

4/22/2021

CERTIFICATE OF APPROPRIATENESS

Ken Moody
17249 Woodbine
Detroit, MI

**RE: Application Number 21-7194; 1627 (1627-1639) LEVERETTE; Corktown
Historic District**

Dear Mr. Moody:

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Sections. 21-2-57 and 21-2-73 of the 2019 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the Detroit Historic District Commission has reviewed the above-referenced application for building permit at the 4/14/2021 regular meeting and hereby issues a Certificate of Appropriateness (COA), which is effective as of April 22, 2021.

The Commission finds the following proposed work as per the attached documents, meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Rear Yard

- At the rear yard of each of the seven units, erect a wood, shed-roof new open carport as per the attached with a footprint of 15'-8"x23'-4," 14-10'x23'-4" or 13'-0"x23'-4" concrete footprint.
- At rear yard, install a new concrete walkway which leads from each new porch to proposed new carport (**work completed**)
- At rear yard, directly north of the new carports, erect a new wood (with horizontal slats) fence which measures 6'-0" high to enclose backyards of all units (**work completed**). The fence will be stained brown
- At the rear property line, at the alley, erect new 6'-0"-tall chain link fencing which will open to the new carports
- At rear yard of each unit, install an HVAC condenser unit

Rear Elevation

- At rear elevation, at each unit, replace existing concrete porch with new wood porch as per dimension depicted in drawings (see photos, **work completed at some units**)
- At rear elevation, at each unit, replace existing gabled-roof basement stair enclosure with a new gabled-roof, stair enclosure (**work completed**). Exterior walls at each enclosure is clad with lapped siding (material not specified)

- At rear elevation, at each unit, remove the wood transom and trim from doorway and replace with new aluminum-clad wood unit (**work completed**). The new transom is shorter than the original. The open area above each transom shall be infilled with plywood to which a flat, metal overhang will be affixed.
- At rear elevation, at each unit, remove each door and replace with a new aluminum-clad wood door with full-length vision panel
- At rear elevation, at each unit, partially enclose one window opening with brick and install a new fixed aluminum-clad window; fully enclose one window opening with brick (**work completed**)
- At rear elevation lightwells, partially enclose window openings with brick
- At rear elevation, at each unit, remove wood awning overhang over exterior door (**work completed**)
- Paint previously-painted brick walls current red color
- Remove all existing historic wood windows and wood trim/brickmould and replace with the current new aluminum-clad wood units (**work completed**) according to the following:
 - At rear elevation and lightwells - original windows appeared to be wood, 1/1, double-hung units. These windows have been replaced with new aluminum-clad wood, 1/1 units

Roof

- Replace existing flat roof; repair parapet as per the attached drawing; install new brown aluminum gutters and downspouts (**work completed**)

Side Elevations

- Paint previously-painted brick walls current red color
- Remove all existing historic wood windows and wood trim/brickmould and replace with the current new wood, aluminum-clad units (**work completed**) according to the following:
 - At side elevations - original windows appeared to be wood, 1/1, double-hung units. These windows have been replaced with new aluminum-clad wood, 1/1 units

Front Elevation

- At front elevation, at each unit, replace existing porches (to include brick wingwalls with stone caps and concrete steps) with new porches (buff brick wingwalls with stone caps and concrete steps, **work completed**). Note that a review of Google Street view images indicate that the brick porch wingwalls removed without approval and permit were not original/not historic age
- At front elevation, paint wood trim (around windows, doors, and at the cornice) brown and cream (**work partially completed**). The brown paint has already been applied at this location. With the current submission, the applicant is proposing to add cream paint as an accent in order to highlight much of the decorative detailing at the wood trim

- Remove all existing historic wood windows and wood trim/brickmould and replace with the current new wood, aluminum-clad units (**work completed**) according to the following:
 - At front elevation, second story bay windows – original sash were wood, 1/1, double-hung units. In 2020, these windows were replaced with wood, 1/1, double-hung units, each which is topped with a fixed wood transom window without approval. With the current submission, the applicant is proposing to REMOVE all existing windows and replace with new 1/1 aluminum-clad wood units to match the original
 - At front elevation, first-story windows – each opening originally included a set of paired fixed wood windows which were topped with fixed wood transom. The sash were set into wood trim. A fluted wood pilaster served as each window opening’s mullion. In 2020, these windows were replaced with 1/1, double-hung, wood-sash units with aluminum-clad trim. The original fluted wood pilaster mullions appear to have been retained. With the current the applicant is proposing to RETAIN the existing aluminum-clad wood windows. However, the new proposal includes the addition of wood trim at each window’s meeting rail to match the original
- At front yard, install new shrubs and hedges at each unit (**work completed**)

Please note that the submitted drawings indicated that the new/replacement cornice which was removed without Commission approval in 2018 was to be replicated, down to the “decorative leaf” detailing (ie, the swag detailing). However, the current cornice *does not* include that decorative detailing. With the current submission, the applicant is stating that they intend to apply the decorative leaf and swag detailing to the current cornice

Please note that this COA **has been issued with the following conditions/ALL OF THE FOLLOWING CONDIITONS MUST BE MET:**

- Each of the new transoms proposed for installation/installed at the rear elevation doorways shall be removed and replaced with a new aluminum-clad wood transom with a vision panel that better replicates the dimension/size of the original transoms.
- The newly-erected fencing, gates, rear yard walls, and rear porches cannot be unfinished. Rather, they must be stained or painted a color which complements the building. The owner or applicant shall submit a proposal to HDC staff outlining the color palette for the garages’ wood elements for review and approval prior to staff’s approval/signoff of the project’s final construction drawings. Also, these elements must be painted or stained as per the approved color scheme on or before April 14, 2022.
- Any exterior wood elements proposed for the new carports cannot be unfinished. Rather, they must be stained or painted a color which complements the building. The owner or applicant shall submit a proposal to HDC staff outlining the color palette for the garages’ wood elements for review and approval prior to staff’s approval/signoff of the project’s final construction drawings. Also, these elements must be painted or stained as per the approved color scheme on or before April 14, 2022.

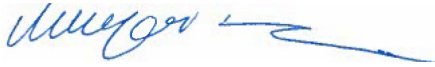
CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226
PHONE 313-224-6536
FAX 313-224-1310

- The swag detailing must be applied to the current RFP cornice so that it replicates the original cornice, as indicated in the submitted drawings and required by the Commission's 2018 COA

Please retain this Certificate of Appropriateness for your files. You should now proceed to the City of Detroit Buildings Safety and Engineering Department to obtain a building permit. The Detroit Historic District Commission's approval and issuance of a Certificate of Appropriateness does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Jennifer Ross

Detroit Historic District Commission Staff

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
1	Historic Approval	1/27/21
1	Historic Review	6/20/20

ISSUED FOR:

PROJECT TITLE

CORK TOWN 's
Newly Renovated
LIVING UNITS

Leverette St.
Detroit, Michigan

DRAWN **KM**

CHECKED -

APPROVED -

SHEET TITLE

Front Window
Corrections

PROJECT NO.

SHEET NO.

DATE

Sketch
HC-2

1/15/2021

SPECIAL NOTE:

THE EXISTING WOOD WINDOWS HAVE DETERIORATED BEYOND THE POINT OF REPAIR, OVER 65 PERCENT HAVE ROTTED &/OR HAS INSECT DAMAGED SILLS, JAMBS & SASHES. MANY OF THE ANCHORAGE LOCATIONS HAVE DAMAGED BLOCKING OR FAILED ANCHORS

MOST SASHES ARE DAMAGED BEYOND A COST EFFECTIVE REPAIR

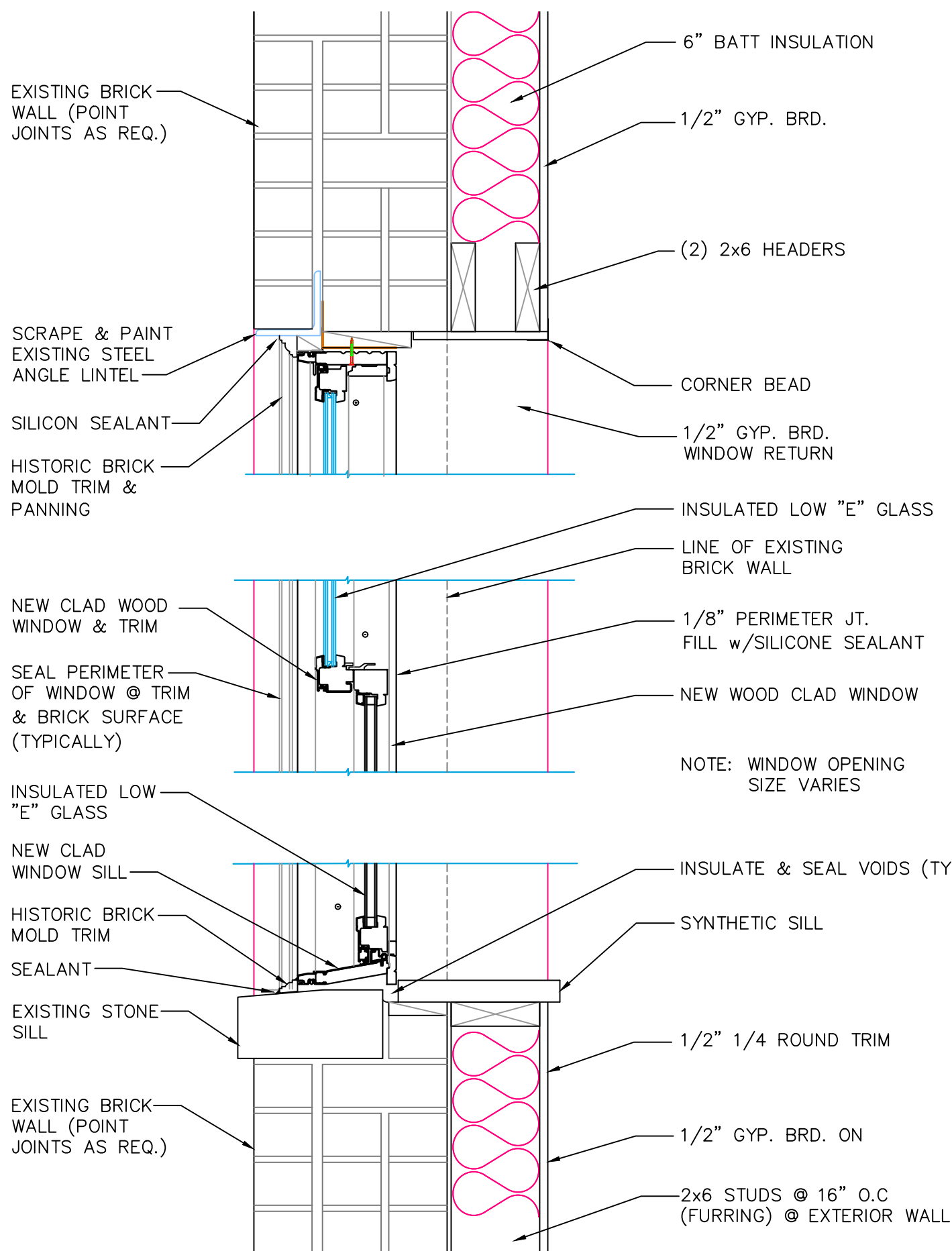
SPECIAL NOTE:

REPLACE EXISTING WINDOWS IN LIEU OF REPAIR INCREASE SIZE OF REAR PORCH DECK

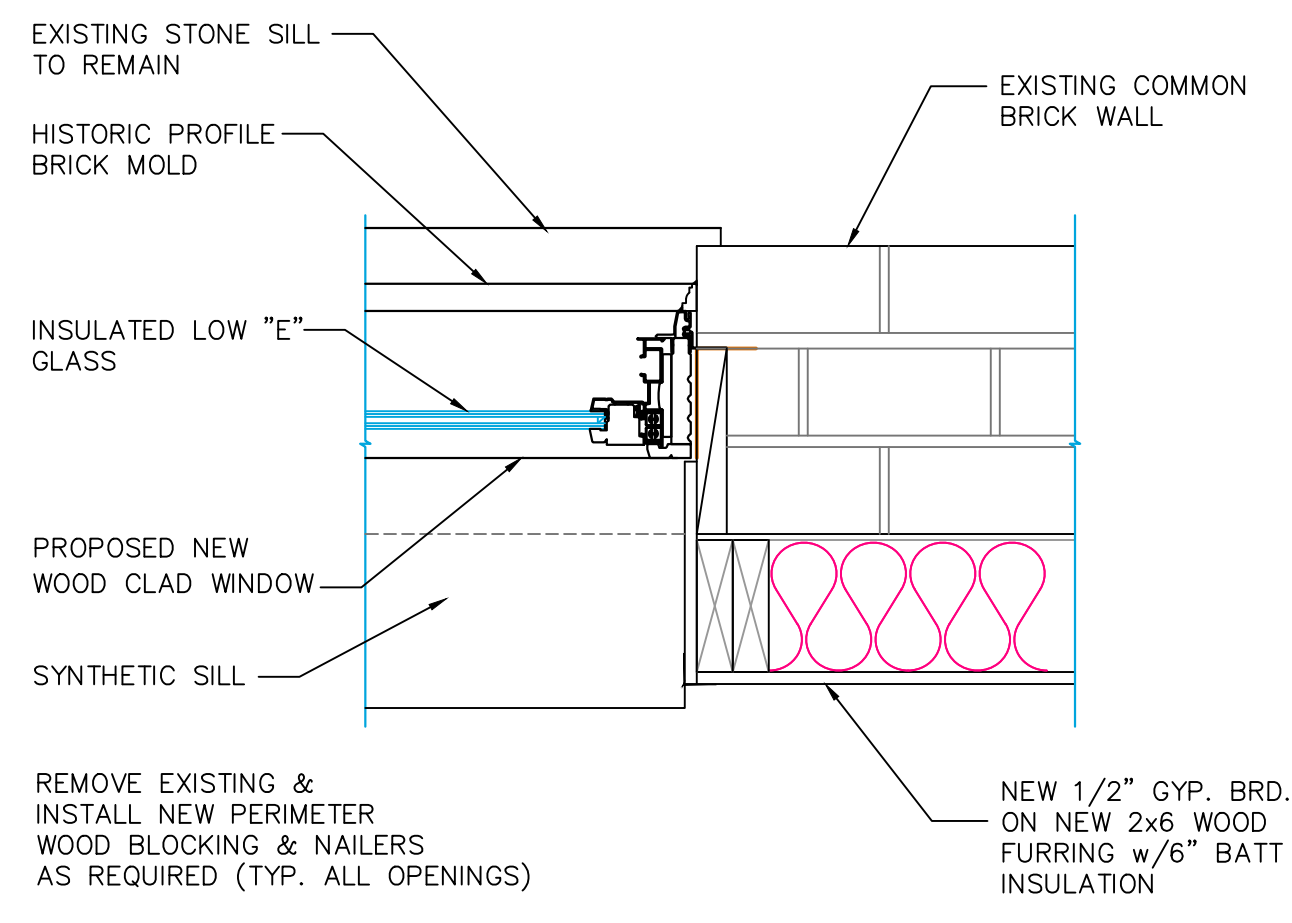
JUNE 15, 2020

HISTORIC APPROVAL

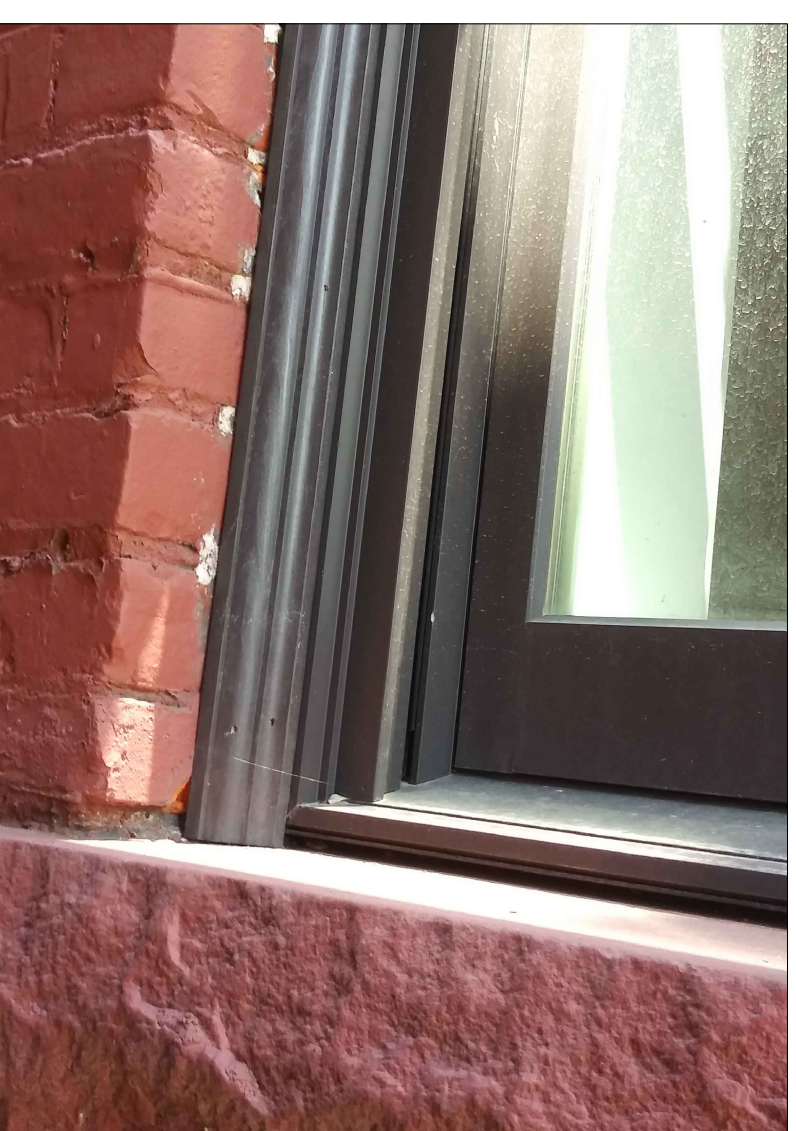
EXTERIOR MODIFICATIONS



1 TYPICAL WINDOW DETAIL
SCALE: 1-1/2"=1'-0"



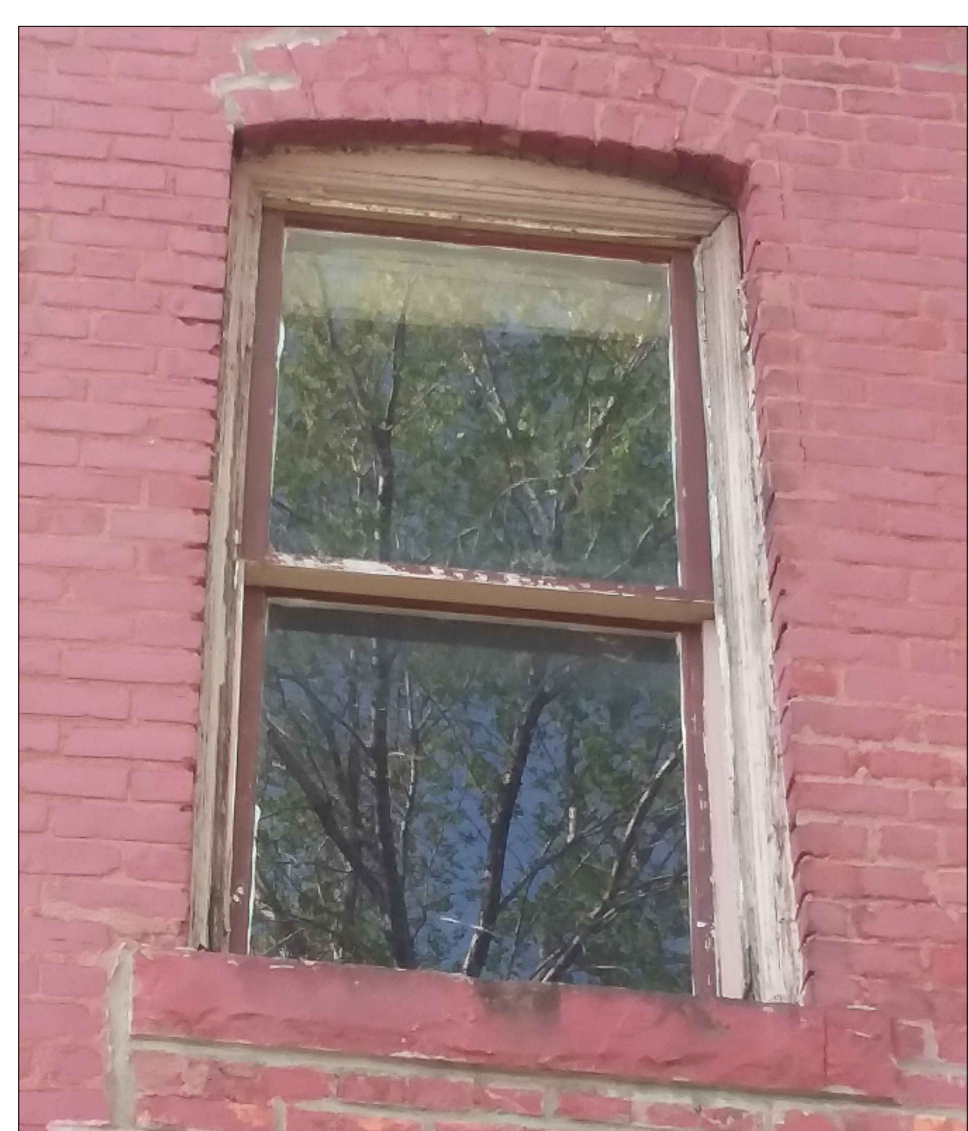
2 TYPICAL JAMB DETAIL
SCALE: 1-1/2"=1'-0"



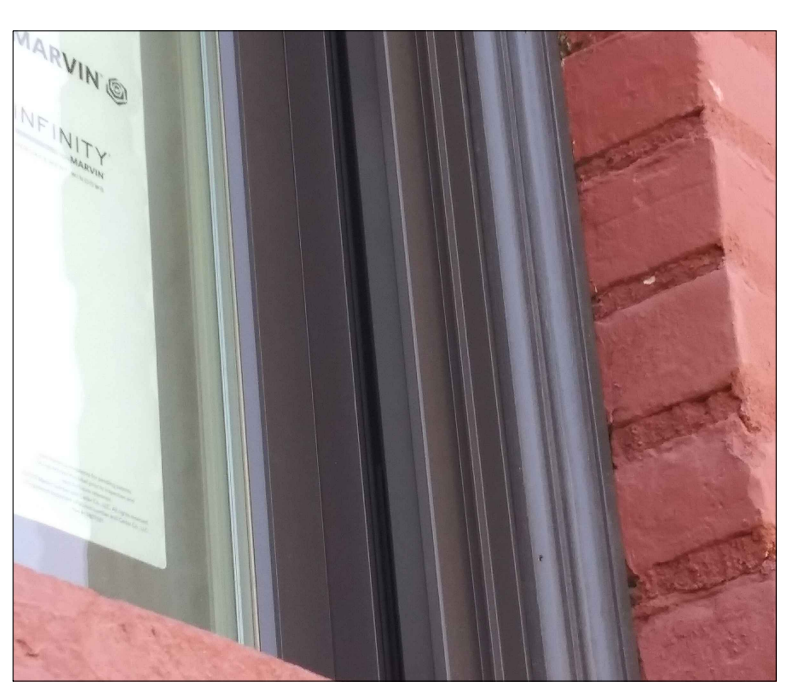
Typical Window
Proposed New Window
WITH HISTORIC BRICK MOLD TRIM



Typical Window
Proposed New Window
WITH HISTORIC BRICK MOLD TRIM



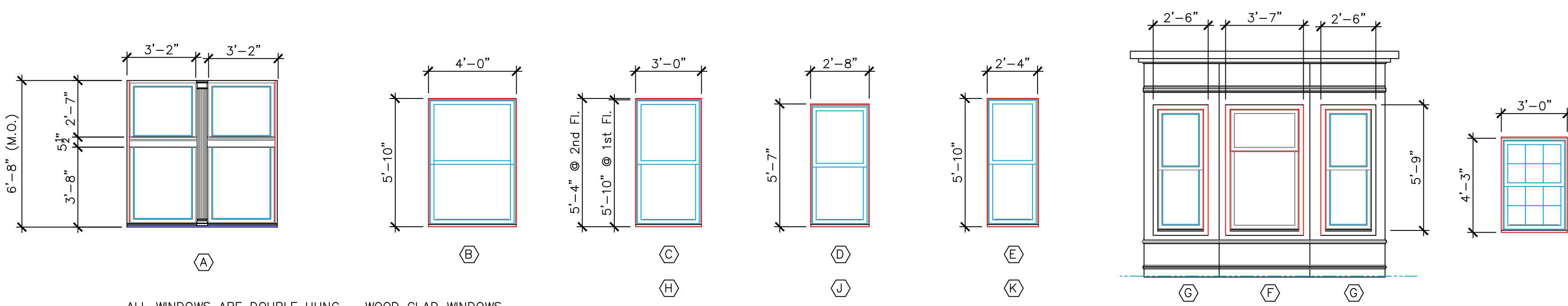
Typical Window
INSTALL NEW WINDOWS MATCHING EXISTING



Typical Window
Historic Profile Brick Mold



Building Before Renovations
South Wall - Units 1 and 2



ALL WINDOWS ARE DOUBLE HUNG - WOOD CLAD WINDOWS WITH LOW "E" GLASS
 PROPOSED WINDOW: MARVIN - INFINITY SERIES, WOOD CLAD WINDOWS WITH PRE-FINISHED METAL EXTERIOR CLADDING, INSULATED LOW "E" GLASS; HISTORIC SERIES w/HISTORIC PROFILE BRICK MOLD TRIM & FLASHING

Window Types:

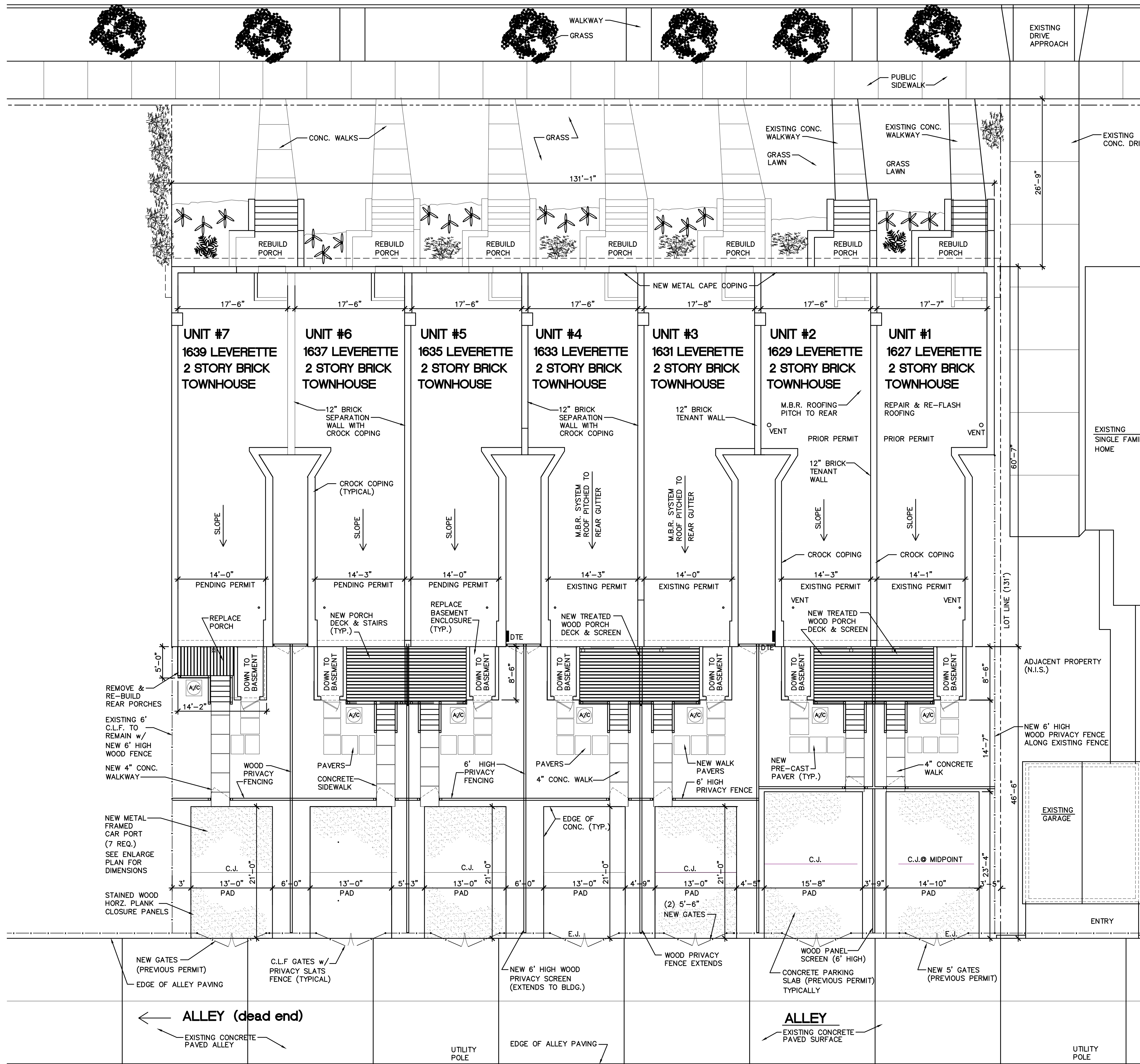


Proposed New Window
NOTE: (HISTORIC TRIM TO BE INSTALLED)



Building Before Renovations
Front Entry Porch (Typical)

LEVERETTE ST.



Zoning - R2
PROPERTY DESCRIPTION:

1627 & 1629 LEVERETTE, LOTS 13 to 16;
 1631 & 1633 LEVERETTE, LOTS 13 to 16;
 PARCEL #08000416; .391 ACRES, 130' x 131'
 BEECHERS LUTHER SUB-DIVISION
 (PREVIOUS PERMIT - UNITS #1 & #2 - ON GOING)
 (THIS PERMIT - UNITS #3 & #4)

REAR PORCH DECK NOTES:

ALL WOOD SHALL BE TREATED LUMBER
 ALL DECK CONSTRUCTION SHALL COMPLY WITH CURRENT CODES
 ALL BASE ANCHORS SHALL ME SIMPSON STRONG TIES
 POST FOOTINGS SHALL EXTEND 48" BELOW GRADE
 DECK BOARD SHALL BE ANCHORED WITH DECK SCREWS
 PORCH DECK LEDGER BEAM SHALL BE THRU BOLTED w/3/8" DIA. HEAD STUDS
 STAIRS STRINGERS SHALL BE TREATED WOOD (3) STRINGERS PER STAIR SHALL BEAR ON CONC. PAD
 PROVIDE & INSTALL METAL FLASHING SEALED TO WALL ALONG TOP OF LEDGER & 2x8 FRAMING
 REMOVE EXISTING FAILED CONCRETE SLAB & STACK CMU BLOCK SUPPORTS, REMOVE EXISTING WOOD FRAMED SHED, FILL IN EXISTING GRADE OPENING & COMPACT FILL MATERIAL IN 6" LIFTS (MAX.)

CORNICE REPAIR NOTES:

REMOVE REMAINING FAILED CORNICE MATERIALS
 REMOVE ALL LOOSE BRICK WORK & MASONRY
 REBUILD BRICK PARAPET WALL & TUCK POINT ALL OPEN JOINTS
 INSTALL NEW CORNICE SUPPORTS, BLOCKING & FRAMING, ALL NEW WOOD SHALL BE TREATED LUMBER (ANCHORED TO MASONRY WITH TAPCONS)
 INSTALL NEW FRP CORNICE PER MANUFACTURER

SPECIAL NOTE:
 THE NEW CORNICE SHALL MATCH THE EXISTING CORNICE IN PROFILE, DIMENSIONS AND DETAIL, CORNICE SHALL HAVE THE DECORATIVE LEAF APPLIED TO SURFACE AT THE MANUFACTURING FACILITY OR FUSION WELDED AT THE SITE.

CORNICE SHALL BE FORMED FRP BY ARCHITECTURAL FIBERGLAS, INC.. CORNICE SHALL BE CUSTOM MOLDED TO MATCH EXISTING BUILDING CORNICE PROFILE

CORNICE TO HAVE SEALED LAP JOINTS WITH CONCEALED FASTENING.

CORNERS SHALL BE PRE-FORMED UNITS (NO LAP JOINTS OR MITERED CORNERS)

REQUIRED VENTS & DRAINAGE OPENINGS SHALL BE FORMED OR DRILLED AT THE MANUFACTURING FACILITY

SPECIAL NOTE:

PROPOSED NEW CAR PORTS
 REPLACE EXISTING WINDOWS IN LIEU OF REPAIR
 INCREASE SIZE OF REAR PORCH DECK

JUNE 15, 2020

HISTORIC APPROVAL

EXTERIOR MODIFICATIONS - REVISION 1/27/2021

NOTES:

Project:
Leverette Apartments - Exterior Corrections
 Existing Apartment Renovations
 Leverette Development, LLC
 1627 Leverette Street
 Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
	Historic Approval	1/27/21
1	1st Submission	6/20/20

ISSUED FOR:

PROJECT TITLE

**CORK TOWN 's
 Newly Renovated
 LIVING UNITS**

**Leverette St.
 Detroit, Michigan**

DRAWN KM

CHECKED -

APPROVED -

SHEET TITLE

**Overall Building
 SITE PLAN**

PROJECT NO.

SHEET NO.

DATE

6/15/2019

HC-1

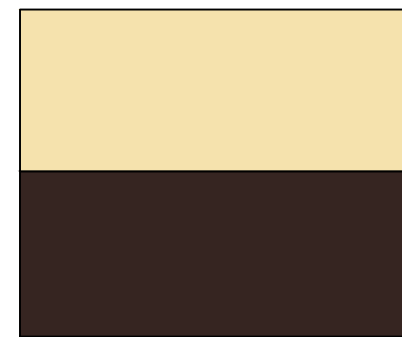
PROPOSED RESOLUTION:

PARAPET LEVEL
 INSTALL DECORATIVE LEAF ON CORNICE (EXPECTED DELIVERY FOR DECORATIVE LEAF - MARCH 1, 2021)

SECOND LEVEL
 REMOVE UN-APPROVED BAY WINDOWS & INSTALL NEW WINDOW MATCHING PROPORTIONS OF EXISTING BAY WINDOW OPENINGS; REPAINT TRIM ACCENT (COLOR #2) (BASE COLOR TO REMAIN THE SAME)

FIRST LEVEL
 RE-INSTALL HORIZONTAL TRIM MEMBER AT MEETING RAIL - (RE-INSTALL HORIZONTAL TRIM AT LOCATION OF REMOVED WINDOW HORZ. MEMBER)
 APPLY NEW TRIM COLOR ACCENT AS INDICATED ON PICTURE OF ENTRY

PROPOSED COLOR (SEE COLOR CHIP)

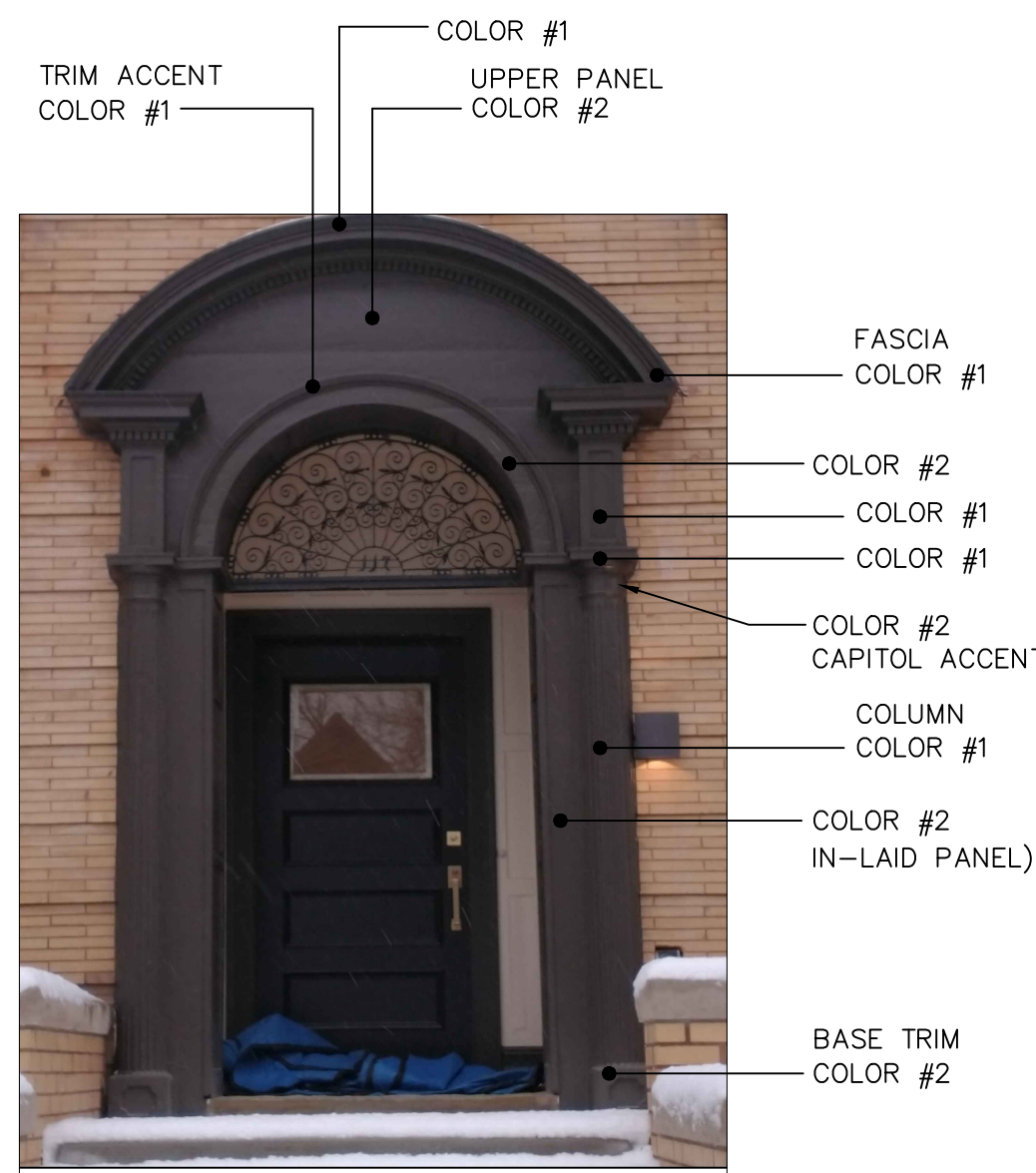


SW0035 - INDIAN WHITE
 COLOR #2 (New to be Added)

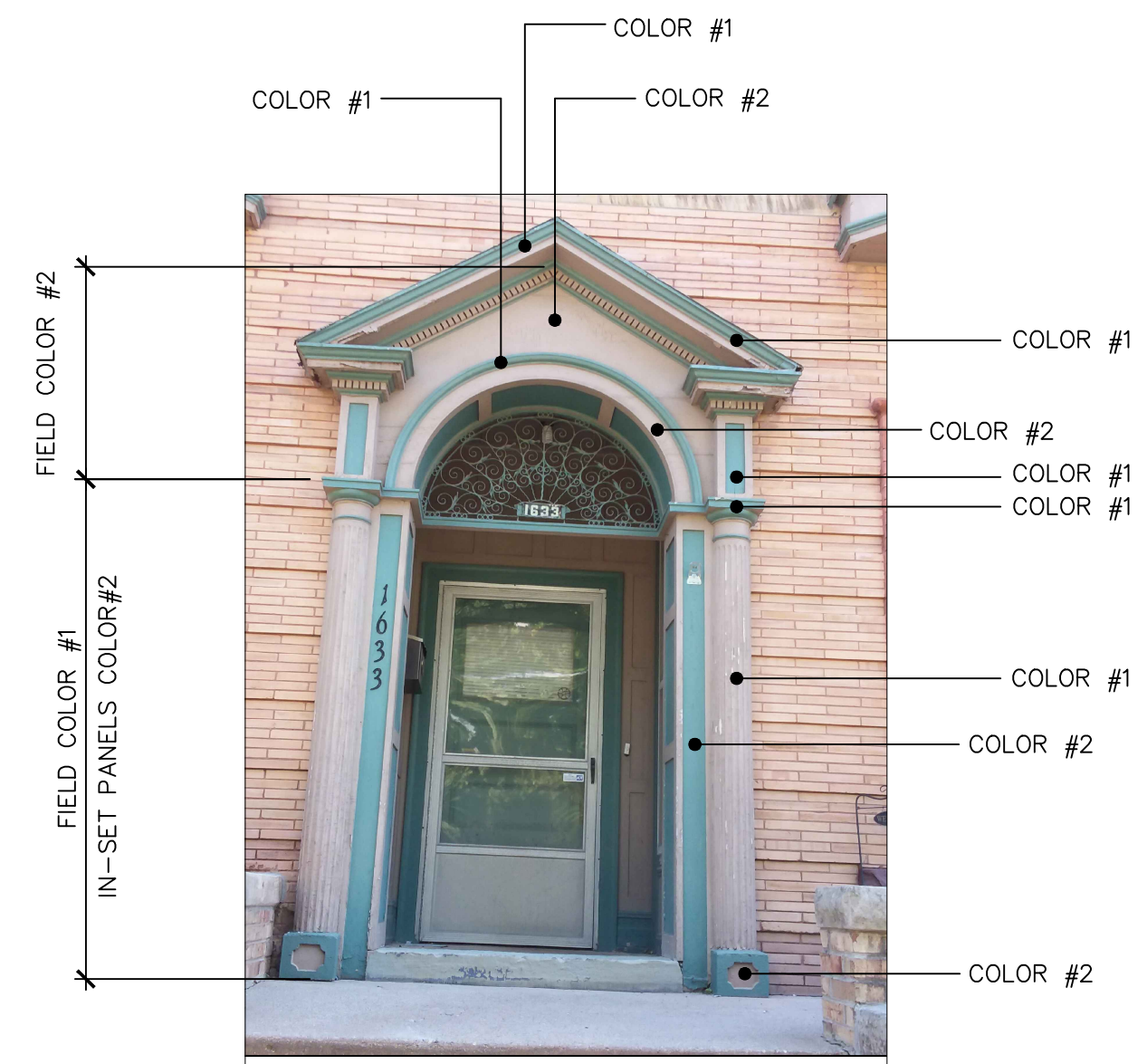
SW7675 - SEALSKIN
 COLOR #1 (Current - Dark Bronze)

SPECIAL NOTE:
 THE FRONT ENTRY ARE ALL EXISTING TRIM & DOORS; THAT HAVE BEEN REPAIRED, RE-FINISHED & NEW HARDWARE INSTALLED

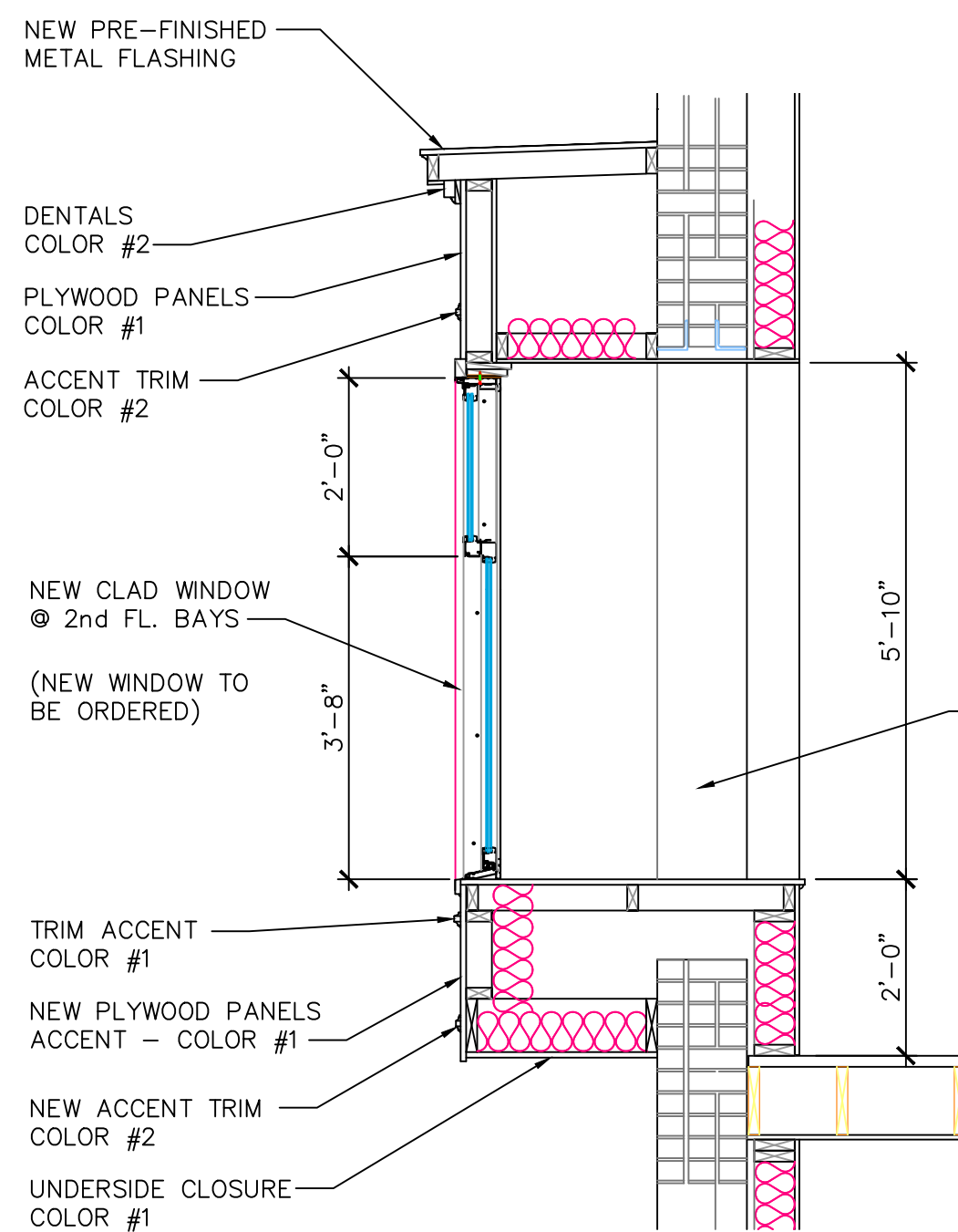
COLOR SELECTION



Entry Way (Current)



Existing Entry Way Before Re-Painting



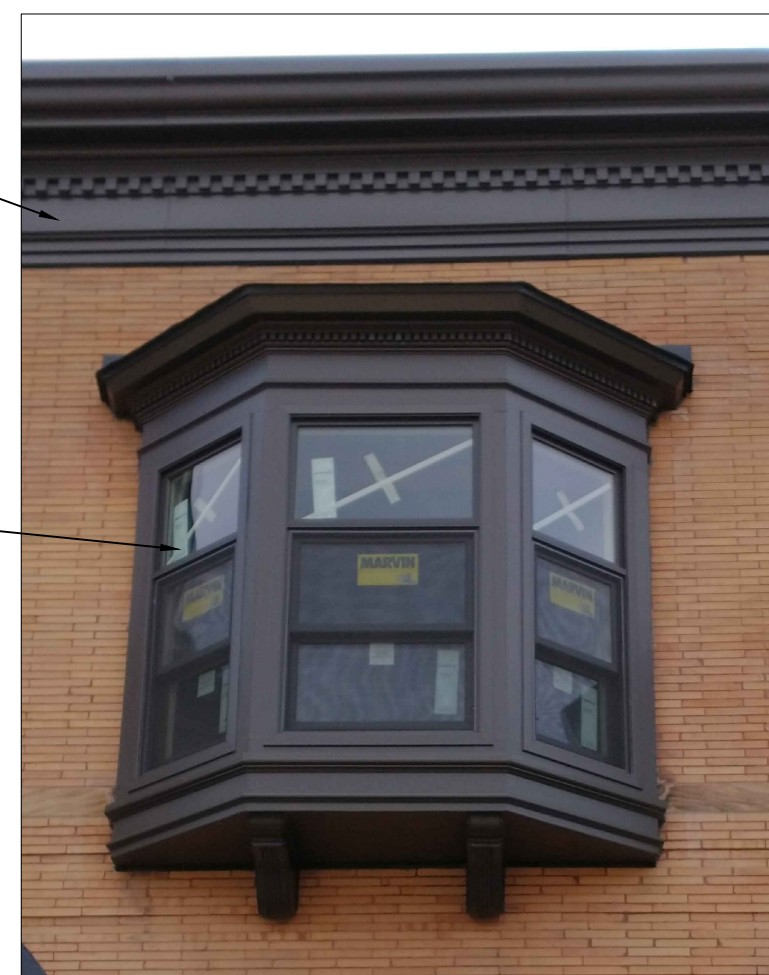
New Window Section • Bay

INSTALL DECORATIVE LEAFS ON CORNICE

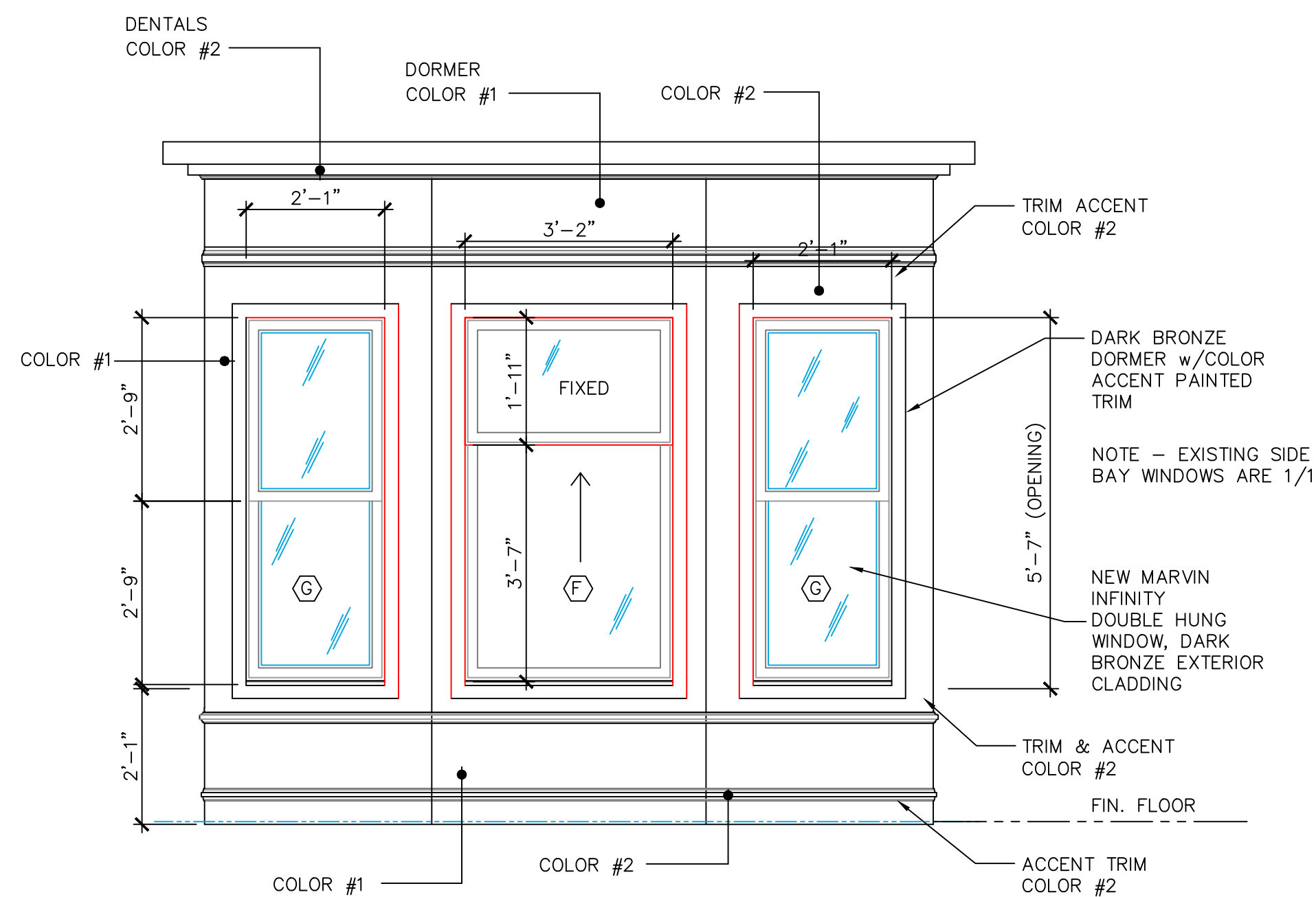
APPLY ACCENT COLOR (SEE ELEVATION)

REPAIRED & RE-BUILT BAY WINDOW ENCLOSURE

REMOVE & REPLACE CURRENT BAY WINDOWS WITH UNIT MATCHING THE ORIGINAL WINDOW



**(Currently Installed)
 Bay Windows To Be Removed**

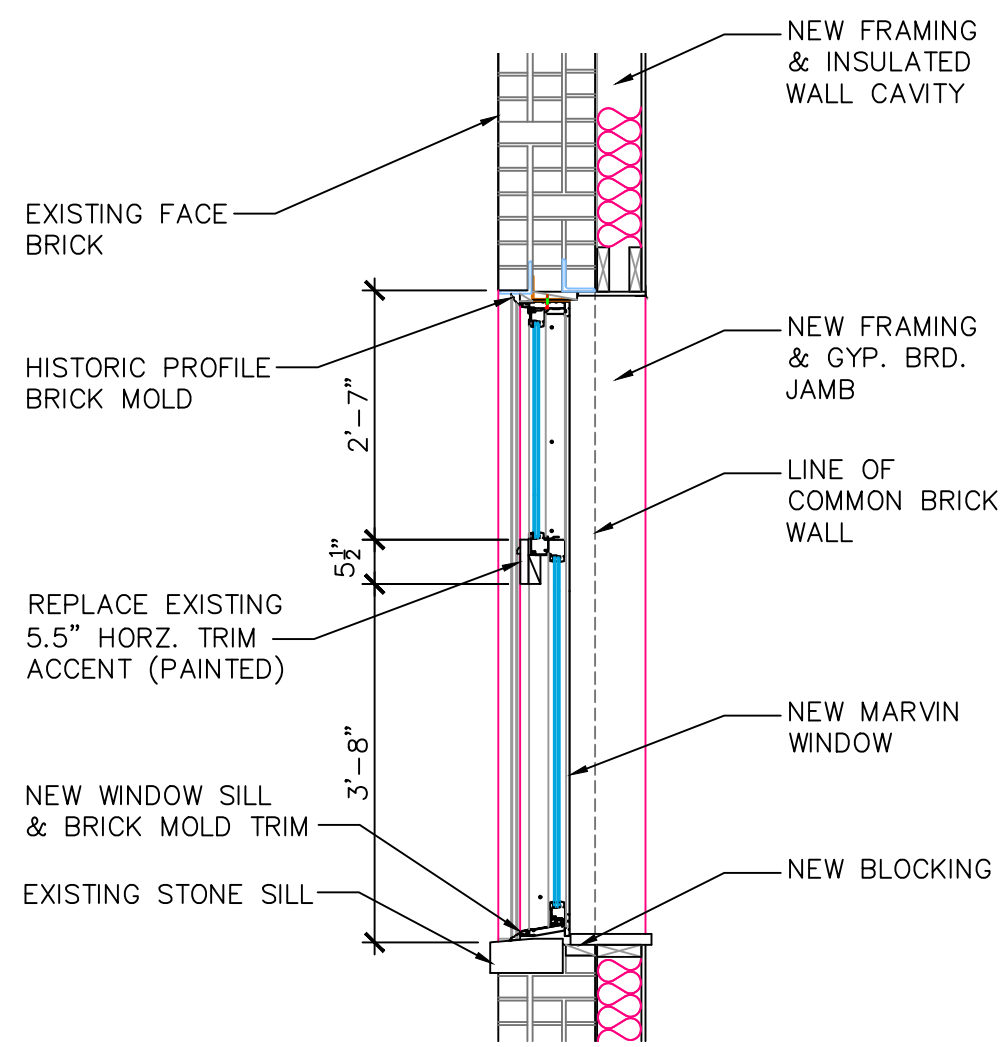


Bay Window Elevation

(NEW WINDOWS TO BE ORDER UPON APPROVAL)
 (DIMENSIONS SHOWN ARE THE SIZE OF THE REMOVED WINDOWS - NEW WINDOW SHALL BE ORDERED AS SHOWN)



Bay Window Before Replacement

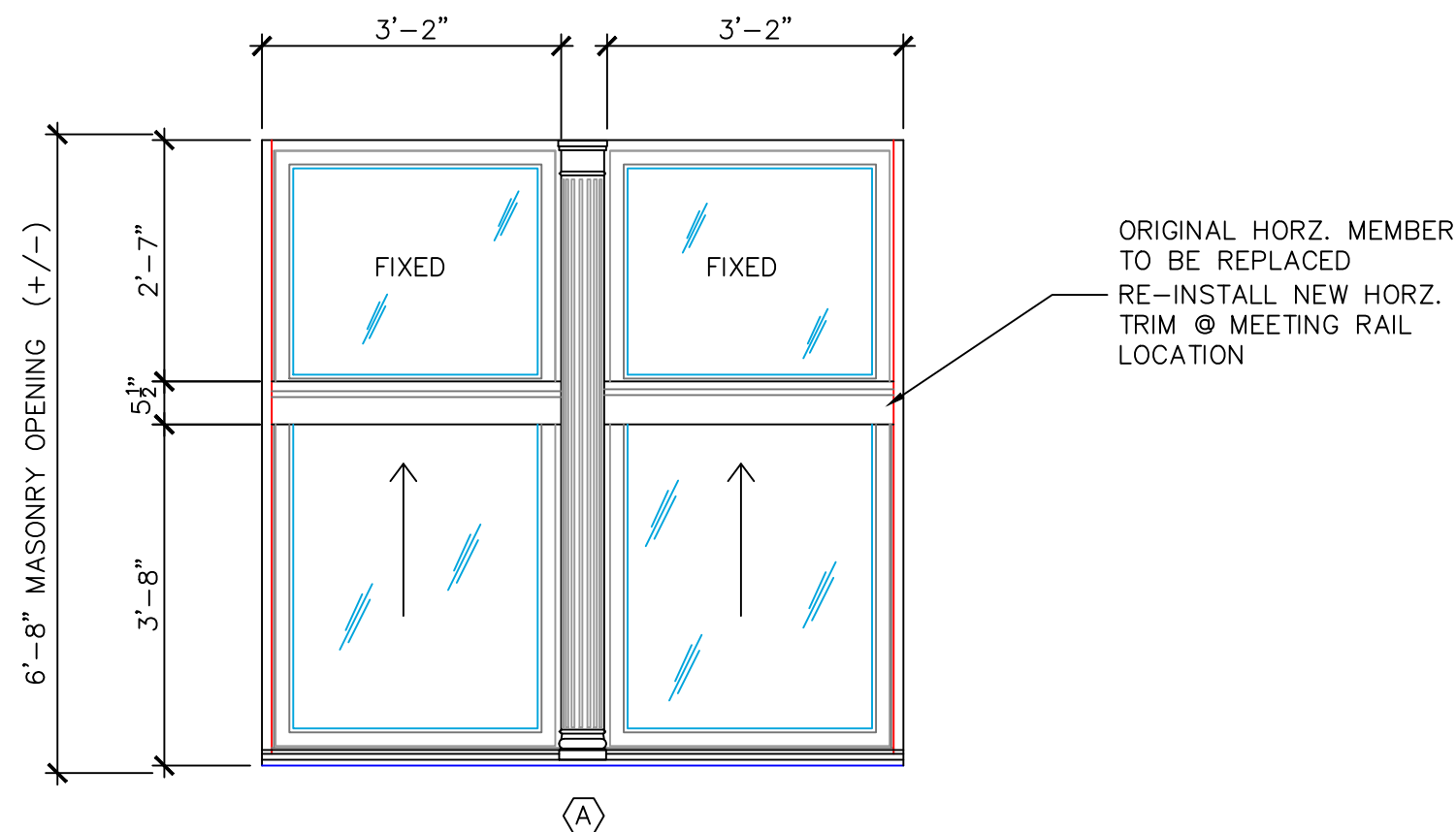


Window Section / Detail



1st Floor Window

NOTE: HORIZONTAL TRIM @ MEETING RAIL (TO BE INSTALLED)



Existing Window Elevation



Window Before Replacement

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
 Leverette Development, LLC
 1627 Leverette Street
 Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
1	Historic Approval	1/27/21

ISSUED FOR:

PROJECT TITLE

**CORK TOWN 's
 Newly Renovated
 LIVING UNITS**

**Leverette St.
 Detroit, Michigan**

DRAWN	KM
CHECKED	-
APPROVED	-

SHEET TITLE

**Front Window
 Corrections**

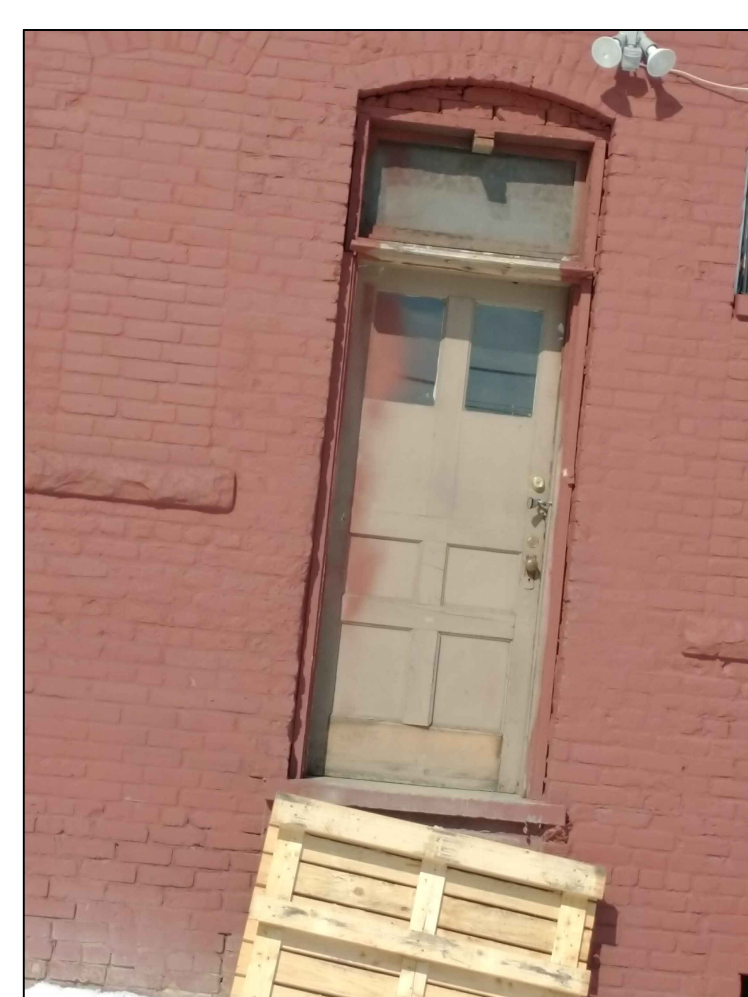
PROJECT NO.	SHEET NO.
	Sketch HC-3
DATE	
1/15/2021	

NOTES:

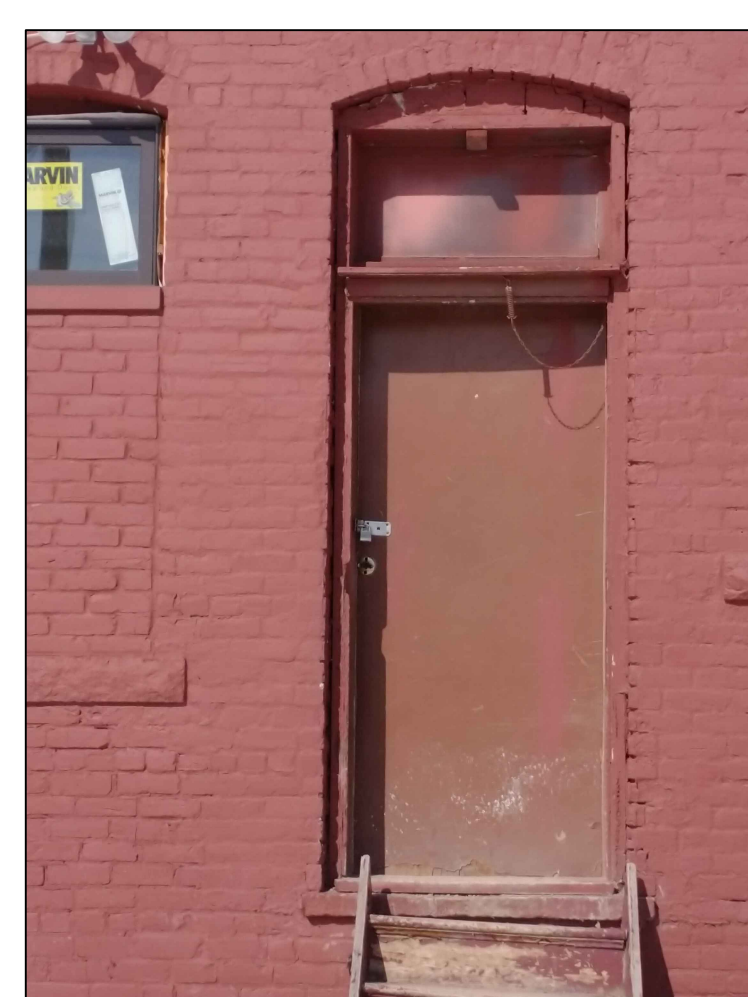
Project:
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Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216



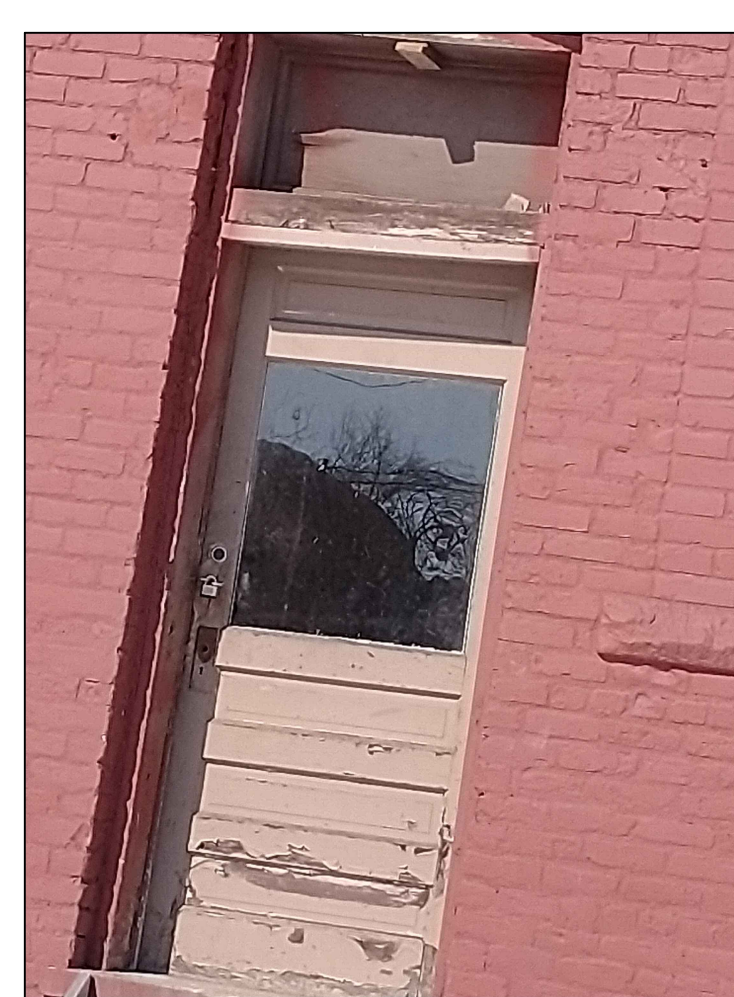
Existing Unit Rear Door
(CURRENT)



Existing Unit Rear Door
(CURRENT)



Existing Unit Rear Door
(CURRENT)



Existing Unit Rear Door
(CURRENT)



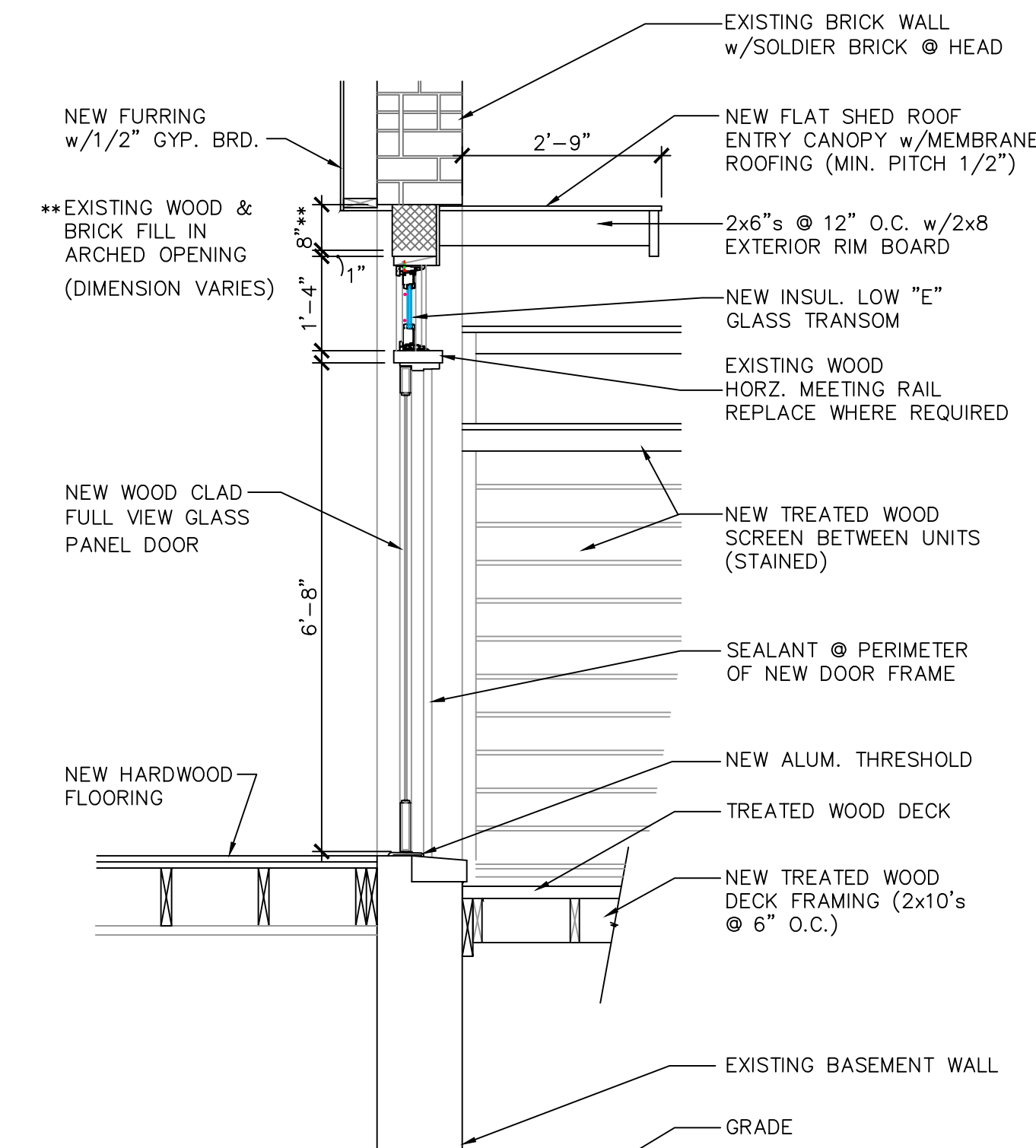
Existing Unit Rear Door
(CURRENT)



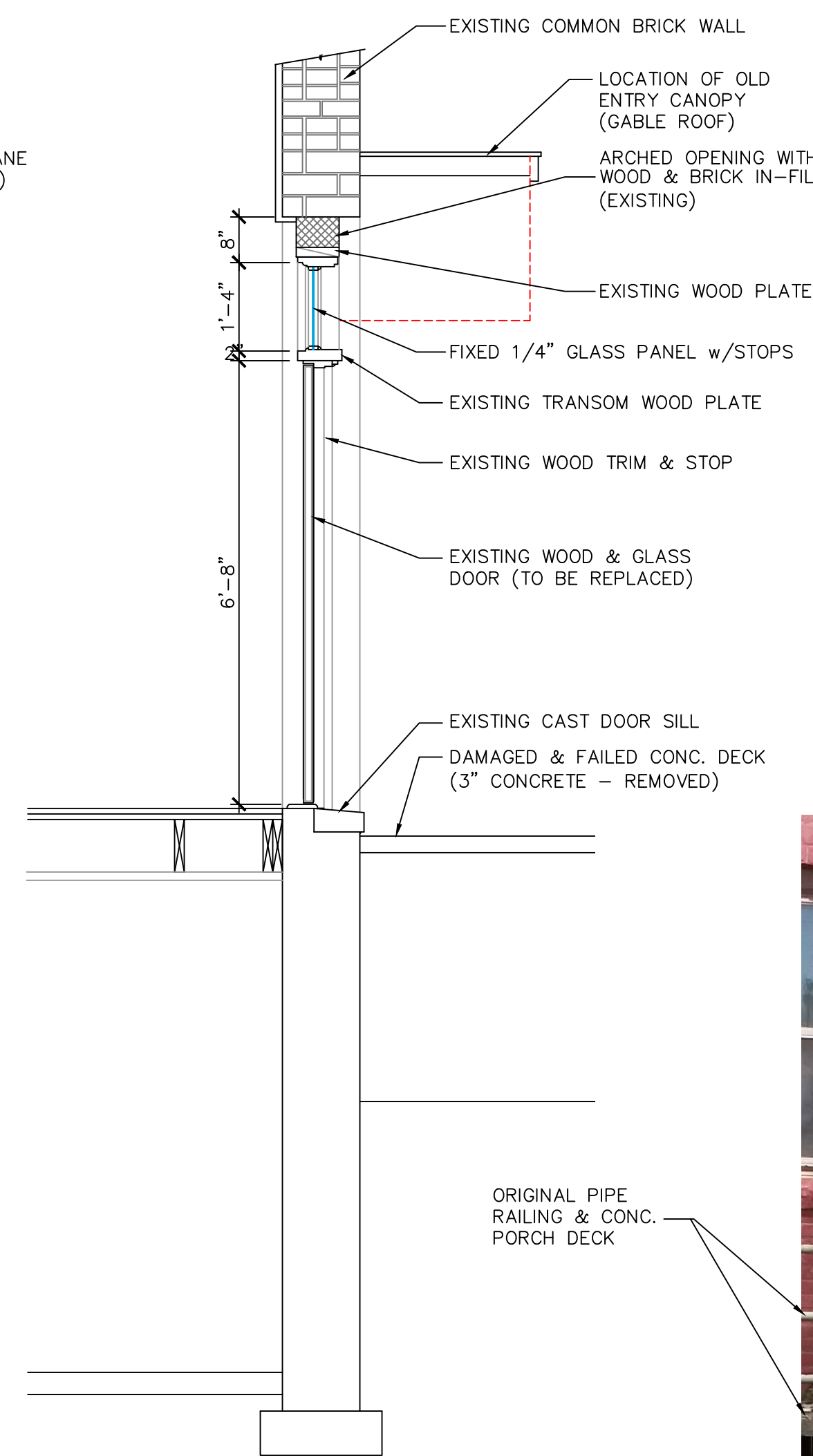
Enlarged View of Existing Door Transom Opening

- EXISTING WOOD FRAME TO REMAIN
- EXISTING TRANSOM WITH SOLID WOOD PANEL
- EXISTING WOOD MEETING RAIL (REPLACE WHERE REQUIRED DUE TO DAMAGE OR ROTTING CONDITIONS)
- SPECIAL NOTE: LOCATION OF OLD GABLE ROOF OVERHANG COMPLETELY CONCEAL THE UPPER TRANSOM PANEL

EXISTING WOOD FRAME w/MASONRY FILL-IN AT ARCHED HEAD



Proposed Door Replacement



Existing Door Opening

Work Modified and Installed

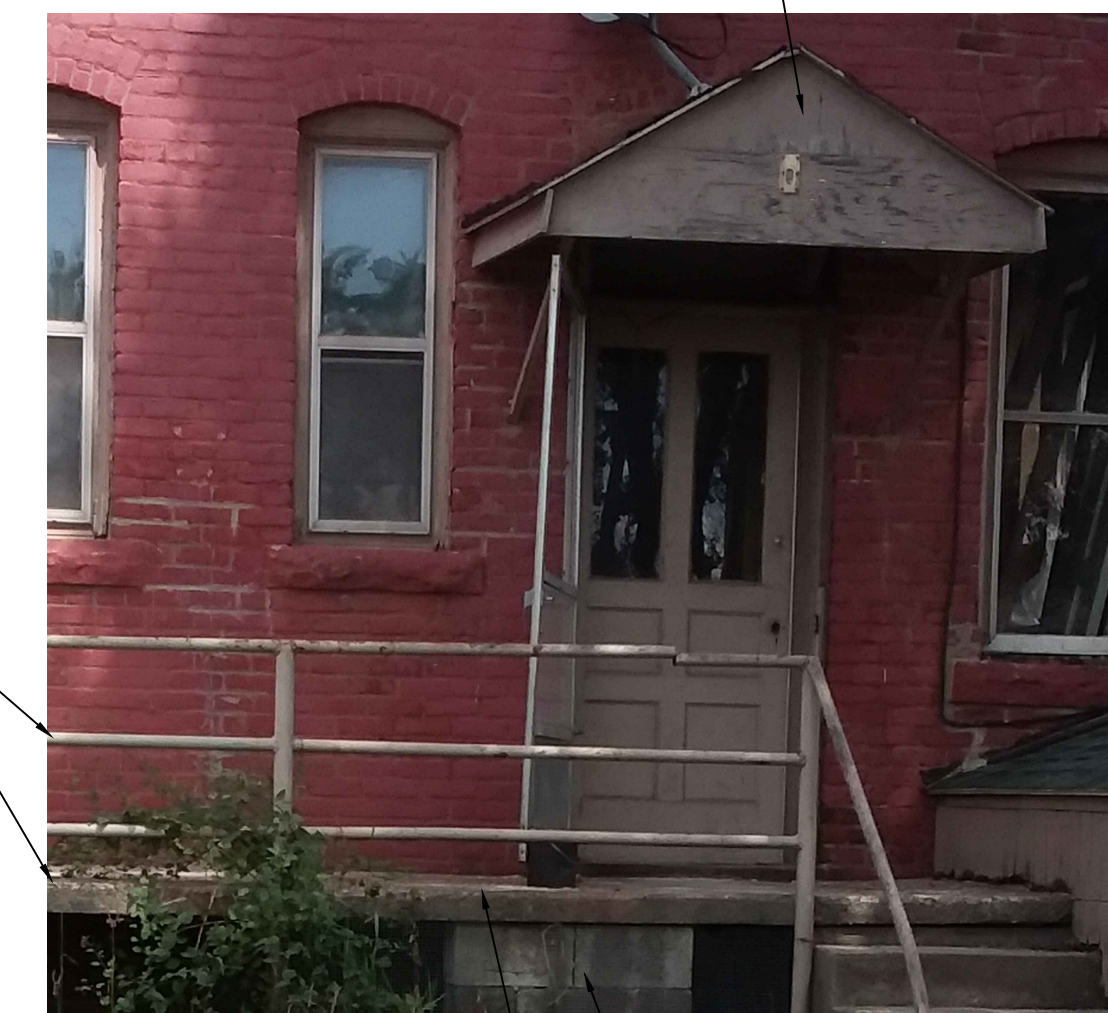
- REMOVED GABLE ROOF ENTRY CANOPY
- REMOVED PIPE RAILING & FAILING CONCRETE PORCH DECK
- REMOVED & REPLACED EXISTING WINDOWS
- REMOVED & MODIFIED BASEMENT STAIR ENCLOSURE
- INSTALLED NEW TREATED WOOD PORCH DECK AND TREATED WOOD RAILING & PRIVACY SCREEN

NOTE: ALL DOORS @ EXISTING APARTMENT ENTRIES ARE DIFFERENT IN STYLE & MAKE UP



Enlarged View of New Door Transom Opening

- SPECIAL NOTE: NEW SHED ROOF CANOPY TO BE INSTALLED AFTER HISTORIC APPROVAL (IN VOID LOCATED ABOVE GLASS TRANSOM)
- NEW PLYWOOD CLOSURE PANEL OVER EXISTING
- NEW LOCATION FOR NEW ENTRY CANOPY ROOF
- NEW TRANSOM WINDOW INSTALLED
- WOOD MEETING RAIL REPLACE WHERE REQUIRED
- NEW WOOD CLAD DOOR



Existing Porch - Rear Door

DAMAGED CONC. DECK STACKED CMU SUPPORT

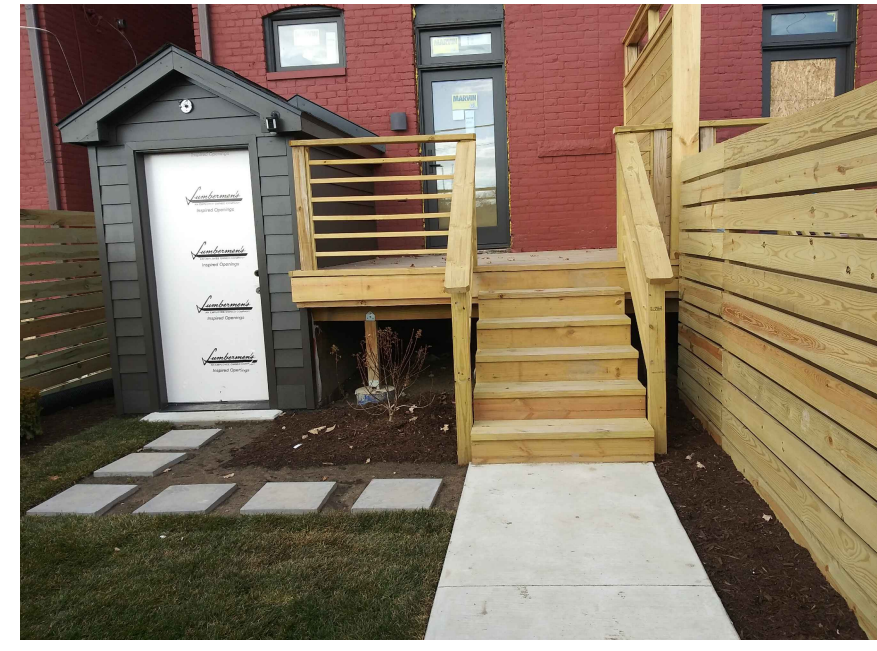
	Historic Approval	1/27/21
1		
NO.	DESCRIPTION	DATE

ISSUED FOR:
PROJECT TITLE
CORK TOWN 's Newly Renovated LIVING UNITS
Leverette St.
Detroit, Michigan

DRAWN	KM
CHECKED	-
APPROVED	-

SHEET TITLE
Rear Door and Wall Pictures

PROJECT NO.	SHEET NO.
DATE	HC-5
1/15/2021	



New Rear Porch Deck

(UNIT #2 - REAR PORCH DECK SHOWN)
 NEW PORCH DECK & BASEMENT STAIR ENCLOSURE
 NEW WINDOWS INSTALLED - NEW REAR DOOR INSTALLED
 NEW SOD & WALKS INSTALLED (UNITS #1 & #2)
 REAR WALL PAINTED

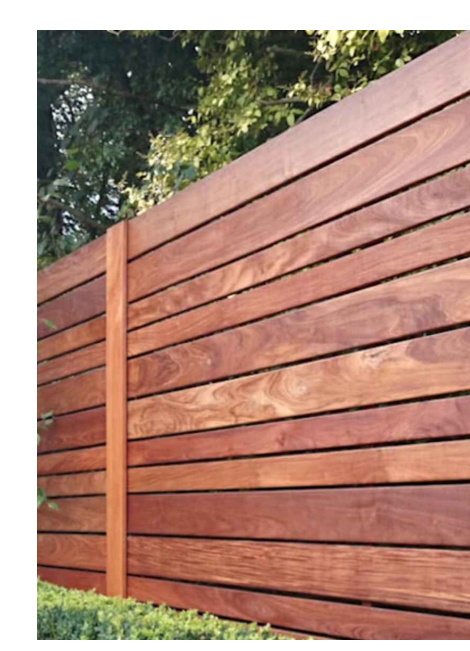


New Rear Yard

(UNIT #2 - VIEW TOWARDS WEST)



New Rear Yard

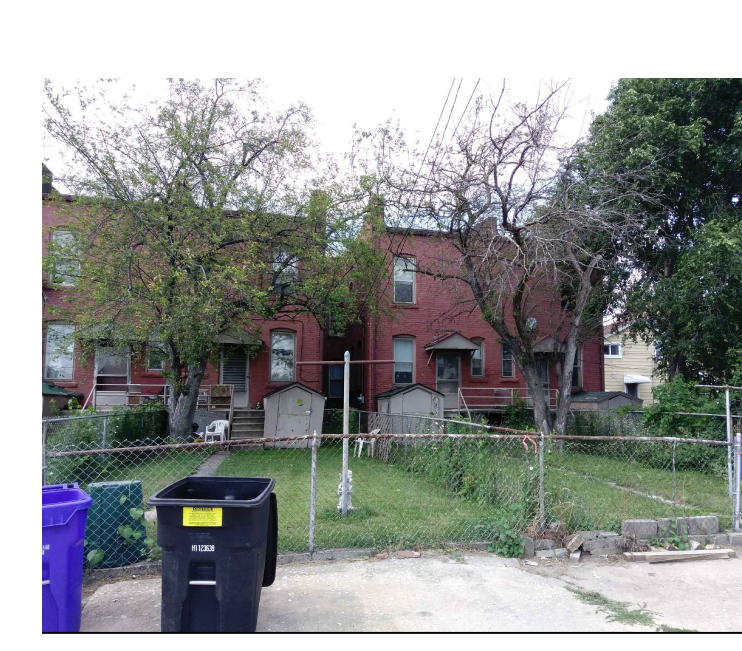


Example of Fence Stain Color



Condition of Rear Building Before Exterior Modifications

(NOTE - TUCK POINTING & WALL REPAIRS UNDERWAY)
 NEW ROOF & DOWNSPOUTS INSTALLED

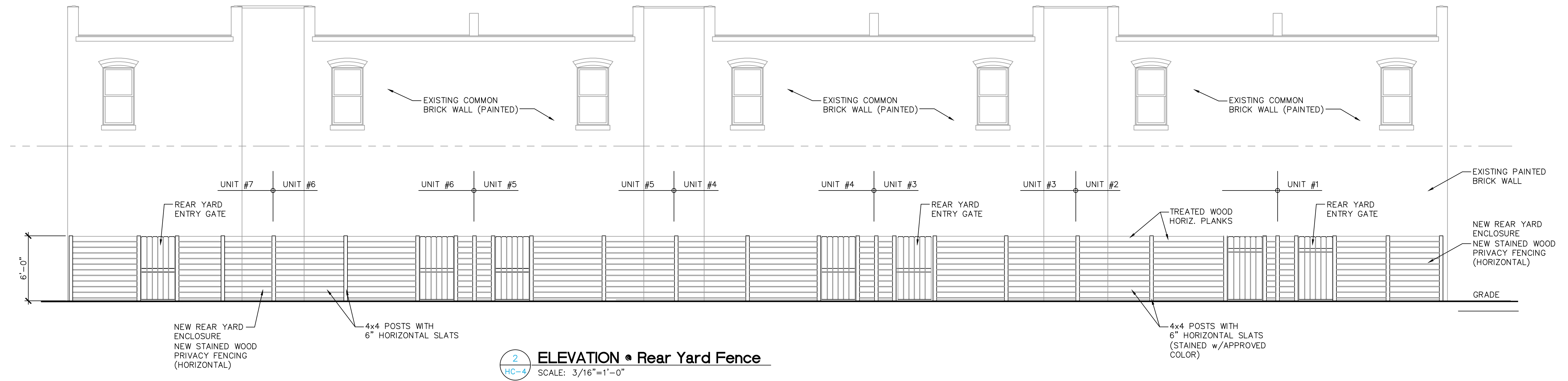


View of Rear Yard (East End) Before Renovations

NOTE: NEW ROOF & DOWNSPOUTS INSTALLED

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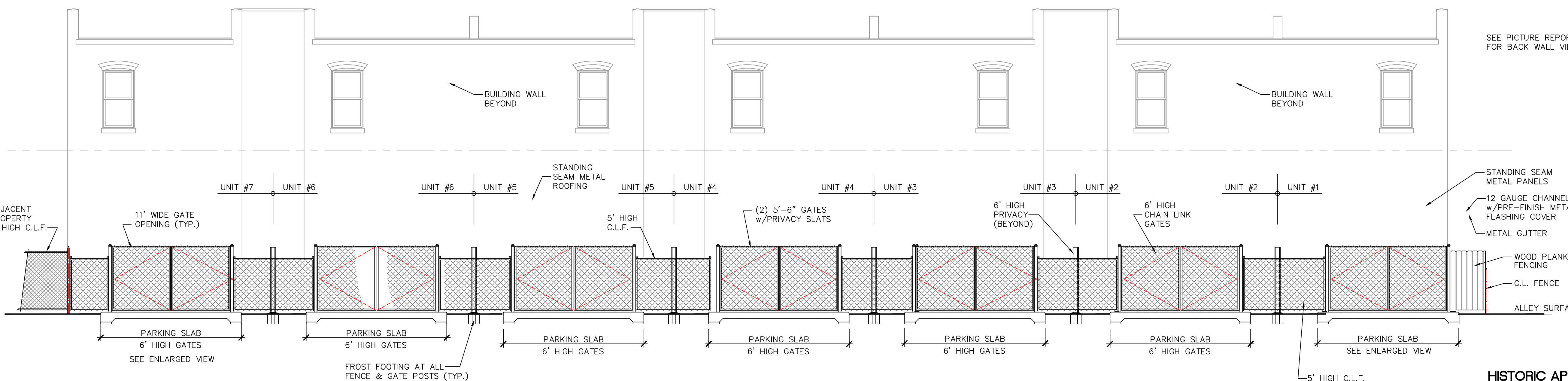
2 ELEVATION • Rear Yard Fence
 SCALE: 3/16"=1'-0"

PRIVACY FENCE NOTE:

NEW 6' PRIVACY FENCE & SCREEN (TREATED PINE)
 4x4" MAIN POSTS, WITH 12"x42" FROST FOOTING;
 1x6 TREATED PINE WOOD PLANKS
 ALL DECKS & WOOD FENCING TO BE STAINED
 (APPROVED COLOR) SEE COLOR SAMPLES

CHAIN LINK FENCE NOTE:

NEW 6' CHAIN LINK FENCE (GALV.) w/BROWN VINYL COATING
 1-1/2" DIA. POSTS, 8"x42" FROST FOOTING,
 1-3/8" DIA. TOP & BOTTOM RAILS,
 2-1/2" DIA. CORNER & GATE POSTS, 12"x42" FROST FOOTING;
 1-1/2" GATE FRAMING w/CENTER BRACING;
 HEAVY DUTY 270deg SWING HINGES, POST CAPS



1 ALLEY ELEVATION (South)
 SCALE: 3/16"=1'-0"

HISTORIC APPROVAL
 EXTERIOR MODIFICATIONS

1	Historic Approval	1/27/21
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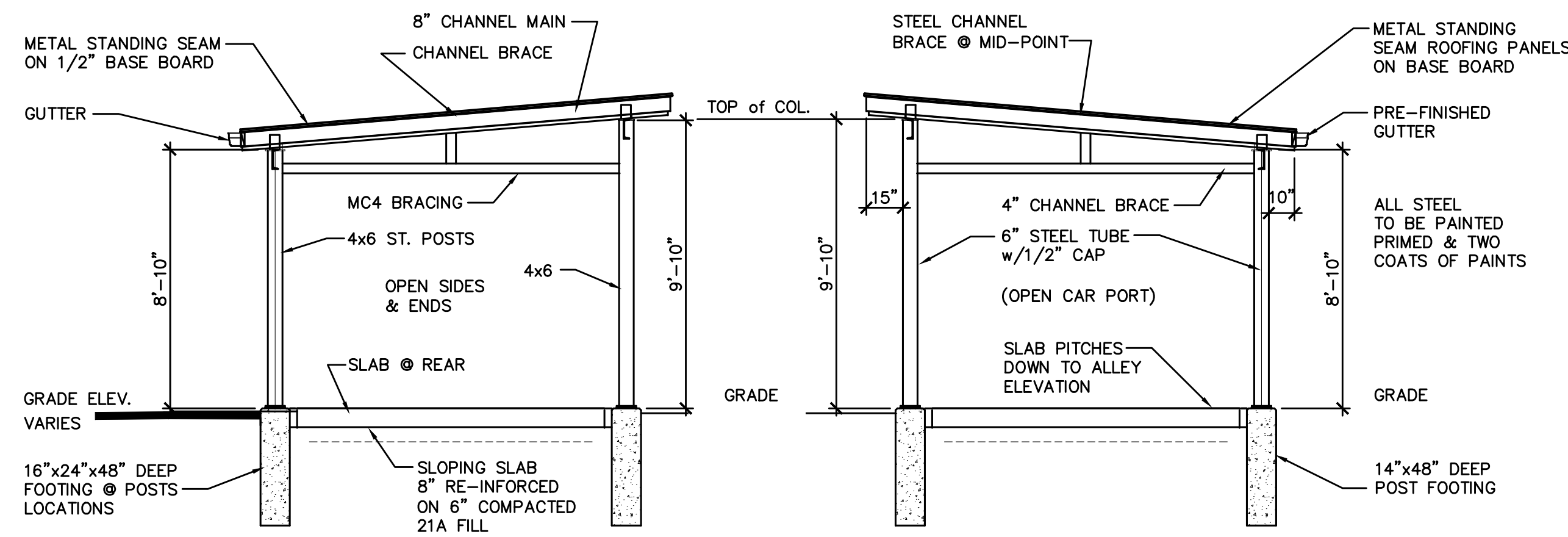
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DRAWN	KM
CHECKED	-
APPROVED	-

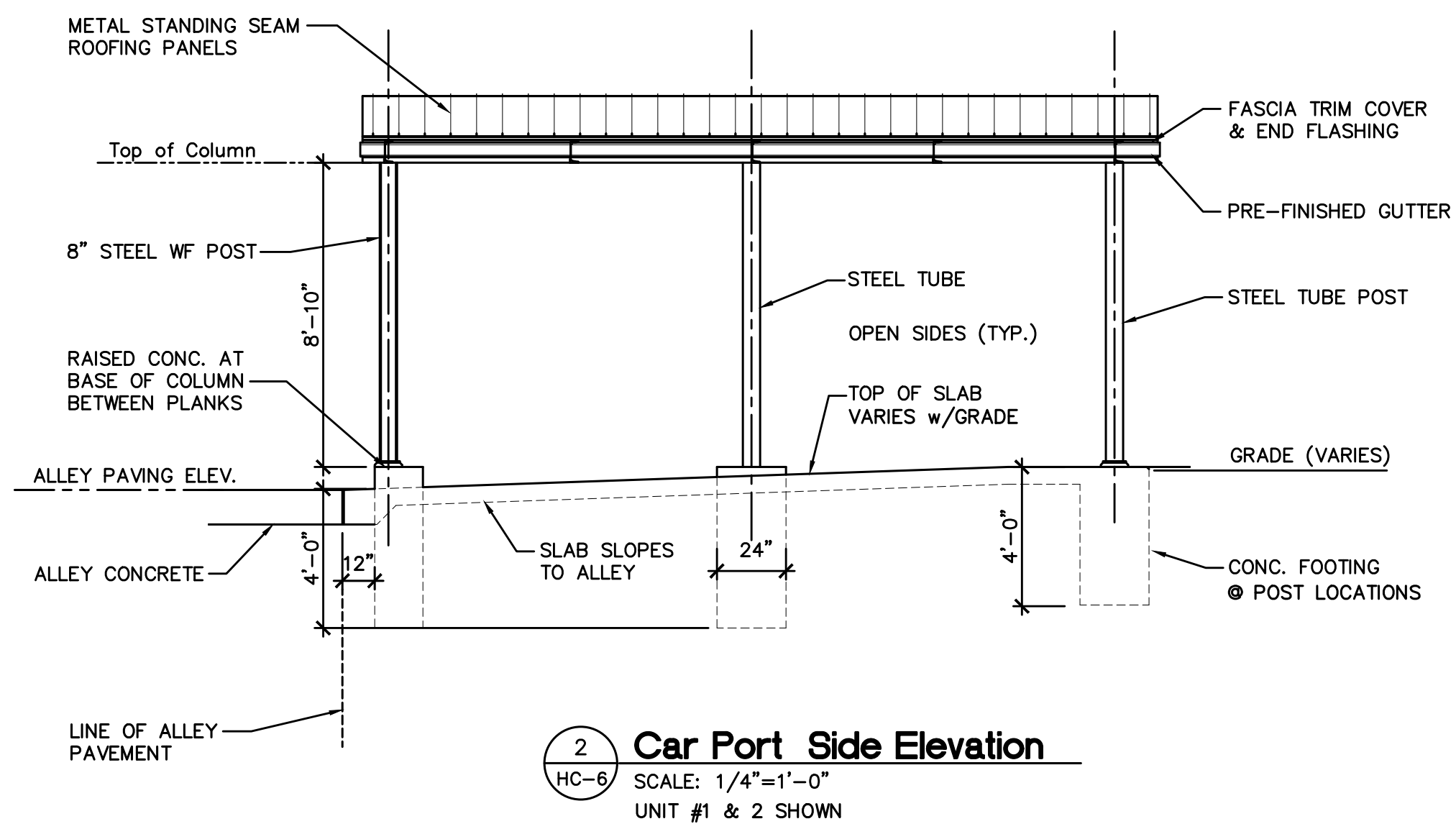
SHEET TITLE
Car Port Plan and Elevation

PROJECT NO.	SHEET NO.
	HC-4
DATE	1/15/2021



4 Group Elevation (South)
HC-6 SCALE: 1/4"=1'-0"

3 Car Port Back Elevation
HC-6 SCALE: 1/4"=1'-0"
UNITS 2/4/6&7 - (UNITS 1/3/5) OPPOSITE



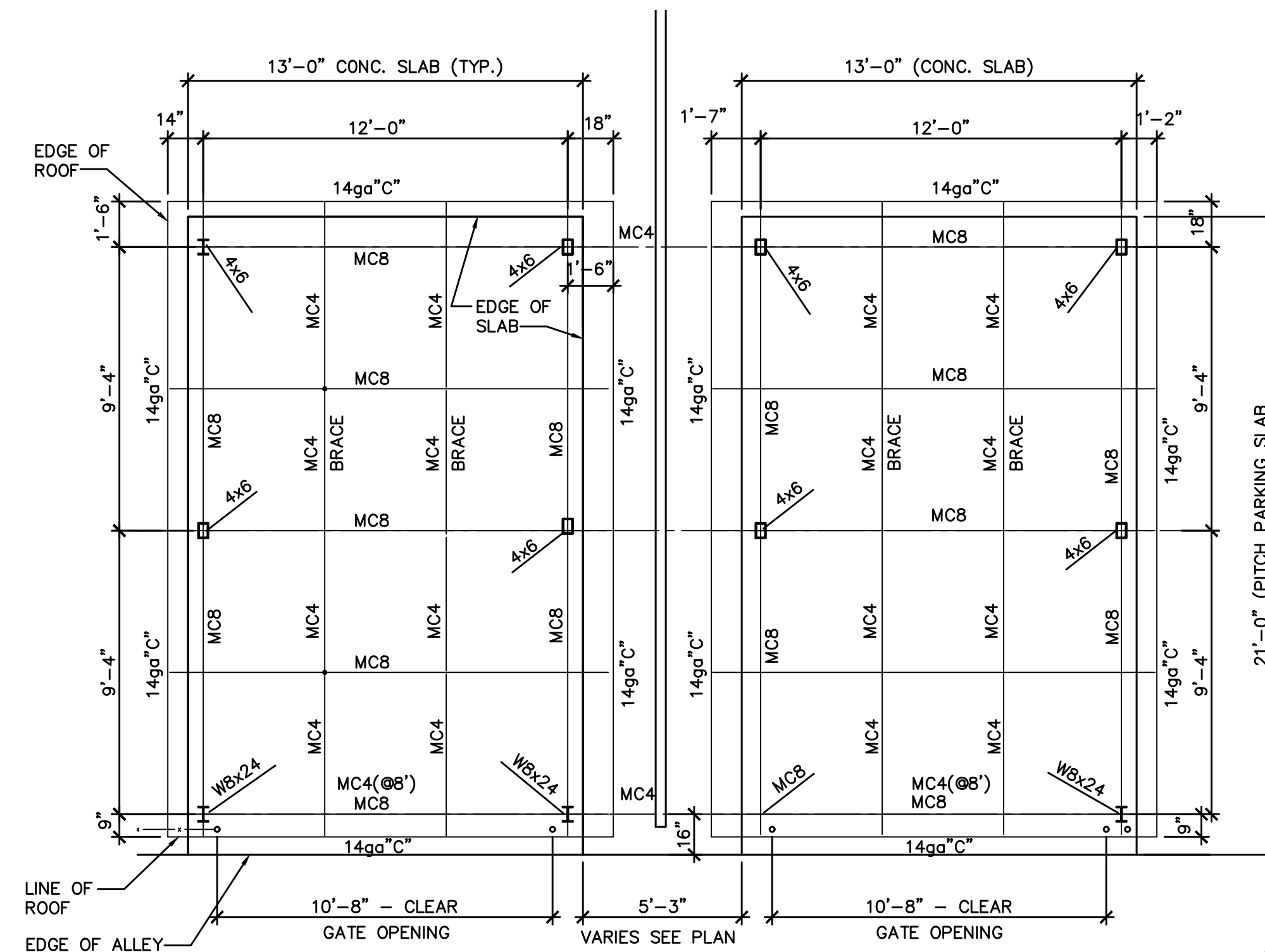
2 Car Port Side Elevation
HC-6 SCALE: 1/4"=1'-0"
UNIT #1 & 2 SHOWN



(EXAMPLE OF FRAMING SYSTEM)

GENERAL WORK NOTES TYPICAL:

1. INSTALL CAR PORT FRAMING, ROOFING & SIDE WALL CLOSURE PANELS
2. ADJUST DIMENSIONS OF ORIGINAL SLAB TO DIMENSIONS SHOWN
3. MODIFIED & ADJUST REAR PORCH DECK DIMENSIONS AS SHOWN
4. STEEL COLUMNS TO HAVE 1" LEVELING BED & BE SET ABOVE SLAB AS SHOWN
5. ADJUST TOP ELEVATIONS OF COLUMN POSTS AS REQUIRED FOR SLOPING GRADE. NOTE: RAISE FOOTING ELEVATIONS AS REQUIRED @ STEEL COLUMNS
6. INSTALL WOOD PRIVACY PANEL FENCING WHERE INDICATED
7. STANDING SEAM ROOFING SHALL BE EQUAL TO McELROY METAL - MIRAGE PANELS 1-5/8" RIBBED 24 GAUGE PANELS, UL580 CLASS 90 RATING, KYNAR 500 FINISH; 14 GAUGE "CEE" BRACING SUPPORTS; MANUFACTURER'S STANDARD CLIPS w/ SPACING SHALL NOT EXCEED 18" O.C.; FLASHING & TRIM BY MANUFACTURER
8. OPEN SIDES & END OF CAR PORTS, ADJUST GRADES ALONG NEW CONCRETE SLAB AS REQUIRED, MAX OF 2" GRADE DIFFERENCE ALONG SLAB'S EDGE
9. CAR PORT FRAMING / CONNECTIONS SHALL BE DESIGNED BY MANUFACTURER / SUPPLIER; OR ALL CONNECTIONS SHALL BE WELDED - 1/4" FILLET (FULL LENGTH OF CLIP BRACKETS)



1 Car Port Framing Plan (Typically)
HC-6 SCALE: 1/4"=1'-0"

SPECIAL NOTE:

PROPOSED NEW CAR PORTS
REPLACE EXISTING WINDOWS IN LIEU OF REPAIR
INCREASE SIZE OF REAR PORCH DECK
JUNE 15, 2020

HISTORIC APPROVAL
EXTERIOR MODIFICATIONS

NOTES:

Project:
Leverette Apartments - Exterior Corrections
Existing Apartment Renovations
Leverette Development, LLC
1627 Leverette Street
Detroit, Michigan 48216

NO.	DESCRIPTION	DATE
1	Historic Rev.	1/27/21

ISSUED FOR:

PROJECT TITLE

**CORK TOWN 's
Newly Renovated
LIVING UNITS**

**Leverette St.
Detroit, Michigan**

DRAWN KM

CHECKED -

APPROVED -

SHEET TITLE

**Car Port Plan
and Elevation**

PROJECT NO.

SHEET NO.

DATE
1/15/2021

HC-6

Project: 1627 Leverette

KM Consulting
17245 Woodbine

Architectural & Construction Services
Detroit, Michigan 48219

Subject: Historic - Building Review & Approval

Project: 1627 Leverette
Detroit, Michigan

Regarding: 1627 Leverette Proposed Work Item Description
City of Detroit – Planning & Development
Historic Building Division

Honorary Board Members:

We are seeking approval for the ongoing renovations at 1627 Leverette.
We are also seeking approval for some work items installed on the exterior of the building (which was done without Historical Division's Approval).

Non-Conforming Items To Be Corrected:

NC-Item #1 – Second Floor Bay Windows Replaced (without approval)
Corrections to be made - Remove installed windows & replace with units matching configuration of the original window units.

NC-Item #2 – First Floor Window – Removed 5-½" Middle Sash Rail Trim
Correction to be made – Re-install horizontal 5-½" Middle Trim Accent in location where existing member was removed.

Seeking Approval of the following items:

1. Removed & Re-built front porches. Original porches were failing, had brick that did not match existing, concrete porch deck had failed & the elevation between the porch & existing floor level in most cases exceeded a 9" step. The Porches' steps all exceed maximum riser height allowed. Riser height varied step to step.

Work Performed – Re-built wing walls with brick matching existing building. Replace & added steel support for front porch concrete deck. Removed damaged steps & failing wing walls; corrected stair riser heights.

2. Painted Exterior Wood Trim – Dark Bronze. (Seeking Approval)

Color of windows before renovations was a grayest tan with a mid-green accent (see pictures). Seeking approval of current dark bronze color.

3. Replaced Existing Wood Windows

The existing wood windows had significant water & insect damage. Many sashes were rotted & had failed due to age, water, wear & binding along the jambs. Due to the leaking roof & parapet, as well as the open voids around the windows' perimeter – both the masonry wall & headers required repairs (both interior / exterior) at most of the openings. Interior openings wood framing & nailers required replacement & re-squaring.

New windows were installed (without approval). Apart from the 2nd Floor Bay Windows and the 1st Floor Living Room Windows; the other windows installed matches the windows removed in dimensions & operation.

New windows are Vinyl Clad Wood Windows by Marvin – Signature Series – Insulated Low “E” Glass, with historic profiled perimeter trim. Dark Bronze Window product data is attached.

Seeking Approval for New Windows

4. Repair & Replace Rear Porch Decks.

(Seeking Approval for increase in rear porch deck width)

Repair & replacement of rear porches was previously approved. Increase dimension of rear porch deck from 5' to 8'-6". No material Change is proposed. Special Note – Color Section for Wood Stain is indicated on drawings.

5. Add Wood Privacy Screen at Rear Year (Seeking Approval)

Wood privacy screening was installed at Units #1 & #2. Seeking the Boards' approval to add screen at all units (see drawings for location).

6. Basement Stair Shed (Seeking Approval)

The basement stair enclosures had failing roofs, rotted framing, rotted sheathing, rotten and missing nailer plates at the foundation. Enclosures were improperly built. The exterior stairs down to the basement where too steep (had riser heights exceeding 10") and treads that were less than 6" wide. Headroom @ the top & bottom of the stair enclosure was near 6'.

Work Performed: Removed & Rebuilt Basement Stair Enclosure. Raised roof to provide proper clearance @ top & bottom of stair open. Removed & replaced existing concrete stair to provide greater tread width & lower riser heights. Reconstructed walls & roof. Installed treated wood plate and new wall & roof framing. Installed new sheathing, vapor barrier, exterior siding, felts & roofing shingles.

7. Rear Door Canopy – Replace with Flat Framed Canopy: (Seeking Approval)

The Rear Entry Roof Canopies were in a deteriorated condition with failing anchorage at & along the rear wall.

Removed existing gable framed canopy over doors. Proposed to install a new flat entry canopy with a membrane roofing cap. The new canopy will be installed in the void area above the door transom panel. (See pictures @ Units #1 & #2)

8. Replace Rear Door & Transoms (Seeking Approval)

The existing rear doors & frames were all severely damage (to some extent). The frames &/or doors were split & damaged (resulting from theft &/or vandalism. Over the years the doors have been replaced, patched & repaired. The patching & prior repairs are both un-sightly and poorly done. It was also our opinion that the rear doors will not contribute any value to the Historic character of the building (other than being old & un-sightly). See rear elevation pictures in report.

We are requesting approval to install a new wood clad glass entry door & new wood clad insulated glass transoms (at all 7 units). The new glass door & glass transoms have been installed on Units #1 & #2.

It should be noted that the original gable entry canopies were placed just over the top of the rear doors (see pictures). The original transoms nearly covered by the gable canopy. In most of the apartment units the interior transom panel was plywood (not glass).

New Work Proposed: We have reduced the overall height of the transom panel. However, we have increased the glazing opening dimension. The new doors & transoms will provide a uniform look and appealing character for the new wood deck & rear yard enclosure.

9. Change Yard Separation Fencing Material: (Seeking Approval)

The originally approved rear yard fencing was 4' high chain link fencing. We are proposing to install a new 6' High - Treated Wood (Stained) Privacy Fence along each unit's separation line. (See site drawing for location).

10. New Car Ports: (Seeking Approval)

We are proposing to install new open wall car ports at the previously approved rear parking slab. The car ports will be open on all sides, with a steel frame & pre-finished metal roof. The proposed color of the metal roof is red (close to the same hue of the building's rear wall.

Thanks for your input and consideration. Any question please feel free to contact me.

Sincerely:

KM Consulting