzi, AIA
T: 313.920.5688
di@iannuzzistudio.com

General Contractor:
T.B.D.

Structural Engineer:
T.B.D.

Mechanical Engineer:
M A Engineering
400 S. Old Woodward Ave., Suite 100
Birmingham, MI 48009

T: 248.258.1610

General Requirements

SUMMARY OF WORK
Provide all labor, materials, equipment, and services and provide all operations required to accomplish the work as indicated and/or implied by the drawings and these general notes and specifications.

0141 CODES AND ORDINANCES

All construction to comply with all applicable codes, ordinances, safety orders and regulations including building, Americans with Disabilities Act ADA, OSHA, plumbing, mechanical, and electrical codes, ordinances and requirements.

Plans, notes, and specifications are done to the reference code listed as of the date originally prepared. Any use in other jurisdictions will require these documents to be reviewed and/or modified by a local design professional licensed to practice in that jurisdiction.

PERMITS AND TESTS

Obtain and pay for all required permits, inspections, and tests. All re-inspection fees for work not ready or in compliance with local codes to be paid for by Contractor.

INSURANCE

All Contractors shall carry broad form, comprehensive liability insurance (minimum \$1,000,000 liability) and workmen's compensation insurance and shall submit certificates of insurance to the Owner prior to execution of any work. All Contractors shall name Iannuzzi Studio PLLC, Nepelu LLC, and financing organizations as additional insured on all insurance policies.

COORDINATION WITH OTHER TRADES

Coordinate all work before and during construction with all other affected trades. Where interferences develop notify architect. Relocation of conflicting installed work due to lack of coordination or poor coordination will not be considered extra work.

WORKMANSHIP

All work executed shall be performed in a first class and safe, workmanlike manner in accordance with the latest accepted standards and practice for the work involved. The workmanship shall be subject to the approval of the Owner at all times.

SCHEDULE

Within 7 days after date of Agreement, submit preliminary schedule defining planned operations for the first 60 days of Work, with a general outline for remainder of Work. Within 7 days after date of joint review, submit complete schedule. If preliminary schedule requires revision after review, submit revised schedule within 7 days. Show complete sequence of construction by activity, with dates for beginning and completion of each element of construction.

EXAMINATION OF EXISTING CONDITIONS

Before submitting proposals for the work, the Contractor shall be held to have examined the site and satisfied as to the existing conditions under which it will be obliged to operate in performance of the work. Contractor shall inform the Owner of any probable contingencies, which may influence the execution of the work with their bid. No extras will be allowed to the Contractor because of their failure to make this specified examination or neglect to include all materials and labor required in their work. Contractor to notify Architect of any hidden conditions for which an extra time or money is going to be requested prior to proceeding with the work. Failure to notify may result in denial of the extra expense.

APPROVED MANUFACTURERS

Use only materials specifically indicated in contract documents, or comparable materials by other listed acceptable or Architect-approved manufacturers. Note that "acceptable manufacturer" does not constitute automatic approval of specific materials by one or all of the listed acceptable manufacturers. Architect reserves the right of final determination of acceptability of each item.

SUBMISSION OF SHOP DRAWINGS AND CUT SHEETS

Submit complete shop drawings and/or manufacturer's cut sheets for all materials, fabrication, and equipment intended for use on this project. Shop drawings shall clearly indicate all physical and performance characteristics for all materials and equipment. Submit electronic copies of all shop drawings for review by architect. No work is to be installed prior to review and return of architect-approved shop drawings.

APPROVAL OF SHOP DRAWINGS

Architect's review/approval of shop drawings is for adherence to design concept only. General and sub-contractors, suppliers, and fabricators to field verify all dimensions and site conditions for compliance with shop drawing requirements prior to release for fabrication. Architect to be given 10 days minimum to review all required shop drawings and/or selections.

DIMENSIONS

Review and verify all dimensions on the drawings before commencing with the work. If dimensional errors occur, the Contractor shall notify the Architect before proceeding with the work. DO NOT SCALE DRAWINGS. Any Contractor that scales a drawing to determine a location for any part of the work shall take full responsibility, should that portion of the work be improperly located.

ERRORS AND OMISSIONS

Any errors, omissions, or conflicts between various elements on the drawings and/or in these general notes shall be brought to the attention of the Architect before proceeding with the work. Failure to do so shall result in the Contractor taking full responsibility and liability for the work as installed.

Applicable Codes

All construction to comply with all applicable codes including local building, plumbing, mechanical, and electrical codes, ordinances and requirements.

2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
ALTERATION LEVEL III
2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN ELECTRICAL CODE
2015 MICHIGAN PLUMBING CODE
2015 UNIFORM ENERGY CODE

LEGAL DESCRIPTION
PROPERTY EXEMPT FROM AD VALOREM TAXES AND ASSESSED ON THE SPECIAL ACT ROLL PURSUANT TO PA261 OF 2003 EXPIRING 12/30/2024. N ATKINSON 680 JOY ARM SUB L32 P40 PLATS, WOR # 40 X 133.5
PARCEL ID: 08002810

ZONING CLASSIFICATION SD-1

BUILDING AREA	Area	Sq. Ft.
Basement		926 sq. ft.
First Floor		926 sq. ft.
Second Floor		909 sq. ft.
Third Floor		467 sq. ft.
Gross Square Footage		3,228sq. ft.

CONSTRUCTION TYPE

FIRE RESISTANCE RATING (MBC TABLE 601)

Primary Structural Frame	0	Wood Framing
Bearing walls		
Interior	0	Wood Framing
Exterior	2	Brick Masonry
Nonbearing		
Interior	0	Wood Framing
Exterior	0	Brick Masonry
Floor/Roof	0	Wood Framing

OCCUPANCY AND USE

Use classification	A-2 Assembly
	R-2 Residential

OCCUPANT LOAD FACTOR(TABLE NO. 1004.1.2 - MBC 2015)

Type	Area/Occupancy	Total
FIRST FLOOR		
Interior Restaurant	sf / 15/ occ	occupants
Kitchen/Bar	sf /200/occ	occupants
Storage	sf /300/occ	occupants
Business	sf/100/occ	occupants
SECOND FLOOR		
Residential	sf/200/occ	occupants
THIRD FLOOR		
Residential	sf/200/occ	occupants
BUILDING TOTAL		OCCUPANTS

FIRE SUPPRESSION REQUIREMENTS

Required for use over 100 occupants - OK
Required for use over 5,000 sq. ft. - OK
Required for use with fire area on a floor other than the level of exit discharge serving such occupancies - OK

MEANS OF EGRESS AND EXIT ACCESS

Egress Capacity	Width
0.2' (door) 46 persons	9.2'
# Exits Required	Provided
1st floor 2 for occ < 501 persons	x
Max Egress Travel Distance 200' for use - OK (TABLE NO. 1017.2 - MBC)	

REQUIRED PLUMBING FACILITIES (TABLE NO. 403.1 - MPC 2015)

Water Closet:	Required: 1 per 75F; 1/75M Occ. (2)	Provided: Single Occ.
Lavatory:	1/200 Occ. (2)	Total
Drinking Ftn:	1	0 Drinking Fountain
Service Sink:	1	Service Sink

410.4 Substitution

Where restaurants provide drinking water in a container free of charge, drinking fountains shall not be required in those restaurants. In other occupancies where drinking fountains are required, water dispensers shall be permitted to be substituted for not more than 50 percent of the required number of drinking fountains. -OK

Scope of Work / General Notes:

RENOVATION OF EXISTING BUILDING, FIRST FLOOR RESTAURANT, SECOND AND THIRD FLOOR DWELLING.

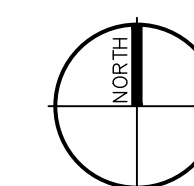
Sheet Index:

- ISSUED SHEET
- ISSUED FOR REFERENCE ONLY
- ☐ NOT INCLUDED / NOT ISSUED

Sheet No.	Description	Issued	For Reference	Not Included
A0.0	COVER SHEET	●		
A0.1	ARCHITECTURAL SITE PLAN	●		
A0.2	LIFE SAFETY PLAN			
ARCHITECTURAL				
D1.0	DEMO PLANS	●		
D2.0	DEMO ELEVATIONS	●		
A1.0	FLOOR PLANS	●		
A1.1	REFLECTED CEILING PLANS			
A2.0	EXTERIOR ELEVATIONS	●		
A2.1	EXTERIOR ELEVATIONS	●		
A3.0	BUILDING SECTION			
A3.1	WALL SECTIONS			
A4.0	INTERIOR ELEVATIONS			
A7.0	SCHEDULES	●		

Table of Contents

Site Plan	Page 01
Demo Plans	Page 02
Demo Elevations	Page 03
Floor Plans	Page 04
Exterior Elevations	Page 05
Exterior Elevations	Page 06
Schedule	Page 07
Exist. Site Photos	Page 08
Exist. Elevation Photos	Page 09
Exist. Elevation Photos	Page 10
Exist. Details Photos	Page 11
Exist. Details Photos	Page 12
Pergola Proposal	Page 13
Pergola Proposal	Page 14



Site Location Map
Not To Scale

Iannuzzi Studio
ARCHITECTURE + DESIGN

1410 Service St. Suite 202
Detroit, MI 48207

T: 313.625.9500
iannuzziStudio.com

PROJECT:

The Rectory
1920 Atkinson St.
Detroit, MI 48206

DATE: ISSUED FOR:

04 - 12 - 2021 HDC Set

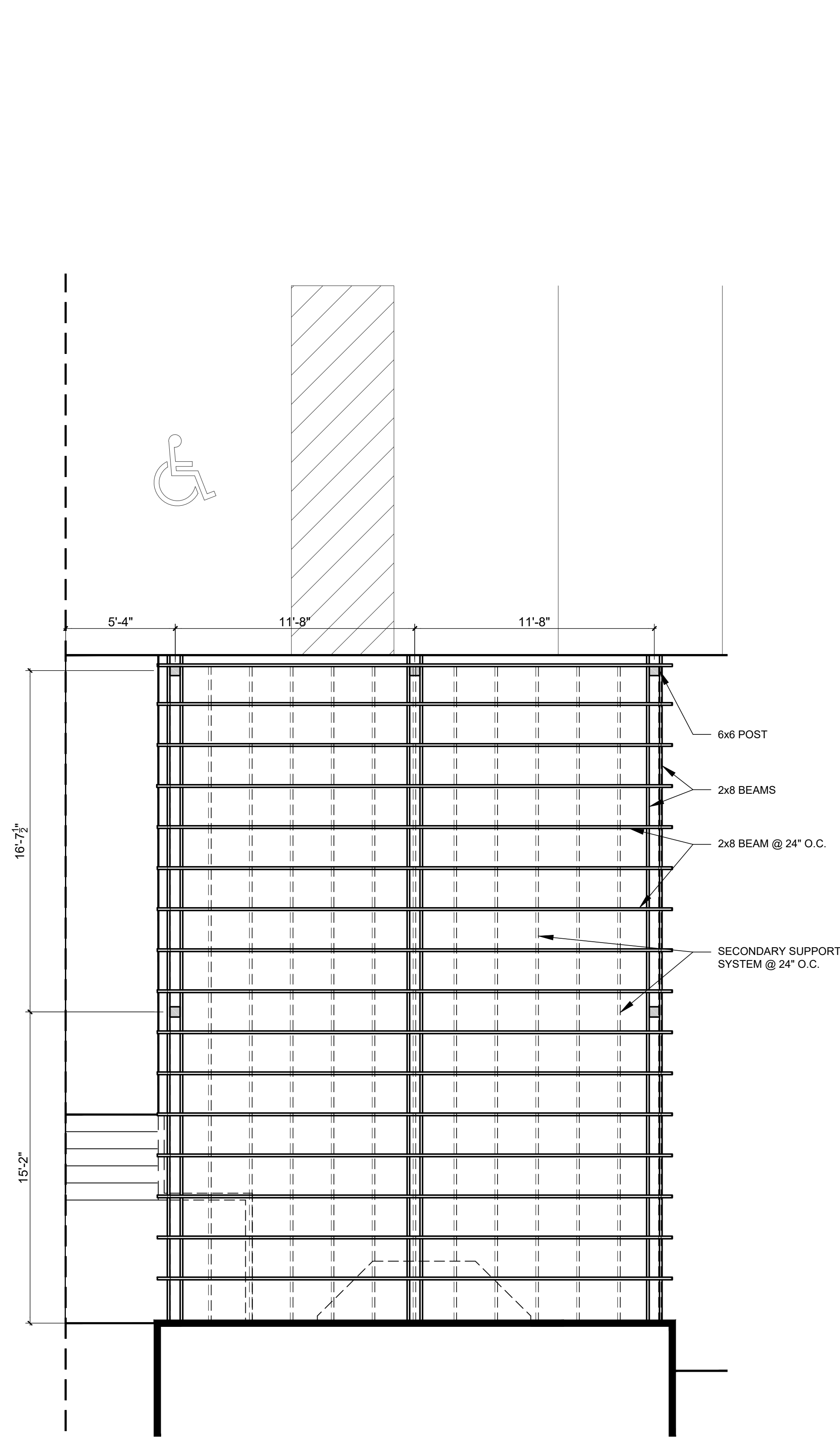
SHEET NUMBER:

A0.0

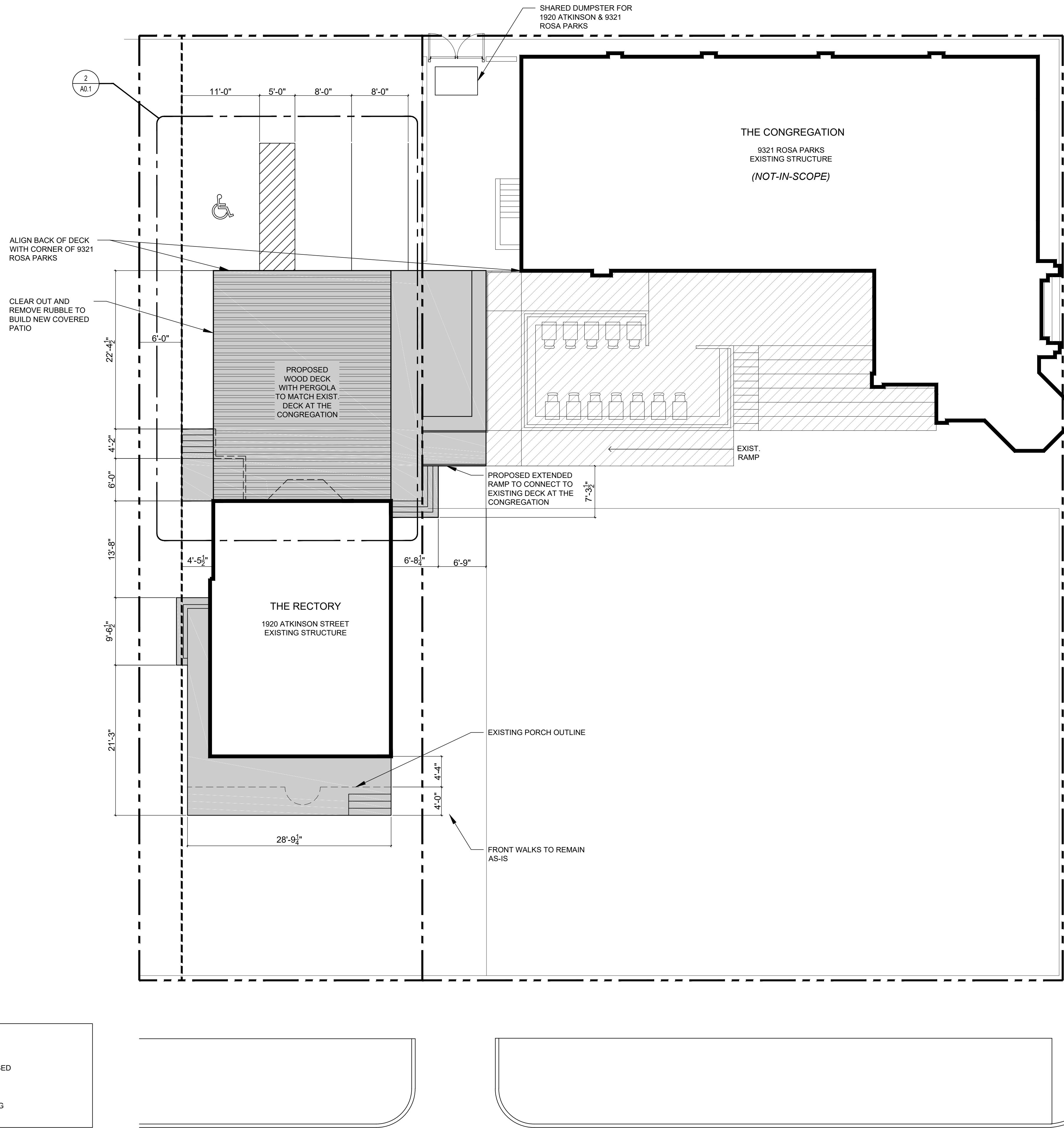
SHEET TITLE:

COVER SHEET

© Iannuzzi Studio PLLC 2019



2 Enlarged Site Plan
A0.1 1/4" = 1'-0"



SITE PLAN NOTES

- PROPOSED
- EXISTING

1 Site Plan
A0.1 1/8" = 1'-0"

ROSA PARKS BLVD.

Iannuzzi Studio
ARCHITECTURE + DESIGN
1410 Service St. Suite 202
Detroit, MI 48207
T: 313.625.9500
IannuzziStudio.com

PROJECT:
The Rectory
1920 Atkinson St.
Detroit, MI 48206

DATE: ISSUED FOR:
04 - 12 - 2021 HDC Set

SHEET NUMBER:
A0.1
SHEET TITLE:
ARCHITECTURAL
SITE PLAN
© Iannuzzi Studio PLLC 2019

DEMOLITION WALL KEY

 EXISTING WALL TO BE DEMOLISHED

 EXISTING WALL TO REMAIN

ARCHITECTURE KEY NOTES

D100

D101 REMOVE EXISTING INTERIOR WALLS, TYP.

D102 REMOVE STAIRS AND LANDING AND PREP FOR NEW WORK.
REMOVE FLOORING AND PREP FOR NEW WORK

D103

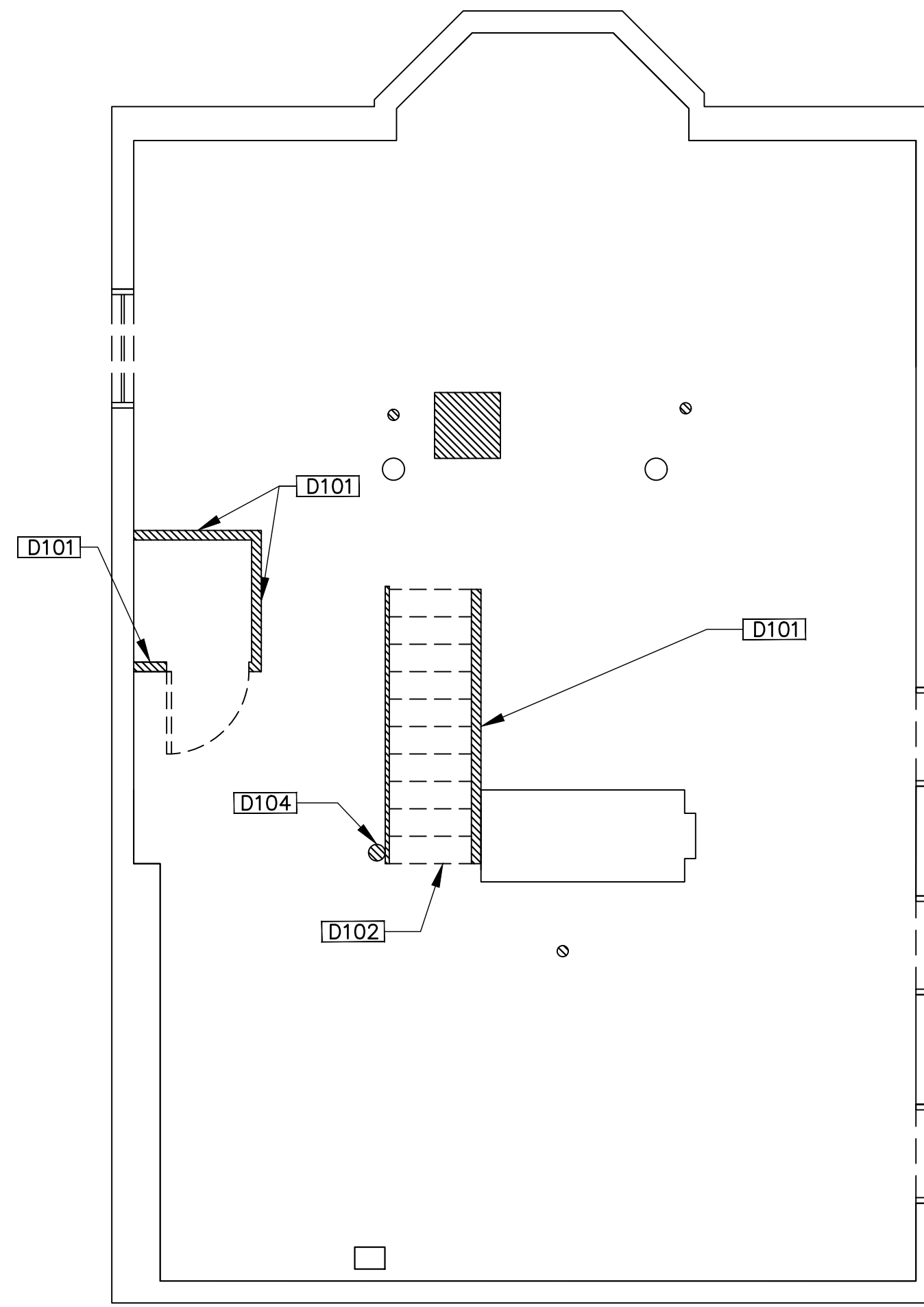
D104


D105 REMOVE EXISTING MASONRY WALL AND PREPARE FOR NEW DOOR

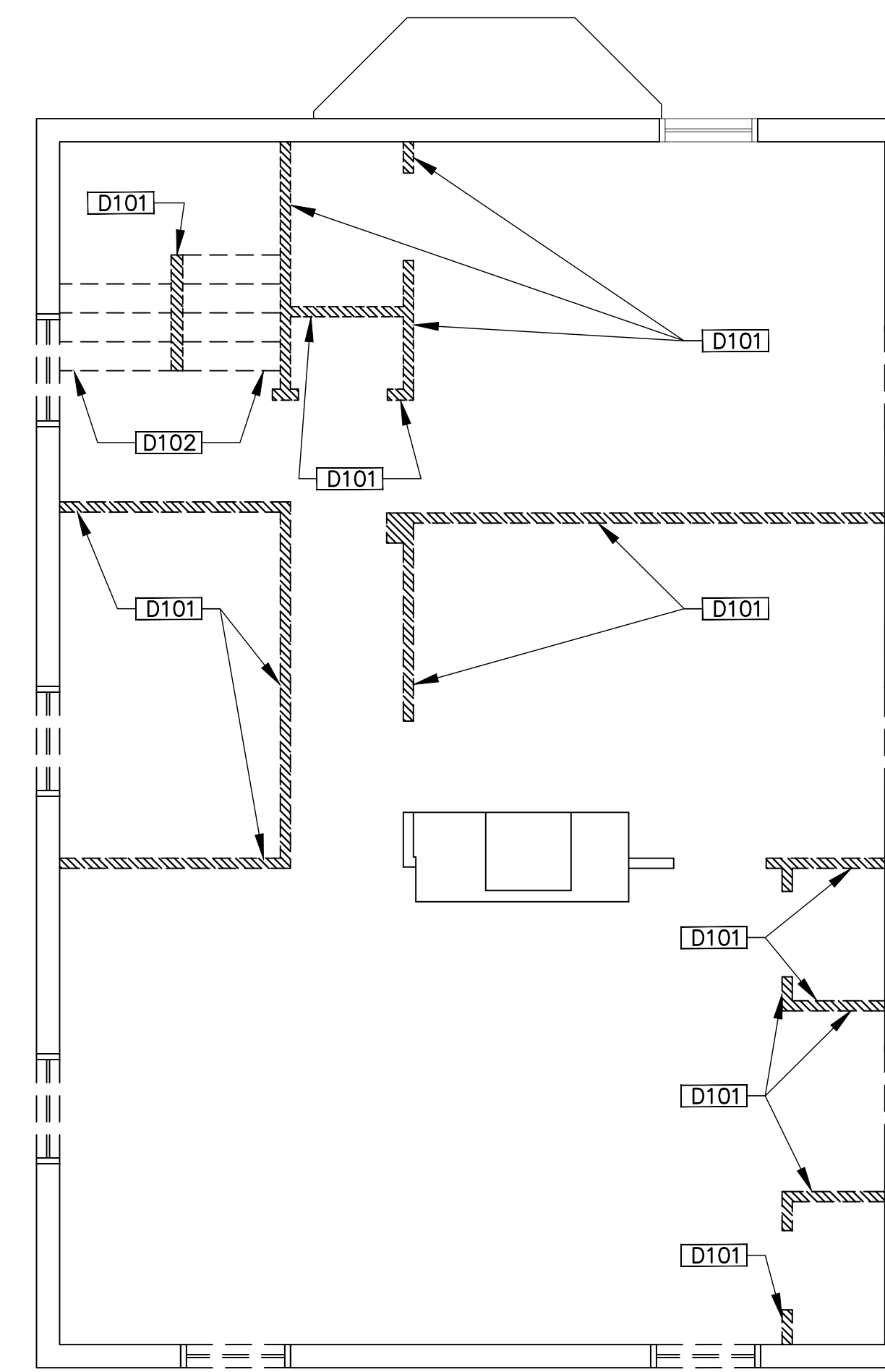
D106


GENERAL NOTES

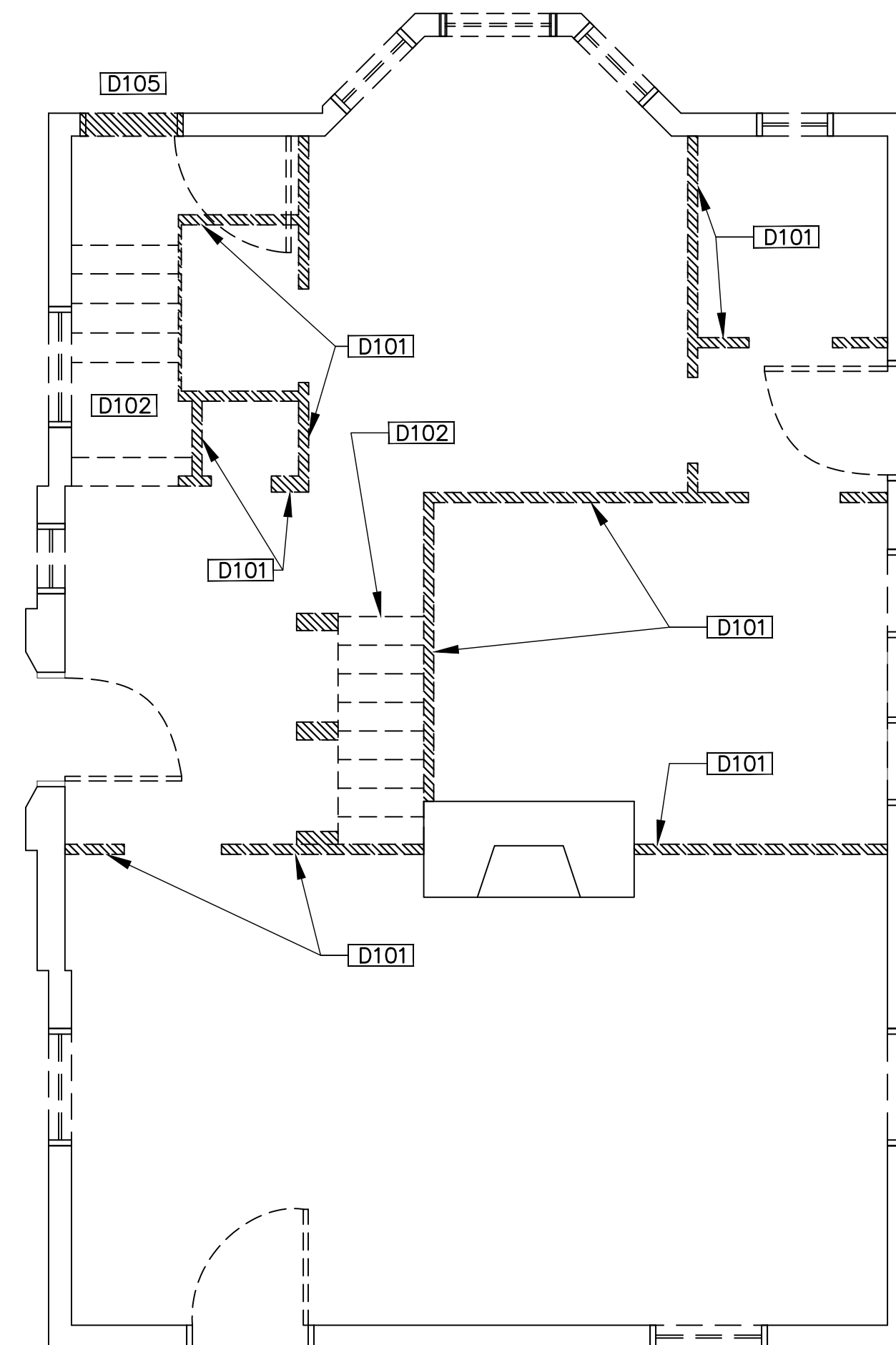
1: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE C:4 YELLOWISH WHITE WITH B:19 BLACK FOR THE TRIM PER HDC'S DESIGN GUIDELINES




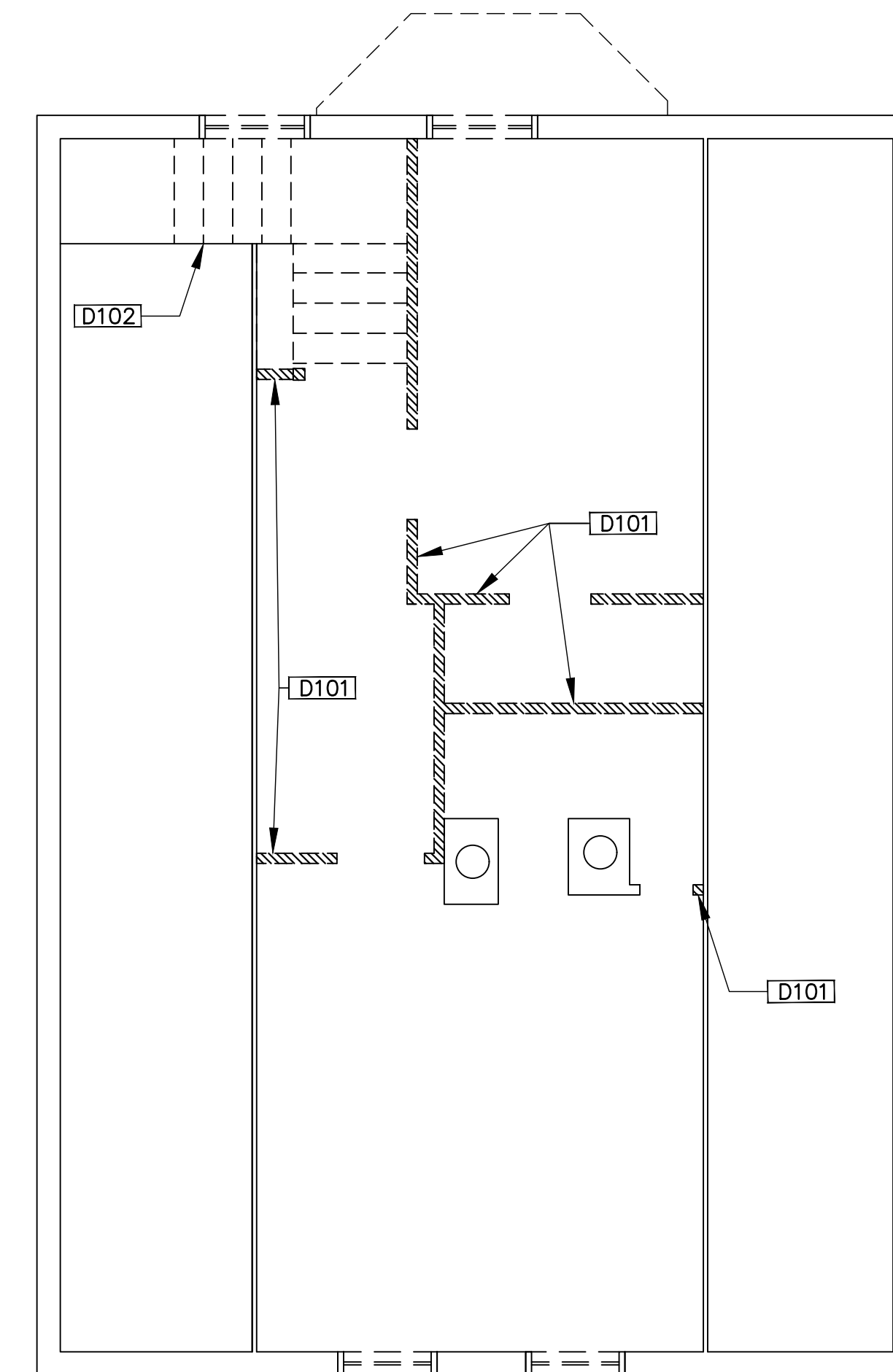
 **1** Basement Level-Demo Plan
D1.0 1/4" = 1'-0"




 **3** Second Level-Demo Plan
D1.0 1/4" = 1'-0"



 **2** First Level-Demo Plan
D1.0 1/4" = 1'-0"



 **4** Third Level-Demo Plan
D1.0 1/4" = 1'-0"

ARCHITECTURE KEY NOTES

D100

D106 SALVAGE BRICK FROM CRUMBLD BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

D101 REMOVE EXISTING INTERIOR WALLS, TYP.

D107 INSTALL NEW FLAT ROOF TO ACCOMMODATE FOR SLOPING PERGOLA

D102 REMOVE STAIRS AND LANDING AND PREP FOR NEW WORK. REMOVE FLOORING AND PREP FOR NEW WORK

D108 REMOVE EXISTING WINDOW. FILL IN WITH MATCHING HOUSE BRICK

D103 REMOVE DOORS

D104

D105 REMOVE EXISTING MASONRY WALL AND PREPARE FOR NEW DOOR

GENERAL NOTES

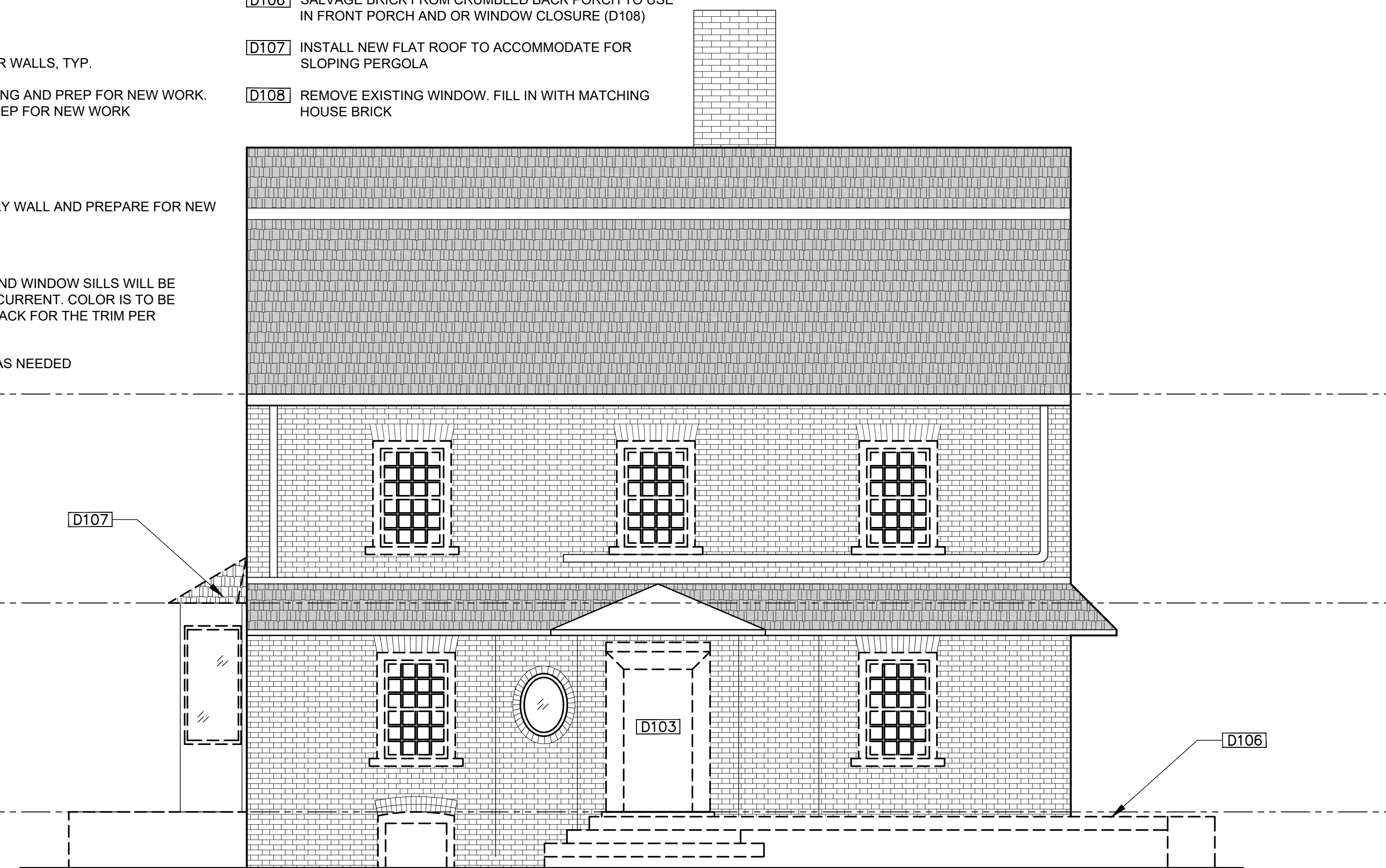
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE C-4 YELLOWISH WHITE WITH B-19 BLACK FOR THE TRIM PER HDC'S DESIGN GUIDELINES

2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

ATTIC
EL. = 118'-3"

2nd LEVEL
EL. = 109'-1 1/2"

1st LEVEL
EL. = 100'-0"

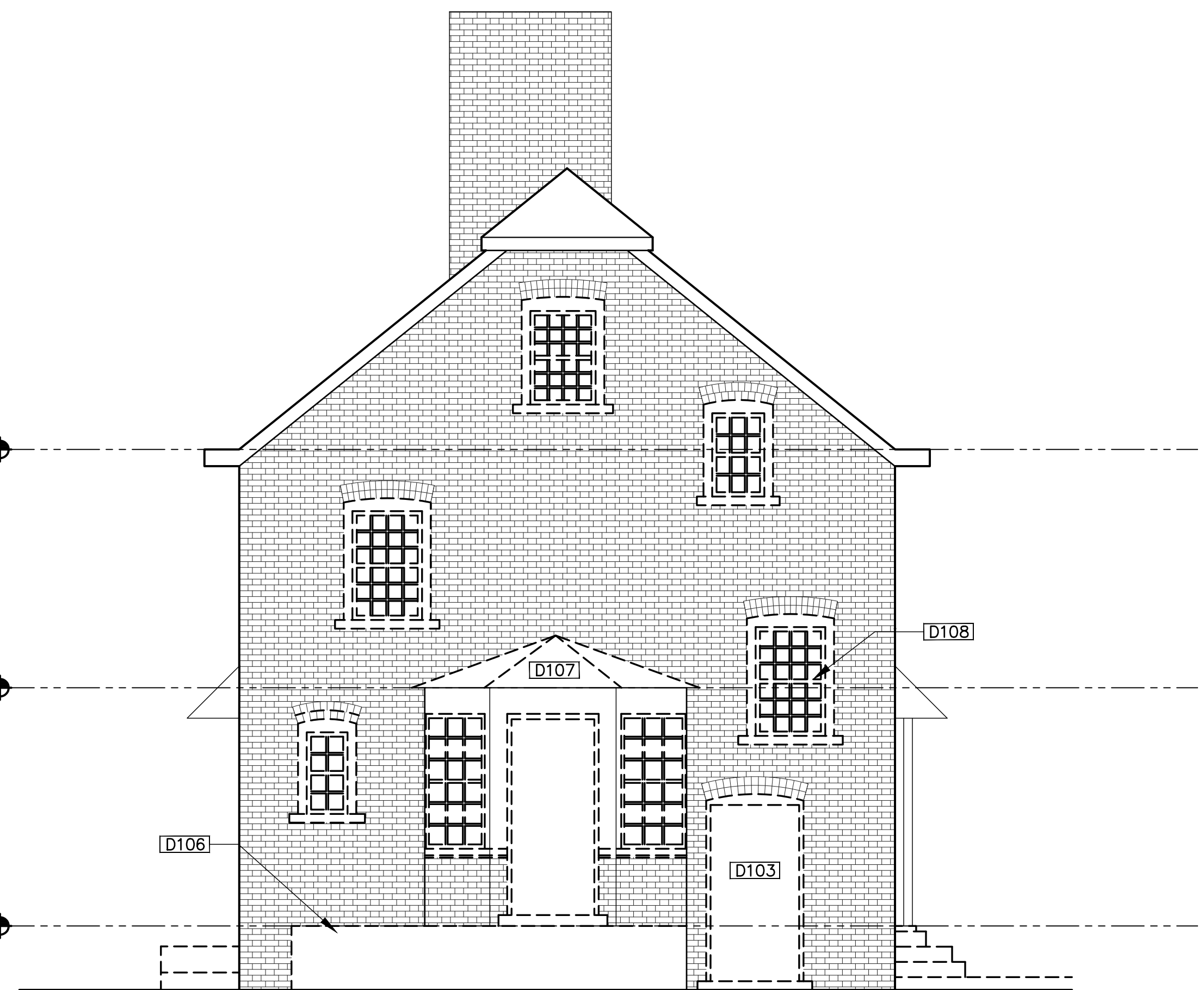


2 Demo. West Elevation
D2.0 1/4" = 1'-0"

ATTIC
EL. = 118'-3"

2nd LEVEL
EL. = 109'-1 1/2"

1st LEVEL
EL. = 100'-0"

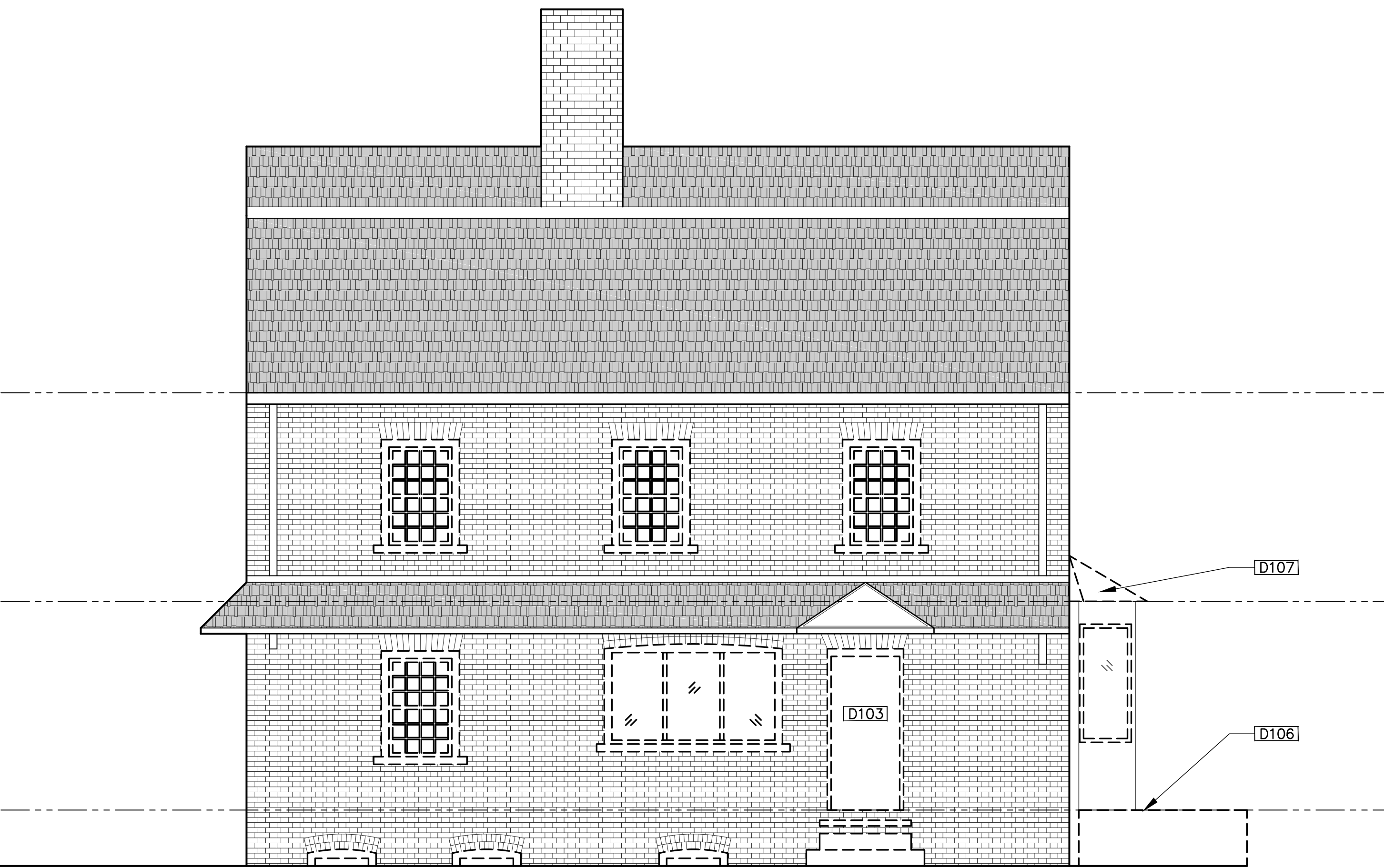


1 Demo. North Elevation
D2.0 1/4" = 1'-0"

ATTIC
EL. = 118'-3"

2nd LEVEL
EL. = 109'-1 1/2"

1st LEVEL
EL. = 100'-0"

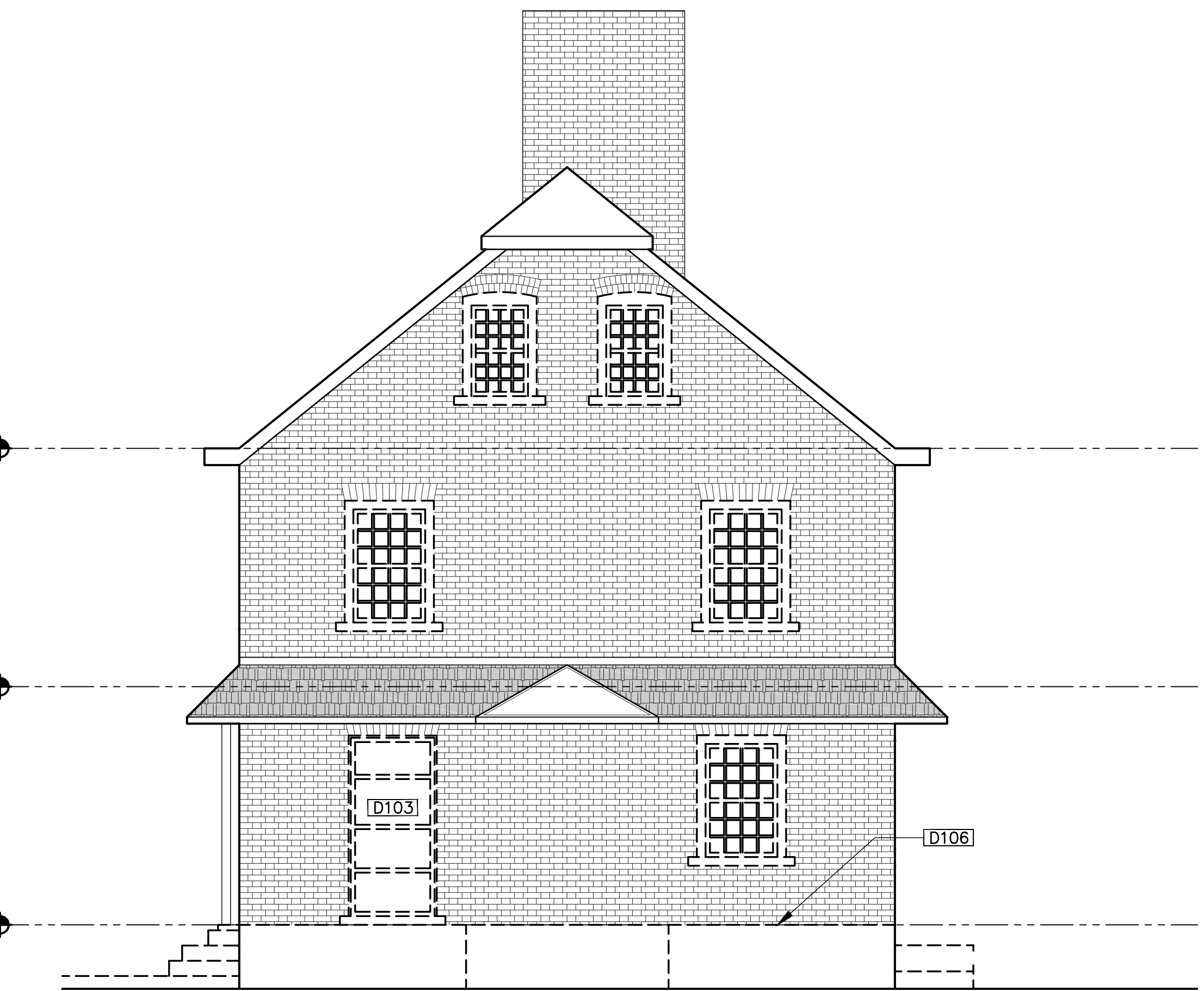


3 Demo. East Elevation
D2.0 1/4" = 1'-0"

ATTIC
EL. = 118'-3"

2nd LEVEL
EL. = 109'-1 1/2"

1st LEVEL
EL. = 100'-0"



4 Demo. South Elevation
A2.0 1/4" = 1'-0"

Iannuzzi Studio
ARCHITECTURE + DESIGN

1410 Service St. Suite 202
Detroit, MI 48207

T: 313.625.9500
IannuzziStudio.com

PROJECT:

The Rectory
1920 Atkinson St.
Detroit, MI 48206

DATE: ISSUED FOR:

04 - 12 - 2021 HDC Set

SHEET NUMBER:

D2.0

SHEET TITLE:
DEMOLITION
ELEVATIONS
©Iannuzzi Studio PLLC 2019

WALL KEY

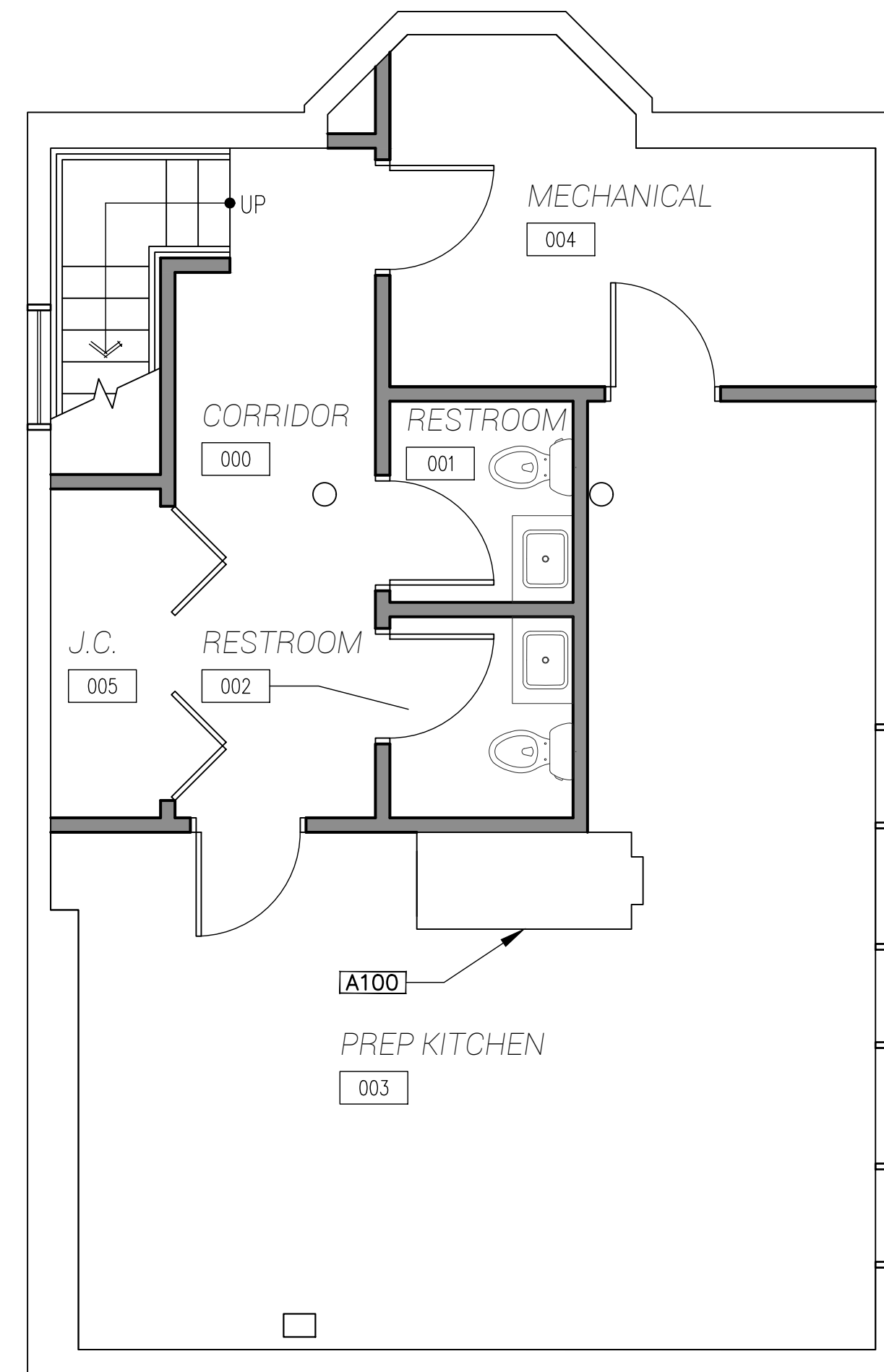
- EXISTING WALL TO REMAIN
- NEW FULL HT WALL - SEE WALL TYPES FOR DETAILS

ARCHITECTURE KEY NOTES

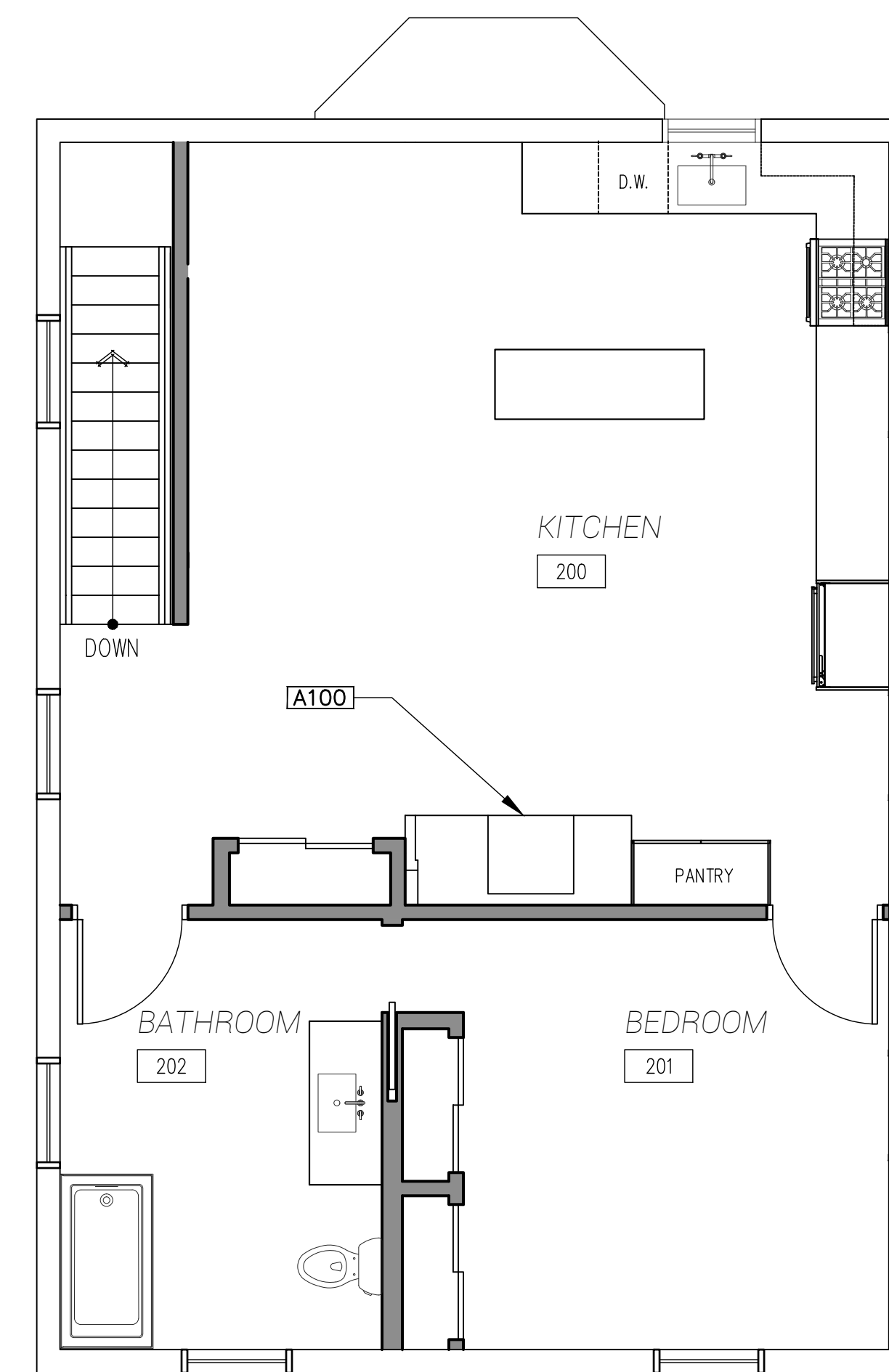
- A100 EXISTING MASONRY FIREPLACE & CHIMNEY
- A101 FIRE-RATED WALL
- A102
- A103
- A104 NEW DOOR
- A105
- A106

GENERAL NOTES

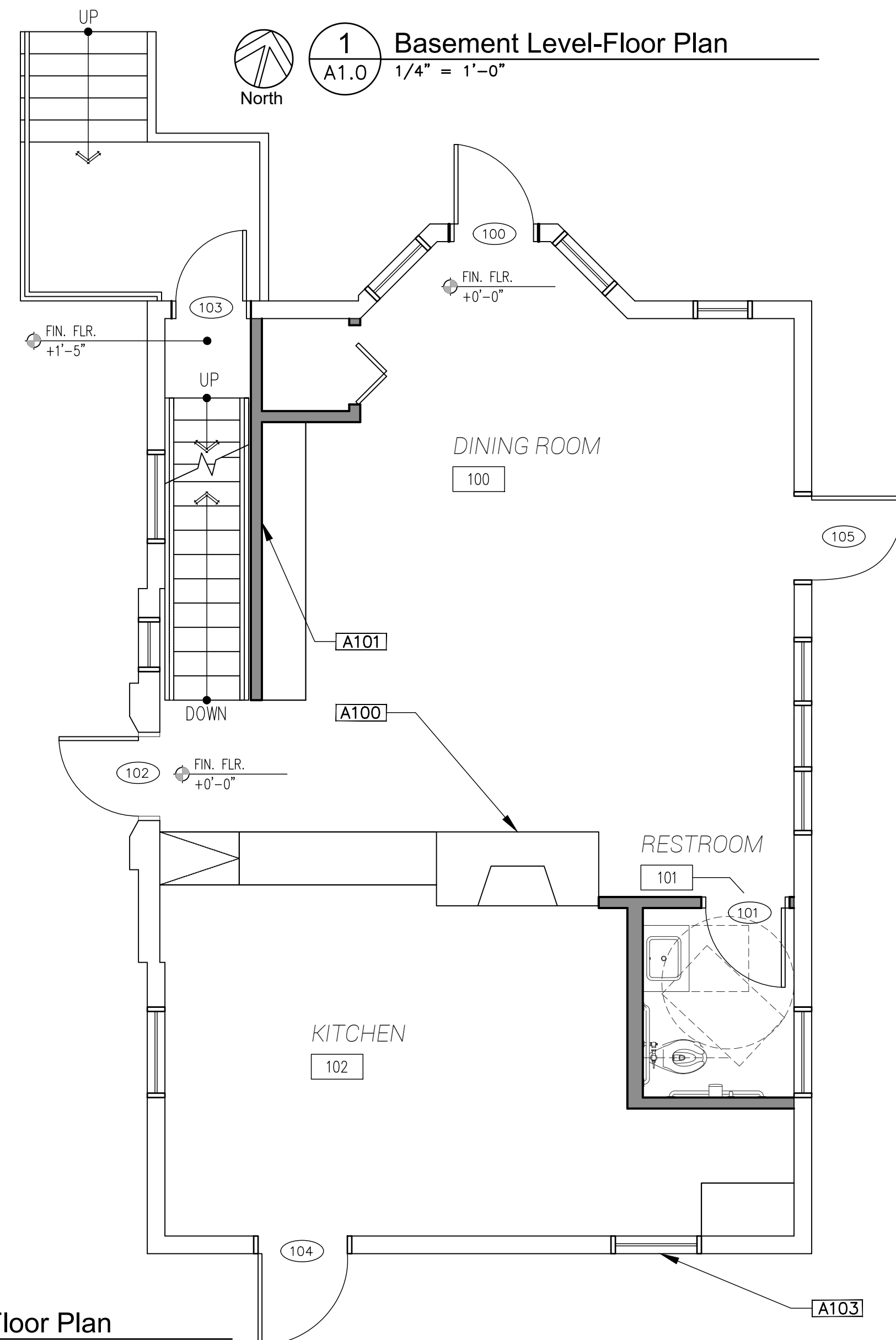
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE C-4 YELLOWISH WHITE WITH B-19 BLACK FOR THE TRIM PER HDC'S DESIGN GUIDELINES



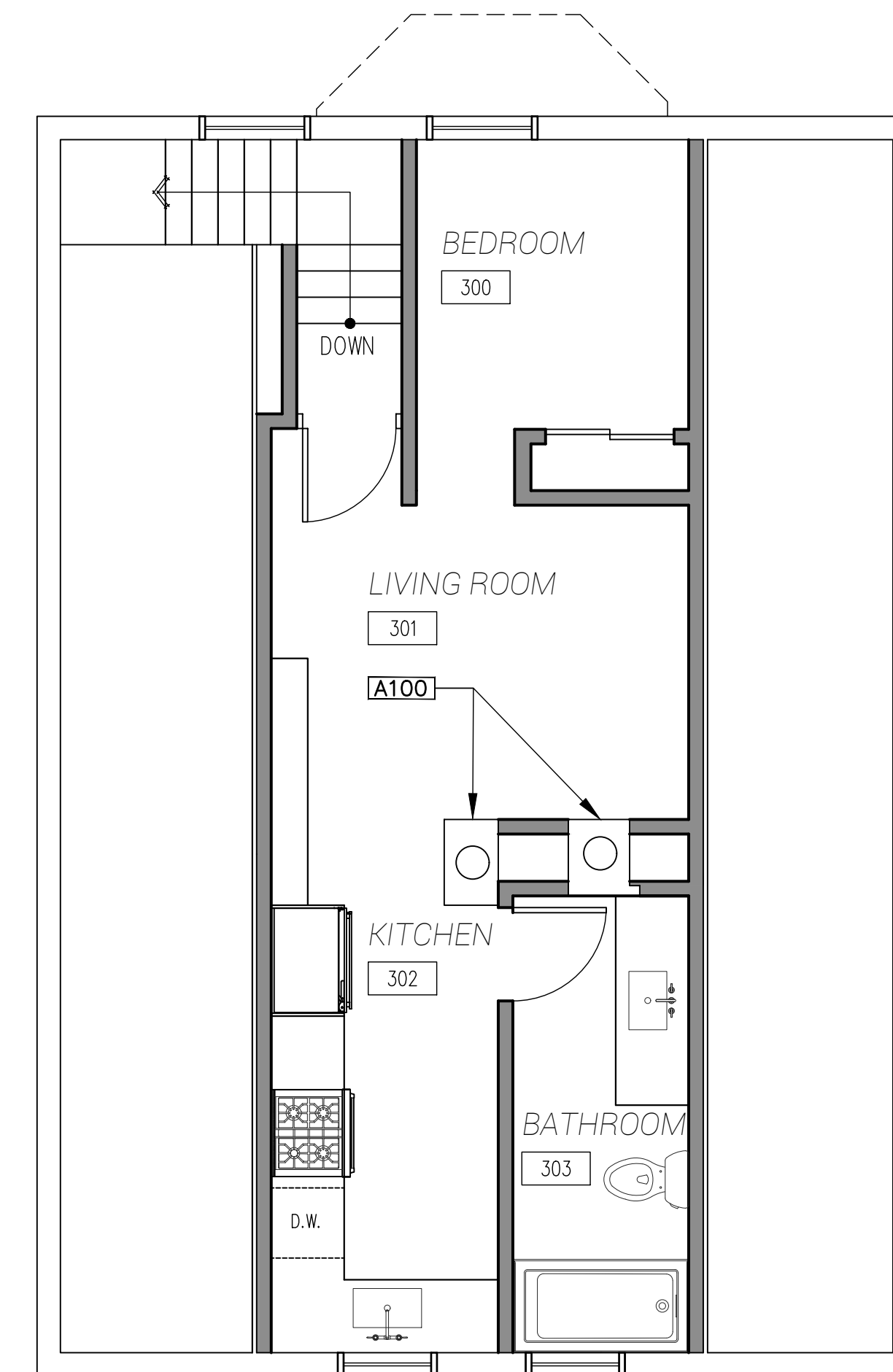
1 Basement Level-Floor Plan
A1.0 1/4" = 1'-0"



3 Second Level-Floor Plan
A1.0 1/4" = 1'-0"



2 First Level-Floor Plan
A1.0 1/4" = 3/8" S.C.H.E.M.E D
North



4 Third Level-Floor Plan
A1.0 1/4" = 1'-0"
North

ARCHITECTURE KEY NOTES

A100 EXISTING MASONRY FIREPLACE & CHIMNEY

A101 FIRE-RATED WALL

A102

A103

A104 NEW DOOR

A105 NEW PERGOLA. HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION APPROVED BY HDC. WOOD POSTS AND BEAMS

A106 SALVAGE BRICK FROM CRUMBLIED BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

A107 INSTALL NEW FLAT ROOF TO ACCOMMODATE FOR SLOPING PERGOLA

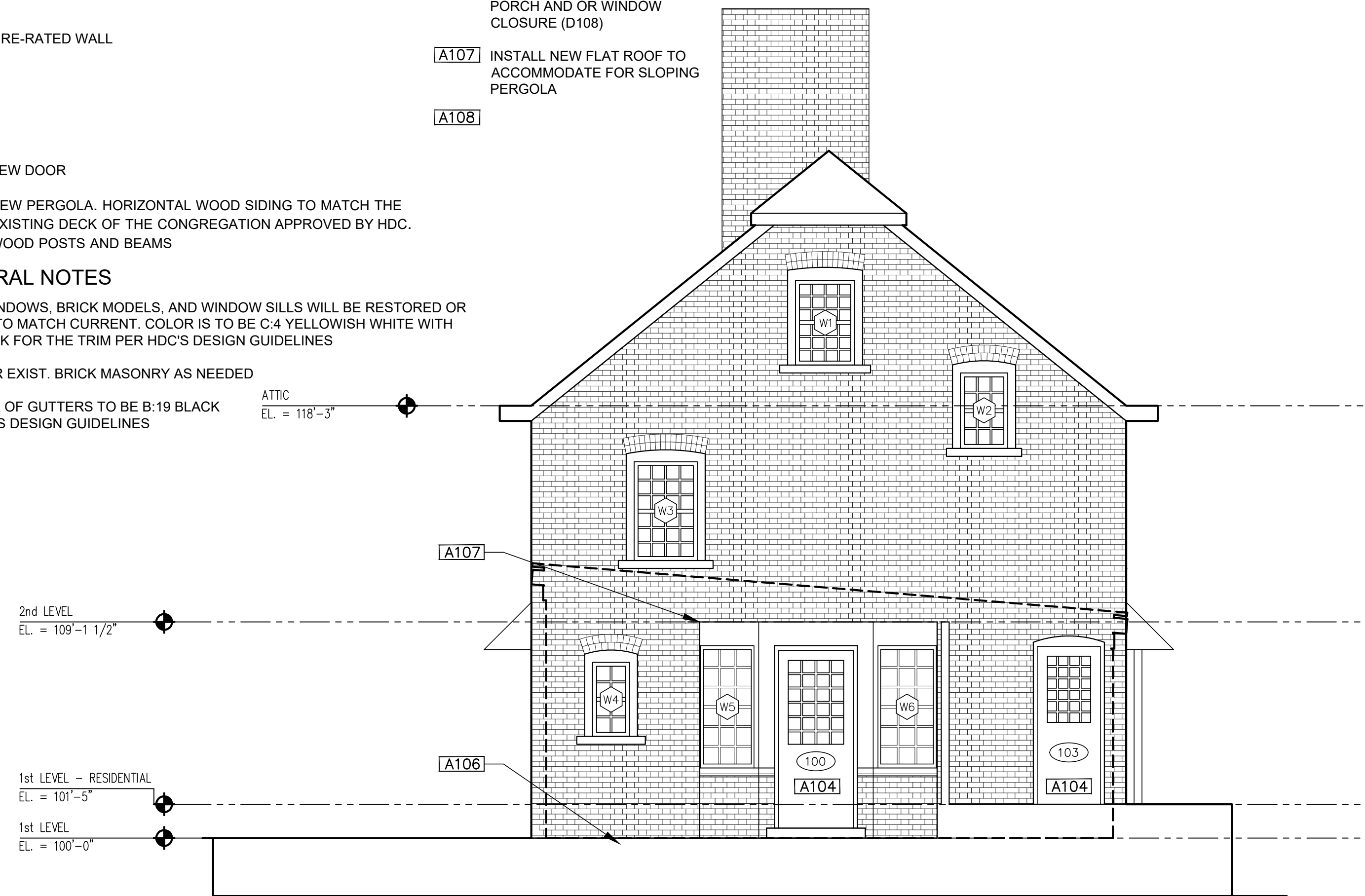
A108

GENERAL NOTES

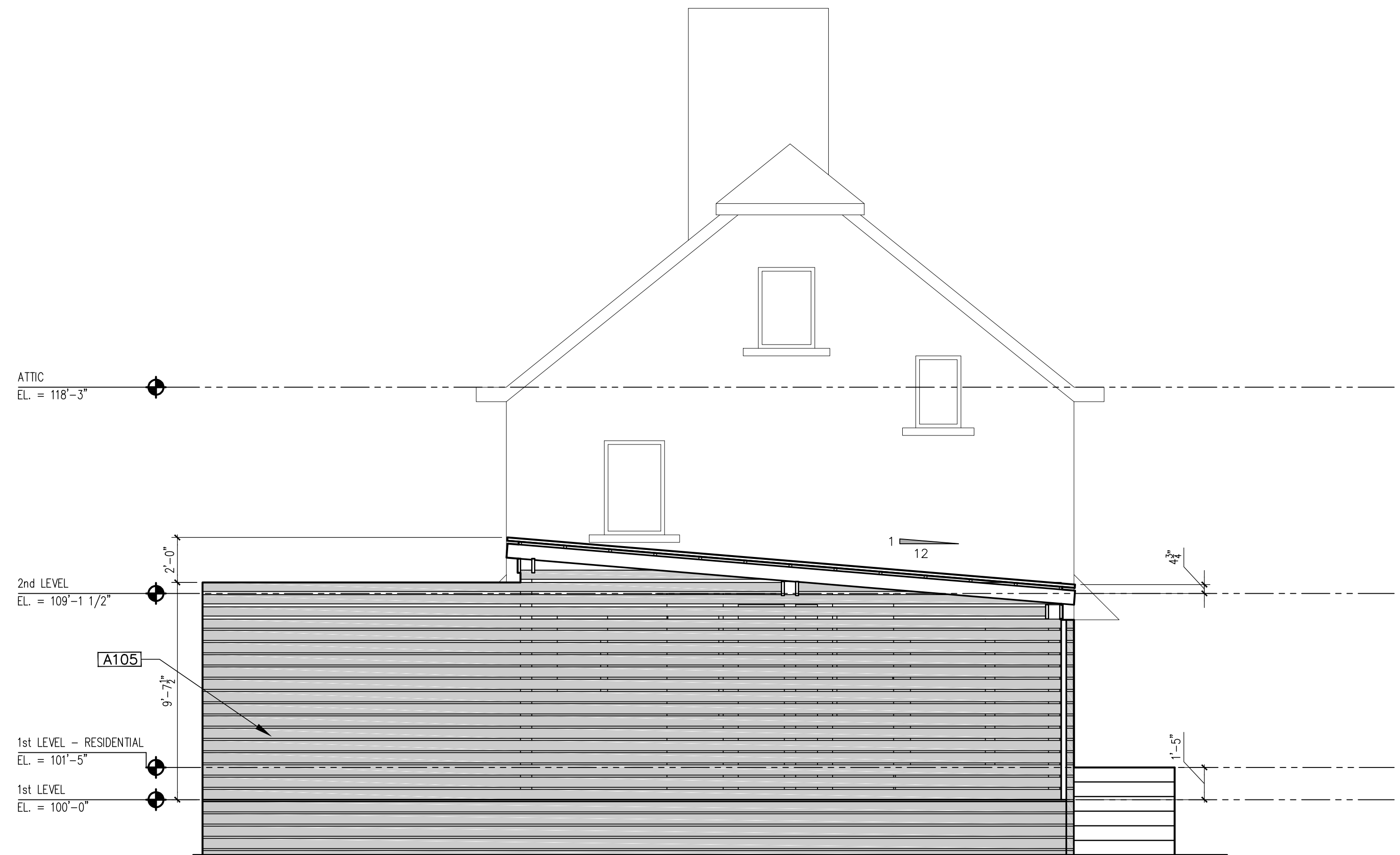
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE C:4 YELLOWISH WHITE WITH B:19 BLACK FOR THE TRIM PER HDC'S DESIGN GUIDELINES

2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

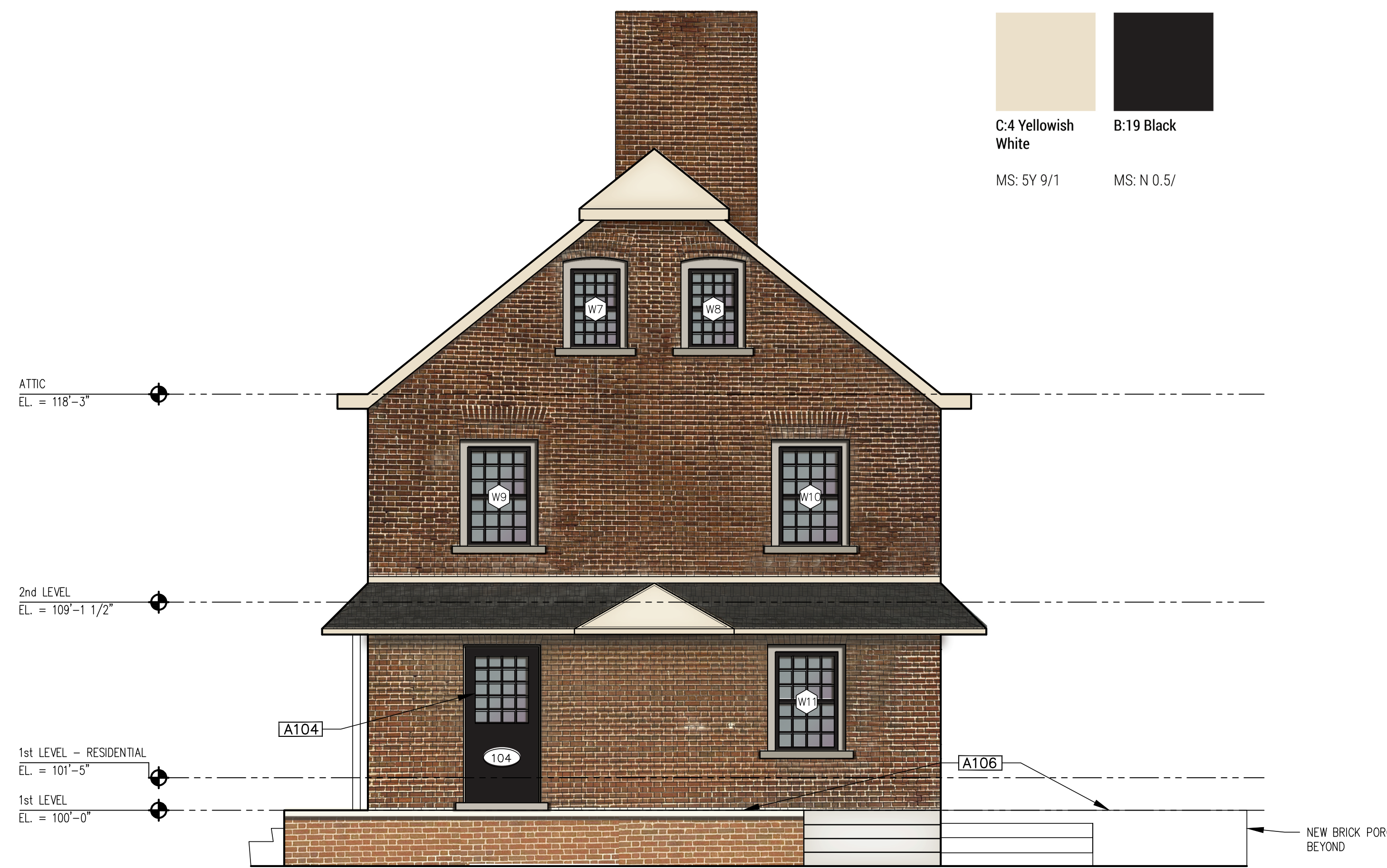
3.: COLOR OF GUTTERS TO BE B:19 BLACK PER HDC'S DESIGN GUIDELINES



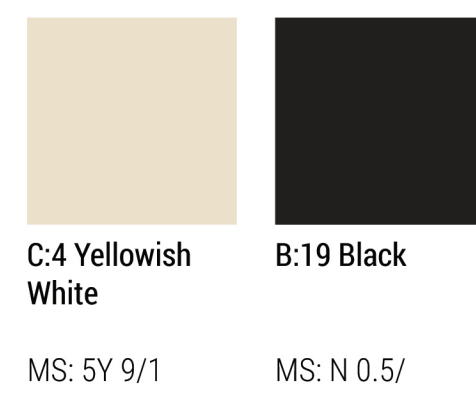
2 North Elevation
A2.0 1/4" = 1'-0"



1 North Elevation - Pergola
A2.0 1/4" = 1'-0"



3 South Elevation
A2.0 1/4" = 1'-0"



ARCHITECTURE KEY NOTES

[A100] EXISTING MASONRY FIREPLACE & CHIMNEY

[A101] FIRE-RATED WALL

[A102]

[A103]

[A104] NEW DOOR

[A105] NEW PERGOLA, HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION APPROVED BY HDC. WOOD POSTS AND BEAMS

[A106] SALVAGE BRICK FROM CRUMBLING BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)

[A107]

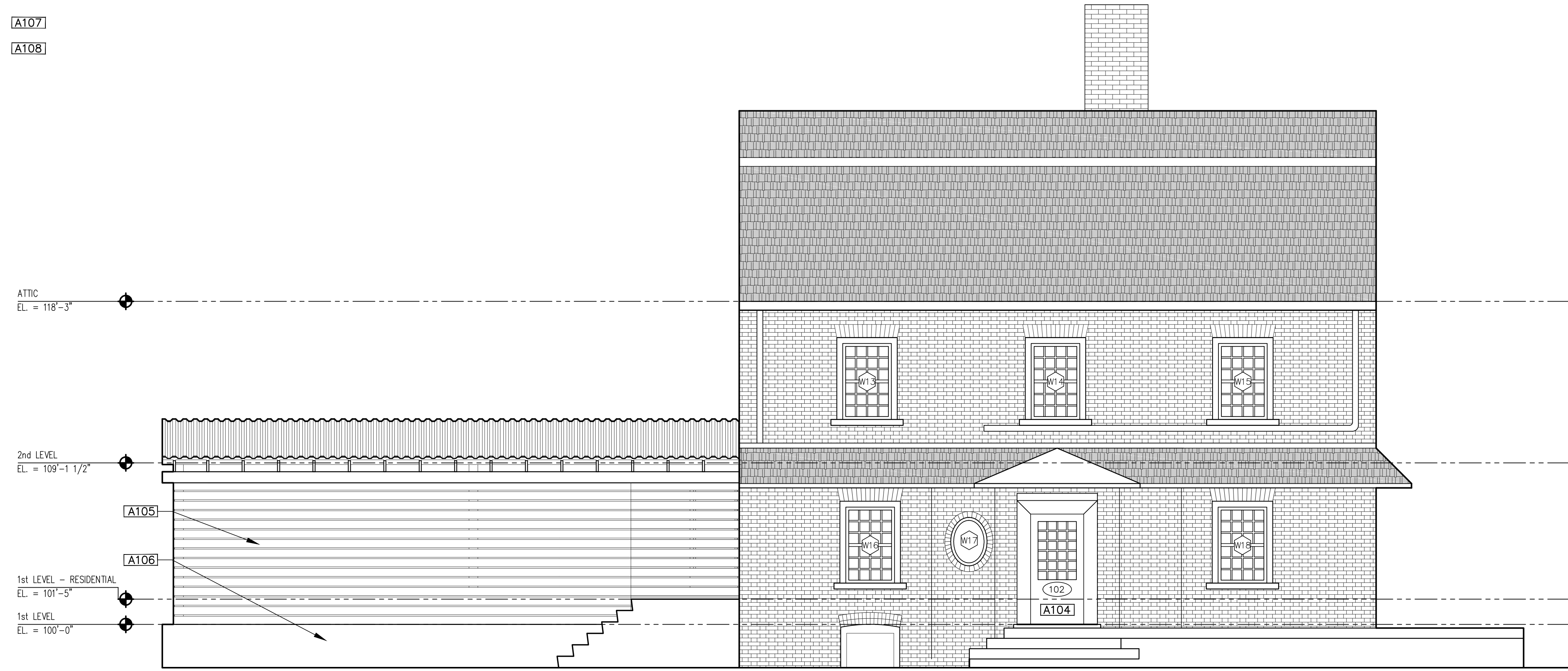
[A108]

GENERAL NOTES

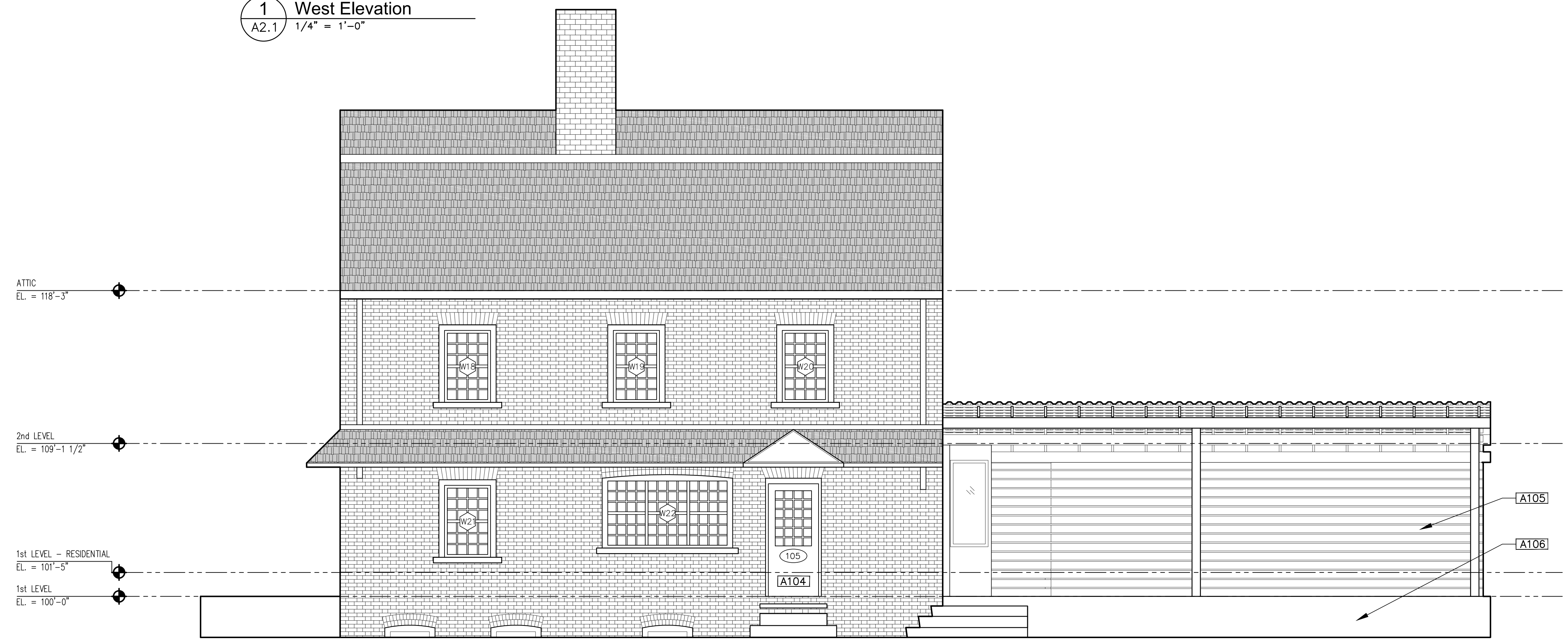
1.: ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE C:4 YELLOWISH WHITE WITH B:19 BLACK FOR THE TRIM PER HDC'S DESIGN GUIDELINES

2.: REPAIR EXIST. BRICK MASONRY AS NEEDED

3.: COLOR OF GUTTERS TO BE B:19 BLACK PER HDC'S DESIGN GUIDELINES



1 West Elevation
A2.1 1/4" = 1'-0"



2 East Elevation
A2.1 1/4" = 1'-0"

Iannuzzi Studio
ARCHITECTURE + DESIGN

1410 Service St. Suite 202
Detroit, MI 48207

T: 313.625.9500
IannuzziStudio.com

PROJECT:

The Rectory
1920 Atkinson St.
Detroit, MI 48206

DATE: ISSUED FOR:

04 - 12 - 2021 HDC Set

SHEET NUMBER:
A2.1
SHEET TITLE:
PROP. EXTERIOR
ELEVATIONS
© Iannuzzi Studio PLLC 2019

WINDOW SCHEDULE						
LABEL	DIMENSIONS	LOCATION	OPERATION	MATERIAL	TRIM/SASH/SILL	COMMENTS
W1		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: BROKEN GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W2		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W3		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W4		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W5		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W6		NORTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W7		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W8		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W9		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W10		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W11		SOUTH ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW
W12		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIGURATION TO MATCH EXISTING WINDOW

GENERAL: ALL EXISTING WINDOWS ARE SINGLE-PANE GLASS AND HAVE TO BE UPDATED TO MATCH TODAY'S STANDARDS OF MODERN, ENERGY-EFFICIENT GLASS

WINDOW SCHEDULE						
LABEL	DIMENSIONS	LOCATION	OPERATION	MATERIAL	TRIM/SASH/SILL	COMMENTS
W13		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W14		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; OVER-CAULKED GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W15		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W16		WEST ELEVATION	FIXED	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W17		WEST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W18		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W19		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W20		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W21		EAST ELEVATION	DOUBLE-HUNG	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW
W22		EAST ELEVATION	FIXED CENTER; LEFT AND RIGHT CRANK OUT	WOOD WINDOWS	REPAIRED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM AND SASH COLORS	DETERIORATION: MISSING GLASS PANE; ROTTED WOOD ON TRIM, SASH, AND SILL DUE TO YEARS OF NEGLECT LIGHT CONFIG. TO MATCH EXIST. WINDOW

EXTERIOR DOOR SCHEDULE					
LABEL	DIMENSIONS	LOCATION	MATERIAL	TRIM	COMMENTS
100		NORTH ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	DETERIORATION: BOARDED UP OPENING, NO DOOR IN PLACE COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN MAIN ENTRANCE TO RESTAURANT
102		WEST ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	DETERIORATION: WOOD DOOR IN EXTREMELY POOR SHAPE COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN SECONDARY ENTRANCE TO RESTAURANT
103		NORTH ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	DETERIORATION: WOOD DOOR IN EXTREMELY POOR SHAPE COMMERCIAL GRADE OR NEAR COMMERCIAL GRADE MULTI-GRADE DOOR TO MATCH WINDOWS DESIGN ENTRANCE FOR RESIDENTIAL TENANT/S
104		SOUTH ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	NON-OPERABLE; NO HARDWARE TO MATCH WINDOWS DESIGN
105		EAST ELEVATION	FIBERGLASS	REPLACED TO MATCH EXIST. DIMENSIONS AND PROFILE; SEE ELEVATIONS FOR PROPOSED TRIM COLORS	NON-OPERABLE; NO HARDWARE TO MATCH WINDOWS DESIGN

Iannuzzi Studio
ARCHITECTURE + DESIGN

1410 Service St. Suite 202
Detroit, MI 48207

T: 313.625.9500
IannuzziStudio.com

PROJECT:

The Rectory
1920 Atkinson St.
Detroit, MI 48206

DATE: ISSUED FOR:

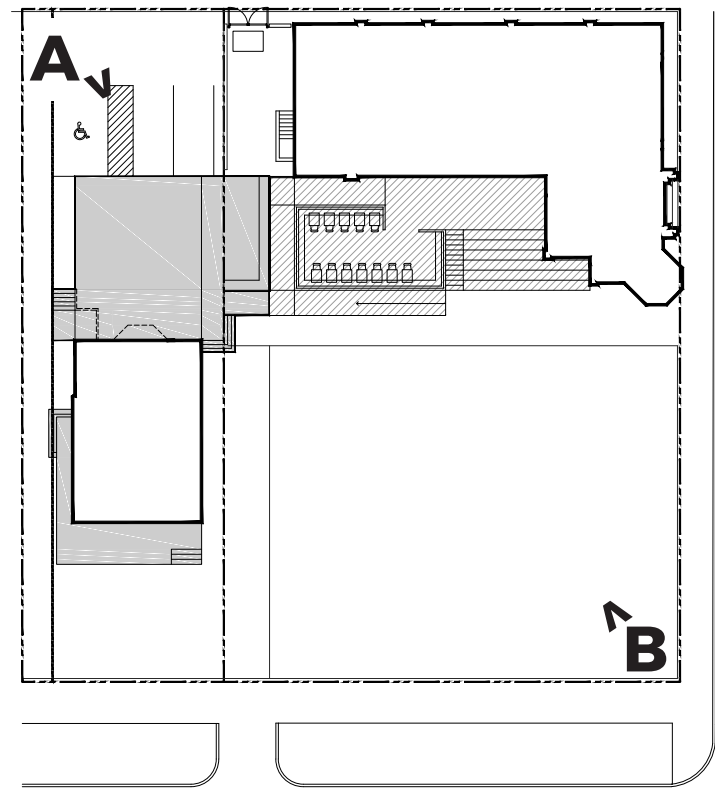
04 - 12 - 2021 HDC Set

SHEET NUMBER:

A7.0

SHEET TITLE:
Door, Window &
Finish Schedule
© Iannuzzi Studio PLLC 2019

SITE PHOTOS



A - BACK CORNER OF THE SITE



B - FRONT CORNER OF THE SITE

EXISTING ELEVATIONS



NORTH ELEVATION

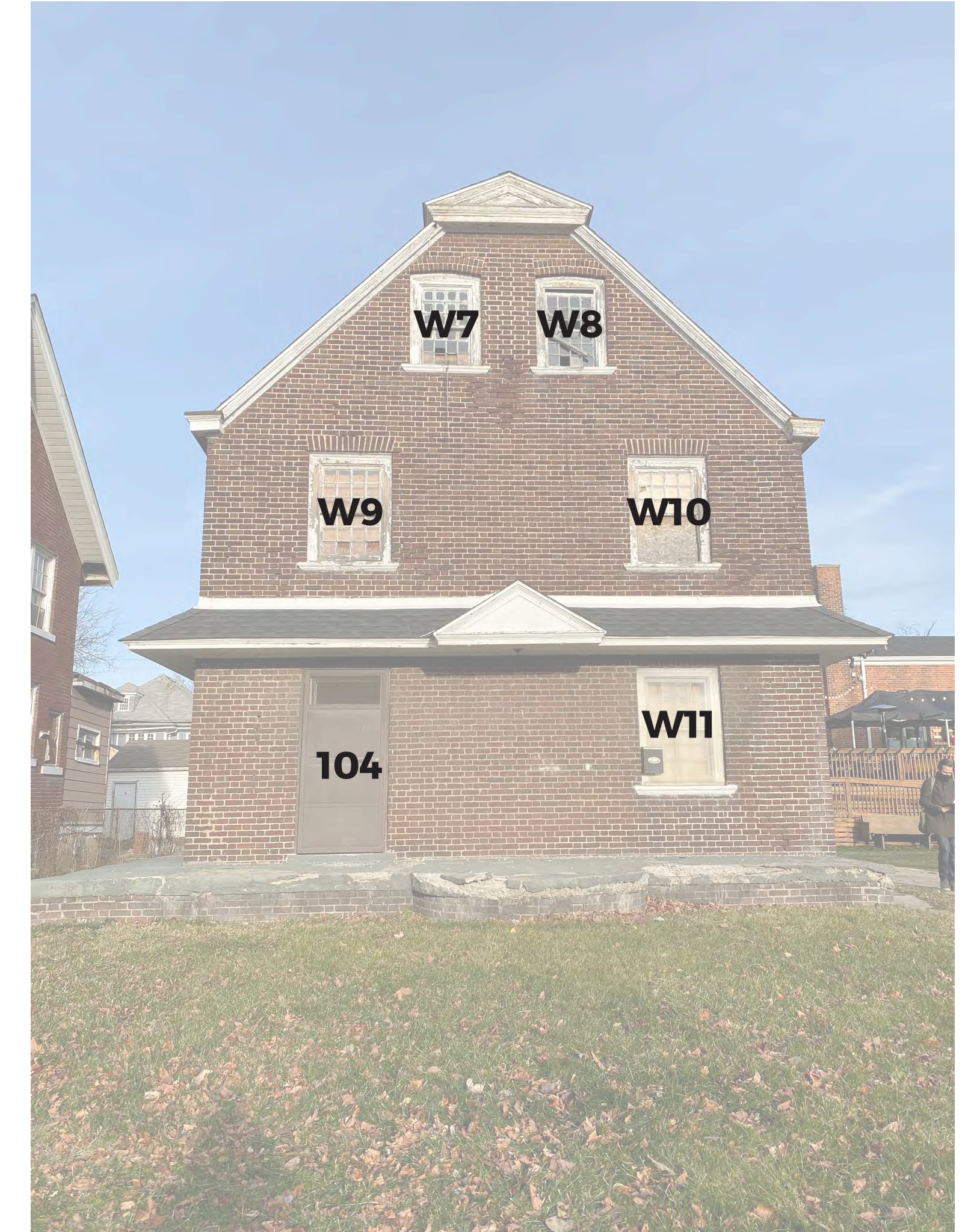


NORTH ELEVATION

REMOVING WINDOW TO
MOVE DOOR 103 UP FOR
NEW PATIO - SEE
ELEVATIONS AND PLANS



SOUTH ELEVATION



SOUTH ELEVATION

EXISTING ELEVATIONS



WEST ELEVATION



EAST ELEVATION

EXISTING DETAILS



PORCHES

SALVAGE BRICK FROM CRUMBLING BACK PORCH TO USE IN FRONT PORCH AND OR WINDOW CLOSURE (D108)



WINDOWS

ALL WINDOWS, BRICK MODELS, AND WINDOW SILLS WILL BE RESTORED OR REBUILT TO MATCH CURRENT. COLOR IS TO BE C:4 YELLOWISH WHITE WITH B:19 BLACK FOR THE TRIM PER HDC'S DESIGN GUIDELINES

GUTTERS

COLOR OF GUTTERS TO BE B:19 BLACK PER HDC'S DESIGN GUIDELINES

EXISTING DETAILS



DOOR A - NEW DOOR SILL HEIGHT AND DOOR (103) FOR RESIDENTIAL TENANTS - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD



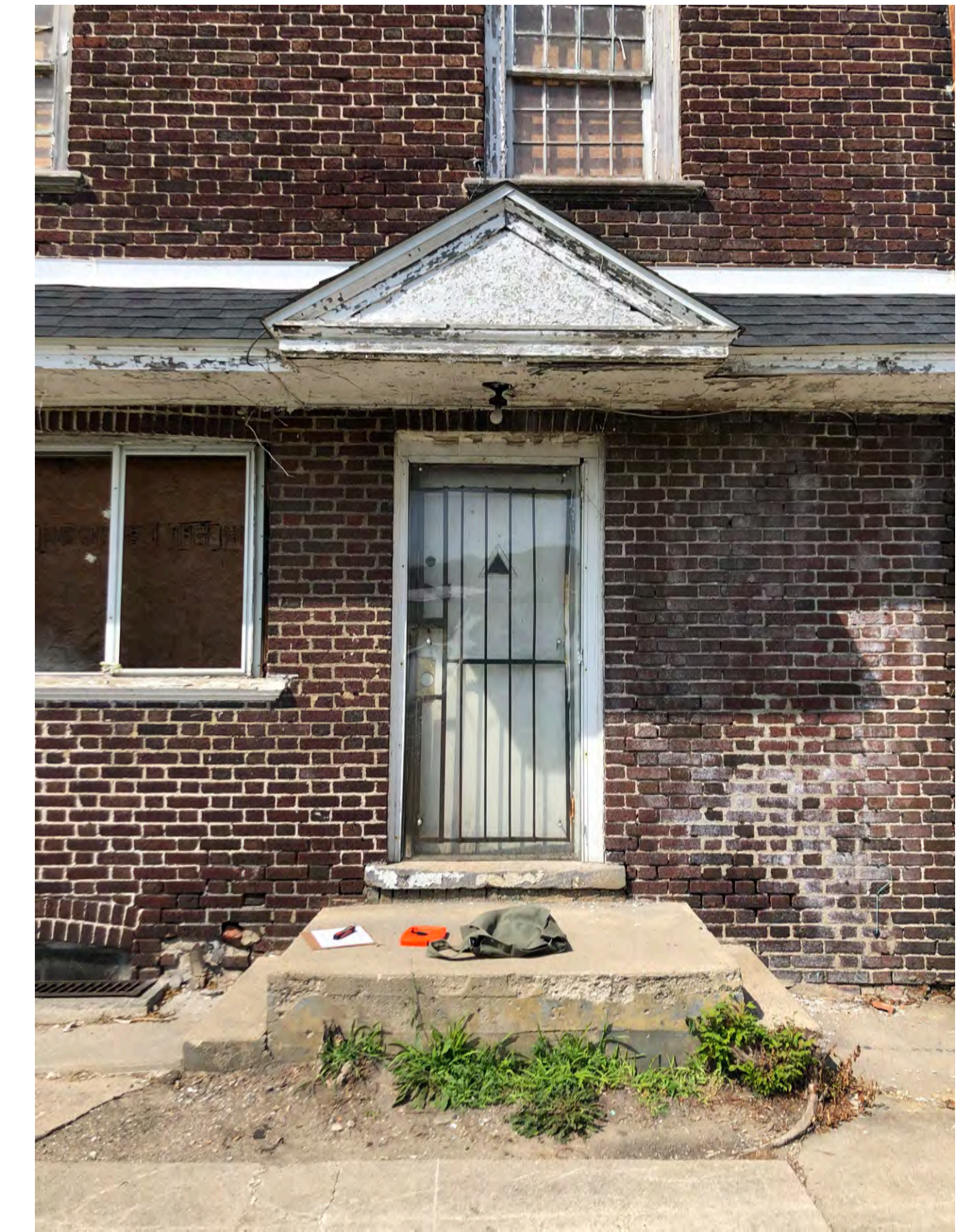
DOOR B - NEW DOOR (102) FOR SECONDARY ENTRANCE TO RESTAURANT - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD; CURRENT DOOR IS MISSING AND IS HELD BY AN ACRYLIC PIECE



DOOR C - NEW DOOR (104) - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: METAL



DOOR D - NEW DOOR (105) - SEE DOOR SCHEDULE FOR DETAILS

EXISTING MATERIAL: WOOD

DOORS

ALL EXTERIOR NON-HISTORIC DOORS TO BE REPLACED. NORTH ELEVATION DOOR TO BE RELOCATED. SEE PROPOSED ELEVATIONS AND DOOR SCHEDULE.

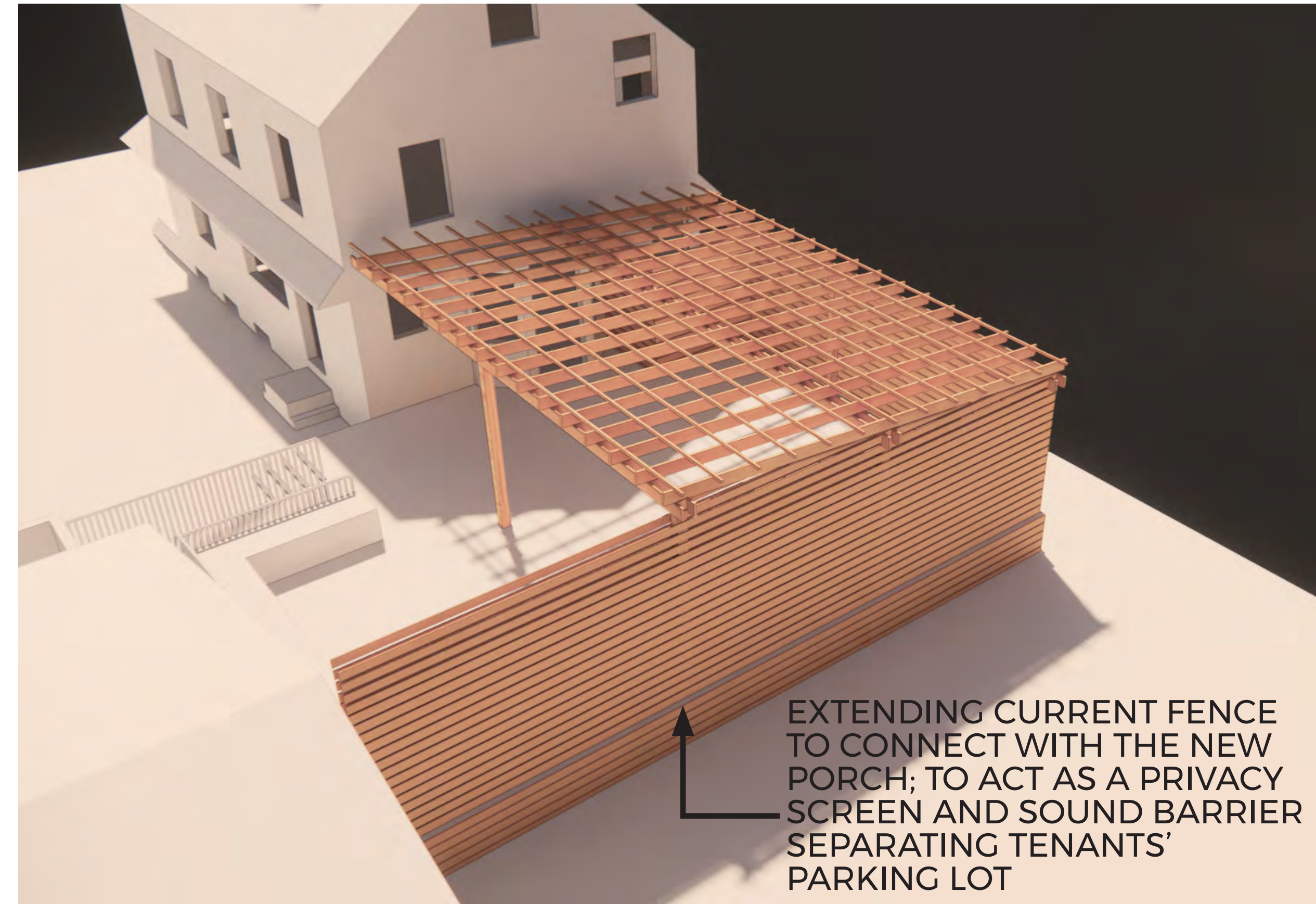
THE DOOR WOOD TRIMS ARE ROTTED AND NEED TO BE REPLACED AS WELL. BECAUSE THE FIRST FLOOR WILL BE A COMMERCIAL SPACE, ALL EXISTING DOORS ARE NOT TO CODE AND MUST SWING OUT. NEW DOORS WILL MIMIC ADJACENT WINDOW DESIGN.

PERGOLA PROPOSAL + RAILING

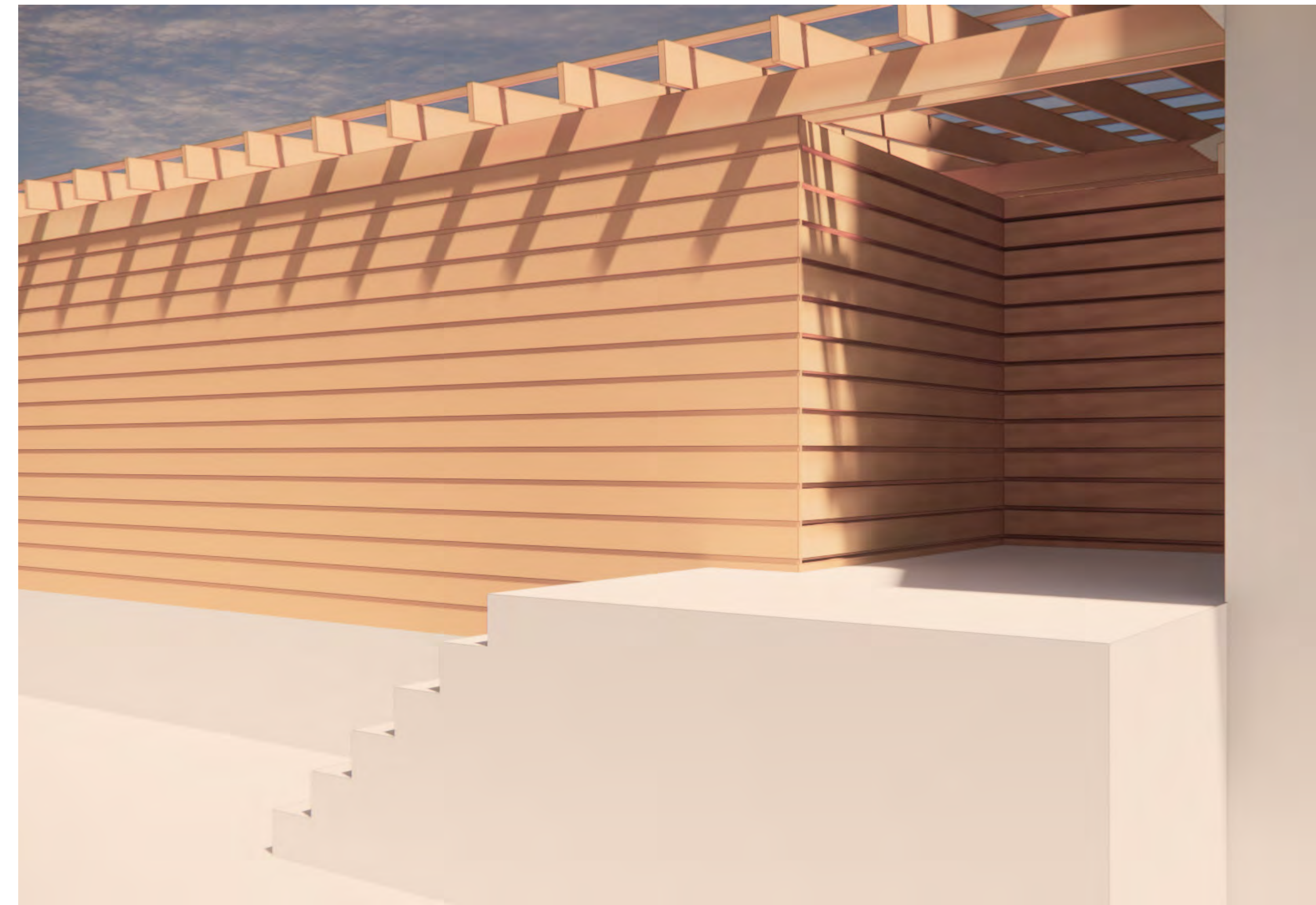


NEW RAILING TO MATCH EXISTING DECK OF THE CONGREGATION

NEW PERGOLA. HORIZONTAL WOOD SIDING TO MATCH THE EXISTING DECK OF THE CONGREGATION. WOOD POSTS AND BEAMS



EXTENDING CURRENT FENCE TO CONNECT WITH THE NEW PORCH; TO ACT AS A PRIVACY SCREEN AND SOUND BARRIER SEPARATING TENANTS' PARKING LOT



PERGOLA PROPOSAL



INSPIRATION