

# DHDC 23-8277

## APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808  
DETROIT, MICHIGAN 48226

April 18, 2023

### CERTIFICATE OF APPROPRIATENESS

Jonah Raduns-Silverstein, Detroit Sound Conservancy  
440 Burroughs St. Ste. 195  
Detroit, MI 48202

**RE: Application Number 23-8277, 5023 Tireman; Blue Bird Inn Historic District  
Project Scope: Demolish Addition, Construct Addition, Rehabilitate Facade, Erect Wall Sign**

Dear Applicant,

At the regular meeting that was held on April 12, 2023, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on April 18, 2023, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

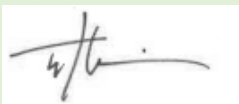
*Demolish existing addition, construct new rear addition, install rooftop HVAC unit, repair plaster façade, repair masonry, repair existing entrance canopy, erect “neon” LED sign, per the submitted documents, drawings, and other submitted materials and specifications.*

The COA is issued with the conditions that:

- *The removal of any bricks or masonry elements beyond those specified on sheet A20 of the application materials shall be subject to approval by staff.*
- *The brick veneer to be used on the addition shall be subject to approval by staff.*
- *Stucco veneer and mural rehabilitation shall be limited to filling existing cracks and voids and repainting with the existing color or colors. Existing material shall not be removed and the painted figures must not be disturbed.*
- *The final design of the proposed LED “neon” sign, including its color and the locations of its anchors, electrical penetrations, and other supporting elements, shall be subject to approval by staff.*
- *A full scope of work, subject to approval by staff, shall be provided before any work on the canopy is performed.*

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Timothy Boscarino, staff  
Detroit Historic District Commission

Detroit Sound Conservancy - Blue Bird Inn - Phase 1  
Historic District Permit Application

## Description of existing conditions

The historic Blue Bird Inn currently sits vacant and secure at 5021 Tireman. On the front elevation, the front door is a metal grate and there are glass block windows and one window space is boarded up with plywood. The original historic masonry exists on the front as well as an idiosyncratic mural painted in the 1990s. The masonry and mural are in medium to poor condition. On the rear elevation, two doorways are boarded up with plywood and there is a concrete block addition off the back. That addition has three window openings. The concrete addition is in rather poor but stable condition. The sidewalk in the front and lot in the back has been maintained by a community member. The concrete on the sidewalk is in poor condition.

## Description of Project

Detroit Sound Conservancy (DSC) seeks to rehabilitate the historic Blue Bird Inn, a birthplace of bebop jazz and a working-class, Black owned and operated bar and hearth at 5021 Tireman on Detroit's Old West Side, into a music venue, gathering space and Detroit's only music archive. Through years of engagement, fundraising and planning DSC is ready for rehabilitation of the property. Though the HDC is only concerned with exterior changes, this rehabilitation will ultimately be both an interior and exterior rehabilitation to allow for programs and gathering on behalf of Detroit's rich musical heritage. As a part of an earlier application to HDC, replacement of the windows and doors on the front elevation has already been approved (#22-7954) thus those changes are not included in this application. This rehabilitation will enact changes on both the front (Tireman) and back (alley) elevations.

On the front elevation, DSC seeks to rehabilitate the current exterior elevation through extensive masonry rehabilitation as well as rehabilitation of the existing mural feature. Some of the windows and the front door will be replaced as well but that work has already been approved. In terms of masonry rehabilitation details can be seen on page A20 and S300 of the attached construction documents as well as in the quote from RAM. As detailed this work will include

- a. Mitigating existing steel beam deterioration, retrofitting may be required.
- b. Retrofitting of loose steel lintel around windows
- c. Retrofitting Masonry sill
- d. Restoring or replacing existing pre-cast coping stones on cornice. As verified by multiple masonry professionals, these stones are likely well beyond repair but the brick face will be salvaged to the highest extent possible.
- e. Removing and replacing existing precast detail stones.
- f. Restoration of existing mural
- g. Patching and masonry across the facade.

Further on the front elevation we will restore the existing marquee canopy to secure from additional damage and reinstall a neon sign that reads "Blue Bird Inn" above the marquee and below the cornice as was represented historically. Installation of this sign will require minor electrical work to be reinstalled as was historically to the sign as well as to power the basic lighting system that exists in the marquee currently. We are also planning to replace some of the crumbled concrete on the large double depth sidewalk in front of the Bird. This will be replaced

Detroit Sound Conservancy - Blue Bird Inn - Phase 1  
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with standard sidewalk concrete. At a future date, we are planning to install basic seating and gathering space in front of the building but that will likely be included in a later application as the exact plans have not been designed yet. In the future, DSC is interested in pursuing a restoration strategy that would restore the earlier facade paneling system that was in use during the period of significance. If DSC decides this is the best strategy for the building and our organization, we will apply for that specific work at a later date when timelines, budget and preparation allows. For now, DSC's priority is to open the building for community use.

On the west elevation, which exists in the small lot between the adjacent property, basic brick repointing and replacement will need to be done. This will include removing all compromised mortar, rising voids, repointing new mortar and removing and replacing heavily damaged brick and installing new brick.

The south elevation will see the most extensive work that will serve the future use of The Blue Bird Inn. In an effort to fulfill Detroit Sound Conservancy's mission to serve as a Detroit music's archive, DSC plans to demolish the existing concrete addition of the rear elevation of the building and replace that addition with a larger footprint high volume space with a mezzanine to use as a storage space for the music archive. This new addition will serve the use of the building more more thoroughly as it will allow for ample restroom square footage for the use as well as significant storage space that DSC can use to preserve Detroit music history.

The new addition will extend the entire width of the main building and will comprise two distinct heights to accommodate roof water drainage and interior uses. The west half of the addition will be lower at about 12' high where the main archival space will exist. There will be no windows or doors on this half and there will be a drainage system and gutters that allow for roof water drainage. Further there will be a parapet on the west side elevation to continue and echo the existing parapet on the main building. The east half of the rear addition will be a higher space that will allow for a mezzanine space on the interior for more archival storage and a mechanical room. This half will include a wide storefront door to accommodate egress as well as loading. We will build a small canopy over that door to echo the front of the building as well as a small window on the 2nd floor to accommodate some natural light in the space. Like the west half, there will be a parapet to echo the existing building. The new addition will be built out of CMU blocks with necessary reinforcement. A simple brick veneer will be installed over the CMU block to create a clean presentation and be consistent with the front elevation.

The roof and top elevation will be rehabilitated as is coordinated with the work on both the exterior elevations and on the interior. Further on the rear elevation, the chimney that exists will be repointed and rebuilt if necessary. This work will include recapping the around the retaining wall of the roof, repointing and potentially rebuilding the chimney and finalizing roof work around the new addition. Further, the building HVAC unit will be placed on the rear addition on the 2nd story. Though this will place the HVAC at the highest elevation, this placement is necessary to prioritize the acoustic quality of the interior space for music performance. The Bird was highly sought after as an acoustically pristine venue as such we have to ensure that any potential interference from mechanical or other systems would be put to a minimum. As such the HVAC unit placed far away and on a separate addition from the performance space would be ideal for such a condition. We have done studies to see the visibility from the street and rear and as can be see it will not be an issue from the front elevation as it will not be visible. Further to provide access to the HVAC unit, a roof hatch will be built on the addition.

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## Detailed Scope of Work

1. Front (North) Elevation
  - a. Rehabilitation of existing marquee and Reinstall neon sign on front elevation and lights in the existing front elevation marquee
  - b. Masonry Rehabilitation facade and parapet.
  - c. Mural Rehabilitation
  - d. Installation of neon sign in historic location.
  - e. Concrete sidewalk replacement and restoration.
2. West (Side) Elevation
  - a. Brick repointing and replacement
3. South (Back) Elevation
  - a. Demolish the existing rear addition
  - b. Build the new rear addition. New addition will have two distinct heights and include a wide access door, small marquee and single window.
  - c. Install gutters and other drainage mechanisms.
  - d. Install Electrical hookup attached to the rear of the building.
4. Roof Elevation
  - a. Complete roof work as needed in conjunction with interior rehabilitation
  - b. Installation and placement of HVAC unit on roof for interior
  - c. Existing Chimney rehabilitation
  - d. Installation of roof hatch on addition for HVAC access

## Current Photographs

- [Current\\_Photos\\_Bird\\_Inn.pdf](#)

## Historic Exterior Photographs

- [Historic\\_Photos\\_Bird\\_Inn.pdf](#)

## Architectural Construction Documents

- [2023\\_DSC\\_HDC\\_Construction\\_Documents\\_Exterior.pdf](#)
- [Blue\\_Bird\\_HVAC\\_Roof\\_Elevation.pdf](#)

## Brochures and Proposals for Work

- [\\_Blue\\_Bird\\_Inn\\_5021\\_Tireman\\_Detroit\\_MI\\_.pdf](#)
- [Blue\\_Bird\\_Inn\\_Exterior\\_Preservation\\_Proposal.pdf](#)
- [Lakeside\\_Painting\\_Plaster\\_Repair\\_Quote\\_1.pdf](#)



# RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY



4219 WOODWARD AVE  
SUITE 301  
DETROIT, MI 48201  
v 313.462.2550

QUINNEVANS.COM



## DRAWING INDEX

NUMBER	SHEET NAME	NUMBER	SHEET NAME
<b>GENERAL</b>		<b>MECHANICAL</b>	
G01	COVER SHEET	M00	LEGEND, SYMBOLS, AND ABBREVIATIONS
G02	CODE SHEETS	MD10	MECHANICAL DEMOLITION FLOOR PLAN
G03	LIFE SAFETY PLANS	M10	MECHANICAL NEW WORK FLOOR PLANS
<b>ARCHITECTURAL DEMO</b>		M11	MECHANICAL NEW WORK ROOF PLAN
AD01	DEMOLITION PLAN	ALT M11	MECHANICAL NEW WORK ROOF PLAN
<b>ARCHITECTURAL</b>		M20	MECHANICAL DETAILS AND DIAGRAMS
A01	LEGENDS, SYMBOLS, ABBREVIATIONS	M21	MECHANICAL DETAILS AND DIAGRAMS
<b>ARCHITECTURAL SITE</b>		M30	TEMPERATURE CONTROLS DIAGRAMS
AS01	ARCHITECTURAL SITE PLAN	M40	MECHANICAL SCHEDULES
<b>ARCHITECTURAL</b>		M50	MECHANICAL SPECIFICATIONS
A10	NEW WORK FLOOR PLANS	M51	MECHANICAL SPECIFICATIONS
ALT A10	NEW WORK FLOOR PLANS	<b>PLUMBING</b>	
A11	ROOF PLAN	P00	PLUMBING LEGEND, SYMBOLS, AND ABBREVIATIONS
ALT A11	ROOF PLAN	PD10	PLUMBING DEMOLITION FLOOR PLAN
A12	REFLECTED CEILING PLAN & DETAILS	P10	PLUMBING NEW WORK UNDERGROUND & FIRST FLOOR
ALT A12	REFLECTED CEILING PLAN & DETAILS	P11	PLUMBING NEW WORK SECOND FLOOR & ROOF
A13	ENLARGED PLANS & INTERIOR ELEVATIONS	P20	PLUMBING DETAILS AND DIAGRAMS
A14	ENLARGED PLANS & INTERIOR ELEVATIONS	P30	PLUMBING SCHEDULES
A20	EXTERIOR ELEVATIONS	P40	PLUMBING SPECIFICATIONS
A21	BUILDING SECTIONS	<b>ELECTRICAL</b>	
A22	BUILDING & WALL SECTIONS	E00	ELEC. SYMBOLS LIST & LIGHTING SCHEDULE
A23	WALL SECTIONS	E11	LEVELS 1 & 2 ELECTRICAL POWER PLANS
A24	EXTERIOR DETAILS	E12	ELECTRICAL ROOF POWER PLAN
A27	PARTITION TYPES	E21	LEVELS 1 & 2 ELECTRICAL LIGHTING PLANS
A31	INTERIOR DETAILS	E30	ELEC. ONE-LINE DIAGRAM & PANEL SCHEDULES
A32	DOOR SCHEDULE & DETAILS		
A33	WINDOW SCHEDULE & DETAILS		
<b>STRUCTURAL</b>			
S001	GENERAL NOTES		
S002	SPECIAL INSPECTIONS & DESIGN CRITERIA		
S100	FOUNDATION PLAN		
S101	MEZZANINE PLAN		
S102	LOW ROOF FRAMING PLAN		
S103	UPPER ROOF FRAMING PLAN		
S200	BUILDING SECTIONS		
S201	BUILDING & WALL SECTIONS		
S202	WALL SECTIONS		
S300	FRONT ELEVATION		
S400	STANDARD DETAILS		
S401	STANDARD DETAILS		

## PROJECT TEAM

**QUINN EVANS**  
Architects

4219 WOODWARD AVE  
SUITE 301  
DETROIT, MI 48201  
v 313.462.2550

**METROPOLITAN STRUCTURAL ENGINEERS & ASSOCIATES INC.**

STRUCTURAL  
422 N ALTADENA  
ROYAL OAK, MI 48067  
v 248.561.2035

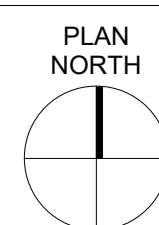
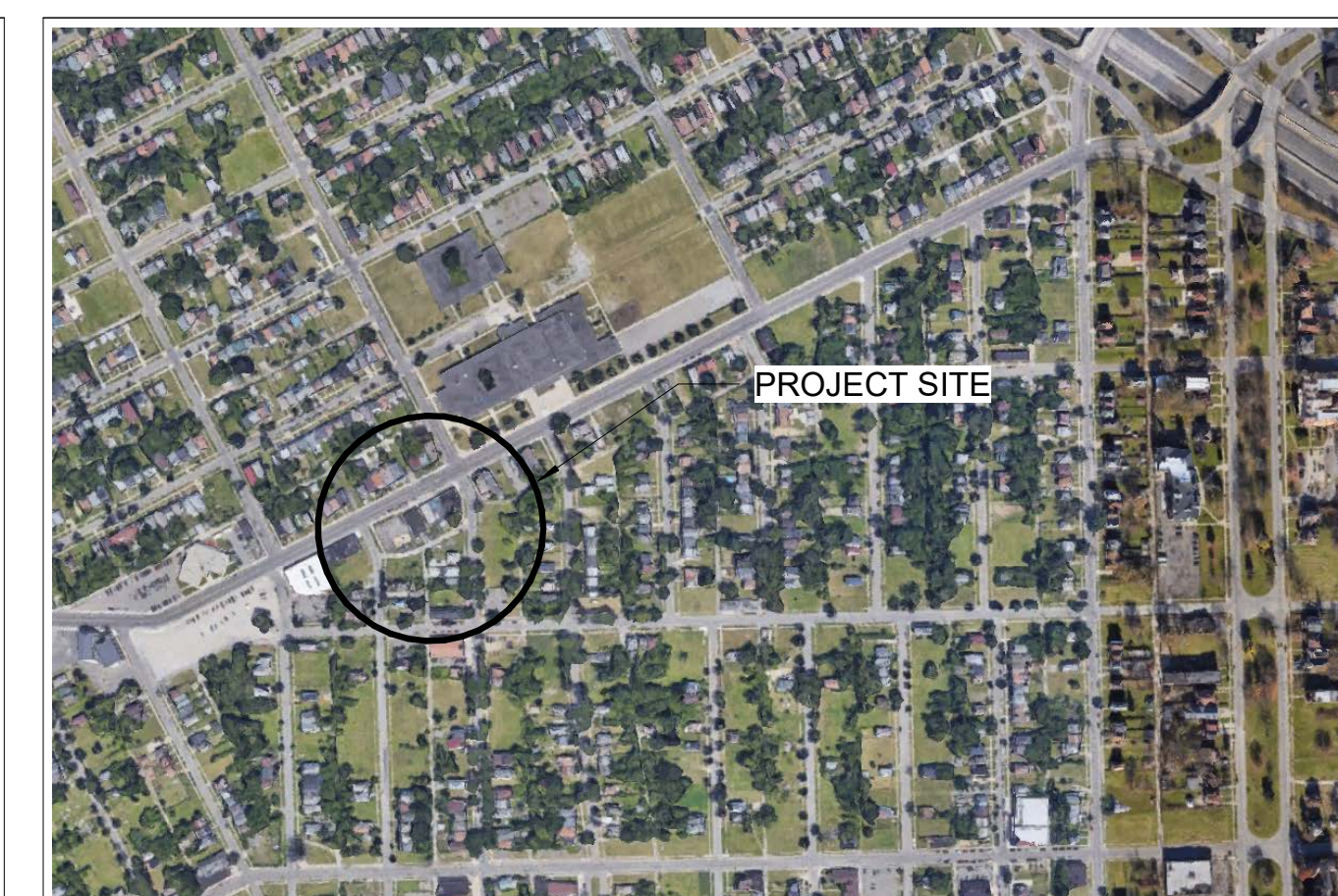
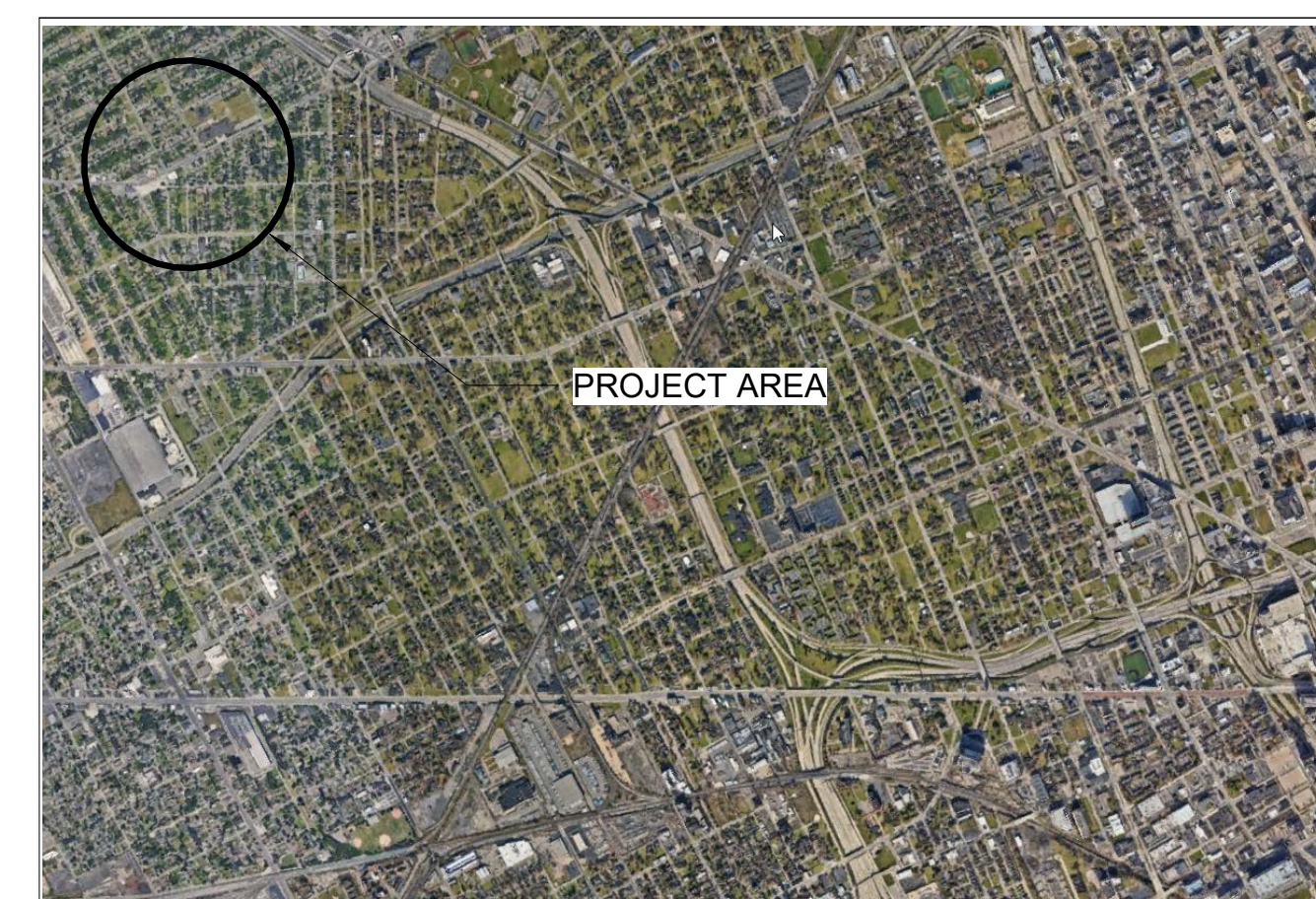
**ETS ENGINEERING, INC.**

ELECTRICAL  
418 1/2 S, WASHINGTON AVE  
ROYAL OAK, MI 48067  
v 248.744.0360

**SELLINGER ASSOCIATES, INC.**

MECHANICAL & PLUMBING  
19821 FARMINGTON RD  
LIVONIA, MI 48152  
v 248.482.0045

## VICINITY MAPS



No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
Checker		Author

PERMIT / BID SET  
03/10/2023

COVER SHEET

**G01**

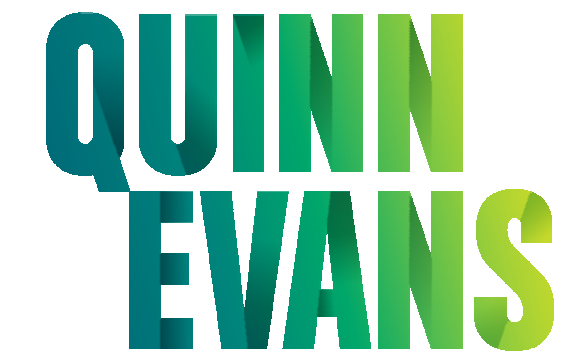




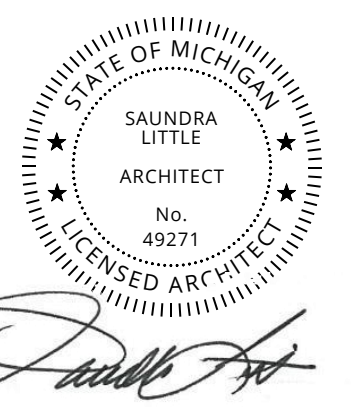
**EXISTING CONDITION PHOTOS**

**GENERAL NOTES**

1. THE BLUE BIRD INN IS A BUILDING OF HISTORICAL SIGNIFICANCE. TREAT THE BUILDING RESPECTFULLY. TREAT EXISTING MATERIALS AS IRREPLACEABLE. DO NOT REMOVE, ALTER, DISFIGURE, OR OTHERWISE DAMAGE EXISTING MATERIALS, ELEMENTS, OR FINISHES UNLESS SPECIFICALLY INDICATED HEREIN OR DIRECTED BY THE CONTRACTING OFFICER. PROTECT HISTORIC FINISHES SLATED TO REMAIN FROM DAMAGE.
2. PROTECT EXISTING CONDITIONS TO REMAIN, INCLUDING HISTORIC FINISHES SLATED TO REMAIN, FROM DAMAGE. PROVIDE TEMPORARY ENCLOSURES, PROTECTION AND BARRICADES AS NECESSARY TO PROTECT AND SECURE THE BUILDING.
3. FOR ALL EXISTING INTERIOR WALLS TO REMAIN, CONTRACTOR SHALL REMOVE FINISHES AS WELL AS ALL ATTACHMENTS AND ACCESSORIES IN PREPARATION FOR A NEW WALL FINISH, INCLUDING BUT NOT LIMITED TO ANCOHRS, CLIPS, BRACKETS, REMNANTS OF CEILING GRID, AND WALL CONDUITS
4. VERIFY EXISTING FIELD CONDITIONS AND NOTIFY THE CONTRACTING OFFICER ON INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION OR DEMOLITION.
5. PROTECT FROM WEATHER ANY OPENING TO THE INTERIOR, EITHER EXISTING OR CREATED DURING DEMOLITION.
6. INFORMATION OBTAINED FROM THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
7. ALL ROOMS TO HAVE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT REMOVED.
8. FORMER BAR ADDITION TO HAVE EXISTING FLOORING REMOVED
9. PERFORM SURVEY AND ANALYSIS OF EXISTING BUILDING PRIOR TO COMMENCING WITH DEMOLITION OPERATIONS. DO NOT REMOVE CONSTRUCTION IF APPROPRIATE. TEMPORARY SUPPORTS ARE IN PLACE. GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL NECESSARY SHORING AND BRACING OF EXISTING STRUCTURE REQUIRED FOR IMPLEMENTATION OF DESIGN.
10. REMOVAL OF HAZARDOUS MATERIALS SHALL BE COMPLETED BY A SPECIALIST WITH HAZMAT REMEDIATION EXPERIENCE IN HISTORIC BUILDINGS AND STRUCTURES. GENERAL CONTRACTORS SHALL COORDINATE ALL DISCONNECTS AND SHUT OFFS THAT MAY BE REQUIRED FOR DEMOLITION.
11. REMOVE MECHANICAL/HVAC EQUIPMENT SLATED FOR DEMOLITION INCLUDING ALL ASSOCIATED PIPING, RADIATORS, AND DUCTWORK. REMOVE PIPING BACK TO SERVICE ENTRY POINT/METER. COORDINATE EXTENT WITH MECHANICAL/PLUMBING DEMOLITION DRAWINGS.
12. EXPOSED STRUCTURE TO BE INSPECTED AND REPAIRED AS REQUIRED.
13. DEMOLISH ALL UNUSED ROOF AND SOFFIT PENETRATING AND MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, WIRING, CONDUIT, PIPES, ELECTRICAL BOXES, ETC.
14. INSPECT CONDITION OF EXISTING CEILING JOISTS. IF UNREPAIRABLE DETERIORATION OR DAMAGE IS OBSERVED, IMMEDIATELY INFORM THE PROJECT ENGINEER IN WRITING AND OBTAIN WRITTEN RESPONSE PRIOR TO PROCEEDING WITH DEMOLITION IN THE AFFECTED AREA, UNLESS IMMEDIATE STABILIZATION IS NEEDED.
15. REFER TO GENERAL NOTES S-001 FOR ADDITIONAL STRUCTURAL INFO.



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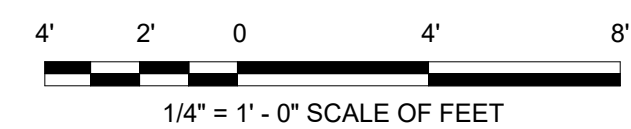
**RENOVATION OF HISTORIC BLUE BIRD INN**

DETROIT SOUND CONSERVANCY

KEYNOTES	
KEY VALUE	TEXT
02.10	REMOVE ALL FLOORING AND FLOOR BOXES
02.13	REMOVE EXISTING GLASS BLOCK WINDOW
02.14	REMOVE EXISTING DOOR
02.15	REMOVE EXISTING METERS AND ENCLOSURE
02.16	REMOVE EXISTING OVERHEAD BAR SOFFIT
02.17	STRIP DOWN INTERIOR WALLS TO EXISTING MASONRY
02.19	REMOVE EXISTING EXTERIOR CMU WALLS
02.20	REMOVE EXISTING STUD PARTITION
02.21	REMOVE EXISTING DOOR TRIM TO PREP FOR CMU INFILL
02.22	EXISTING GLASS BLOCK TO REMAIN
02.29	REMOVE EXISTING COLUMN. SEE STRUCTURAL SHEETS FOR ADDITIONAL SCOPE (TYP.)

**DEMOLITION LEGEND**

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING DOOR TO REMAIN
- ITEM / CONSTRUCTION TO BE REMOVED, SALVAGED OR REINSTALLED
- DOOR TO BE REMOVED, SALVAGED OR REINSTALLED
- EXTENT OF SLAB/FLOOR REMOVAL

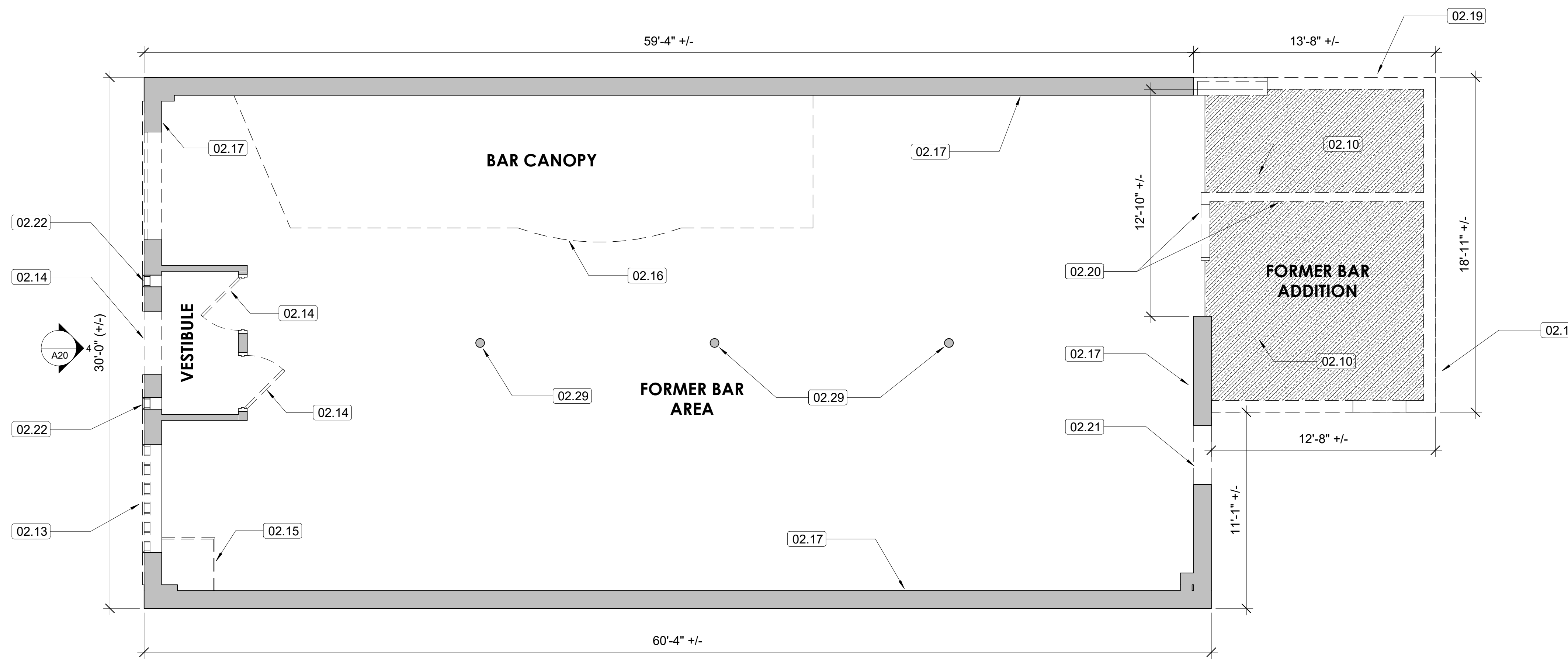


No.	Date	Description
PROJECT MANAGER:	DT	DRAWN BY: KP/LH/SR

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03/10/2023

**DEMOLITION PLAN**

**AD01**

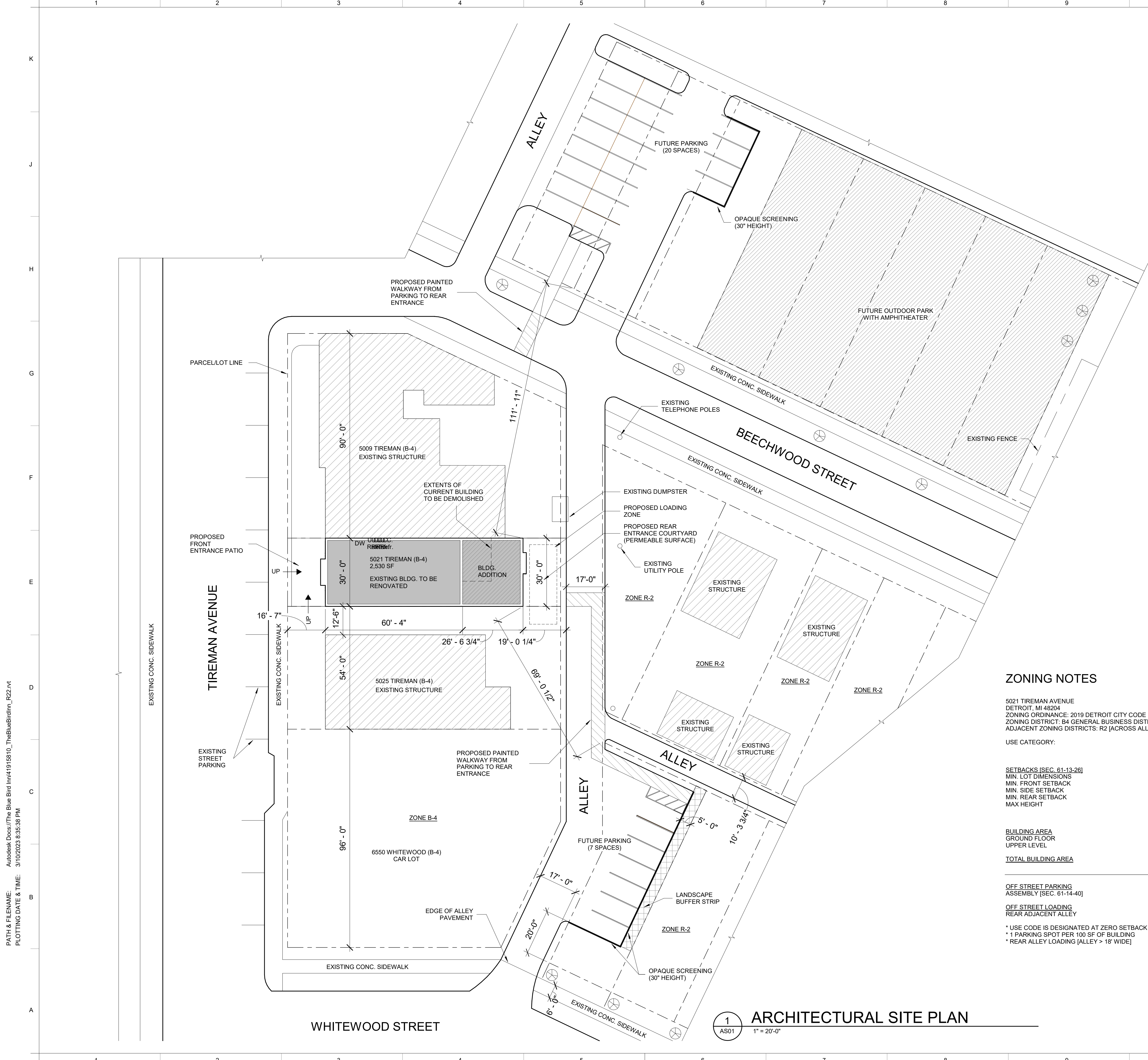


**1 LEVEL 1 DEMOLITION PLAN**

AD01 1/4" = 1'-0" REFERRED FROM: A14

PATH & FILENAME: AutodesK Docs/The Blue Bird Inn/410158510\_TheBlueBirdInn\_R22.rvt  
PLOTTING DATE & TIME: 3/10/2023 9:35:37 PM





**ZONING NOTES**

5021 TIREMAN AVENUE  
 DETROIT, MI 48204  
 ZONING ORDINANCE: 2019 DETROIT CITY CODE  
 ZONING DISTRICT: B4 GENERAL BUSINESS DISTRICT  
 ADJACENT ZONING DISTRICTS: R2 [ACROSS ALLEY]

USE CATEGORY:

**SETBACKS [SEC. 61-13-26]**  
 MIN. LOT DIMENSIONS  
 MIN. FRONT SETBACK  
 MIN. SIDE SETBACK  
 MIN. REAR SETBACK  
 MAX HEIGHT

**BUILDING AREA**  
 GROUND FLOOR  
 UPPER LEVEL  
**TOTAL BUILDING AREA**

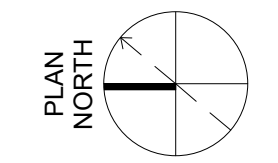
**OFF STREET PARKING ASSEMBLY [SEC. 61-14-40]**  
 REAR ADJACENT ALLEY

**OFF STREET LOADING**  
 REAR ADJACENT ALLEY

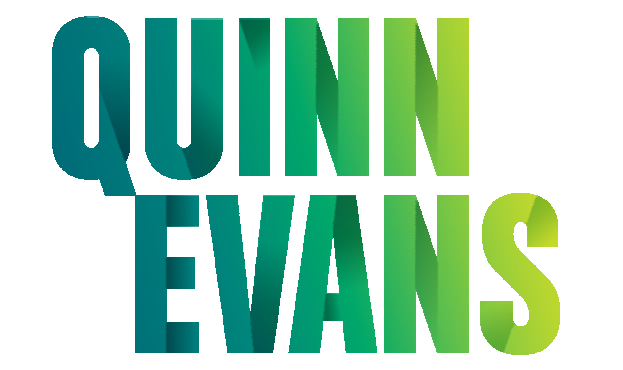
\* USE CODE IS DESIGNATED AT ZERO SETBACK  
 \* 1 PARKING SPOT PER 100 SF OF BUILDING  
 \* REAR ALLEY LOADING [ALLEY > 18' WIDE]

	REQUIRED	EXISTING	PROPOSED
BANQUET HALL [CONDITIONAL RETAIL, SERVICE, AND COMMERCIAL USE] [SEC. 61-9-82]			
MIN. FRONT SETBACK	-	16' 7"	16' 7"
MIN. SIDE SETBACK	-	30' 6"	20' 1"
MIN. REAR SETBACK	35	TBD	TBD
MAX HEIGHT			
GROUND FLOOR	-	1,856 SF	2,217 SF
UPPER LEVEL	-	-	313 SF
<b>TOTAL BUILDING AREA</b>		1,856 SF	2,530 SF
REAR ADJACENT ALLEY	26 SPACES	0	11 SPACES
REAR ADJACENT ALLEY	-	-	1 SPACE [12' x 35']

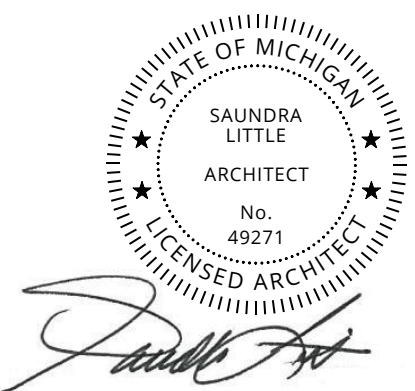
**1 ARCHITECTURAL SITE PLAN**  
 1" = 20'-0"



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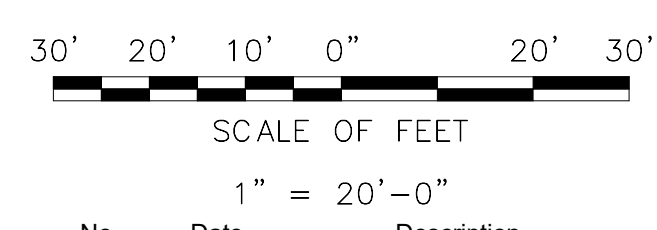


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**RENOVATION OF HISTORIC BLUE BIRD INN**

DETROIT SOUND CONSERVANCY  
 5021 TIREMAN AVENUE  
 DETROIT, MI 48204



No.	Date	Description
DT		KP/LH/SR

PERMIT / BID SET  
 03/10/2023

ARCHITECTURAL SITE PLAN

**AS01**



**THIS SHEET IS FOR BID ALTERNATE ONLY FOR DESIGN BUILD**  
 BIDDING CONTRACTORS SHALL USE THIS SHEET AS A BIDDING ALTERNATIVE TO SHEET A12. SHOULD THE OWNER SELECT THIS PLAN ALTERNATIVE, THE AWARDED CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE A FINAL DESIGN AND CONSTRUCTION DOCUMENT(S) FOR THIS BID ALTERNATIVE. COORDINATE WITH STRUCTURAL AND MEP SHEETS

- ### GENERAL NOTES
- WORK IS NEW UNLESS INDICATED OTHERWISE. DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS.
  - PROTECT EXISTING CONSTRUCTION TO REMAIN. PREP SURFACES TO RECEIVE NEW FINISH; REFER TO ROOM FINISH SCHEDULE. DIMENSIONS ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
  - ALL DIMENSIONS PROCEEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK.
  - DOOR OPENING LOCATIONS TO BE 4" OFF FINISH OF ADJACENT WALL OR CENTERED ON WALL UNLESS OTHERWISE INDICATED.
  - INTERIOR PARTITIONS TO BE:
    - TYPE S1 UNLESS INDICATED OTHERWISE.
    - TYPE S2A FURRING, TYPICAL AT EXISTING MASONRY WALL.
    - TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
    - ALIGN WITH ADJACENT CONSTRUCTION WHERE SHOWN.
  - ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
  - INFILL AND LEVEL EXISTING SLAB AS NEEDED FOR NEW FLOOR FINISH.
  - PATCH AND ACOUSTICALLY SEAL AROUND ANY OPENINGS FOR WALL PENETRATIONS CREATED BY MEP. COORDINATE WITH MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. PREP AND PRIME ALL INTERIOR WALLS FOR NEW FINISH. REFER TO INTERIOR ROOM FINISH.

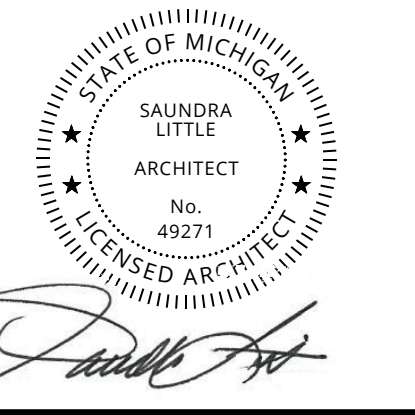


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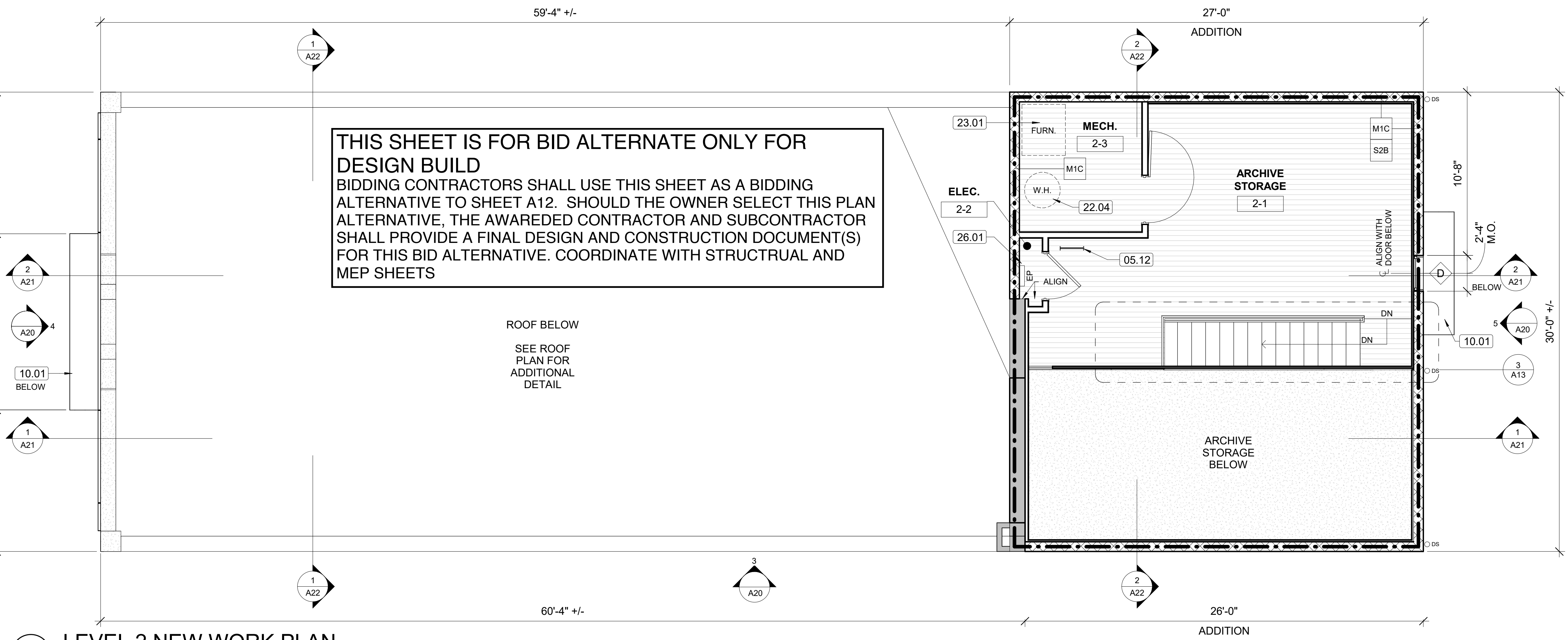
### KEYNOTES

KEY VALUE	TEXT
03.06	CMU INFILL
05.12	NEW STEEL COLUMNS. SEE STRUCTURAL FOR ADDITIONAL SCOPE
10.01	ENTRANCE CANOPY, REFER TO STRUCTURAL DRAWINGS.
22.04	PROVIDE AND INSTALL WATER HEATER, REFER TO MEP DRAWINGS
23.01	FURNACE UNIT, COORDINATE WITH MECHANICAL DRAWINGS
26.01	PROVIDE AND INSTALL ELECTRICAL DRAWINGS

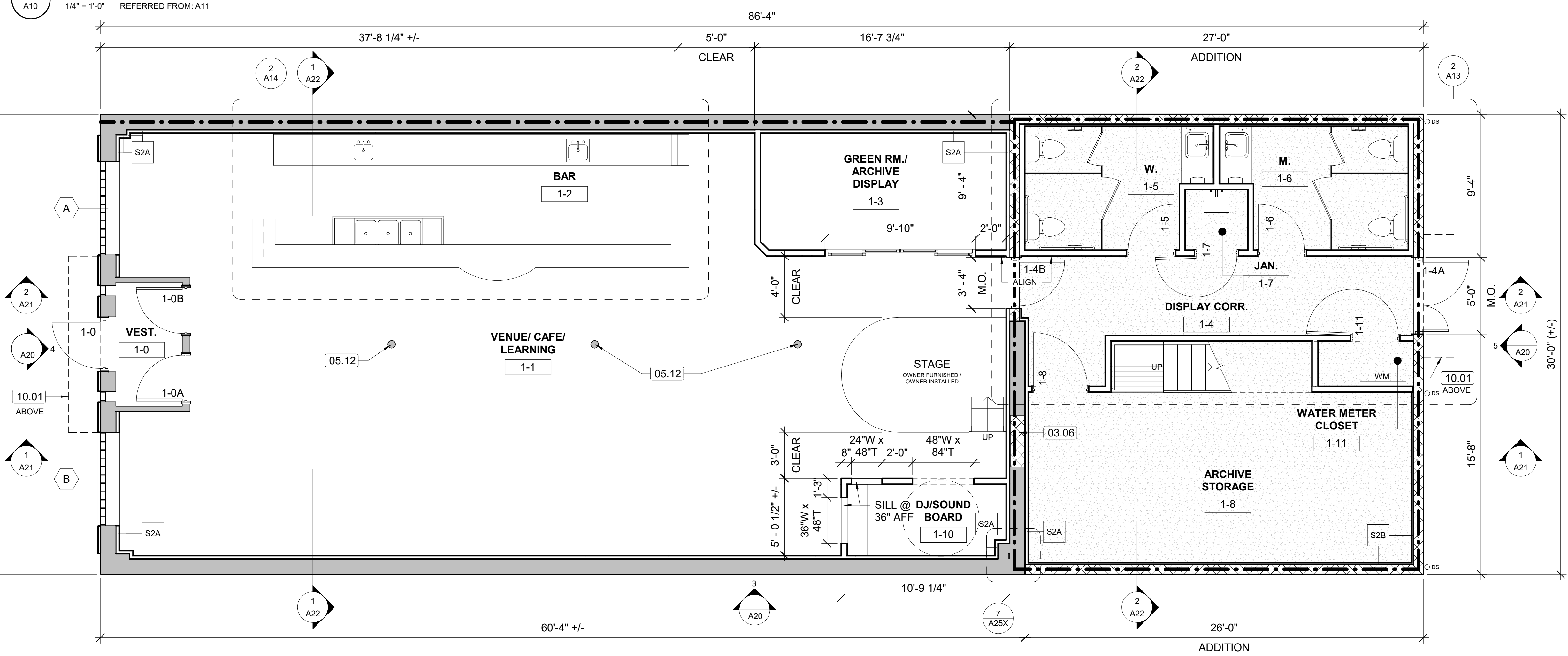


## RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY



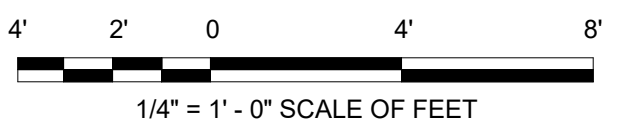
**2 LEVEL 2 NEW WORK PLAN**  
 1/4" = 1'-0" REFERRED FROM: A11



**1 LEVEL 1 NEW WORK PLAN**  
 1/4" = 1'-0" REFERRED FROM: A14

### LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	WALL / PARTITION
	ROOF PADS
	GUTTER
	DOWNSPOUT
	2 HR RATED WALL



No.	Date	Description
DT		KP/LH/SR

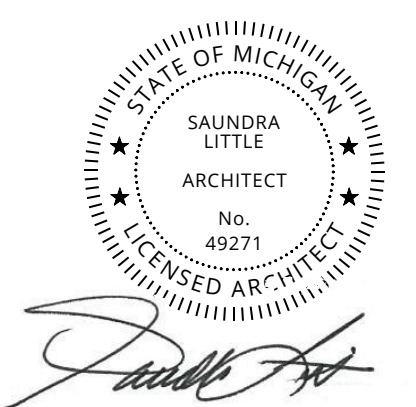
PERMIT / BID SET  
 03/10/2023

## NEW WORK FLOOR PLANS

# ALT A10

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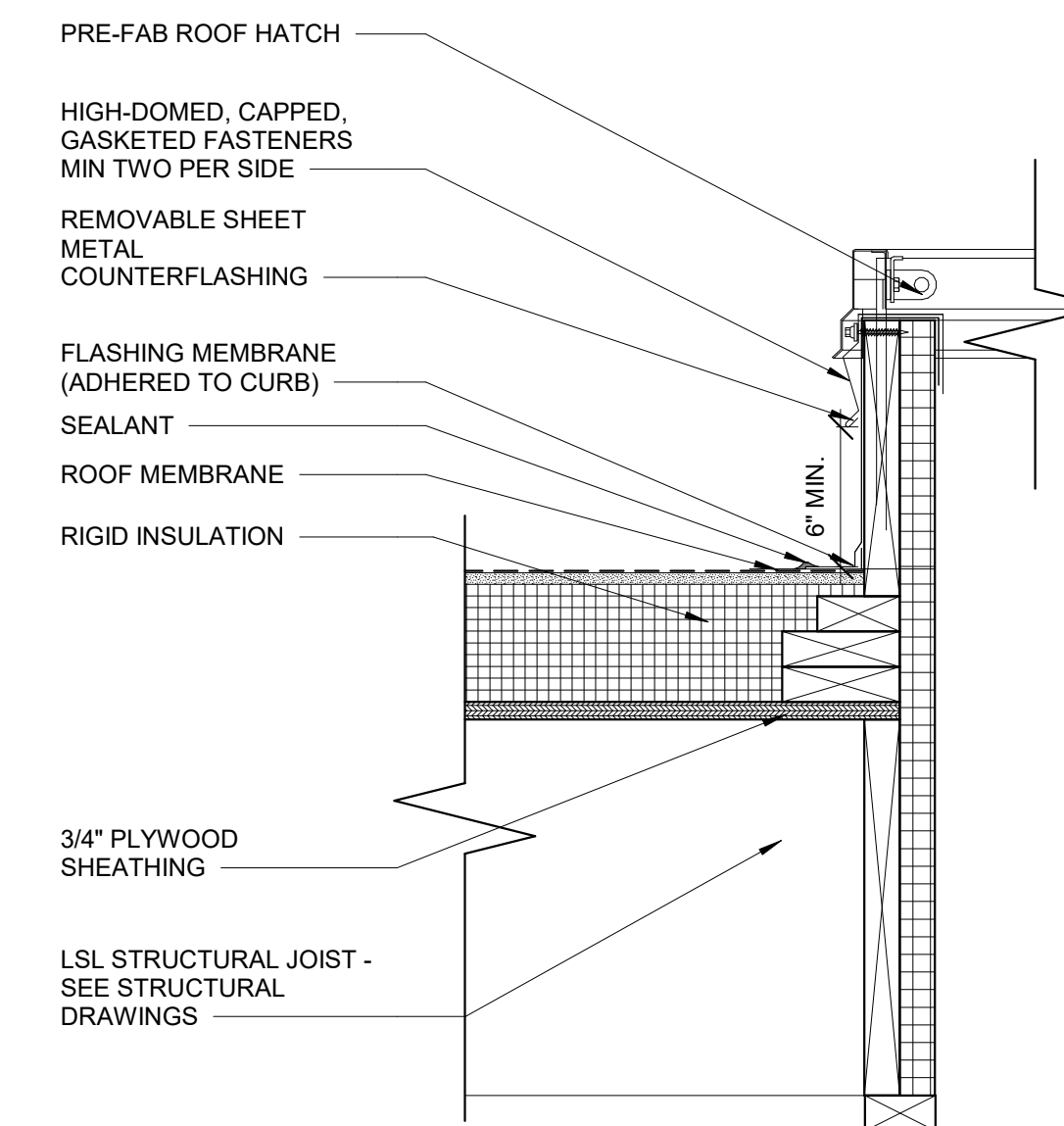


## RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

### GENERAL NOTES

1. WORK IS NEW UNLESS INDICATED OTHERWISE
2. DO NOT SCALE PRINTS. USE FIGURED DIMENSIONS ONLY. FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS. DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
3. ALL DIMENSIONS PROCEEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. REFER TO 2/A20 FOR FACADE REPAIR SCOPE.



**2 ROOF HATCH DETAIL**  
1 1/2" = 1'-0" REFERRED FROM: A11

### ROOF HATCH AND LADDER ACCESS SECTION 1

**3**  
A11 3/4" = 1'-0" REFERRED FROM: A11

### ROOF HATCH AND LADDER ACCESS SECTION

**4**  
A11 3/4" = 1'-0" REFERRED FROM: A11

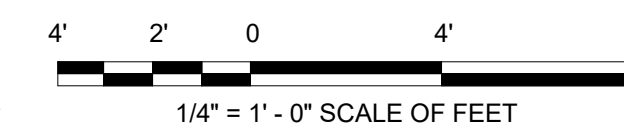
### KEYNOTES

KEY VALUE	TEXT
04.03	CHIMNEY
05.14	4 1/2" X 1/4" BENT ALUM. PLATE CLIP@ 4'-0" O.C.
05.15	2 1/2" ALUM CHANNEL SIDE RAILS
05.16	1/8" MOLDED POLYURETHANE SAFETY CAPS TOP & BOTTOM
05.18	STRUCTURAL BEAM. REFER TO STRUCTURAL DRAWINGS
06.12	PROVIDE BLOCKING IN WALL AT ALL LADDER CONNECTION POINTS. CLIP ANCHOR BLOCKING TO STUD EACH SIDE
07.02	6" ALUMINUM GUTTERS
07.11	2'-6" X 3'-0" BILCO TYPE "S" ACCESS HATCH OR APPROVED EQUAL
10.07	PROVIDE METAL COPING AT THE PARAPET OF BUILDING ADDITION TO MATCH EXISTING COPING
11.02	LOW ROOF FIXED ACCESS LADDER
11.03	LADDER RAIL PLAT 3/8" X 3"
11.04	3/4" BAR GRATING X 12" WIDE
11.05	L2" X2" X 1/4"
11.06	BENT PLATE 3/8" X 3" WITH 5/8" DIAMETER THREADED ROD EPOXY GROUTED WITH 4" EMBEDMENT INTO MASONRY
23.02	RTU-ERV-1, COORDINATE WITH MECHANICAL DRAWINGS
23.03	18" HIGH INSULATED ROOF CURB, COORDINATE WITH MECHANICAL DRAWINGS
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS

**THIS SHEET IS FOR BID ALTERNATE ONLY FOR DESIGN BUILD**  
BIDDING CONTRACTORS SHALL USE THIS SHEET AS A BIDDING ALTERNATIVE TO SHEET A12. SHOULD THE OWNER SELECT THIS PLAN ALTERNATIVE, THE AWARDED CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE A FINAL DESIGN AND CONSTRUCTION DOCUMENT(S) FOR THIS BID ALTERNATIVE. COORDINATE WITH STRUCTURAL AND MEP SHEETS

### LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- WALL / PARTITION
- ROOF PADS
- GUTTER
- DOWNSPOUT
- 2 HR RATED WALL



No.	Date	Description
DT		KP/LH/SR

PERMIT / BID SET  
03/10/2023

ROOF PLAN

# ALT A11

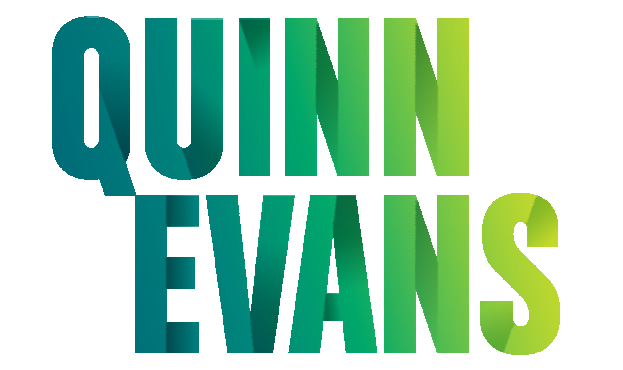






**GENERAL NOTES**

1. WORK IS NEW UNLESS INDICATED OTHERWISE
2. DO NOT SCALE PRINTS, USE FIGURED DIMENSIONS ONLY. FIELD VERIFY ALL EXISTING BUILDING DIMENSIONS, PARTITIONS, WALL LOCATIONS, AND FLOOR ELEVATIONS.
3. PROTECT EXISTING CONSTRUCTION TO REMAIN. REFER TO ROOM FINISH SCHEDULE. PREP SURFACES TO RECEIVE NEW FINISH; INDICATED OTHERWISE.
4. ALL DIMENSIONS PRECEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK.
5. DOOR OPENING LOCATIONS TO BE 4" OFF FINISH OF ADJACENT WALL OR CENTERED ON WALL UNLESS OTHERWISE INDICATED.
6. INTERIOR PARTITIONS TO BE:
  - A. TYPE S1 UNLESS INDICATED OTHERWISE.
  - B. TYPE S2A FURRING, TYPICAL AT EXISTING MASONRY WALL.
  - C. TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
  - D. ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
7. ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
8. INFILL AND LEVEL EXISTING SLAB AS NEEDED FOR NEW FLOOR FINISH.
9. PATCH AND ACOUSTICALLY SEAL AROUND ANY OPENINGS FOR WALL PENETRATIONS CREATED BY MEP. COORDINATE WITH MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS.
10. PREP AND PRIME ALL INTERIOR WALLS FOR NEW FINISH. REFER TO INTERIOR ROOM FINISH.

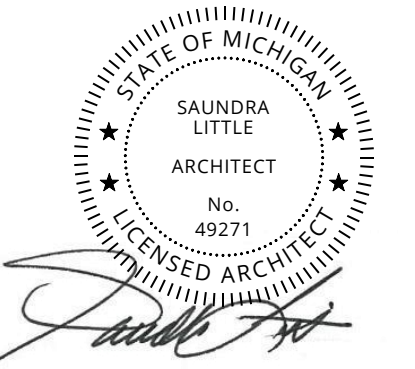


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**KEYNOTES**

KEY VALUE	TEXT
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**RENOVATION OF HISTORIC BLUE BIRD INN**

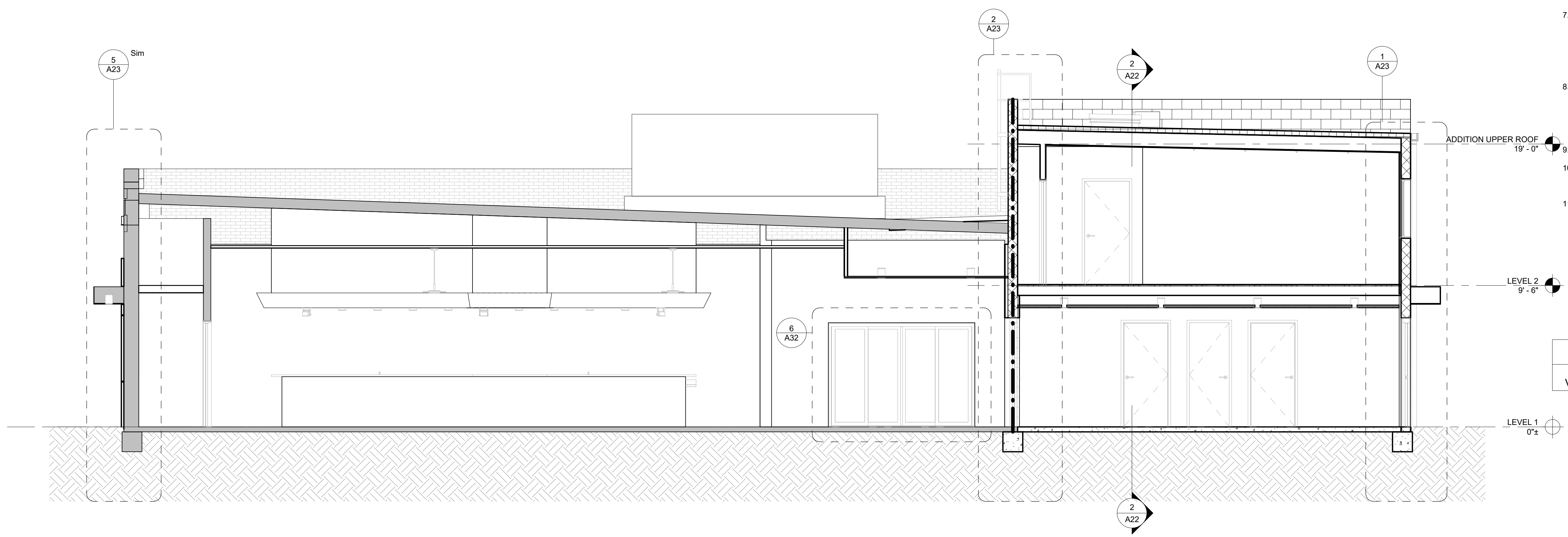
DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

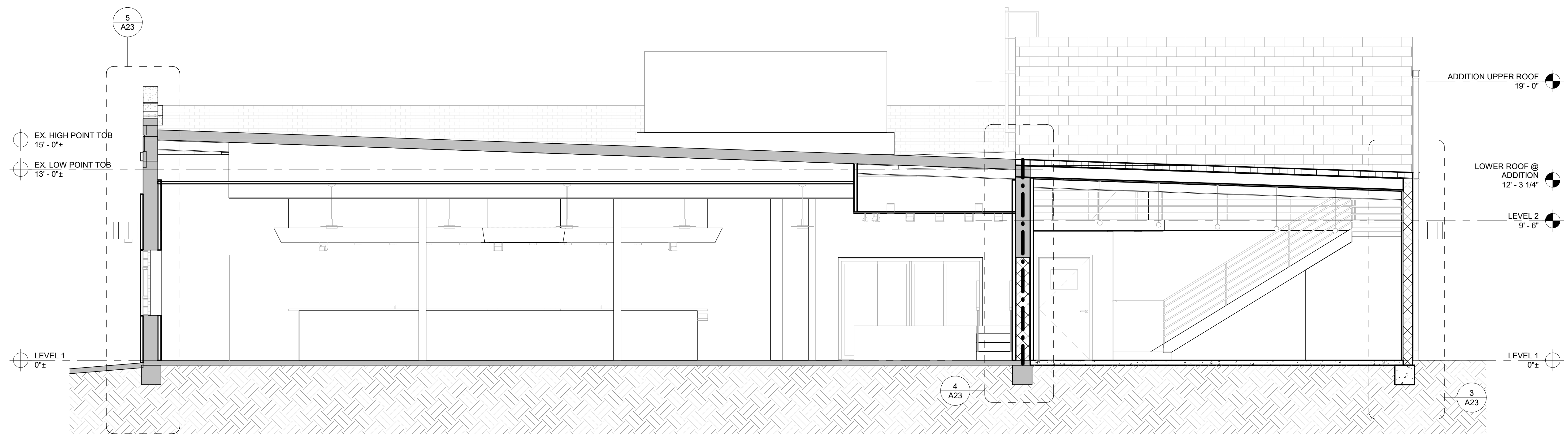
PERMIT / BID SET  
03/10/2023

BUILDING SECTIONS

**A21**



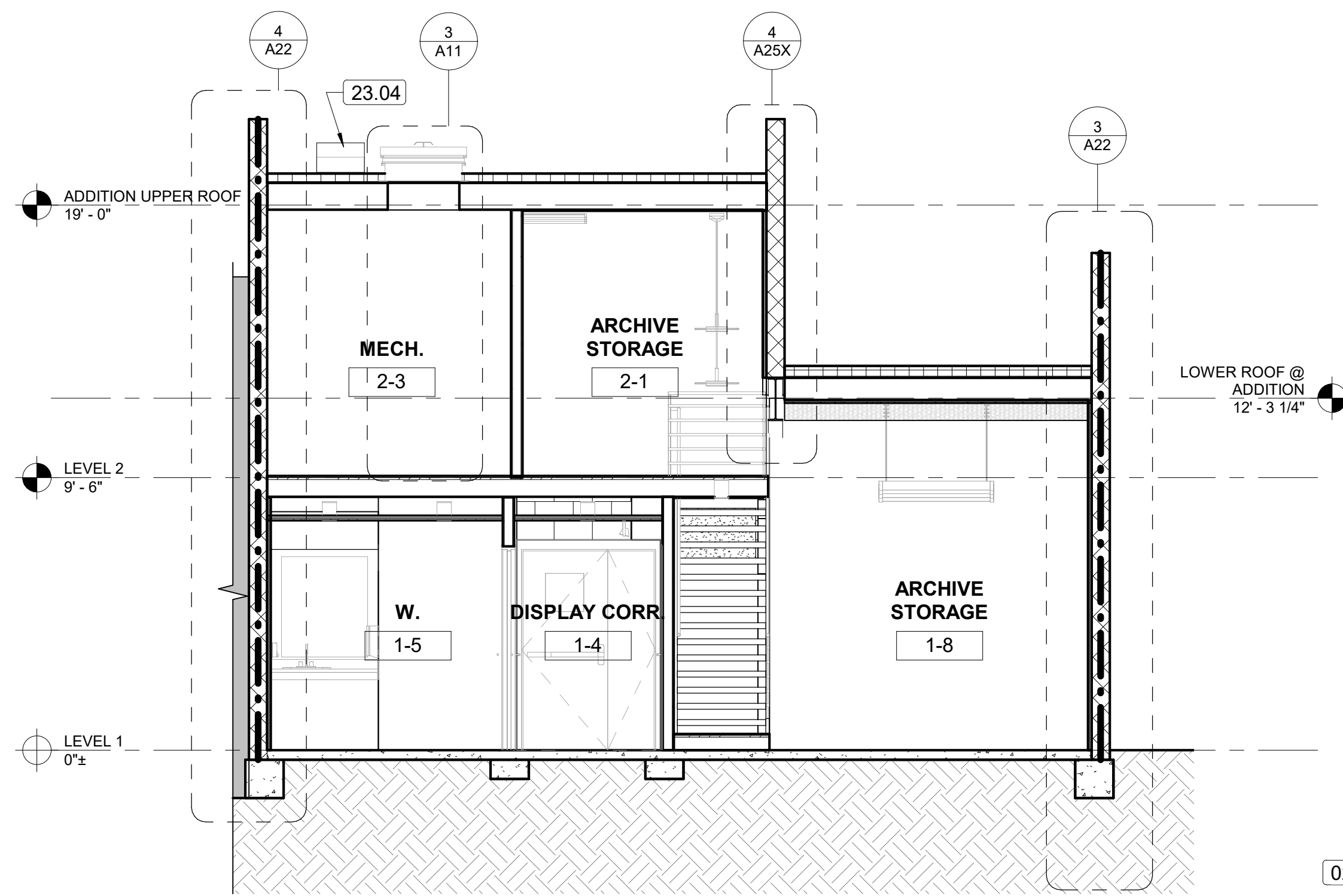
**2 NORTH/SOUTH BUILDING SECTION @ TWO STORY ADDITION**  
1/4" = 1'-0" REFERRED FROM: A10



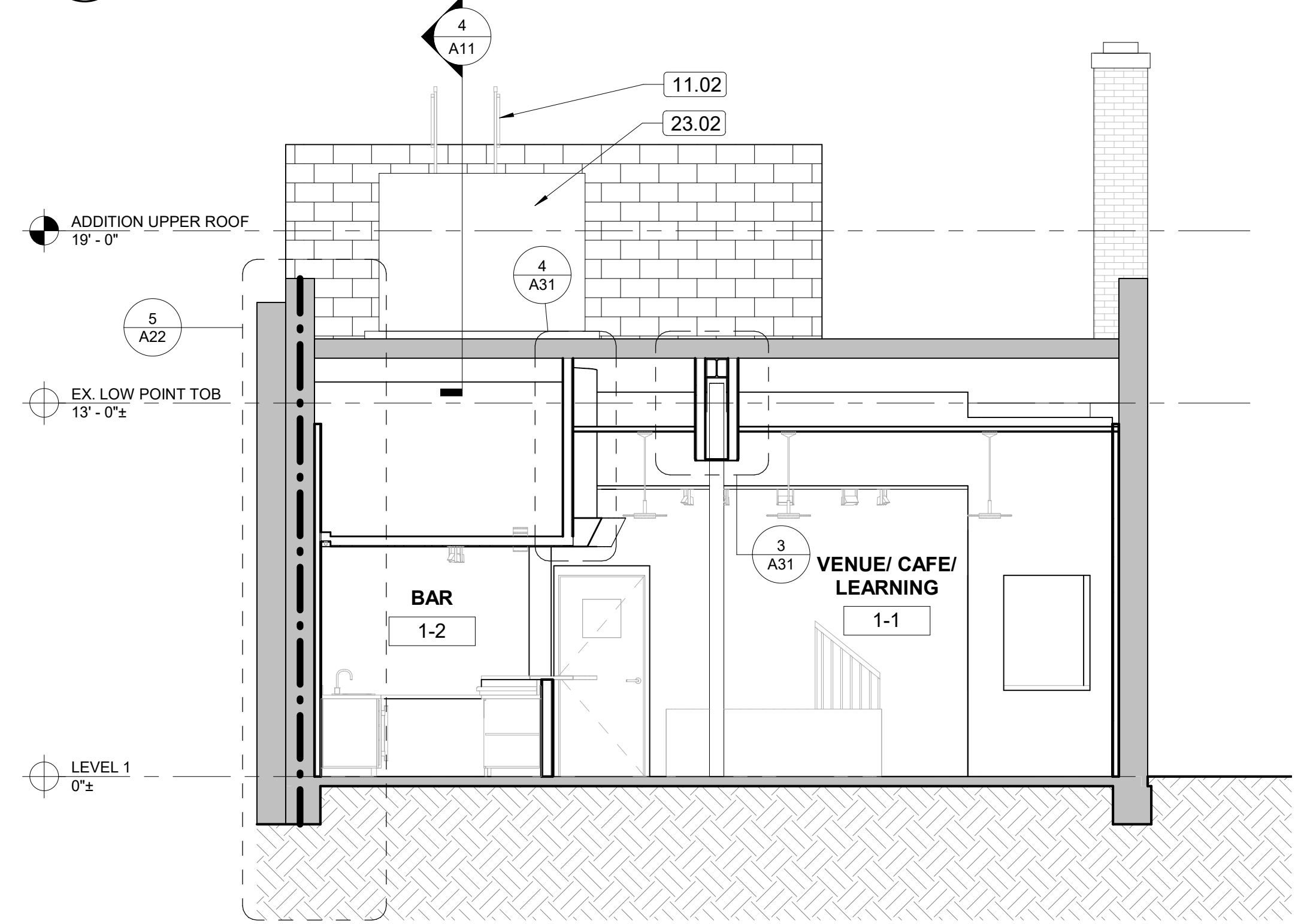
**1 NORTH/SOUTH BUILDING SECTION @ SINGLE STORY ADDITION**  
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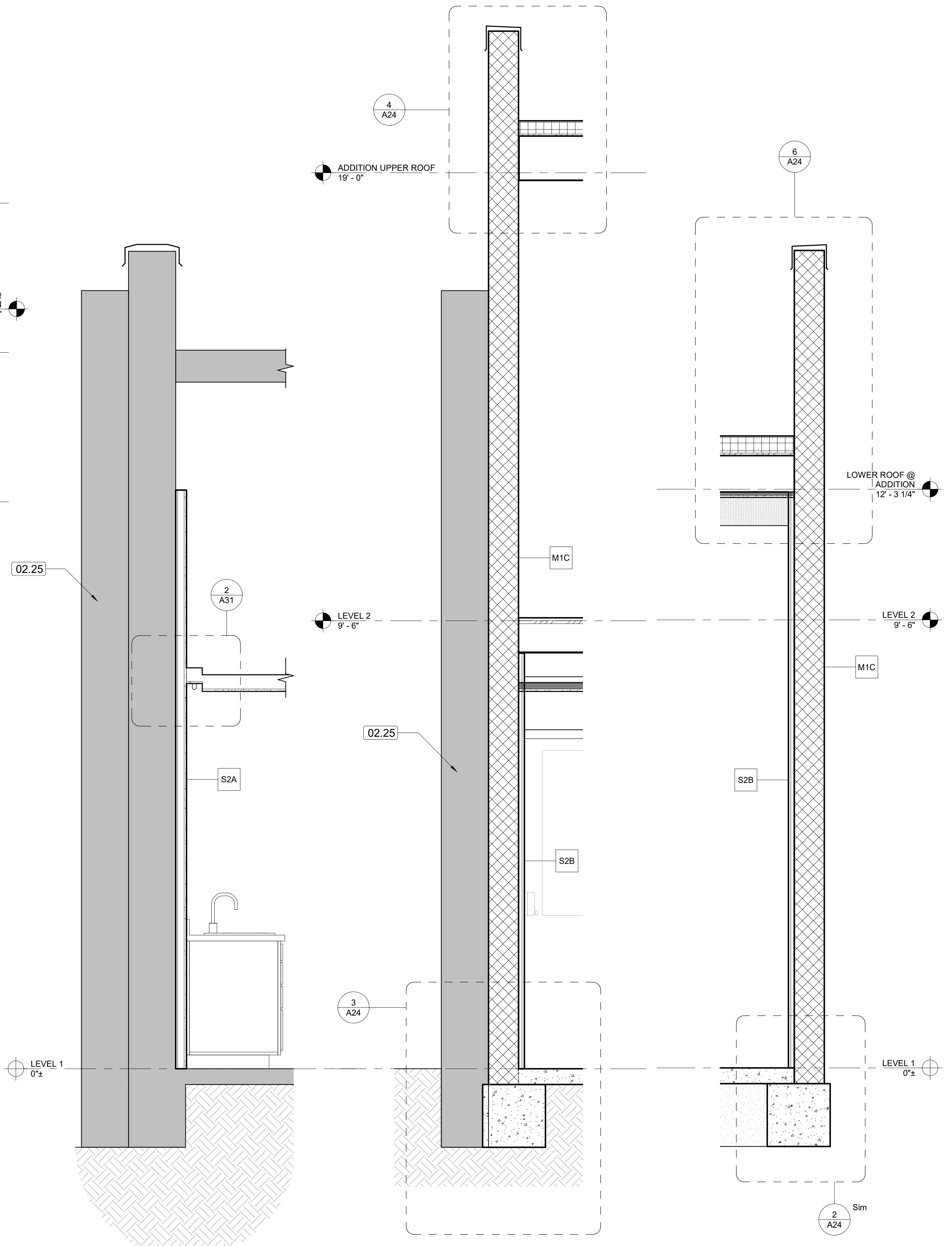
1 2 3 4 5 6 7 8 9 10  
 K  
 J  
 H  
 G  
 F  
 E  
 D  
 C  
 B  
 A



**2 EAST/WEST BUILDING SECTION @ ADDITION**  
 1/4" = 1'-0" REFERRED FROM: A10



**1 EAST/WEST EXISTING BUILDING SECTION**  
 1/4" = 1'-0" REFERRED FROM: A10



**5 WALL SECTION**  
 3/4" = 1'-0" REFERRED FROM: A22

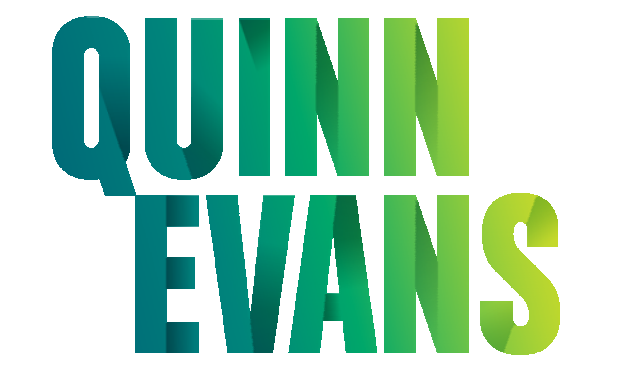
**4 WALL SECTION**  
 3/4" = 1'-0" REFERRED FROM: A22

**3 WALL SECTION**  
 3/4" = 1'-0" REFERRED FROM: A22

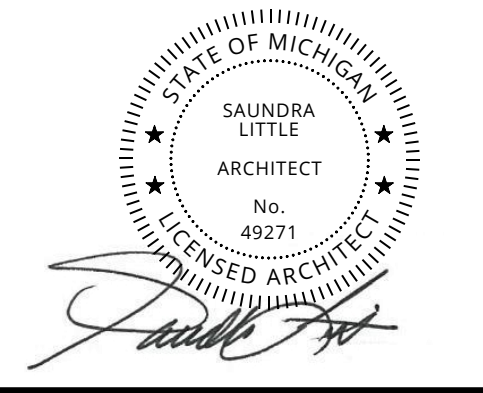
**GENERAL NOTES**

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- PROTECT EXISTING CONSTRUCTION TO REMAIN. REFER TO ROOM FINISH SCHEDULE.
- DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
- ALL DIMENSIONS PRECEDED BY A +/- SHALL BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK.
- DOOR OPENING LOCATIONS TO BE 4" OFF FINISH OF ADJACENT WALL OR CENTERED ON WALL UNLESS OTHERWISE INDICATED.
- INTERIOR PARTITIONS TO BE:
  - TYPE S1 UNLESS INDICATED OTHERWISE.
  - TYPE S2A FURRING, TYPICAL AT EXISTING MASONRY WALL.
  - TYPE S2B FURRING, TYPICAL AT NEW ADDITION MASONRY WALLS.
  - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- ALL NEW WALL PARTITIONS TO EXTEND TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. IN LOCATIONS OF EXPOSED CEILINGS, MODIFY EXISTING PERIMETER PARTITIONS TO BE EXTENDED TO UNDERSIDE OF FLOOR CONSTRUCTION ABOVE. TAPE, SPACKLE, AND SAND JOINTS.
- INFILL AND LEVEL EXISTING SLAB AS NEEDED FOR NEW FLOOR FINISH.
- PATCH AND ACOUSTICALLY SEAL AROUND ANY OPENINGS FOR WALL PENETRATIONS CREATED BY MEP. COORDINATE WITH MECHANICAL, PLUMBING & ELECTRICAL DRAWINGS. PREP AND PRIME ALL INTERIOR WALLS FOR NEW FINISH. REFER TO INTERIOR ROOM FINISH.

KEYNOTES	
KEY VALUE	TEXT
02.25	EXISTING NEIGHBORING STRUCTURE
11.02	LOW ROOF FIXED ACCESS LADDER
23.02	RTU-ERV-1, COORDINATE WITH MECHANICAL DRAWINGS
23.04	EXHAUST FAN (PROVIDE MIN. 14" HIGH INSULATED ROOF CURB), COORDINATE WITH MECHANICAL DRAWINGS



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**RENOVATION OF HISTORIC BLUE BIRD INN**

DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

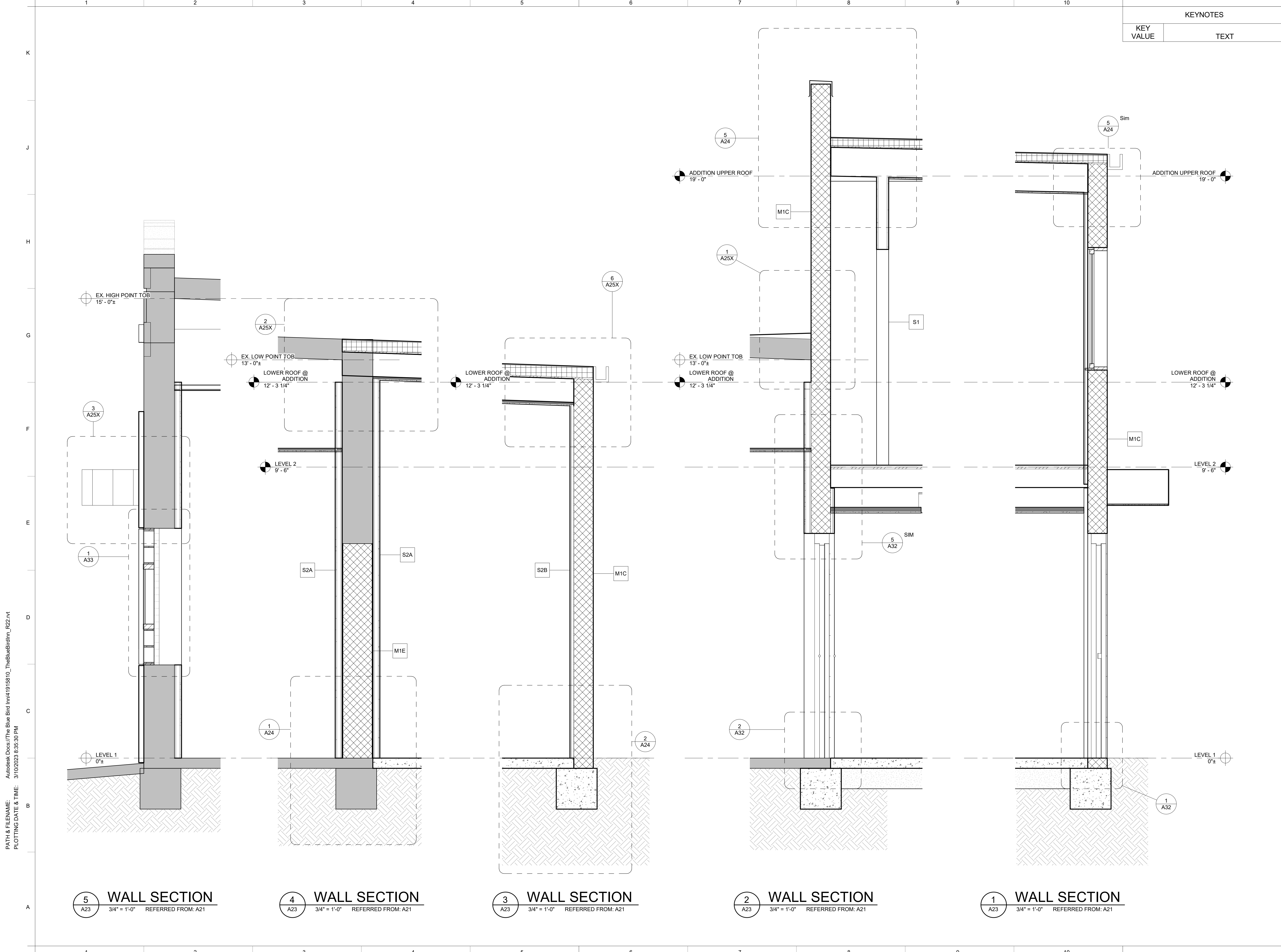
PERMIT / BID SET  
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**BUILDING & WALL SECTIONS**

**A22**

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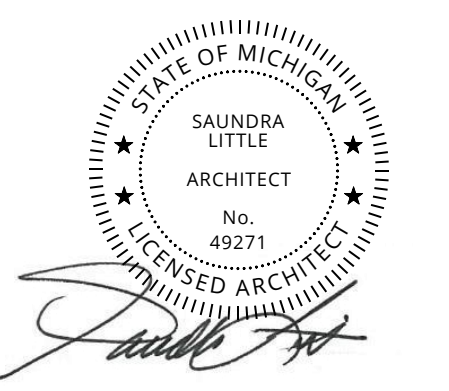




KEYNOTES	
KEY VALUE	TEXT



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**RENOVATION OF HISTORIC BLUE BIRD INN**

DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

PERMIT / BID SET  
03/10/2023

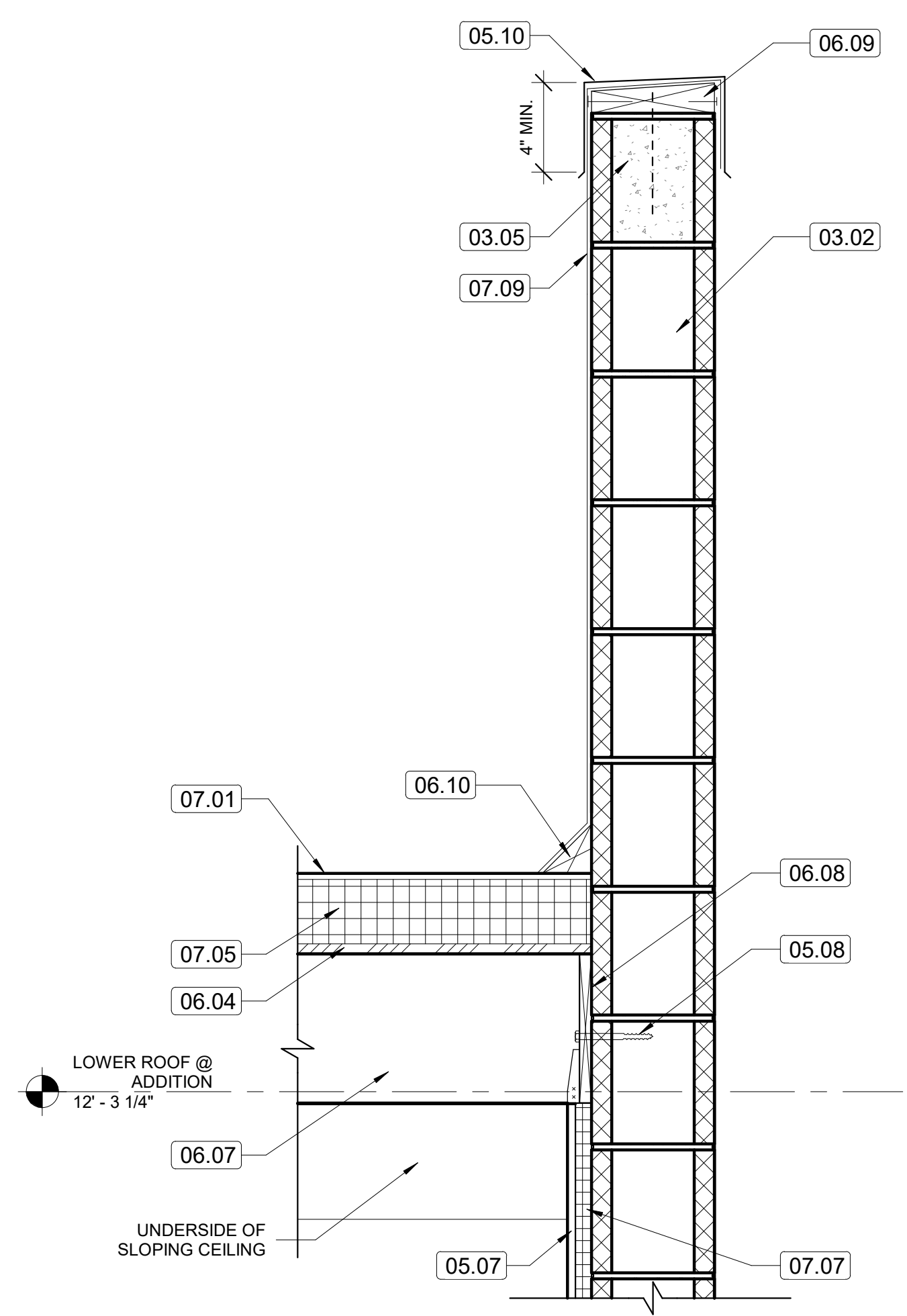
WALL SECTIONS

**A23**

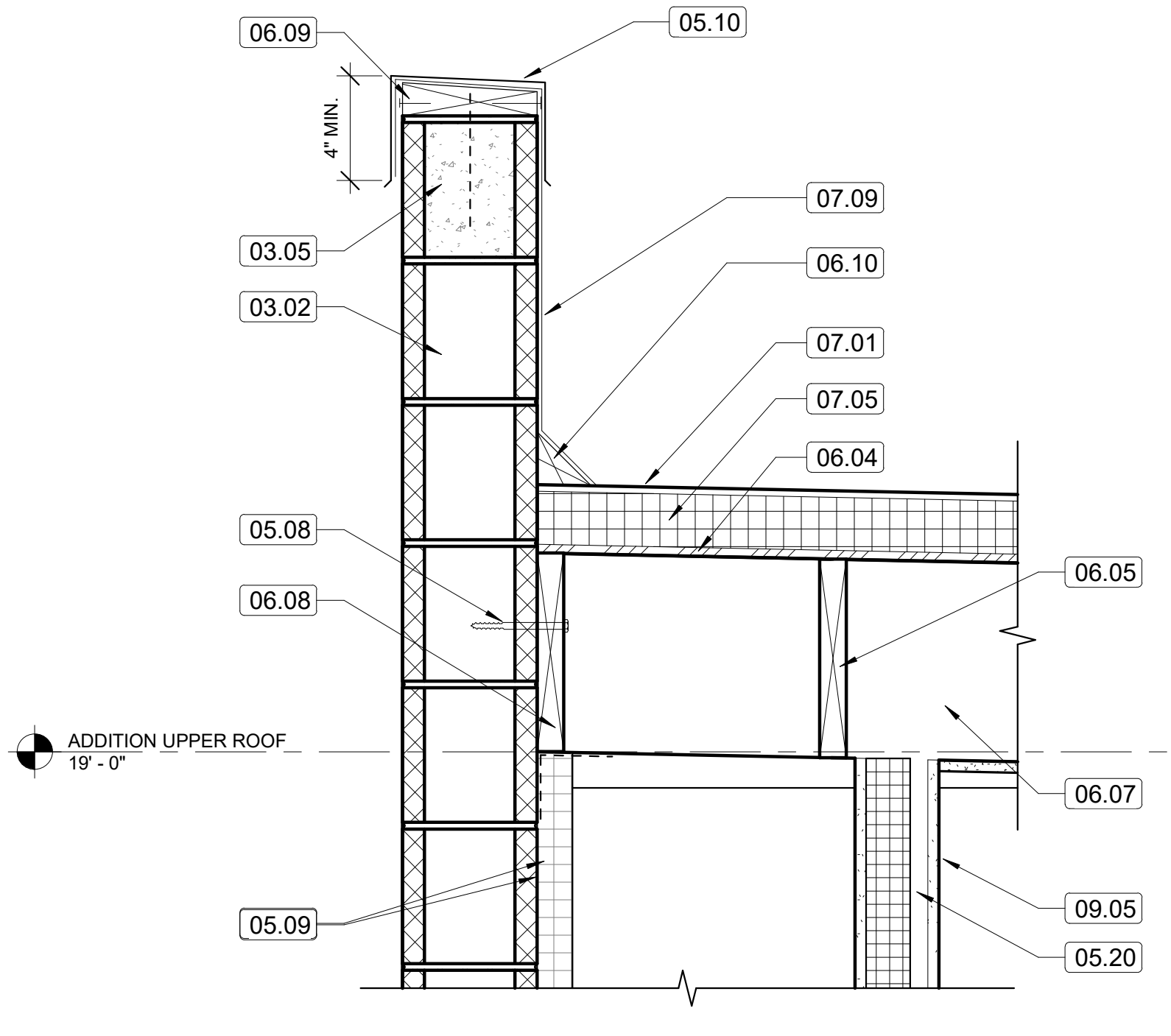
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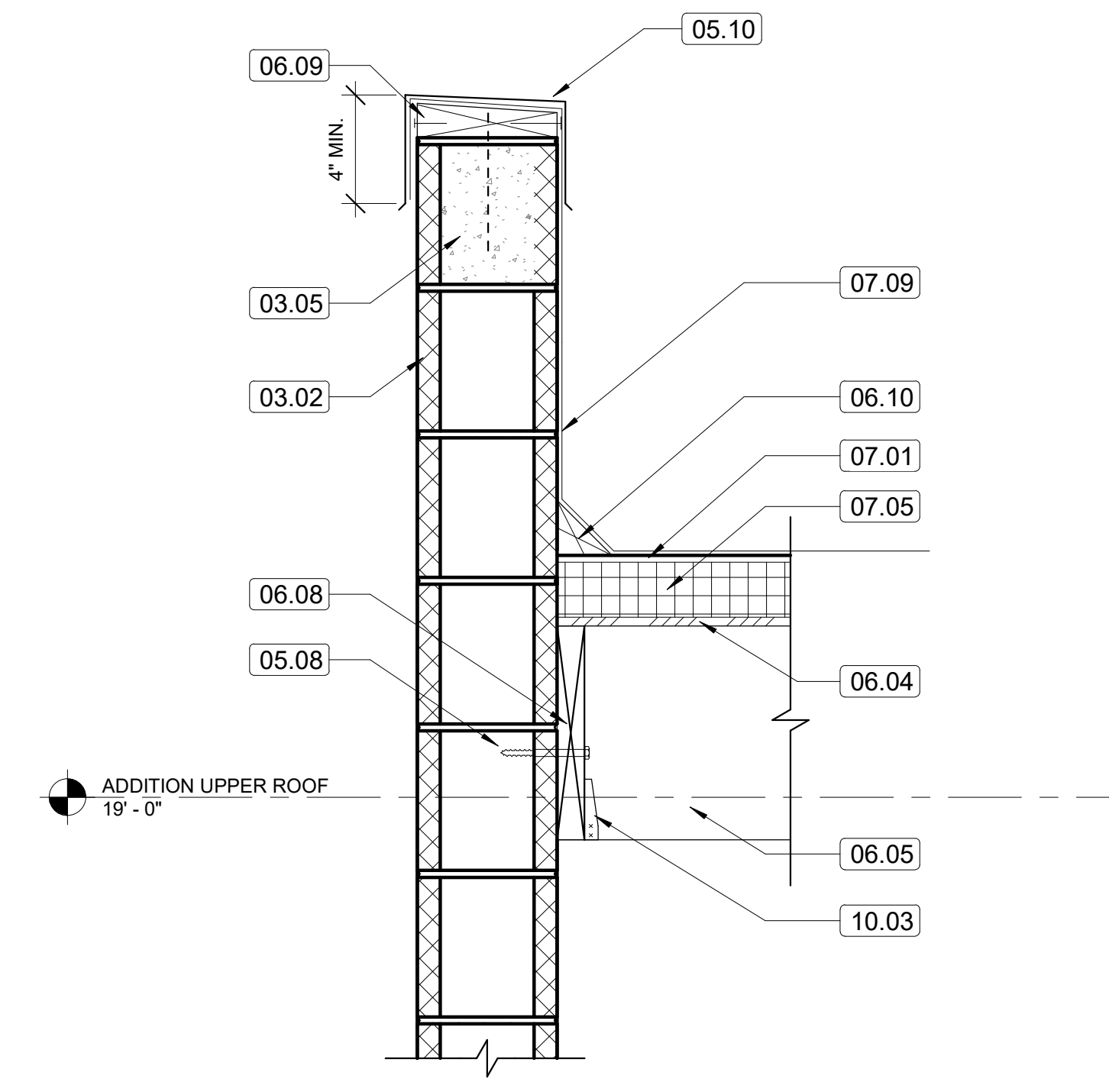
KEYNOTES	
KEY VALUE	TEXT
02.25	EXISTING NEIGHBORING STRUCTURE
02.27	EXISTING FOUNDATION. V.I.F.
02.28	EXISTING SLAB ON GRADE. REFER TO STRUCTURAL DWGS.
03.02	8" HOLLOW CMU
03.03	SLAB ON GRADE. REFER TO STRUCTURAL PLAN
03.04	CONC. FOOTING REINFORCEMENT. REFER TO STRUCTURAL PLAN
03.05	8" GROUT COURSE CMU
04.04	DOWEL MASONRY INTO FOOTING. REFER TO STRUCTURAL DWGS.
05.07	1 1/2" METAL FRAMING STUD
05.08	1/2" EXP. ANCHORS. REFER TO STRUCTURAL DWGS.
05.09	SIMPSON DTC CLIP. REFER TO STRUCTURAL DWGS.
05.10	SLOPING METAL COPING CAP
05.20	3 1/2" METAL FRAMING STUD
06.04	ONE LAYER OF 3/8" PLYWOOD SHEATHING. REFER TO STRUCTURAL DWGS
06.05	WOOD ROOF JOISTS. REFER TO STRUCTURAL DWGS
06.07	LADDER FRAMING. REFER TO STRUCTURAL DWGS
06.08	PRESSURE TREATED RIM JOIST. REFER TO STRUCTURAL DWGS
06.09	WOOD NAILER WITH ANCHOR BOLTS
06.10	WOOD KANT
07.01	EPDM ROOFING
07.05	4" THICK RIGID INSULATION, ADHERE TO PLYWOOD SHEATHING
07.06	6 MILS VAPOR BARRIER
07.07	1" THICK RIGID INSULATION
07.08	R10 RIGID INSULATION
07.09	EXTENDED ROOFING MEMBRANE TO EXTERIOR, UNDERSIDE OF THE SHEET METAL COPING
07.10	2" THICK RIGID INSULATION
09.05	5/8" GYPSUM WALL BOARD. REFER TO FINISH SCHEDULE FOR FINISH APPLICATION
10.03	SIMPSON HANGER TYP. REFER TO STRUCTURAL DWGS.
10.04	1/2" EXPANSION JOINT



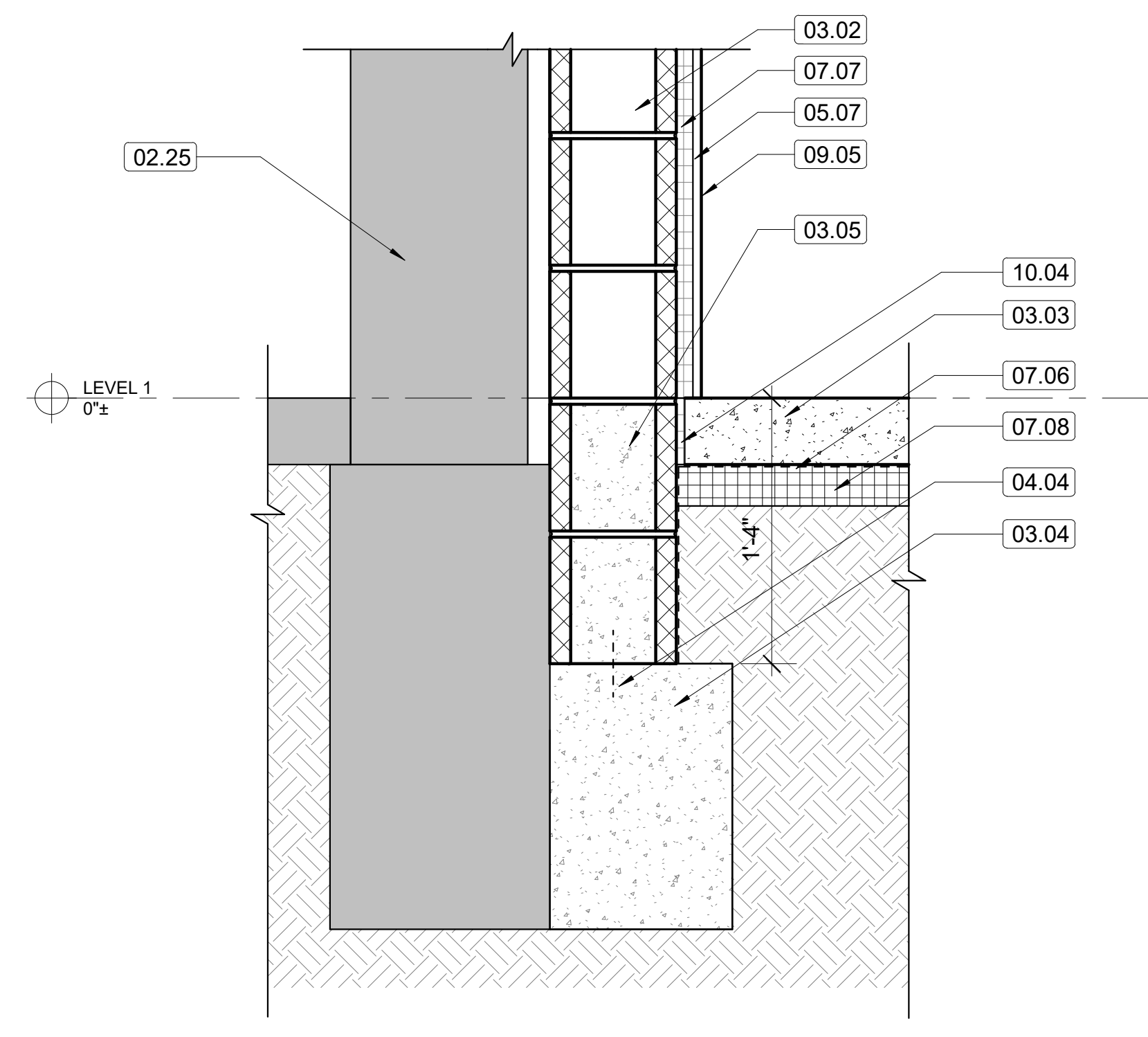
**6** ROOF DETAIL  
 A24 1 1/2" = 1'-0" REFERRED FROM: A22



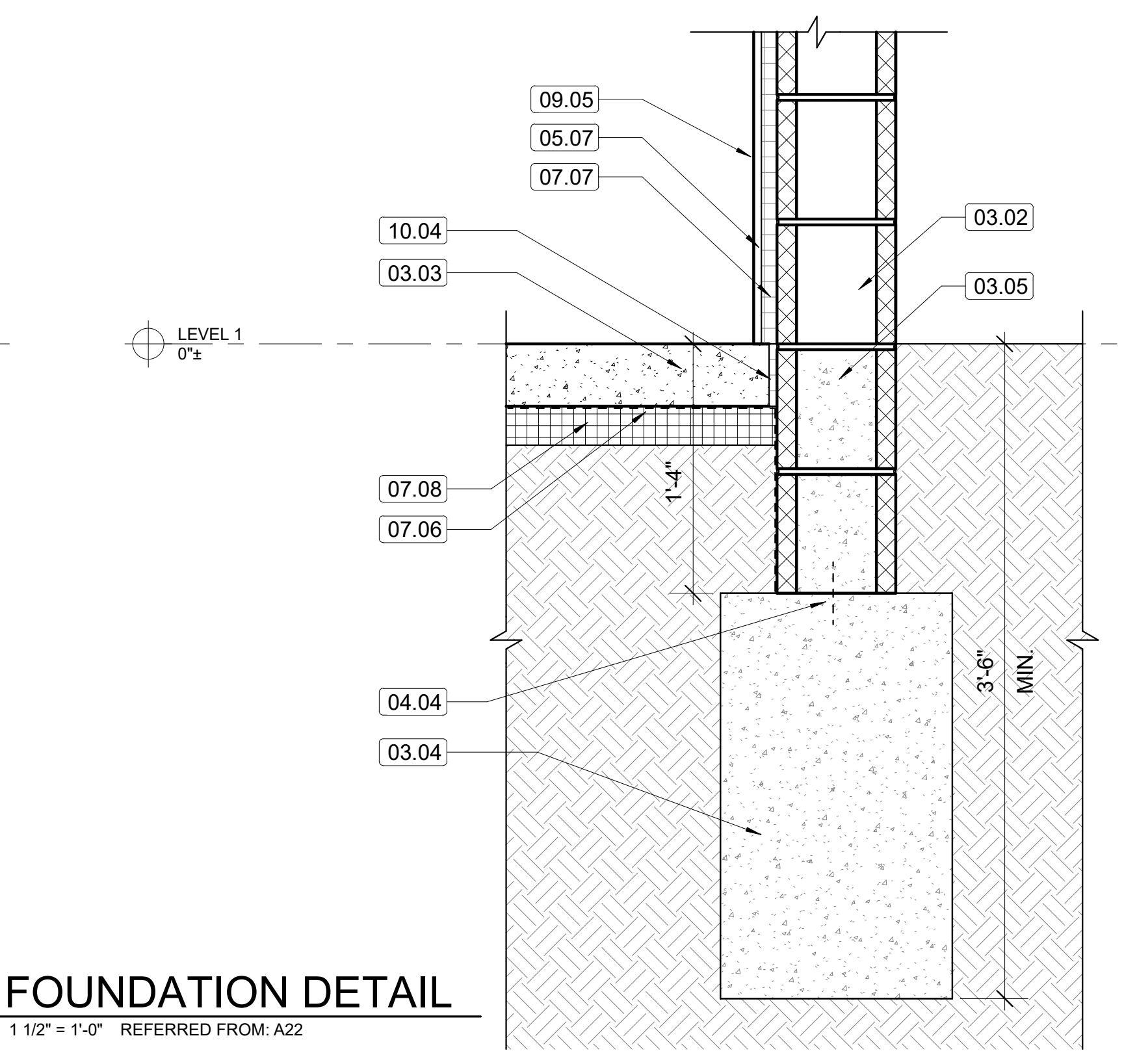
**5** ROOF DETAIL  
 A24 1 1/2" = 1'-0" REFERRED FROM: A23



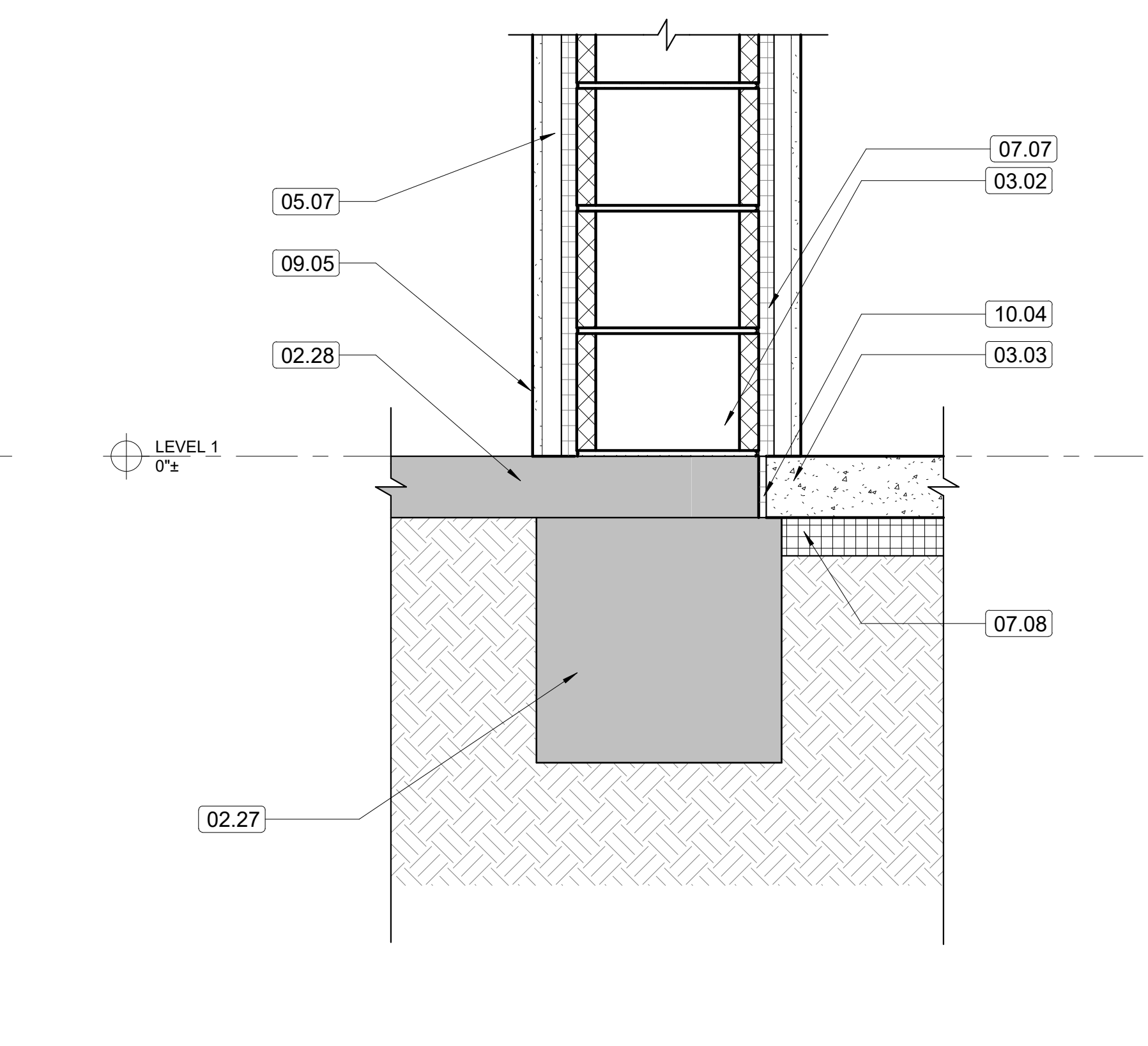
**4** ROOF DETAIL  
 A24 1 1/2" = 1'-0" REFERRED FROM: A22



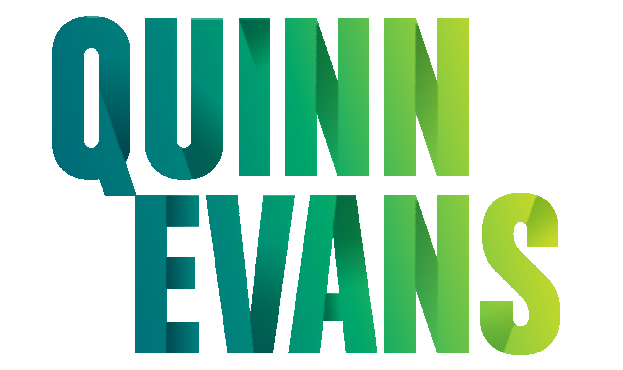
**3** FOUNDATION DETAIL  
 A24 1 1/2" = 1'-0" REFERRED FROM: A22



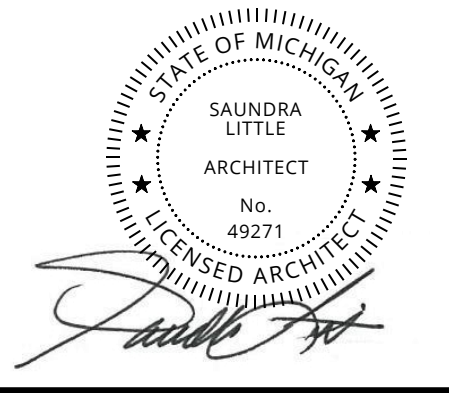
**2** FOUNDATION DETAIL  
 A24 1 1/2" = 1'-0" REFERRED FROM: A22



**1** FOUNDATION DETAIL  
 A24 1 1/2" = 1'-0" REFERRED FROM: A23



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RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
DT		KP/LH/SR

PERMIT / BID SET  
 03/10/2023

EXTERIOR DETAILS

**A24**





## RENOVATION OF HISTORIC BLUE BIRD INN

DETROIT SOUND CONSERVANCY

1 03.03.2023 BIDS & PERMITS

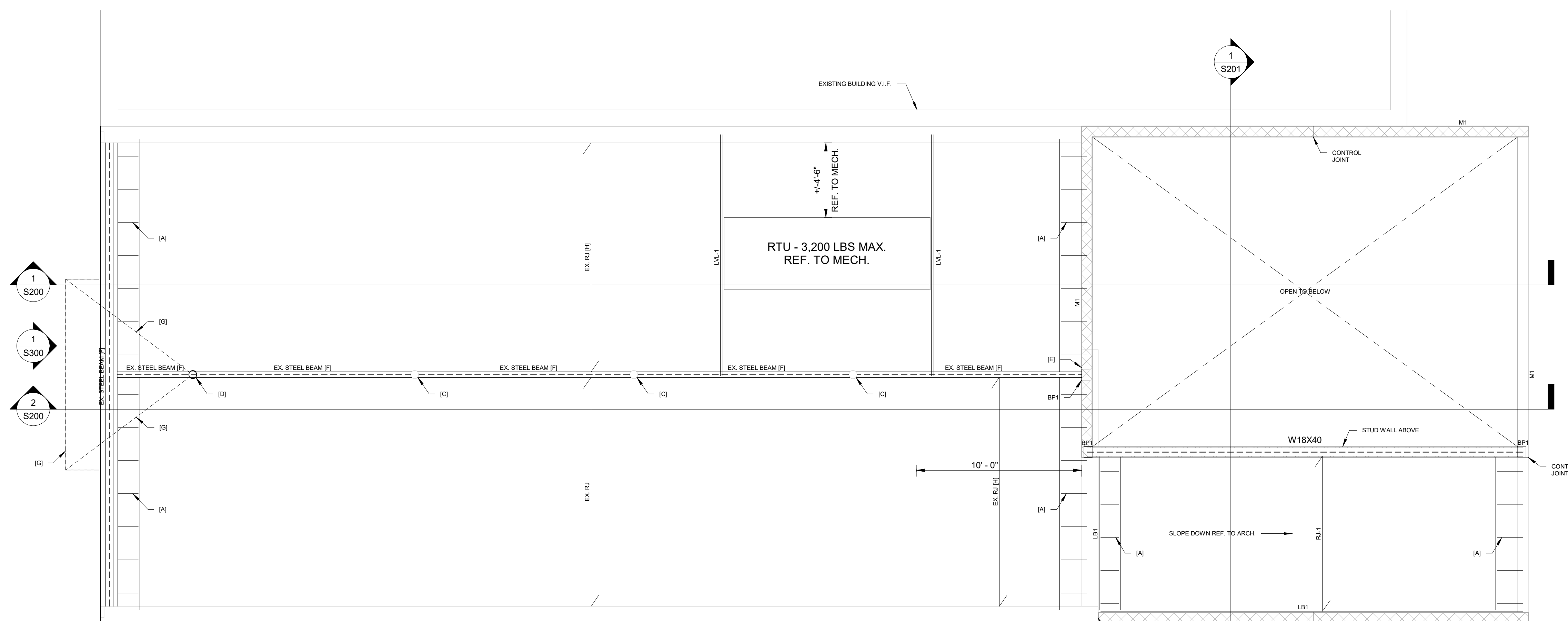
No.	Date	Description
AL		EL

PROJECT MANAGER: AL  
DRAWN BY: EL

CONSTRUCTION DOCUMENTS  
03/03/2023

LOW ROOF FRAMING PLAN

# S102



1 LOW ROOF FRAMING PLAN  
1/4" = 1'-0"

### LOW ROOF FRAMING PLAN NOTES:

- VERIFY IN FIELD ALL CONDITIONS PRIOR TO PROCEEDING WITH NEW WORK. NOTIFY A/E TEAM IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
- COORDINATE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS TO ENSURE THE DESIGN INTENT IS SATISFACTORILY IMPLEMENTED.
- PROVIDE TEMPORARY SUPPORT, SHORING, AND FORMING AS REQUIRED DURING CONSTRUCTION.
- REFER TO STANDARD DETAILS, GENERAL NOTES, SPECIAL INSPECTIONS, AND DESIGN CRITERIA FOR ADDITIONAL INFORMATION/REQUIREMENTS.
- DESIGNATIONS:

RJ-1: WOOD ROOF JOISTS - 2x10 @ 24" O.C. MAX. + 5/8" SHEATHING, BRIDGE AT MID-SPAN

LB1: WOOD LEDGER BOARD - 2x10 PRESSURE TREATED

M1: MASONRY WALL - 8" CMU REINFORCED W/ #5 BARS @ 32" O.C. MAX. VERT. + W1.7 LADDER TYPE HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. MAX. + (2) #5 CONT. BOND BEAM AT TOP AND MID-HEIGHT OF WALL

BP1: STEEL BEARING PLATE - 8x6x3/8"

LVL-1: WOOD HEADER - (3) 1.75"x9.25" LVL1.8E Fb=2200PSI MIN., BRIDGE AT SPAN/3 LOCATIONS

[A]: LADDER FRAMING @ 24" O.C. MAX.

[B]: REFER TO DETAIL

[C]: EXISTING CORRODED STEEL COLUMN TO BE REMOVED AND REPLACED W/ NEW HSS6x1/4

[D]: EXISTING COLUMN TO BE STRUCTURALLY INSPECTED AFTER BUILDING FINISHES THAT ARE CONCEALING IT ARE REMOVED

[E]: BEARING POCKET TO BE RESTORED

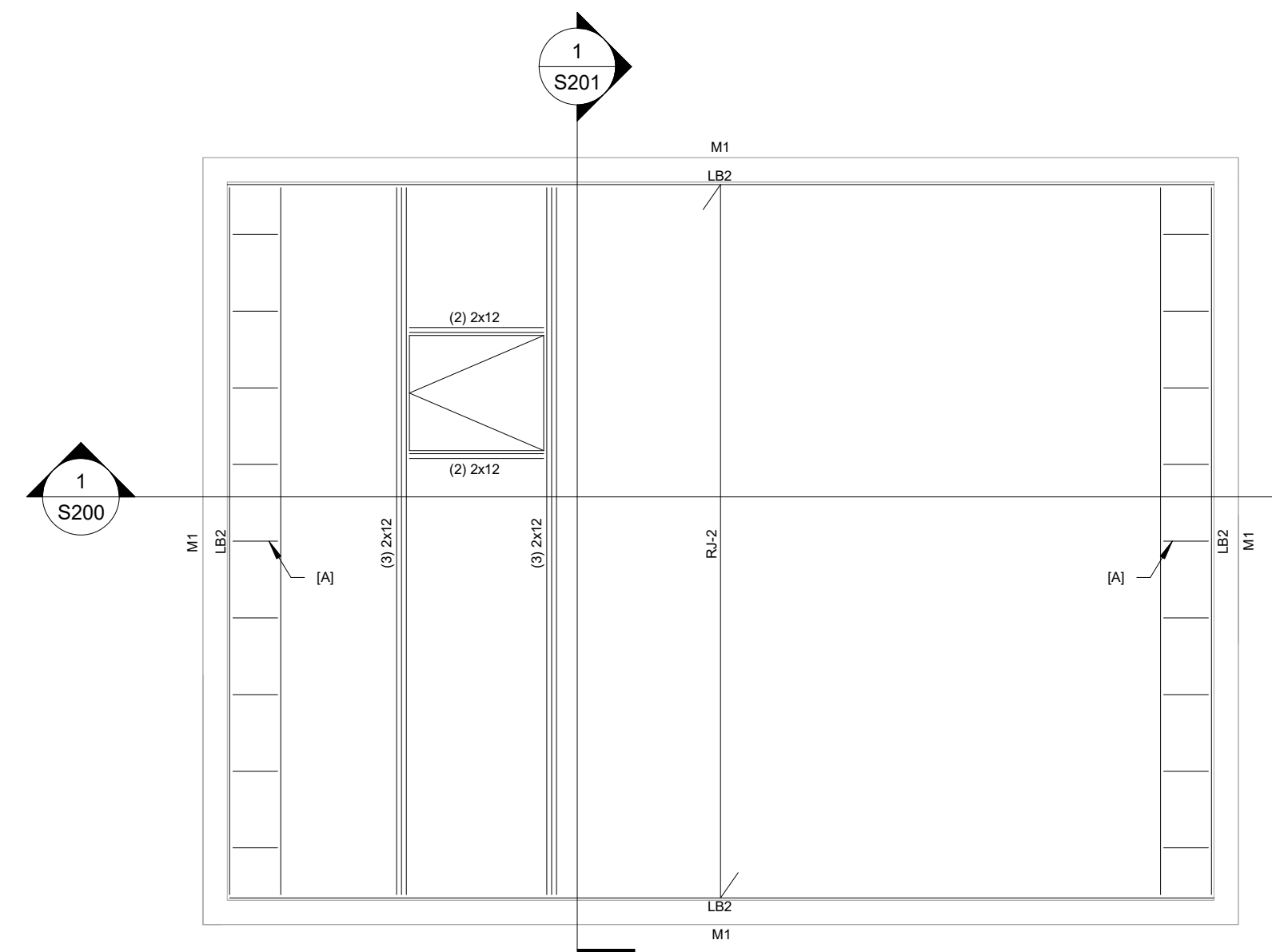
[F]: EXISTING STEEL BEAM TO BE UNCOVERED FOR STRUCTURAL INSPECTION, RESTORATION/REPLACEMENT MAY BE REQUIRED

[G]: EXISTING STEEL CANOPY FRAMING TO BE UNCOVERED FOR STRUCTURAL INSPECTION, RESTORATION/REPLACEMENT MAY BE REQUIRED

[H]: REINFORCE EXISTING ROOF JOISTS WITH NEW 2x10 SISTERED TO EACH EXISTING JOIST

[I]: PROVIDE (2) 1.75"x9.25" LVL BLOCKING AROUND UNIT EDGES

PATH & FILENAME: F:\1 MSEA Inc\22-100022-1045 - BlueBird Inn\Structural\22-11XX - BLUE BIRD INN - R22 - STRUCTURAL.rvt  
 PLOTTING DATE & TIME: 3/10/2023 4:19:36 PM



① UPPER ROOF FRAMING PLAN  
 1/4" = 1'-0"

**UPPER ROOF FRAMING PLAN NOTES:**

1. VERIFY IN FIELD ALL CONDITIONS PRIOR TO PROCEEDING WITH NEW WORK. NOTIFY A/E TEAM IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
2. COORDINATE THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS TO ENSURE THE DESIGN INTENT IS SATISFACTORILY IMPLEMENTED.
3. PROVIDE TEMPORARY SUPPORT, SHORING, AND FORMING AS REQUIRED DURING CONSTRUCTION.
4. REFER TO STANDARD DETAILS, GENERAL NOTES, SPECIAL INSPECTIONS, AND DESIGN CRITERIA FOR ADDITIONAL INFORMATION/REQUIREMENTS.

5. **DESIGNATIONS:**

- RJ-2: WOOD ROOF JOISTS - 2x12 @ 16" O.C. MAX. + 5/8" SHEATHING, BRIDGE AT SPAN/3 LOCATIONS
- LB2: WOOD LEDGER BOARD - 2x12 PRESSURE TREATED
- M1: MASONRY WALL - 8" CMU REINFORCED W/ #5 BARS @ 32" O.C. MAX. VERT. + W1.7 LADDER TYPE HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. MAX. + (2) #5 CONT. BOND BEAM AT TOP AND MID-HEIGHT OF WALL
- [A]: LADDER FRAMING @ 24" O.C. MAX.



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422 N. ALTADENA  
 ROYAL OAK, MI 48067  
 248.561.2035



**RENOVATION OF  
 HISTORIC BLUE BIRD INN**

DETROIT SOUND  
 CONSERVANCY

1 03.03.2023 BIDS & PERMITS

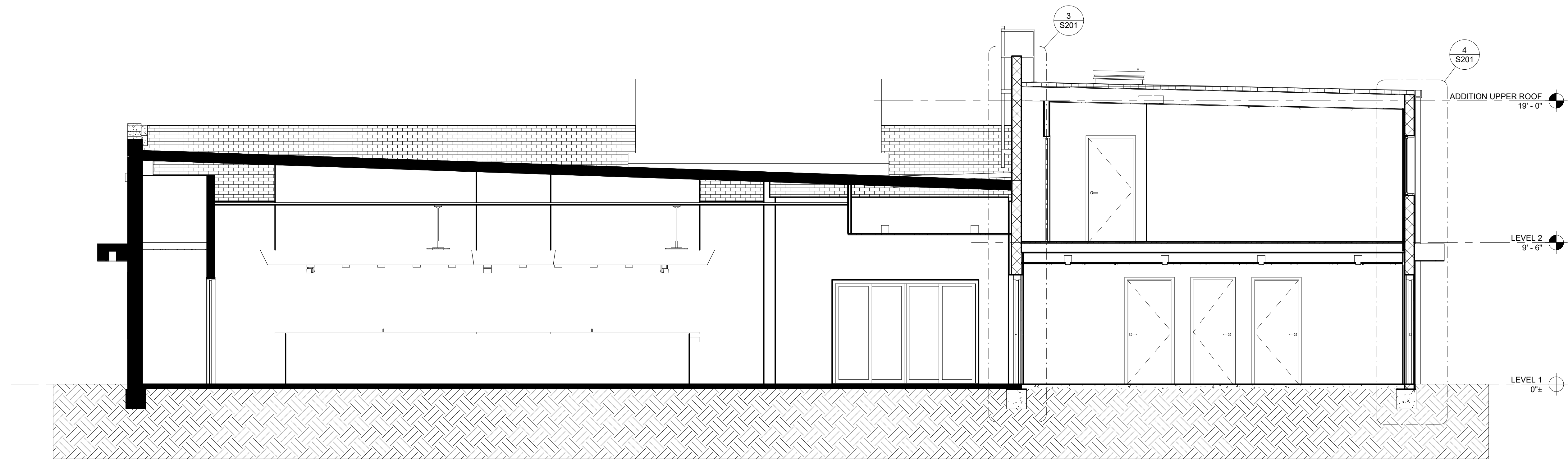
No.	Date	Description
AL		EL

PROJECT MANAGER: AL  
 DRAWN BY: EL

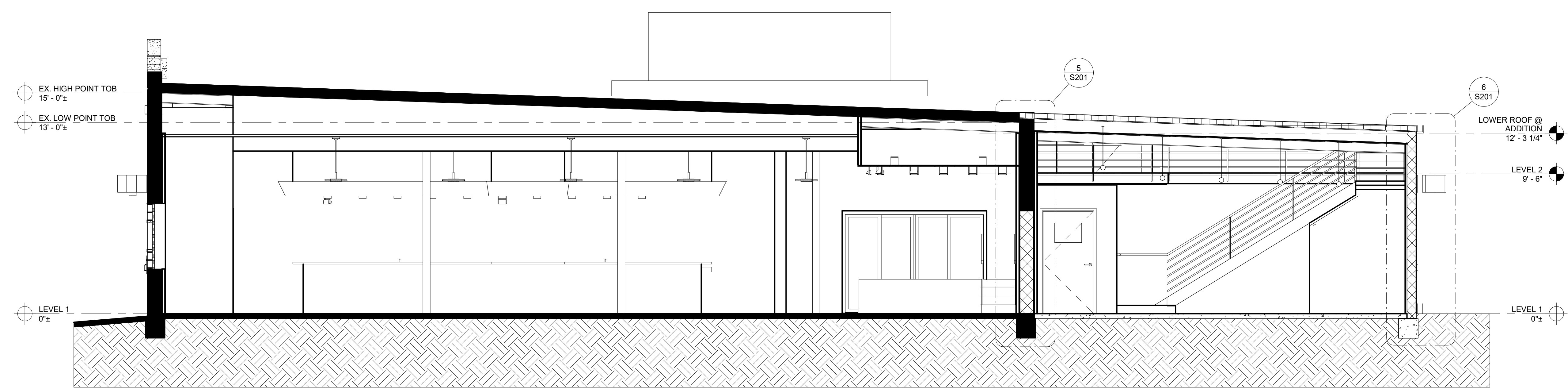
CONSTRUCTION DOCUMENTS  
 03/03/2023

UPPER ROOF  
 FRAMING

**S103**

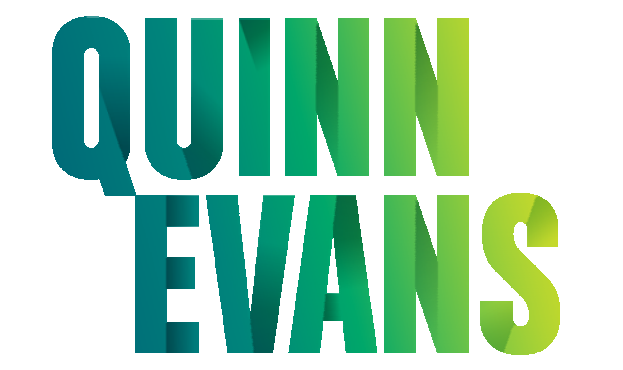


① BUILDING SECTION 1  
1/4" = 1'-0"



② BUILDING SECTION 2  
1/4" = 1'-0"

PATH & FILENAME: F:\1 MSEA Inc\22-100022-1045 - BlueBird Inn\Structural\22-11XX - BLUE BIRD INN - R22 - STRUCTURAL.rvt  
PLOT DATE & TIME: 3/10/2023 4:19:37 PM



QUINNEVANS.COM



422 N. ALTADENA  
ROYAL OAK, MI 48067  
248.561.2035



**RENOVATION OF  
HISTORIC BLUE BIRD INN**

DETROIT SOUND  
CONSERVANCY

No.	Date	Description
1	03.03.2023	BIDS & PERMITS
PROJECT MANAGER:		DRAWN BY:
AL		EL

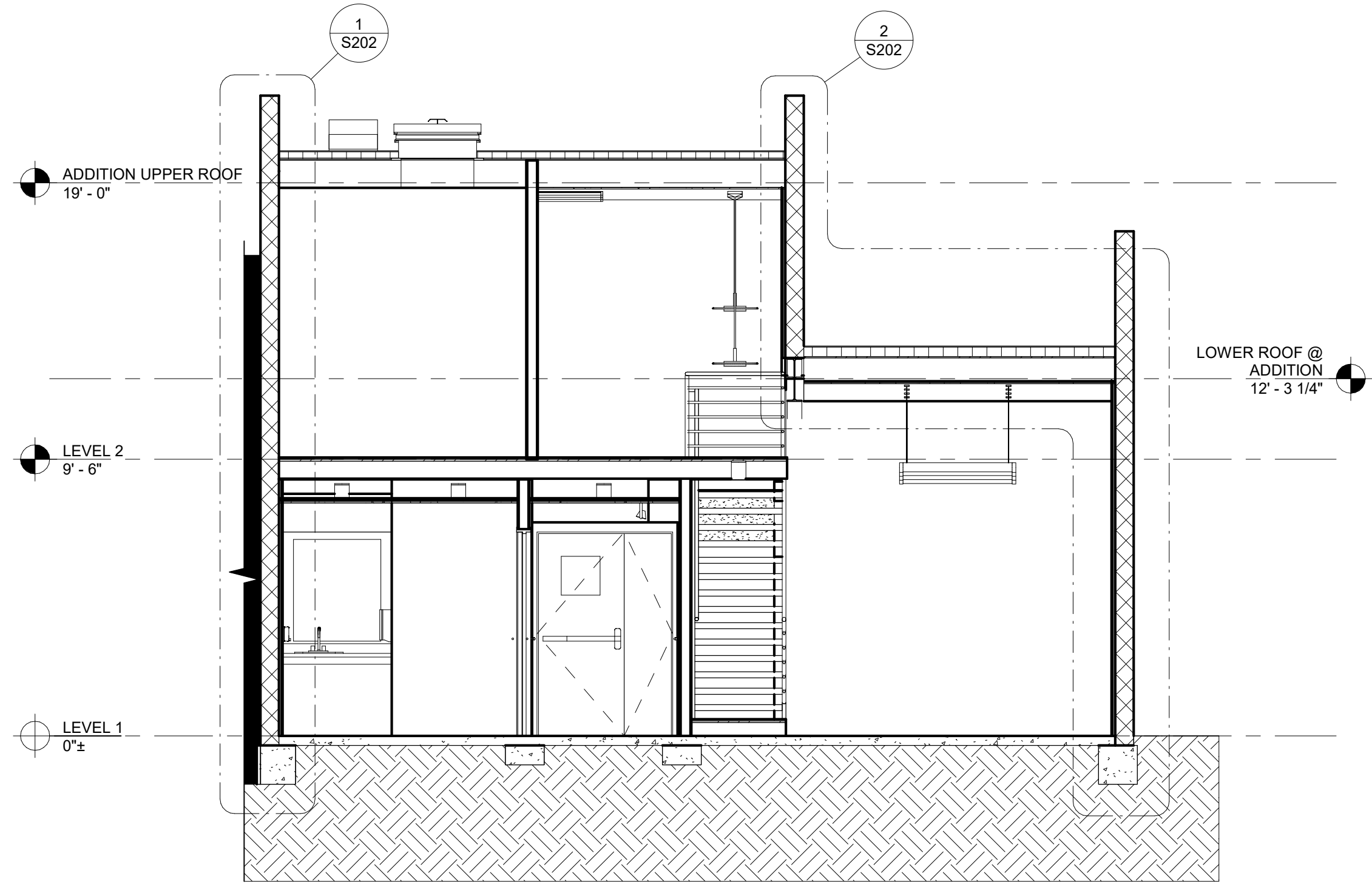
CONSTRUCTION DOCUMENTS  
03/03/2023

BUILDING SECTIONS

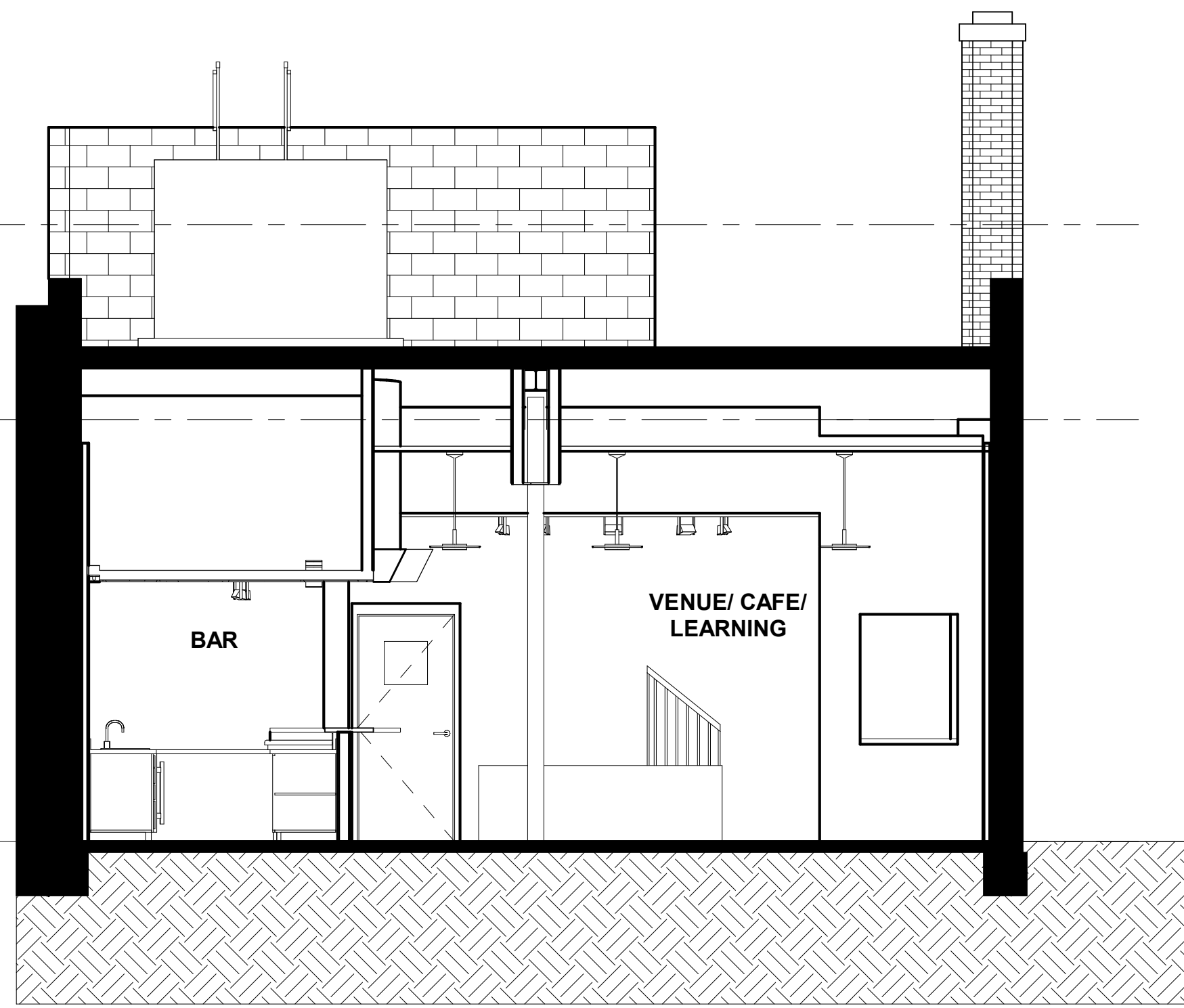
**S200**



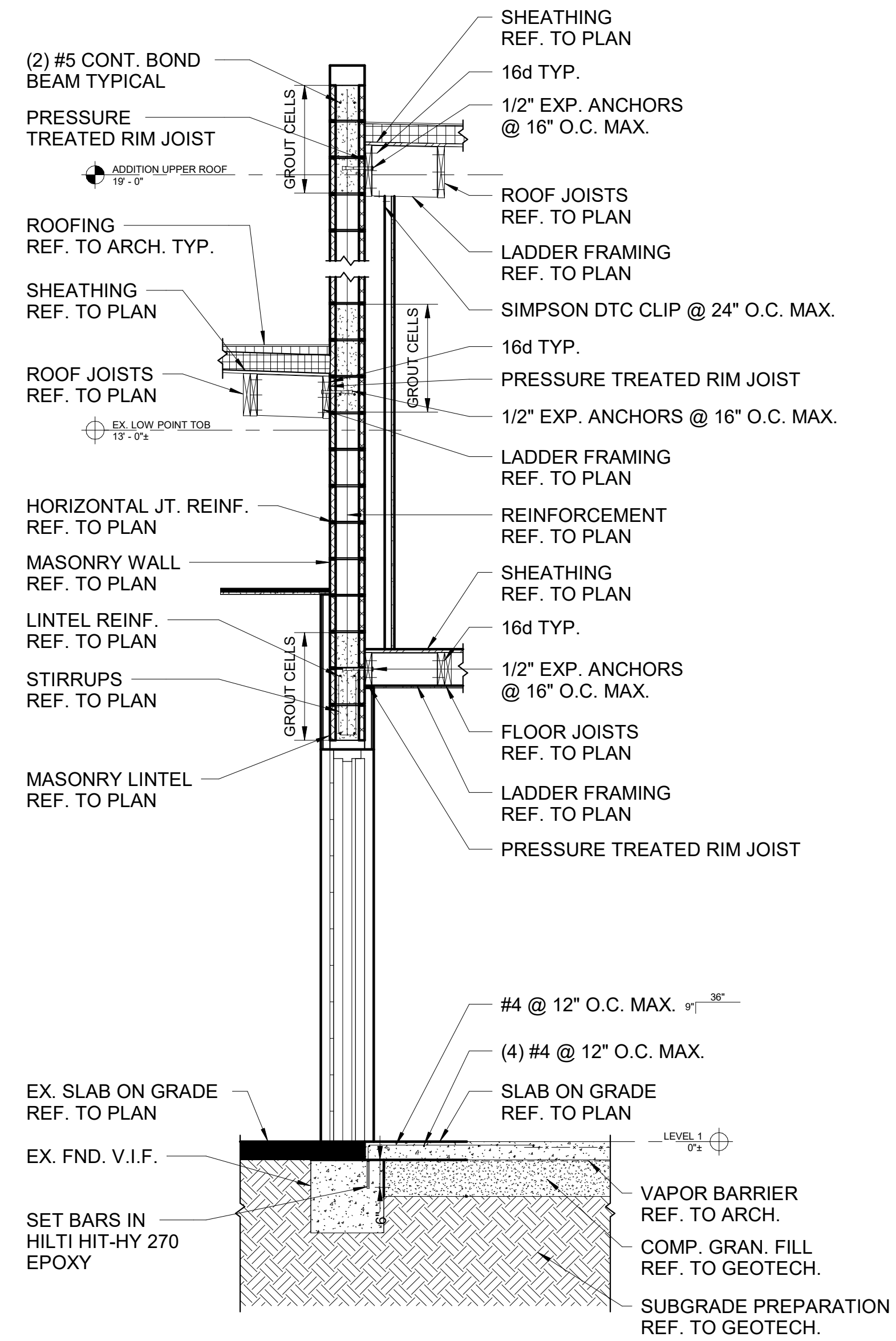
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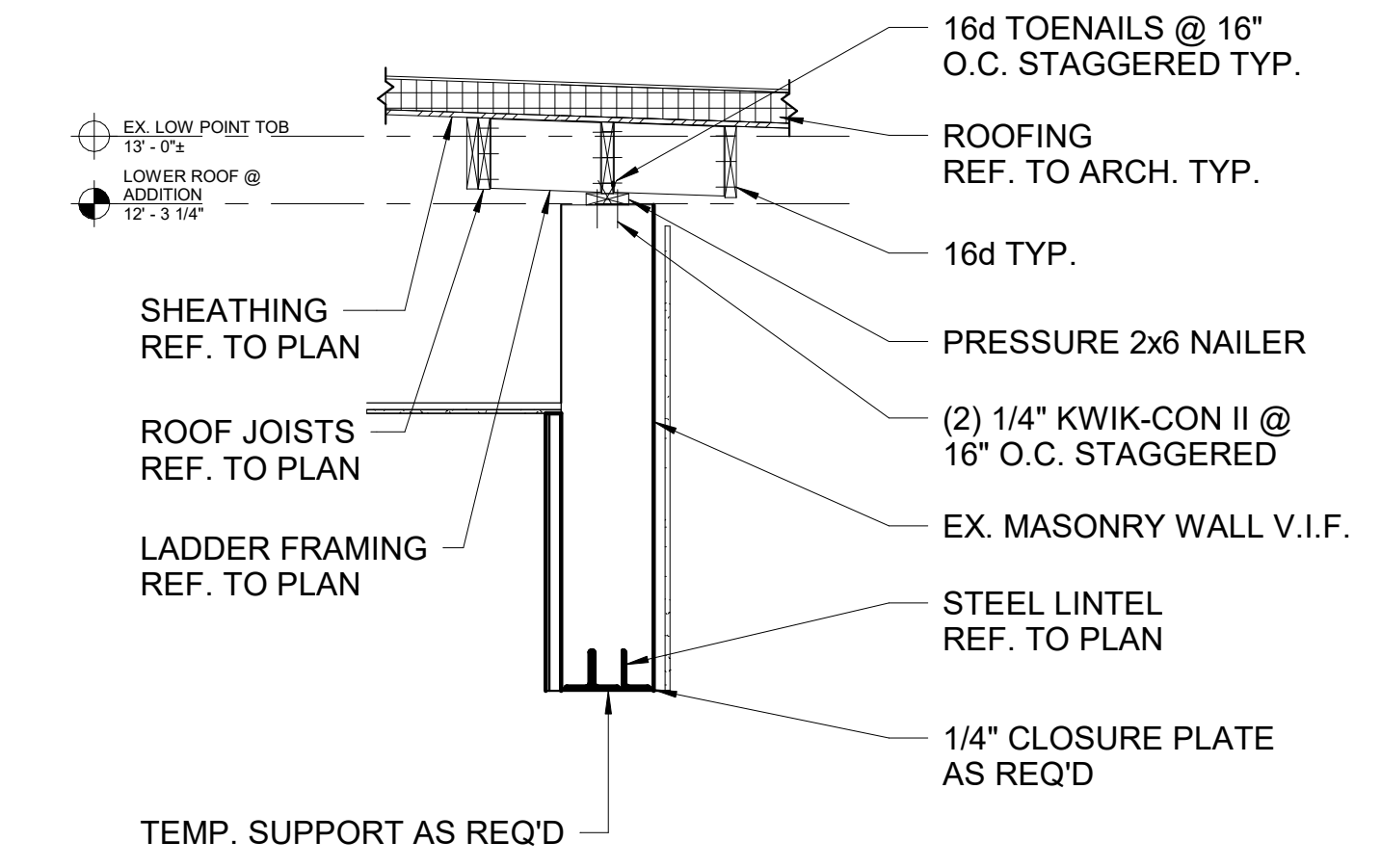
1 BUILDING SECTION 3  
 1/4" = 1'-0"



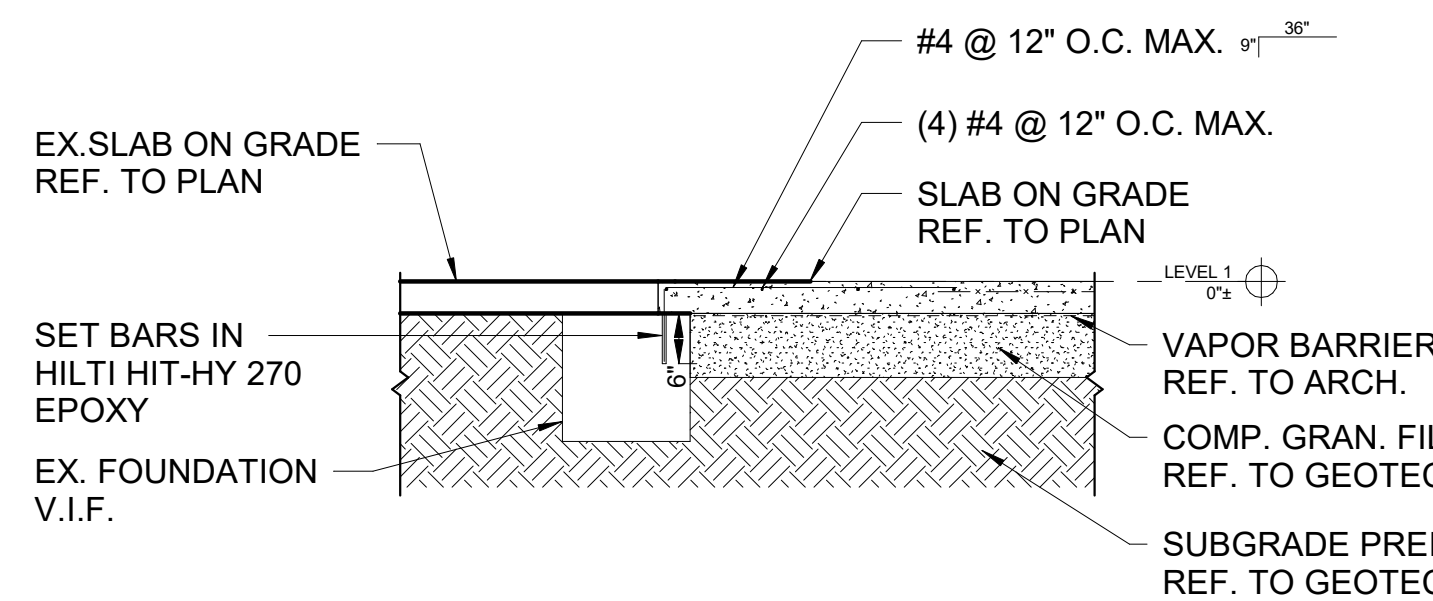
2 BUILDING SECTION 4  
 1/4" = 1'-0"



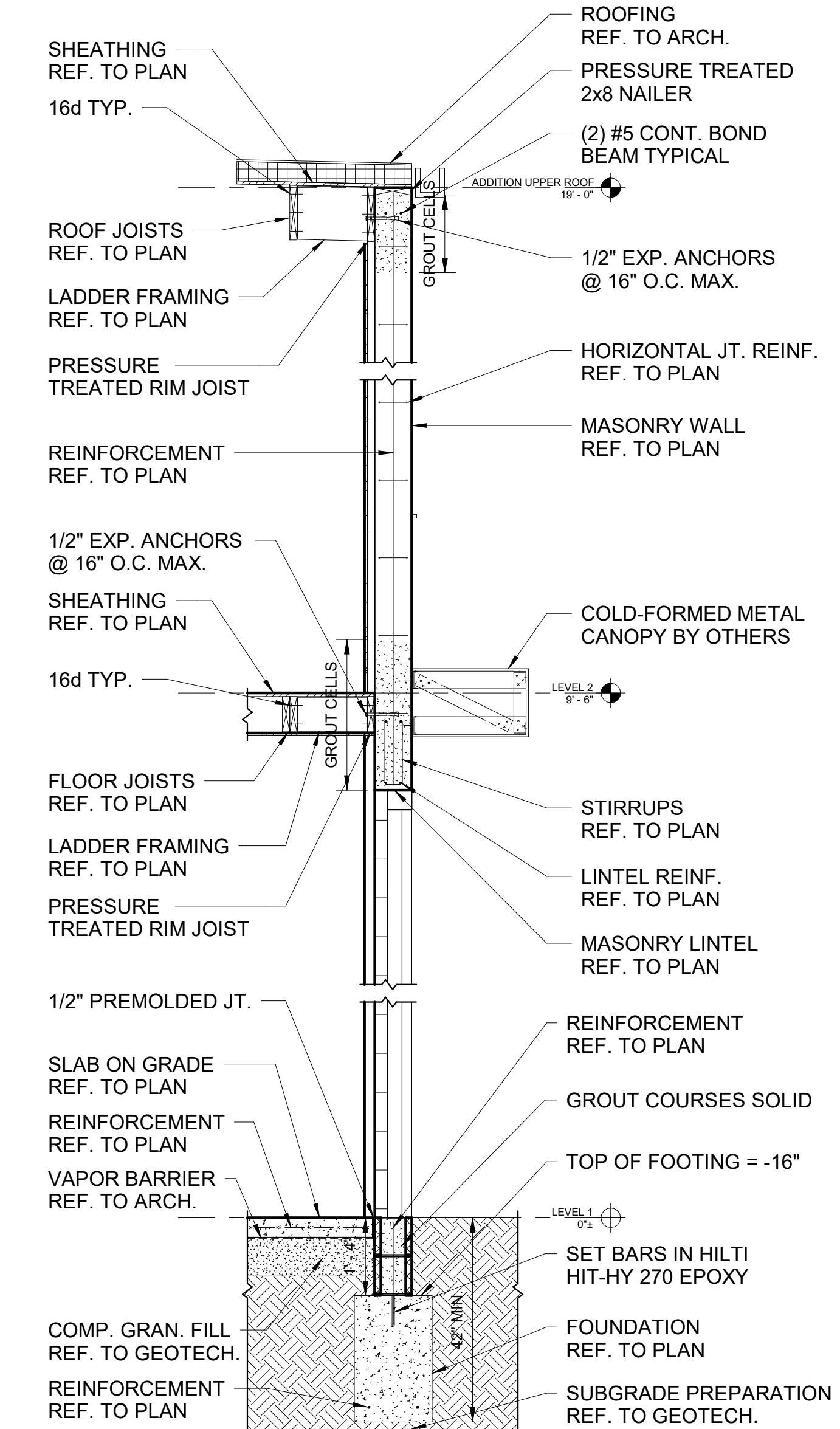
3 WALL SECTION 1  
 1/2" = 1'-0"



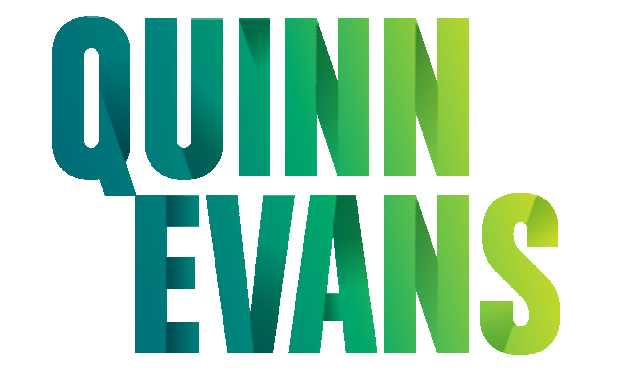
4 WALL SECTION 2  
 1/2" = 1'-0"



5 WALL SECTION 3  
 1/2" = 1'-0"



6 WALL SECTION 4  
 1/2" = 1'-0"



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RENOVATION OF  
 HISTORIC BLUE BIRD INN

DETROIT SOUND  
 CONSERVANCY

No.	Date	Description
1	03.03.2023	BIDS & PERMITS
PROJECT MANAGER:		DRAWN BY:
AL		EL

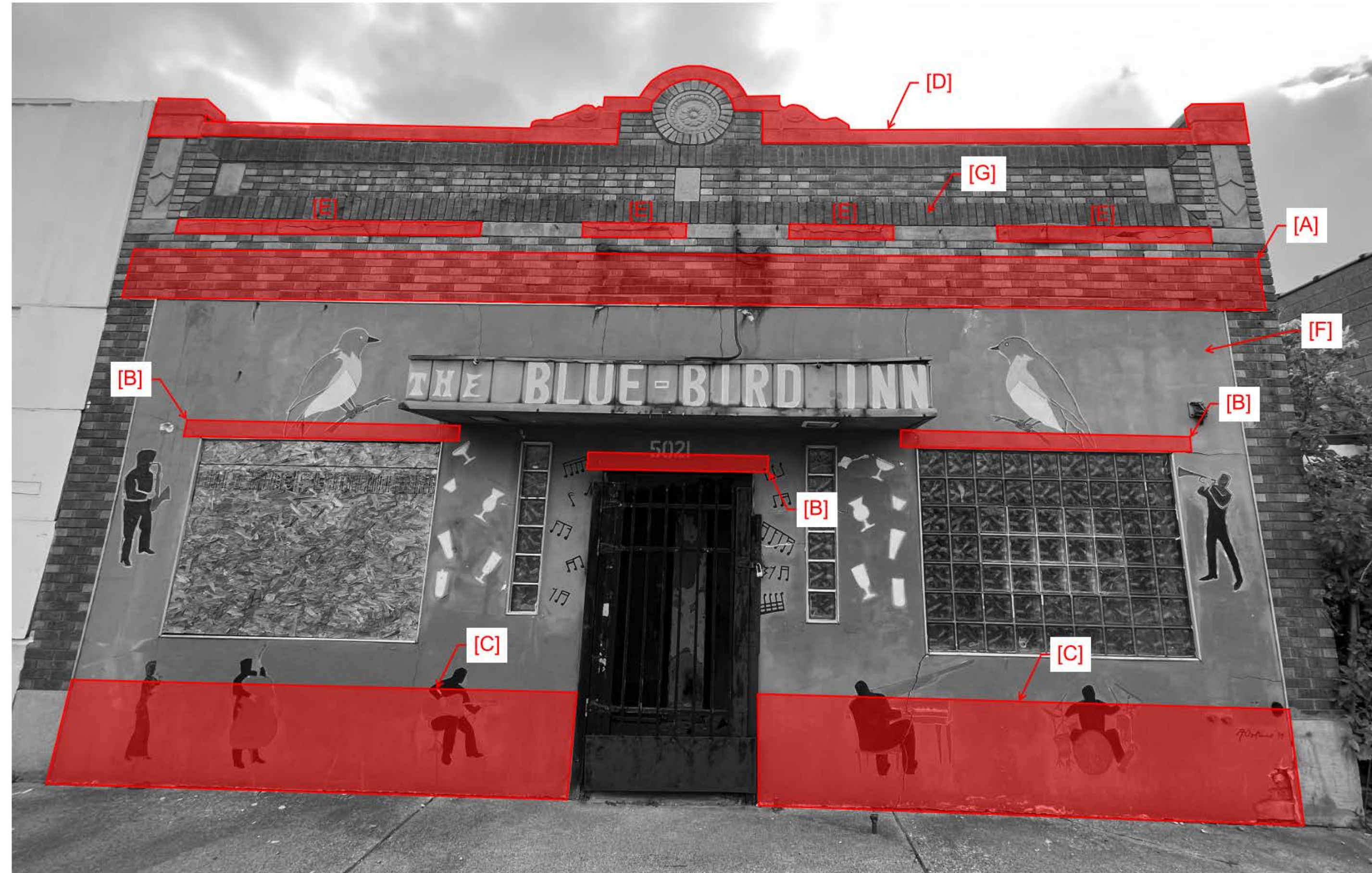
CONSTRUCTION DOCUMENTS  
 03/03/2023

BUILDING & WALL  
 SECTIONS

S201



PATH & FILENAME: F:\1 MSEA Inc\22-1000-22-1045 - BlueBird Inn\Structural\22-11XX - BLUE BIRD INN - R22 - STRUCTURAL.rvt  
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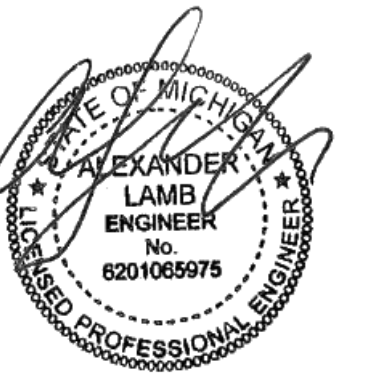
**FRONT FACADE ELEVATION NOTES:**

1. PROVIDE TEMPORARY SUPPORT AS REQUIRED DURING CONSTRUCTION AND DEMOLITION ACTIVITIES
2. VERIFY IN FIELD ALL CONDITIONS PRIOR TO PROCEEDING WITH NEW WORK
3. TUCK POINT ALL MORTAR JOINTS, DO NOT USE PORTLAND CEMENT BASED MORTAR MATERIALS

**DESIGNATIONS:**

- [A]: EXISTING STEEL BEAM DETERIORATION - REMOVE EXISTING BRICKS AS REQUIRED TO EXPOSE EXISTING STEEL BEAM FOR STRUCTURAL INSPECTION. RETROFIT OF STEEL BEAM MAY BE REQUIRED.
- [B]: EXISTING STEEL LOOSE LINTEL - REMOVE EXISTING PARGING FOR STRUCTURAL INSPECTION OF LOOSE LINTEL. RETROFIT OF LINTEL MAY BE REQUIRED. RECOMMEND TO PAINT LINTEL WITH ZINC RICH PRIMER AS A MINIMUM TREATMENT
- [C]: EXISTING MASONRY SILL - REMOVE EXISTING PARGING FOR STRUCTURAL INSPECTION OF MASONRY SILL. RETROFIT OF SILL UNITS AND BED/PERPEND JOINTS MAY BE REQUIRED
- [D]: EXISTING MASONRY CORNICE COPING - RESTORE EXISTING PRE-CAST COPING STONES WITH CONCPROCO PRODUCTS TBD
- [E]: EXISTING MASONRY DETAIL - REMOVE AND REPLACE EXISTING PRE-CAST DETAIL STONES
- [F]: EXISTING PARGING & MURAL - REMOVE EXISTING MASONRY PARGING FOR STRUCTURAL INSPECTION OF EXISTING MASONRY WALL. FULLY DOCUMENT THE MURAL AS REQUIRED PRIOR TO REMOVAL SO THAT IT MAY BE REPLICATED AT THE OWNERS' WILL
- [G]: EXISTING MASONRY SOLDIER COURSE - REMOVE ALL EMBEDDED STEEL ELEMENTS FROM EXISTING MASONRY SOLDIER COURSE. PATCH HOLES AS REQUIRED

① FRONT FACADE ELEVATION  
 1 1/2" = 1'-0"



**RENOVATION OF  
HISTORIC BLUE BIRD INN**

DETROIT SOUND  
CONSERVANCY

1 03.03.2023 BIDS & PERMITS

No.	Date	Description
AL		EL

CONSTRUCTION DOCUMENTS  
 03/03/2023

FRONT ELEVATION

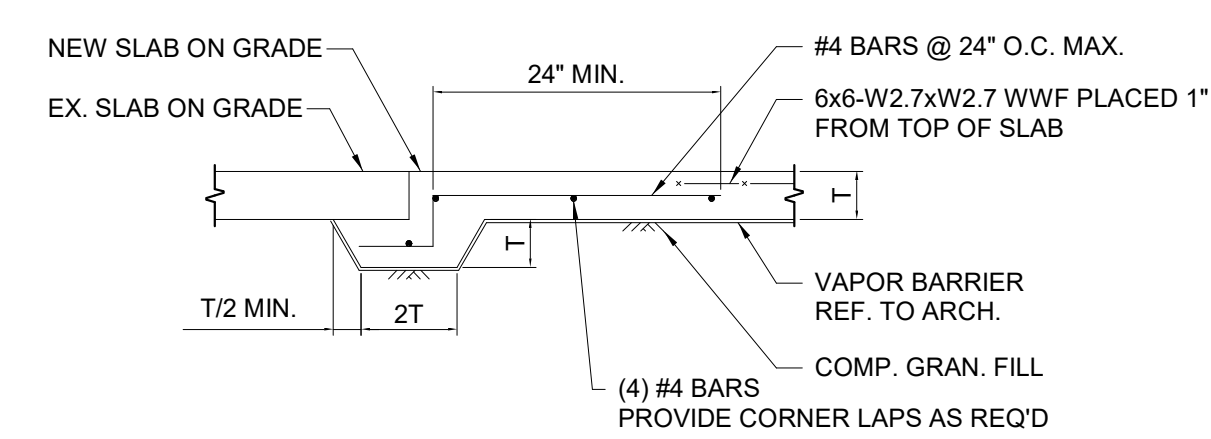
**S300**



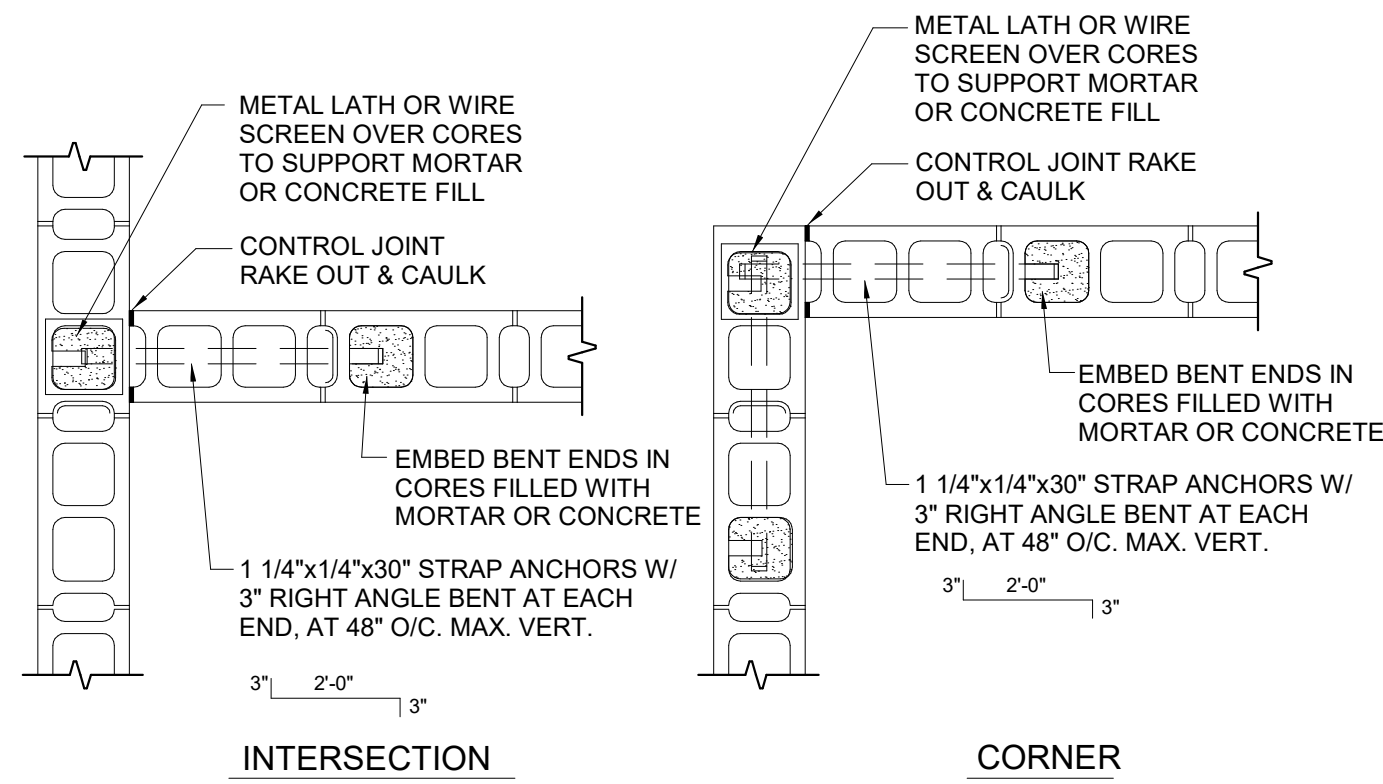
1 2 3 4 5 6 7 8 9 10  
 K  
 J  
 H  
 G  
 F  
 E  
 D  
 C  
 B  
 A

1 2 3 4 5 6 7 8 9 10

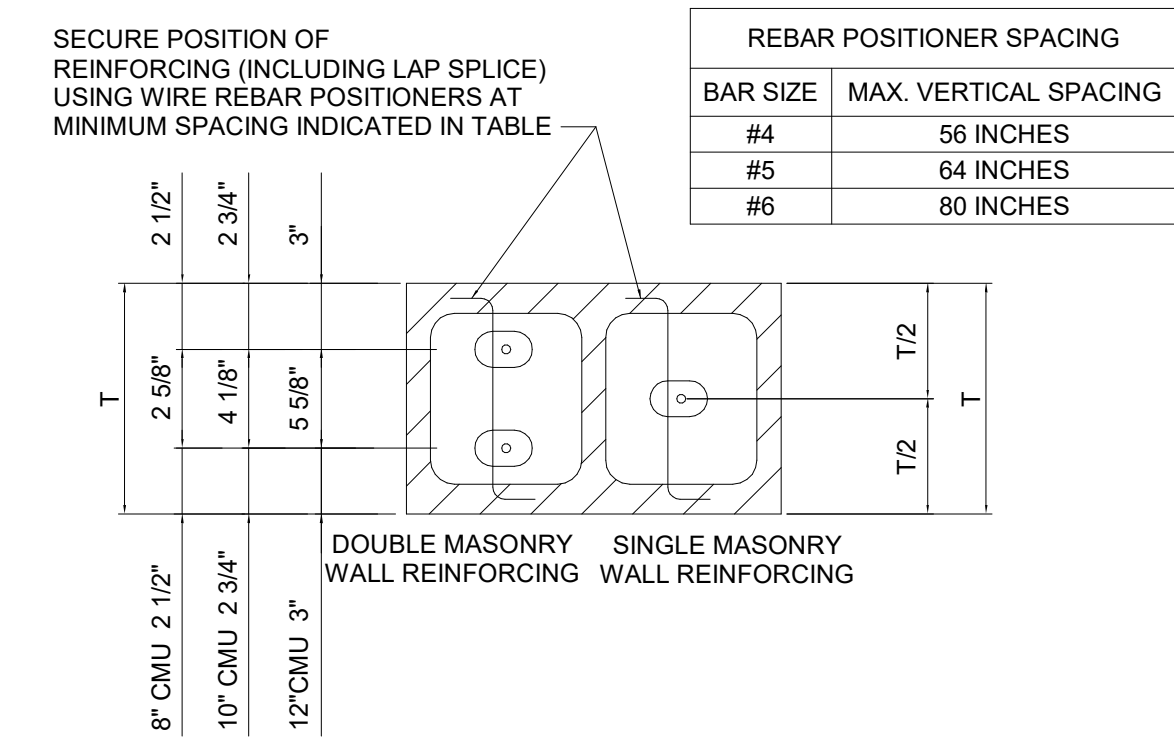
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 PLOTTING DATE & TIME: 3/10/2023 4:19:43 PM



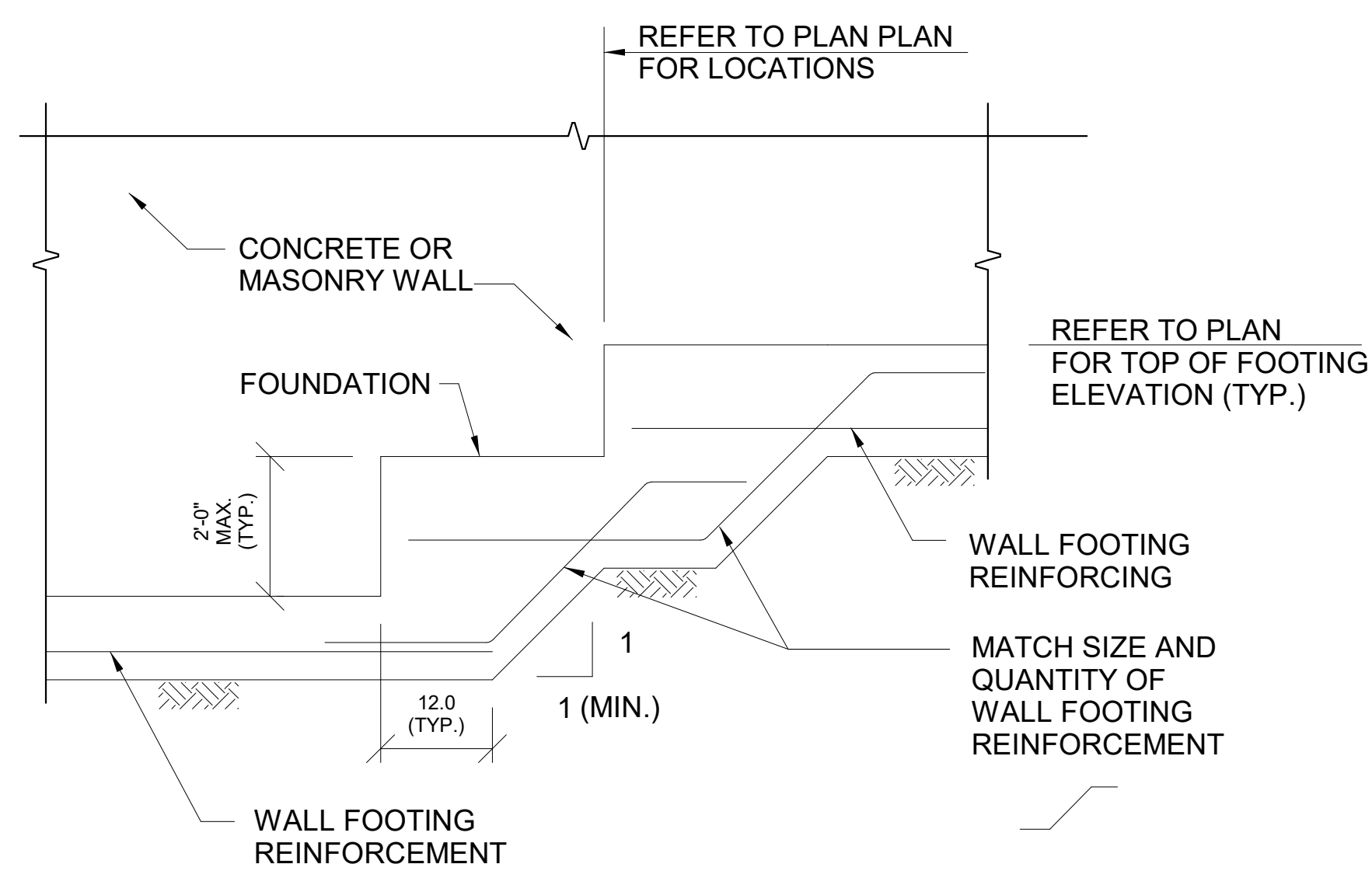
1 SLAB INTERFACE DETAIL  
 3/4" = 1'-0"



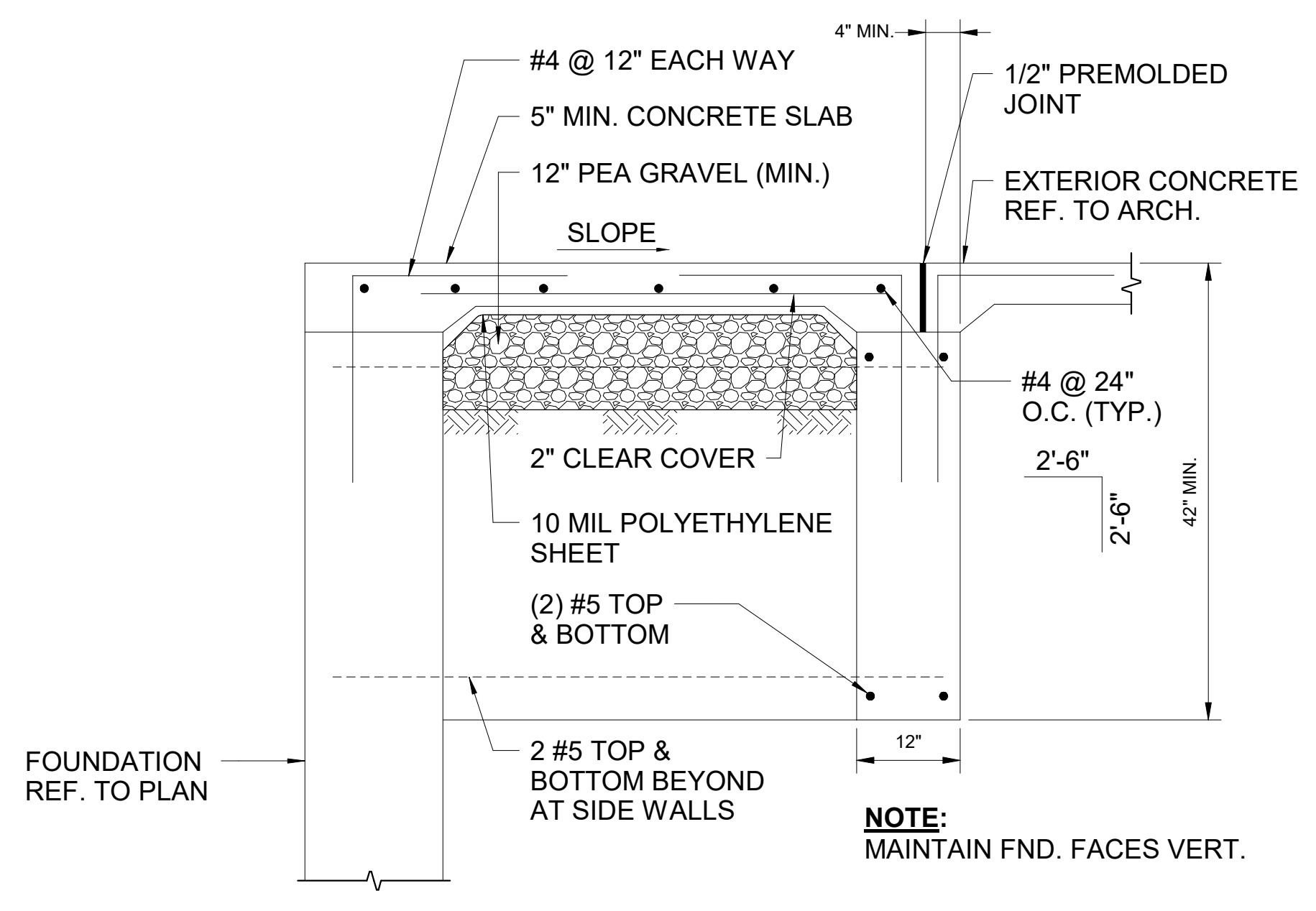
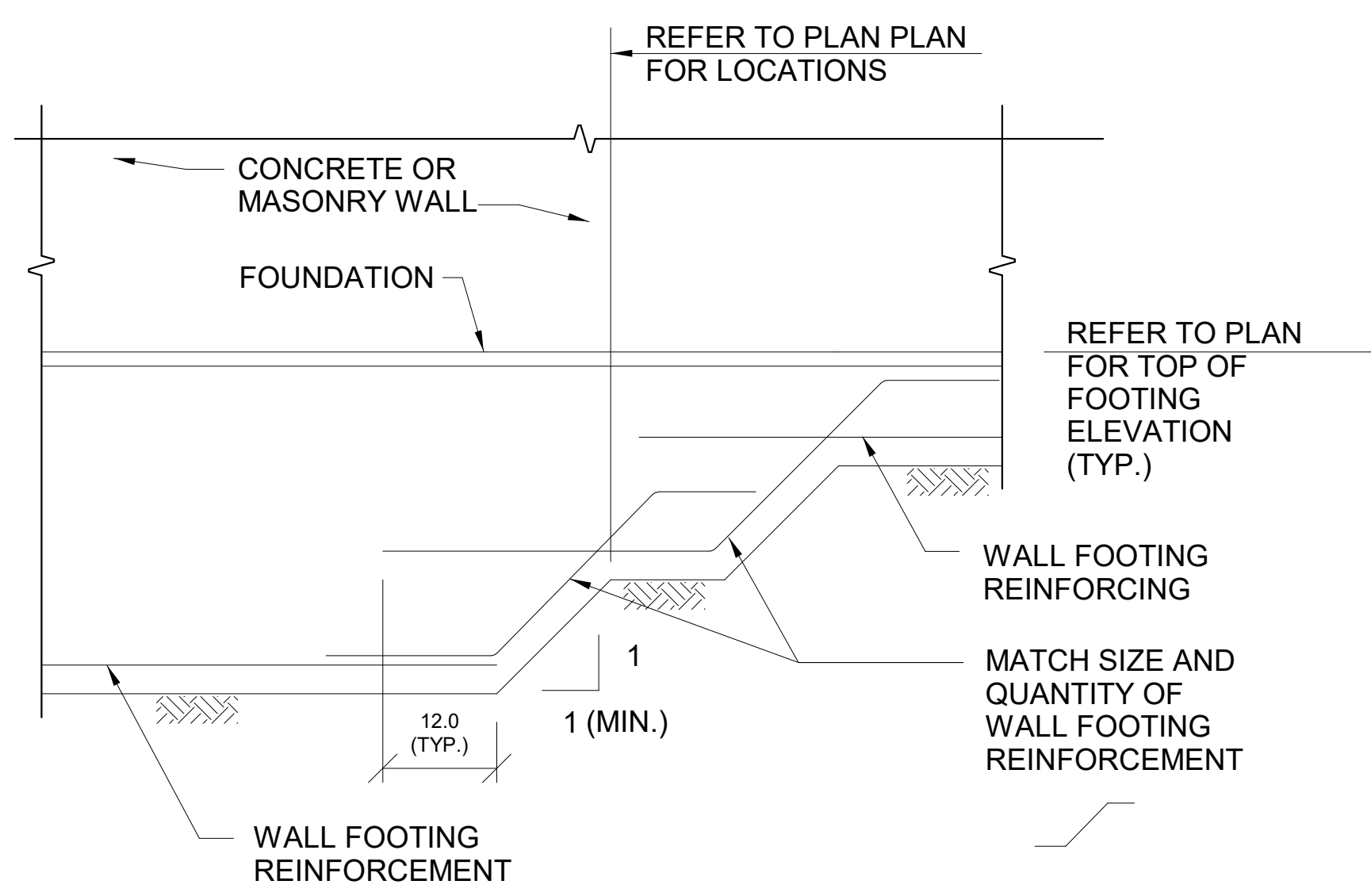
2 MASONRY WALL PLAN DETAILS  
 3/4" = 1'-0"



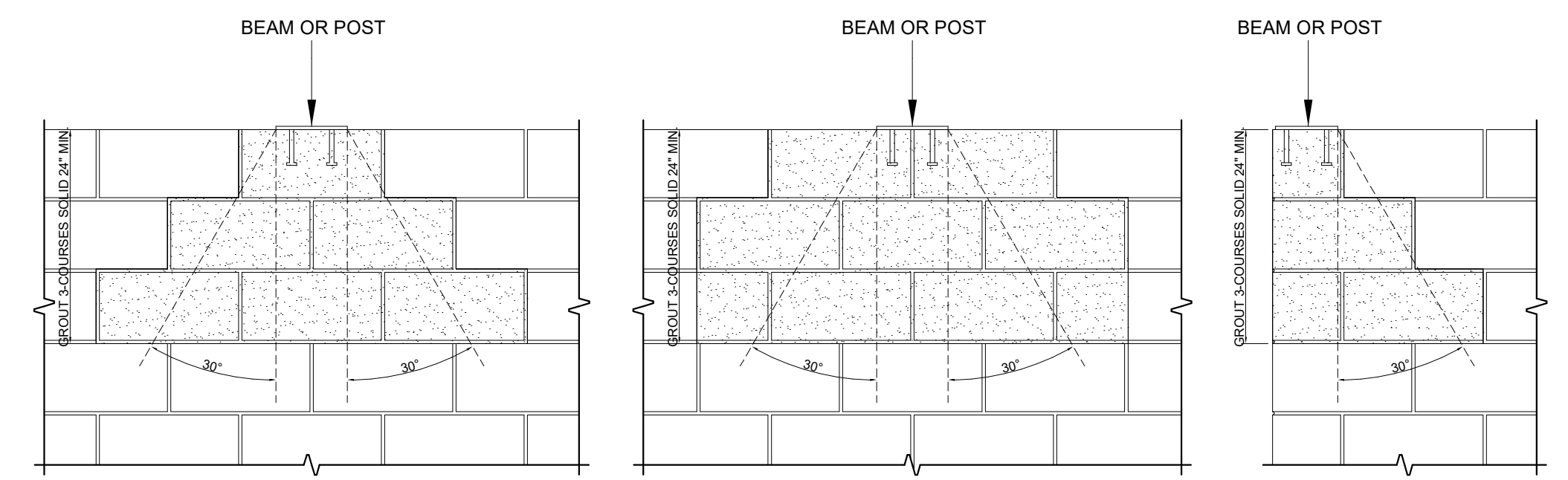
3 MASONRY WALL REINF. DETAIL  
 3/4" = 1'-0"



4 STEPPED FOUNDATION DETAIL  
 3/4" = 1'-0"



5 ENTRY SLAB DETAIL  
 3/4" = 1'-0"



6 MAS. WALL BEARING PLATE DETAIL  
 3/4" = 1'-0"



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 248.561.2035



RENOVATION OF  
 HISTORIC BLUE BIRD INN  
 DETROIT SOUND  
 CONSERVANCY

1	03.03.2023	BIDS & PERMITS
No.	Date	Description
PROJECT MANAGER:		DRAWN BY:
AL		EL

CONSTRUCTION DOCUMENTS  
 03/03/2023

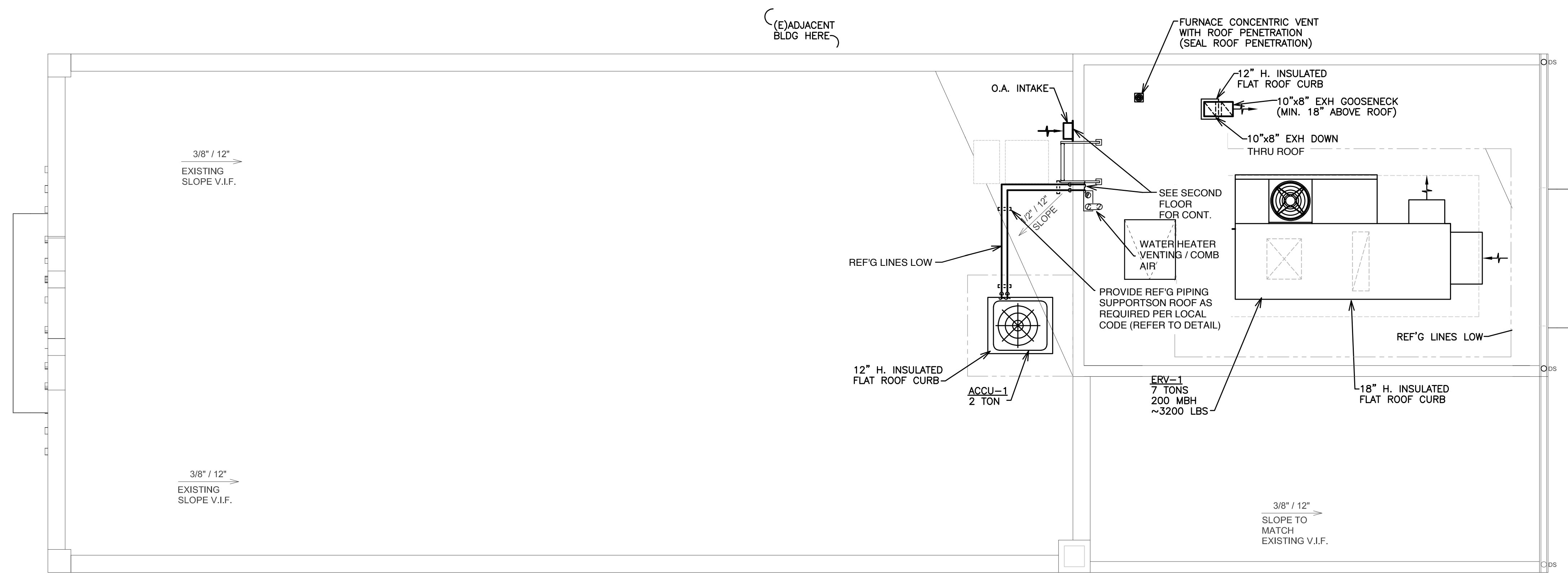
STANDARD DETAILS

S401



NOTE: SEE M00 FOR MECHANICAL GENERAL NOTES

ALL EXISTING ITEMS INDICATED IN THE CONTRACT DRAWINGS HAVE BEEN TAKEN FROM THE OWNER'S LIMITED RECORD AND LIMITED FIELD OBSERVATIONS AND VERIFICATION. THIS CONTRACTOR AND ALL RELATED SUB-CONTRACTORS SHALL VISIT THE SITE AND COMPLETELY UNDERSTAND THE CONDITIONS UNDER WHICH THE WORK MUST BE PERFORMED IF A DEPARTURE FROM THE DESIGN INTENT OF THE DOCUMENTS IS REQUIRED DUE TO THE ACTUAL FIELD CONDITIONS OBSERVED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR RESOLUTION PRIOR TO SUBMITTING FINAL BID OR ENTERING INTO A CONTRACT FOR CONSTRUCTION. NO GUARANTEE OF EXISTING MECHANICAL AND PLUMBING SYSTEMS - CONTRACTOR SHALL VERIFY PRIOR TO ANY WORK.



**MECHANICAL NEW WORK PLAN - ROOF**  
 SCALE: 1/4" = 1'-0"  
 NORTH

**THIS SHEET IS FOR BID ALTERNATE ONLY FOR DESIGN BUILD**  
 BIDDING CONTRACTORS SHALL USE THIS SHEET AS A BIDDING ALTERNATE TO SHEET A11. SHOULD THE OWNER SELECT THIS PLAN ALTERNATIVE, THE AWARDED CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE A FINAL DESIGN AND CONSTRUCTION DOCUMENTS(S) FOR THIS BID ALTERNATE. COORDINATE WITH STRUCTURAL, ARCHITECTURAL, AND OTHER MEP SHEETS



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**RENOVATION OF HISTORIC BLUE BIRD INN**

DETROIT SOUND CONSERVANCY

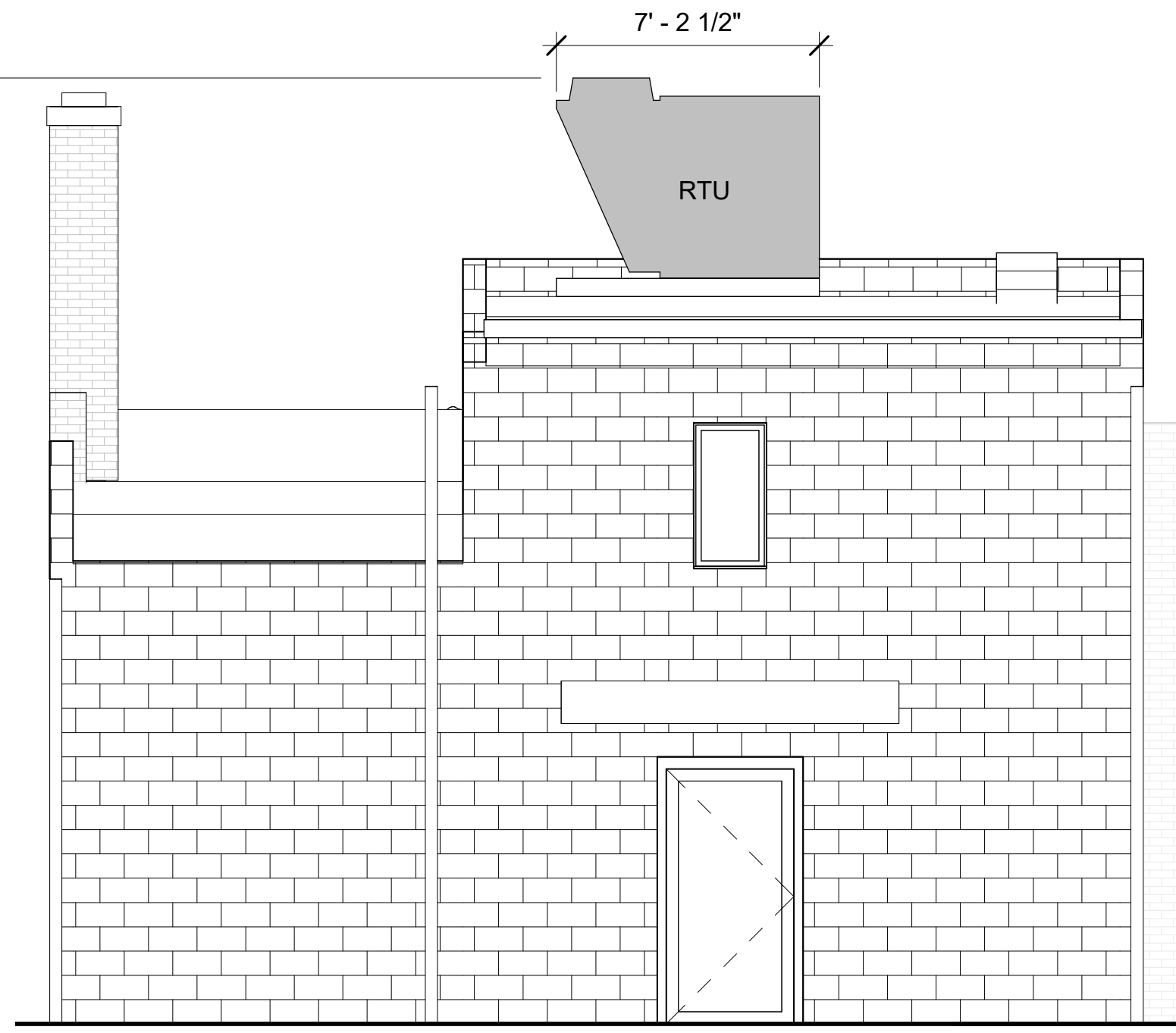
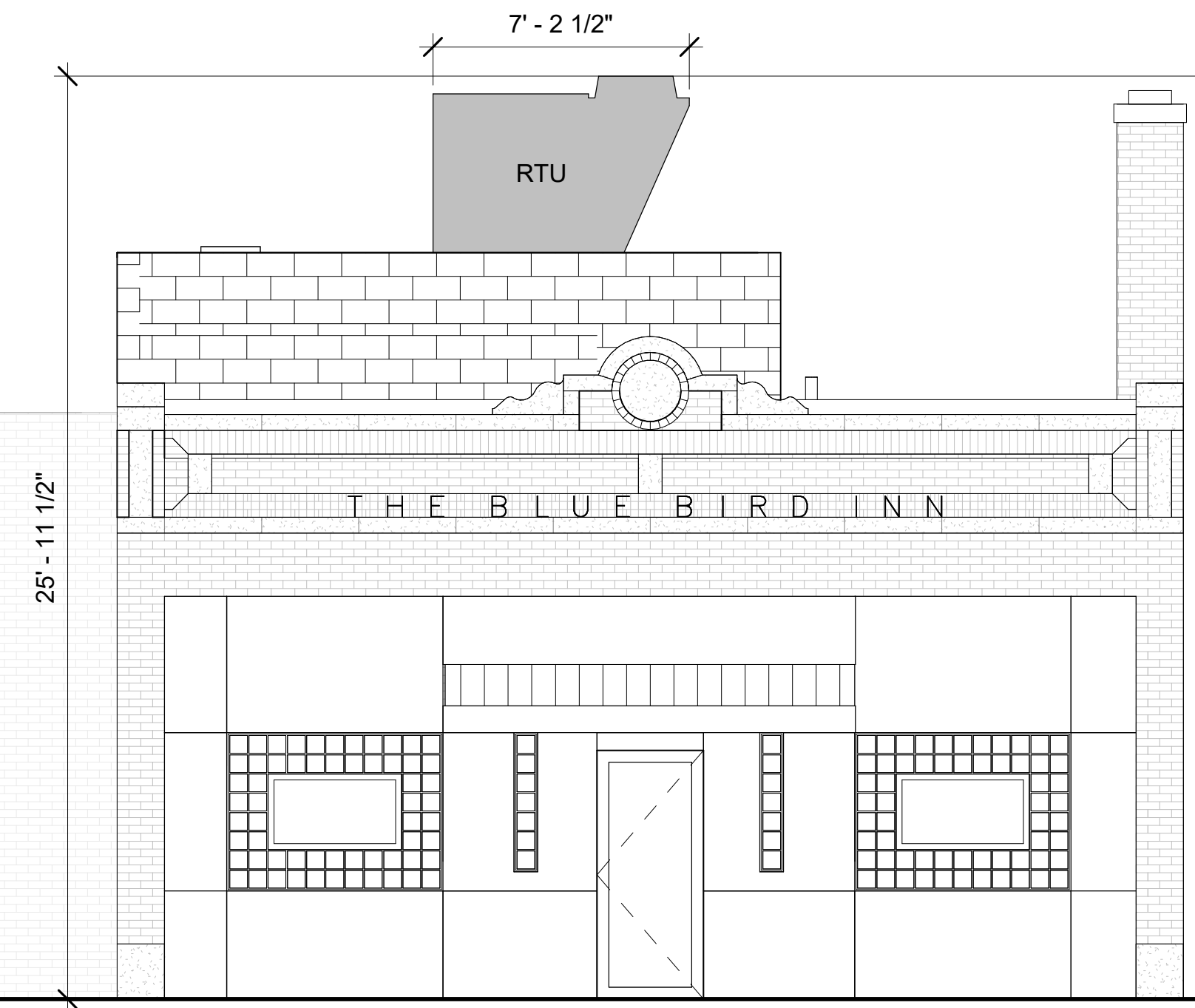
No.	Date	Description
PROJECT MANAGER:	DRAWN BY:	
MOS	SJB	

PERMIT / BID SET  
 03/10/2023

MECHANICAL NEW WORK ROOF PLAN

**ALT M11**

PATH & FILENAME: AutodesK Docs/The Blue Bird Inn/41915610\_TheBlueBirdInn\_R22.rvt  
 PLOTTING DATE & TIME: 03/10/2023 12:00:00 PM



2  
E31

NORTH (STREET) ELEVATION W/ RTU ABOVE ADDITION

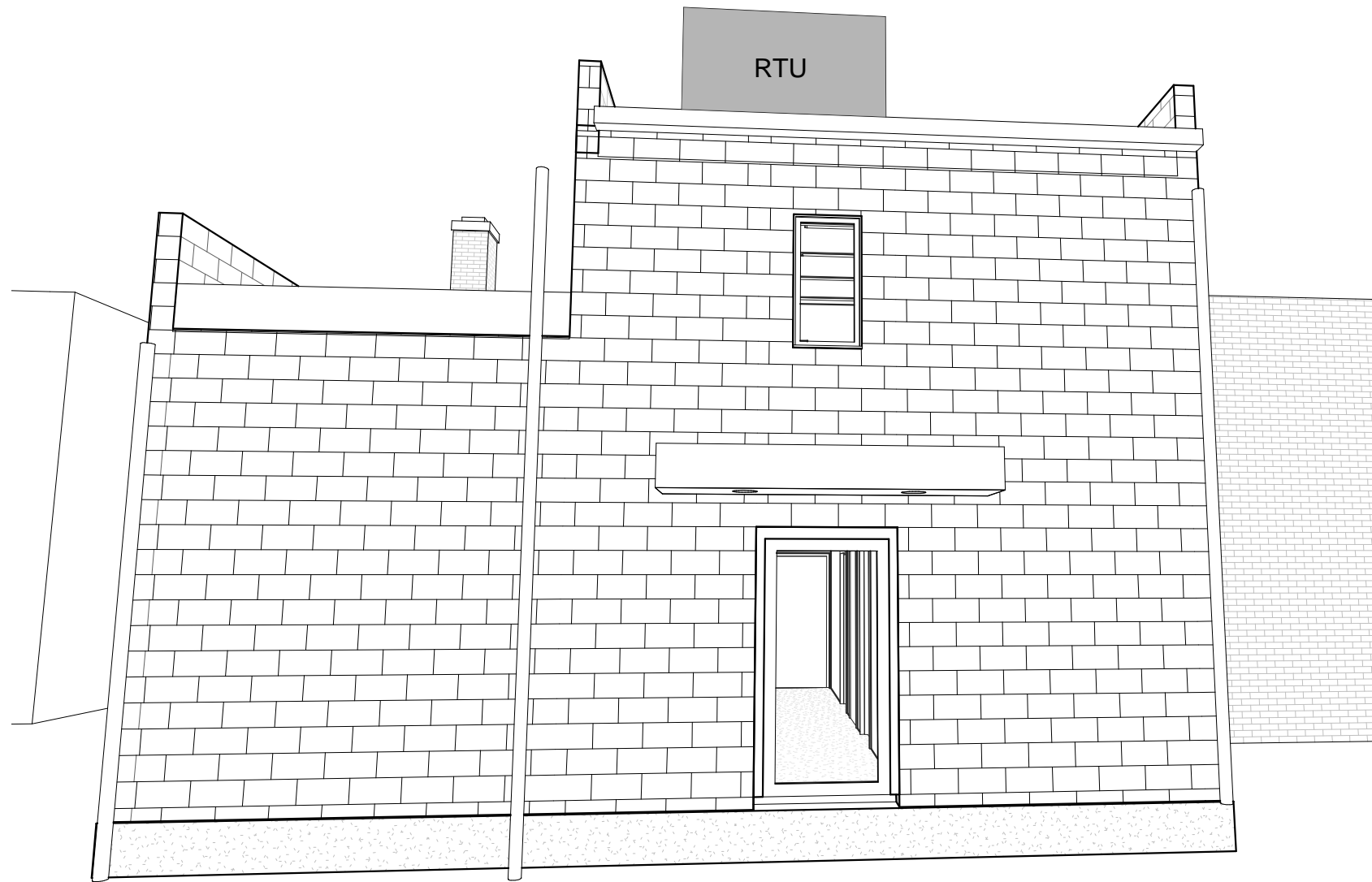
1/4" = 1'-0"

1  
E31

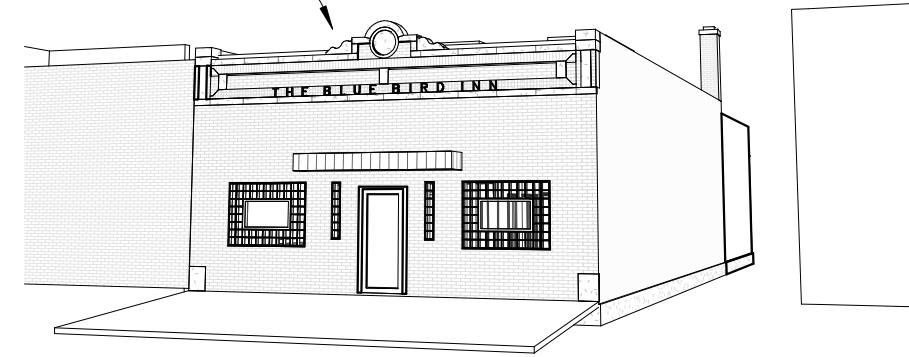
SOUTH (ALLEY) ELEVATION W/ RTU ABOVE ADDITION

1/4" = 1'-0"

RTU IS VISIBLE FROM THE ALLEY



NO VISIBILITY OF RTU FROM TIREMAN AVE



2  
E33

TIREMAN AVE VIEW (FROM SIDEWALK ACROSS STREET)

NO VISIBILITY OF RTU FROM TIREMAN AVE



3  
E33

TIREMAN AVE VIEW (FROM MIDDLE OF STREET)

1  
E33

ALLEY VIEW (FROM MIDDLE OF ALLEY)





# THE HISTORIC BLUE BIRD INN

Exterior Preservation Budget  
Detroit, Michigan

PREPARED BY RAM CONSTRUCTION SERVICES – SEPTEMBER 2022





September 30, 2022

Detroit Sound Conservancy  
440 Burroughs, Suite 195  
Detroit, Michigan 48202

Attention: Mr. Jonah Raduns-Silverstein  
[projects@detroitssound.org](mailto:projects@detroitssound.org)

Regarding: Blue Bird Inn  
Exterior Masonry Preservation  
Detroit, Michigan

Dear Sir:

In answer to your request, we have reviewed the exterior masonry conditions of the historic Blue Bird Inn. Based on our onsite review, we have prepared a list of recommended work items and corresponding budgetary pricing. Please see the description of our proposed work activities outlined below.

Project General Conditions:

I. Mobilization, General Conditions, and Safety:

- Consists of coordination and scheduling of work.
- General labor for all clean-up, handling of materials, and site safety.
- Assembling all required equipment and materials.
- All aspects of safety, barricading, and proper signage.
- Providing all equipment necessary to complete our scope of work.
- Dumpsters and facilities.
- Owner to provide power and water.
- Exclusions:
  - Handling of any hazardous materials
  - Any permits required to access work areas
  - Window replacement or repair
  - Repairs to the plaster storefront

North Elevation (Building Entrance):

2. Parapet Rebuild:

- From the top of the blue plaster wall, demo the existing masonry parapet and salvage the face brick to the highest extent possible.
- Clean and coat any exposed steel uncovered by the demolition of the parapet wall with a rust-inhibiting paint.
- Rebuild the parapet with a block back-up wall and salvaged face brick. We have budgeted to furnish new limestone banding and coping stones. We will salvage and reuse the decorative modillion/flower at the center of the parapet.

3. Brick Repointing:
  - Remove all compromised mortar to a depth of at least one inch, or until sound material is achieved.
  - Rinse all voids using clean water to remove any dust and/or debris.
  - Repoint new mortar into the voids and properly tool each joint to a smooth and watertight finish.
4. Brick Replacement:
  - Carefully remove heavily damaged brick that have cracked over time.
  - Furnish and install brick with new mortar to match the existing wall.
5. Stone Column Base Replacement:
  - Carefully remove damaged masonry area at the base of the columns that have cracked over time.
  - Furnish and install a new limestone piece with new mortar.

West Elevation (Alley):

6. Brick Repointing:
  - Remove all compromised mortar to a depth of at least one inch, or until sound material is achieved.
  - Rinse all voids using clean water to remove any dust and/or debris.
  - Repoint new mortar into the voids and properly tool each joint to a smooth and watertight finish.
7. Brick Replacement:
  - Carefully remove heavily damaged brick that have cracked over time.
  - Furnish and install brick with new mortar to match the existing wall.

South Elevation (Backside):

8. New Masonry Addition:
  - Lay-out new masonry walls at the backside of the building. We have budgeted for a 15-ft long by 30-ft high addition.
  - Furnish and install new CMU blocks and necessary reinforcement.
  - Furnish and install a new brick veneer at the outside walls.
  - Complete a full cleaning of the addition upon completion of the work.
9. Chimney Rebuild:
  - Carefully remove the coping and the exterior wythe of brick down to the roofline.
  - Furnish and install brick with new mortar to match the existing wall.
  - Furnish and install a new coping and clean the surfaces of the chimney.

10. Brick Repointing:

- Remove all compromised mortar to a depth of at least one inch, or until sound material is achieved.
- Rinse all voids using clean water to remove any dust and/or debris.
- Repoint new mortar into the voids and properly tool each joint to a smooth and watertight finish.

11. Brick Replacement:

- Carefully remove heavily damaged brick that have cracked over time.
- Furnish and install brick with new mortar to match the existing wall.





We appreciate the opportunity to partner with the Conservancy on the preservation of this historic building. Please contact our team with any questions or concerns relating to our proposal.

Respectfully,

RAM Construction Services of Michigan, Inc.

Dave Kramer  
DK/ah/22-032





August 1, 2022

**Jonah Raduns-Silverstein**  
**Director of Operations**  
**Detroit Sound Conservancy**  
[projects@detroitssound.org](mailto:projects@detroitssound.org)

**RE: Blue Bird Inn - 5021 Tireman Detroit MI. Front elevation masonry facade restoration**

- ❖ Mobilize the front elevation of the masonry facade with proper scaffolding and equipment.
- ❖ Remove all deteriorated stone from the front masonry facade including all stone belts, coping stone and ornate stone pieces.
- ❖ Fabricate new limestone units and Install using proper methods back to its original profile.
- ❖ Remove all loose, missing or damaged brick units and replace with new brick units matching as close as possible.
- ❖ Tuck point all missing and deteriorated mortar joints of the masonry on the entire front elevation.
- ❖ Prepare control joints of new stone coping caps and install new backer rod and sealant.
- ❖ Wash all areas where work was performed.
- ❖ Clean up of the jobsite.



This proposal includes all labor, materials and taxes and will remain in effect for sixty (60) days from the above date.

Sincerely,

Pat Curry  
JMD Building Restoration  
[pat.curry@jmdbuildingrestoration.com](mailto:pat.curry@jmdbuildingrestoration.com)

JMD Building Restoration LLC  
18370 Fitzpatrick St Detroit MI 48228  
O:734-743-3903 F:734-956-5903 C:734-751-5978



ESTIMATE  
Report ID: 223542  
Job ID: 5021 tireman  
7/24/2022

**Lakeside Painting And Plaster Repair**  
C Williamson - *Estimator*  
Cert #: United States License #: Mi

Work Phone: (313) 399-9238 Mobile: (313) 399-9238  
lakesidepr@gmail.com  
WWW.LAKESIDEPAIN.COM

**Property**  
5021 Tireman St, Detroit, MI 48204

**FRONT OF BUILDING**

Description	QTY	UOM	PPU	Total
1 Small plaster crack repair - up to 1ft	7	EA		
2 Plaster crack repair - up to 5ft	1	EA		
3 plaster crack - up to 2ft	4	EA		
4 plaster crack - up to 3ft	3	EA		
5 stucco patch up to 5 SF	1	EA		
6 skim stucco	78	EA		
7 Apply primer to prepped walls	112	SF		
		Area		
		Sub		
		Estimate		
		Estimate		

Signature:

Date:



This information is an itemized estimate for repair to the property located at the above captioned address. This estimate has been prepared with the intention of restoring this property to its "pre-damaged" condition. The scope of repair, as outlined in this estimate, has been formulated based upon non-destructive observation only. Therefore, only the items specifically mentioned here have been included in this estimate for repair.

It is our intention that this estimate be as thorough and accurate as possible. However, upon demolition of the affected areas, we reserve the right to make a re-evaluation of the damage. Should any hidden and/or additional damage be discovered or any other additional work or repair become necessary, for any reason, an addendum and/or modification to this document will be added to this estimate.

A deposit of 50% of the balance is required on the first day of job start.