

STAFF REPORT 9-11-2013 MEETING
APPLICATION NUMBER: 13-179
ADDRESS: 7840 VAN DYKE
APPLICANT: CALVIN GARFIELD
HISTORIC DISTRICT: WEST VILLAGE

PREPARED BY: J.ROSS

PROPOSAL

The property, 7840 Van Dyke Place, is a single-family dwelling that is located in the West Village Historic District. The resource, which was erected ca. 1920, is two stories in height and has a one-story, partial-width rear porch that appears to the date from the building's original construction. A two-story wing with wood-sash windows and stucco exterior cladding is adjacent to the rear porch. An historic-age wood bay bump-out is located at the building's east façade. The dwelling displays restrained/minimal Georgian Revival detailing to include red brick exterior cladding at the front and side facades, deep overhanging eaves with decorative dentils/modillions, and a bracketed arched entry overhang at the primary façade's entrance. The West Village Historic District was locally designated in 1983.

At the HDC's regular meeting held on June 13, 2012, this body approved an extensive renovation of the property to include the removal of the rear porch and two-story wing. The addition of a new Juliette balcony as well as new window and door openings were also approved for the building's rear façade. Following the issuance of the Certificate of Appropriateness (COA) for the work approved by the Commission in 2012, the property was sold. With the current proposal, the new owners are seeking to revise the scope of work previously approved by the Commission to include the following items proposed for the building's rear/south facade:

- retain the existing two-story wing at the rear of the house
- replace the cement plaster/stucco finish at the rear/south façade with veneer brick to match the other three elevations of the house
- install new limestone sills at all windows at the rear façade to match front and side facades
- extend the original masonry details including the horizontal beltlines found on the west, north and east elevations to the south elevation
- introduce the eaves detail found on all four elevations of the house to rear two-story wing with two modifications:
 - provide dentals that are sized similarly to those existing at rear porch which are 3½ by 5½ inches rather than those found on the main portion of the house which are 4 by 6 inches as the drip edge of the wing is higher than the remainder of the house;
 - introduce a frieze board into the eaves detail between the fascia or architrave and the overhanging cornice to accommodate the difference in wall heights (the walls of the wing are higher than the remainder of the house)
- repair the and expand the existing rear porch westward approximately 2'-0" in order to fully shelter the rear façade doorway

Please note that HDC staff requested that the applicant provide an elevation drawing which graphically depicts the work planned for the building's rear/south façade. As of the date of the report's completion, he had not yet submitted the requested information.

APPLICABLE ELEMENTS OF DESIGN

(1) *Height.* Buildings in West Village range in height from one story to eleven (11) stories. The majority of the residential buildings are two and one-half (2 1/2) stories tall, meaning they have two full stories plus an attic or finished third floor within the roof. One and one-half-story residential buildings exist and are primarily concentrated on Van Dyke between Shipherd and Kercheval, the east side of Shipherd, and on St. Paul between Shipherd and Van Dyke. Apartment buildings range from two (2) stories to eleven (11) stories tall although buildings of more than four (4) stories are rare. Commercial buildings range from one to three (3) stories tall; the older commercial buildings are two (2) stories tall.

(3) *Proportion of openings within the facades.* Areas of voids generally constitute between fifteen (15) per cent and thirty (30) per cent square. Window openings in residences are always subdivided, the most common window type being double-hung sash, whose area may be further subdivided by muntins. Dormer and gable windows exist in a variety of shapes and sizes. The district contains a great variety of sizes, shapes, and arrangements of openings.

(6) *Rhythm of entrance and/or porch projections* Most residences have porch projections and/or entrance recessions. Porches and entrances on classically inspired buildings are either centrally placed or, as in the case of some duplexes, placed on both sides of the facade in a symmetrical arrangement. Victorian and arts and crafts inspired buildings display more freedom in placement. Side and sun porches are rare in the district due to the lack of side yards; a few exist on larger lots. Rowhouses or terraces generally exhibit freedom in placement of porches and entrances within each complex; centrally located recessed entrances in Shipherd Court create a rhythm amongst themselves. Commercial buildings on Kercheval display a progression of recessed entrances, usually two (2) per building. No rhythm is established along the Jefferson Avenue frontage.

(7) *Relationship of materials.* The majority of the buildings in West Village have either common or pressed brick or clapboard sheathing as their principal exterior material. Stucco wall surfaces also exist as a principal material; some later replacement siding exists in the district, but much of such siding changes the visual relationship of the siding to the building. Masonry is used on the first story only on some houses, and wood shingles exist on some second stories. Most buildings have wood trim; a few more substantial houses and apartment buildings have stone trim. There are some tile roofs; some slate roofs still exist; asphalt replacement roofs are common. Porches are built of brick or wood.

(8) *Relationship of textures* The most common relationships of textures are the low-relief pattern of mortar joints in brick contrasted to smooth wood trim and/or wood clapboard contrasted with smoother trim. Random ashlar used at first story level is contrasted with a wood-sheathed or shingled upper story in a few houses, as is a brick first story and a stuccoed second story. The smoother surface of glazed brick or painted brick is sometimes contrasted with stone or wood trim. Carved wooden detail and half-timbering provide textural interest. Slate and tile roofs provide textural interest whereas asphalt shingles usually do not.

(9) *Relationship of colors.* Orange natural brick, pressed brick, and replacement siding in natural earth colors are plentiful in the district; the paint colors of frame houses often relate to style. The classically inspired buildings generally have woodwork painted in the white and cream range. Doors and shutters feature an array of colors, usually harmonizing with the main body of the house. Colors known to have been in use on buildings of this type in the eighteenth or nineteenth century on similar buildings may be considered for suitability. Buildings of medieval or arts and crafts inspiration generally have painted woodwork and window frames of dark brown, cream, or other natural tones.

Stucco is either left in its natural state or painted in a shade of cream or yellow. Dark brown half-timbering is common. Victorian buildings display freedom in use of color. Original color schemes for any given building may be determined by professional paint analysis and when so determined are always appropriate for that building. Roofs are in natural colors (tile and slate and wood colors) and asphalt shingles are predominantly within this same color range.

(10) *Relationship of architectural details.* Architectural details generally relate to style. Victorian architectural details appear on one and one-half and two and one-half-story Victorian cottages; spindlework, fishscale shingles and patterned shingles are indicative of the Queen Anne style. Areas treated include porches, gables, window and door surrounds, and cornices. The buildings influenced by the arts and crafts or medieval sometimes have details carved in wood on window frames, door frames and eaves and sometimes have half-timbering. The foursquare buildings, mostly on the northern end of the district, have little architectural embellishments; the detail on the eaves, bays, dormers and porch are architectonic. Neo-Georgian or colonial have classical details in wood on porches, shutters, window frames and dormers. In general, various styles are rich in architectural detail.

(11) *Relationship of roof shapes.* The district is characterized by a diversity of roof shapes. Hipped or pitched roofs on most residential buildings are punctuated with gables and dormers, with the exception of the Victorian cottages with their steeply pitched roofs and apartment buildings, whose roofs are not visible from the street. Roofs of commercial buildings generally appear flat. Porch roofs vary greatly according to style.

(15) *Scale of facades and facade elements.* There is a variety in scale from block to block depending on lot width and style. Houses south of Lafayette are of a more substantial character than those north of Lafayette, and houses south of Agnes on Parker are the most substantial. Size and complexity of facade elements and details either accentuate or subdue the scale of the facades. Facade elements have been determined by what is appropriate for the style. Window sashes are usually subdivided by muntins which affects the apparent scale of the windows within the facades.

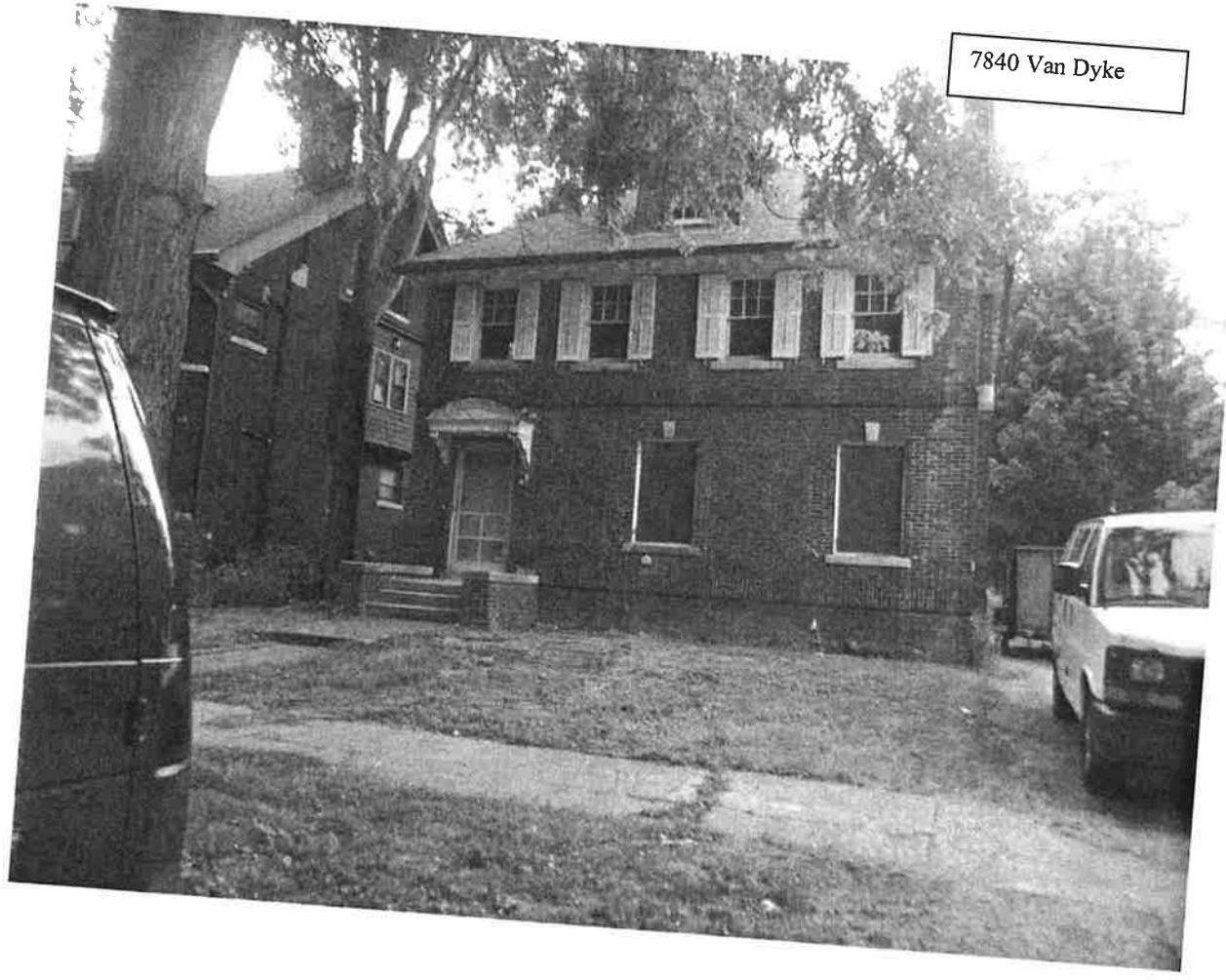
(19) *Degree of complexity within the facade* The degree of complexity has been determined by what is typical and appropriate for a given style. The classically inspired buildings usually have simple, rectangular facades with varying amounts of ornamentation. Foursquare buildings are usually less complex with ornament restricted to the porch and entrance and sometimes eaves. Other more decorative styles frequently have facades complicated by gables, bays, slight setbacks, porches, an occasional turret, window and door hoods, and carved detail. Apartment buildings have historical details derived from the styles in which the buildings are designed.

RECOMMENDATION

The existing stucco exterior cladding found at the building's rear façade is not a character-defining feature as it is not an element/detail that is indicative of the Georgian Revival style. Furthermore, the brick veneer and new decorative elements proposed for the building's rear façade is compatible to the building's existing stylistic detailing and the new modillions/dentils proposed for the rear two-story wing will be smaller than those existing at the front and side facades' eaves. HDC staff therefore recommends that the Commission issue a COA for the following items because they meet the Secretary of the Interior's Standards, standard number 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

- retain the existing two-story wing at the rear of the house
- replace the cement plaster/stucco finish at the rear/south façade with veneer brick to match the other three elevations of the house
- install new limestone sills at all windows at the rear façade to match front and side facades
- extend the original masonry details including the horizontal beltlines found on the west, north and east elevations to the south elevation
- introduce the eaves detail found on all four elevations of the house to rear two-story wing with two modifications:
 - provide dentals that are sized similarly to those existing at rear porch which are 3½ by 5½ inches rather than those found on the main portion of the house which are 4 by 6 inches as the drip edge of the wing is higher than the remainder of the house;
 - introduce a frieze board into the eaves detail between the fascia or architrave and the overhanging cornice to accommodate the difference in wall heights
- repair the and expand the existing rear porch westward approximately 2'-0" in order to fully shelter the rear façade doorway

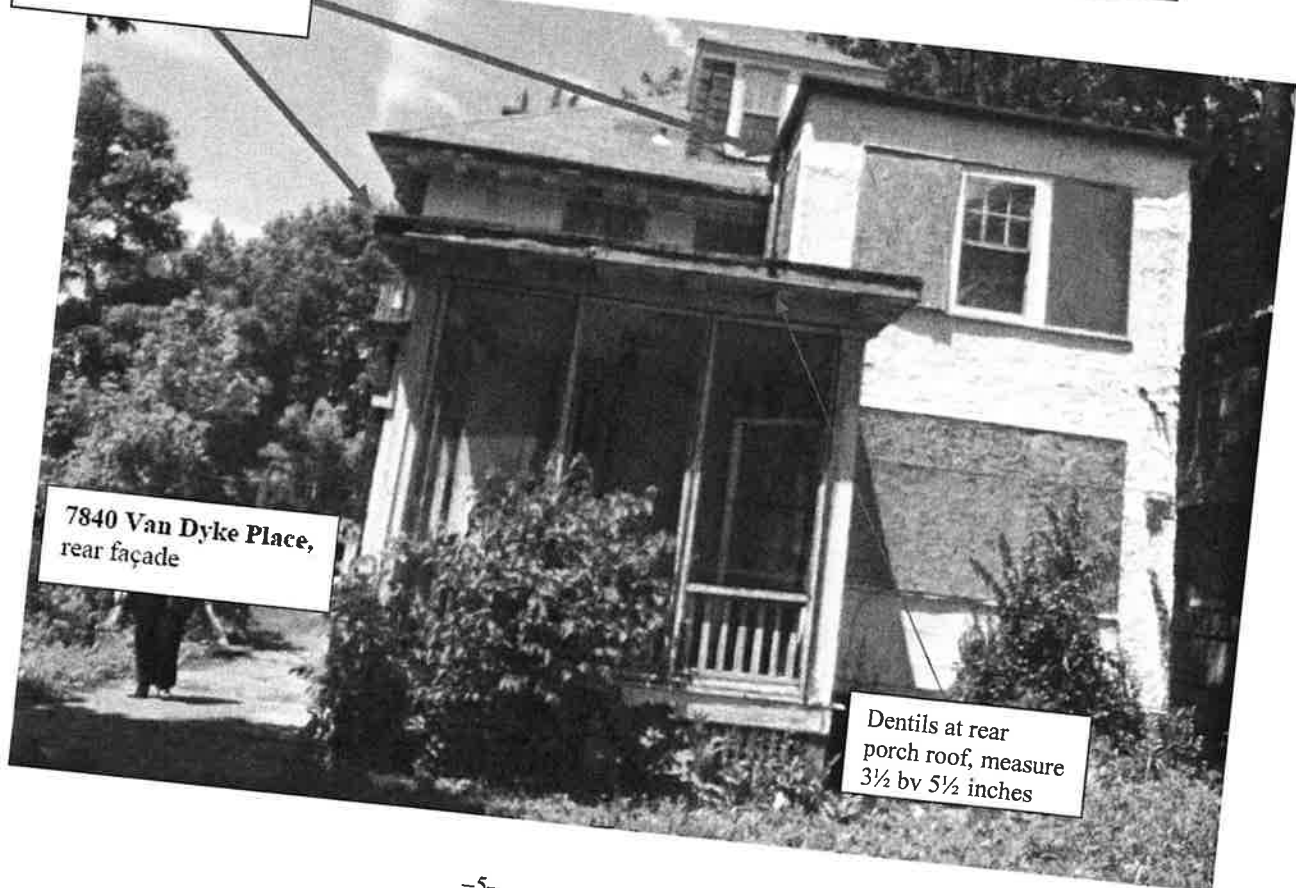
7840 Van Dyke





Dentils at main roof, measure 4 by 6 inches

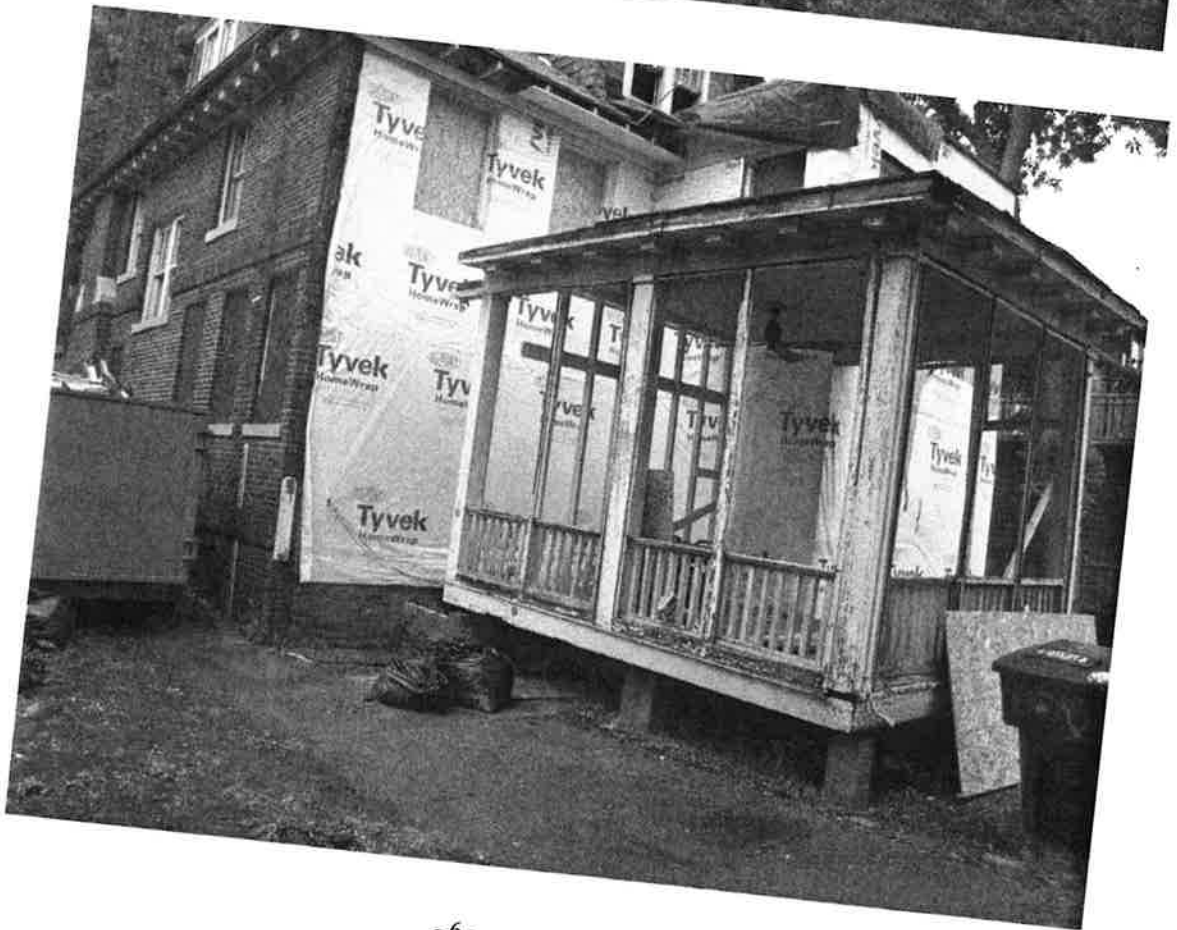
Rear façade, photo taken June 2012.

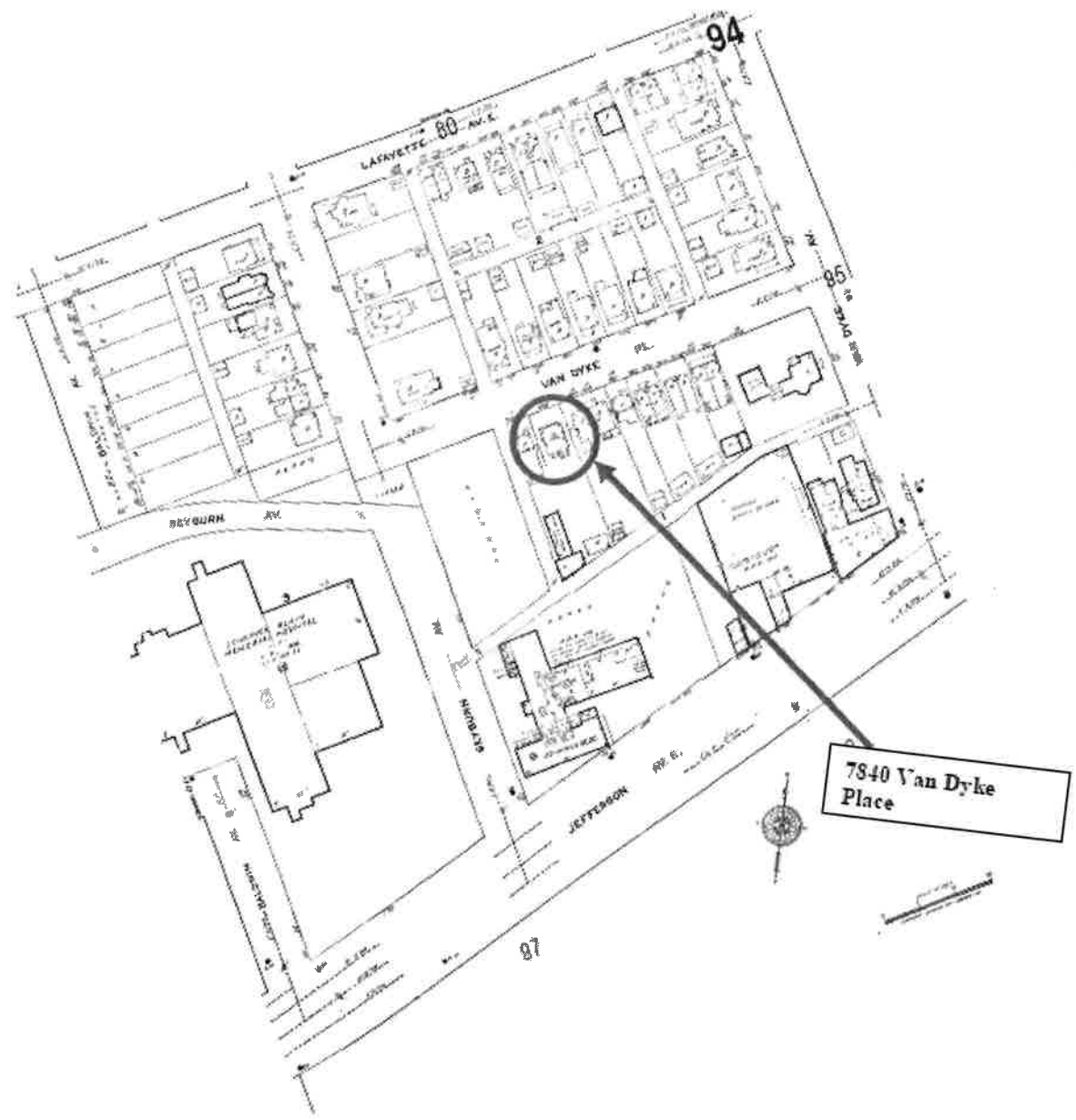


7840 Van Dyke Place, rear façade

Dentils at rear porch roof, measure 3½ by 5½ inches

Photos submitted by applicant, showing current conditions at rear facade





7840 Van Dyke Place

HISTORIC DISTRICT COMMISSION SUBMISSION
28 August, 2013

RE: 7840 Van Dyke Place

Description of Proposed Alterations.
South Elevation

Please be advised that we wish to make a number of modifications to the plan previously approved on 10 July, 2012. They are as follows:

- retain the original two story wing at the rear of the house rather than remove it;
- replace the cement plaster/stucco finish with veneer brick so as to match the other three elevations of the house;
- extend the original masonry details including the horizontal beltlines found on the west, north and east elevations to the south elevation;
- extend the original top of masonry wall found on the west, north and east elevations to the south elevation (the masonry terminates at the top of second floor windows) to the wing;
- introduce the eaves detail found on all four elevations of the house to the head of walls found on the wing with two modifications:
 - (a) provide dentals that are sized similarly to the rear porch which are 3½ by 5½ inches rather than those found on the main portion of the house which are 4 by 6 inches as the drip edge of the wing is higher than the remainder of the house;
 - (b) introduce a frieze board into the eaves detail between the fascia or architrave and the overhanging cornice to accommodate the difference in wall heights (the walls of the wing are higher than the remainder of the house);
- retain the existing rear door of the house originally constructed;
- repair and retain the existing rear porch;
- expand the existing rear porch westward only so far to provide egress from the existing rear door of the house.

It is proposed that the work described above will meet standard 6 of the Standards for Rehabilitation.

October 10, 2013

CERTIFICATE OF APPROPRIATENESS

Calvin Garfield
16870 Westmoreland
Detroit, MI 48219

RE: Application Number 13-179 (REVISION to Scope of Work Approved in Application Number 12-93); 7840 Van Dyke, West Village Historic District

Dear Mr. Garfield,

At the regular scheduled meeting that was held on October 9, 2013, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 25-2-20 of the 1984 Detroit City Code; the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA), which is effective as of October 9, 2013.

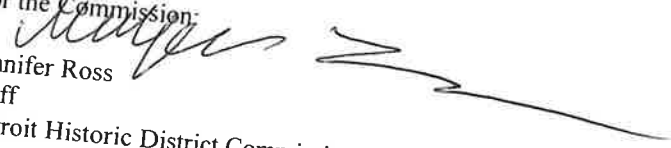
The work is appropriate for the following reasons:

The exterior renovation to include the following work items meets the Secretary of the Interior Standards for Rehabilitation, standard number 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment:*

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Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings and Safety Engineering Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please telephone the Detroit Historic District Commission at 224-6536.

For the Commission:


Jennifer Ross
Staff
Detroit Historic District Commission

copy: Daljit Benipal, B&SE

HDC # 13-179, REVISION OF SCOPE APPROVED UNDER HDC # 12-193
12-193

HISTORIC DISTRICT COMMISSION SUBMISSION
28 August, 2013

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1 WEST ELEVATION
1'-0"=1/4"

NOTE: ALL EXISTING WINDOWS REPLACED WITH SIMILAR PROFILE, LITES & HEIGHT.



2 SOUTH ELEVATION
1'-0"=1/4"

NOTE: ALL EXISTING WINDOWS REPLACED WITH SIMILAR PROFILE, LITES & HEIGHT.



3 NORTH ELEVATION
1'-0"=1/4"



4 EAST ELEVATION
1'-0"=1/4"

HISTORIC DISTRICT
 ABC # 13
 179
 Revision to
 Code # 12-93
 [Signature]

VAN DYKE RESIDENCE
 7940 van dyke place, detroit, MI 48214
 ph: 303-415-0585

REVISIONS
 ISSUE DATE

CONSTRUCTION

A2.0