

April 18, 2023

NOTICE OF DENIAL

Jason Fligger
4J Architecture-Detroit, PLLC
130 W. Parkhurst Pl.
Detroit, MI 48203

**RE: Application Number 23-8232, 4440 E. Canfield/4444 Russell; Atkinson Avenue Historic District
Project Scope: Alter front porch of rectory building**

Dear Applicant,

At the regular meeting that was held on April 12, 2023, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on April 18, 2023, as it will be inappropriate according to the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

Alter front porch of rectory building

The reasons for the denial are a failure to meet the following specific Standards or Elements:

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
5. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable.

Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

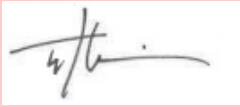
Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street

P.O. Box 30754
Lansing, MI 48909

Phone: 517-335-0665
E-mail: stuckeyj@michigan.gov

If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:

A handwritten signature in black ink, appearing to read "T. Boscarino", is enclosed in a white rectangular box.

Timothy Boscarino
Detroit Historic District Commission

Request to Demolish the Existing front Porch Roof and Columns and Construct a New Front Porch Roof and Support Structures for the Mother of Divine Mercy Rectory / Parish Office Located Adjacent to Sweetest Heart of Mary Church

Located in the Sweetest Heart of Mary Roman Catholic Parish Local Historic District:

4440 Russell St.
Detroit, MI 48207

Project Contact Information:

Architect: Jason Fligger, Principal
4J Architecture-Detroit, PLLC
130 W. Parkhurst Pl.
Detroit, MI 48203
(313) 409-7108
fligger865@comcast.net

Owner Representative: Edmund Bourke, Finance Committee Chairman
Mother of Divine Mercy Parish (of which Sweetest Heart of Mary is a member Church)
C/o Parish Office
4440 Russell St.
Detroit, MI 48207
(313) 831-6659
bourke15@comcast.net

Description of Existing Conditions:

The two story brick rectory / parish Office at 4440 Russell was constructed by John Kaczmarek, a mason and bricklayer in 1900. It is designed in an eclectic style that has elements of Colonial Revival and Italian Renaissance Revival Architectural styles which were popular at the time. The rectory roof is hipped with a side gable. Important features of the front façade include decorative masonry quoins and architrave, dentil moulding, limestone masonry sills and keystones and a central covered porch supported by pilasters and columns.

Close examination of an available historic photo revealed that the flat roof of the porch was originally adorned with a low balustrade and that the original columns were round Tuscan type. The balustrade no longer exists. According to on parish member, the original columns degraded and were replaced with “temporary” square craftsman-type columns many years ago. The existing rectangular pilasters appear to be original and

are Tuscan type. The centerlines of pilasters that support the porch adjacent to the building do not align with the centerlines of columns that support the porch distally.

The existing flat roof slopes downward slightly away from the rectory building and contains a shallow integral gutter that is supposed to drain to a downspout mounted on the rectory front façade adjacent to the south pilaster. The existing downspout is a 3" diameter painted pvc sewer pipe. It is unclear whether the roof slope was an original design feature or if it was created by decay of the original support columns and replacement of those columns with temporary columns that were too short. The current counteracting roof slope prevents water flow toward the downspout drain resulting in it spilling over roof edges. The poor condition of the integral gutter inverts allows water in the gutter to soak into the roof structure. The seepage of water into the roof structure and edge spillover has contributed to decay of the wood soffits, fascia and roof joist ends and it likely contributed to decay of the original columns that ultimately necessitated their removal.

Professional roofing contractors have indicated that redesign of the roof drainage strategy is necessary for successful installation of a new roof on the porch.

The existing porch light consists of a bare floodlamp in a lampholder. It is unknown if a porch light was installed when the rectory was built. A pendant fixture is not possible due to the lack of clearance between the top of the outswinging security door and the ceiling. The existing security door is to remain in place.

Description of Project:

In this project, we propose to remove and reconstruct the decayed wood porch roof and support pilasters / columns. All masonry portions of the existing porch will remain. Existing brick and limestone will be cleaned of spalling paint. The wood portion of the porch will be reconstructed with a new level curb at all exposed roof edges. The curb will conceal a new sloped roof surface that drains to two scuppers that divide the roof runoff and eliminate the need for a gutter and downspout. The relatively small amount of water that will drain into each scupper will be absorbed by the existing landscape adjacent to the porch. Scuppers are strategically located to avoid saturating the ground immediately adjacent to the rectory basement while avoiding direct discharge onto concrete paths where winter icing could occur. The detachment of stormwater discharge systems from the existing combined sewer is in keeping with current Detroit Water and Sewerage Department recommendations.

Secure attachment to the existing building via through-wall bolting avoids the problem of unpredictable holding power of masonry anchors in historic common brick. The bolts prevent lateral porch movement while columns concealed inside the new pilasters and the use of load-bearing decorative columns distally will carry all gravity loads. The use of a column inside the pilaster is necessary since, unlike the proposed round Tuscan columns, matching decorative pilasters are not rated for gravity loads.

The sizes and style of pilasters and columns were chosen to match, as closely as possible, those in the referenced historic photo.

The community that worships at Sweetest Heart of Mary Church takes pride in the upkeep of their historic buildings. In part because of its historic buildings, the parish attracts members who are skilled in woodworking and the building trades. It is planned that the balustrade components and other millwork will be produced by a parishioner having the skills and tools necessary to shape dimensional lumber into the components as specified in the construction documents.

Detailed Scope of Work:

- Demolish existing wood components of front porch. Masonry portion of porch to remain along with existing steel handrails.
- Clean and remove spalling paint from porch brick and limestone masonry per HDC masonry cleaning guidelines.
- Construct new porch roof framing system to support gravity and lateral loads
- Install roof decking and tapered insulation to provide sloped surface
- Install finish trim and millwork.
- Install EPDM roof membrane, copper counterflashing, coping and scuppers
- Install new decorative balustrade
- Prime and paint all wood components
- Install new porch light. Connect to existing switched branch circuit.
- Repair any damage to the adjacent landscape areas that might arise from construction activities.

SWEETEST HEART OF MARY RECTORY PORCH RENOVATION

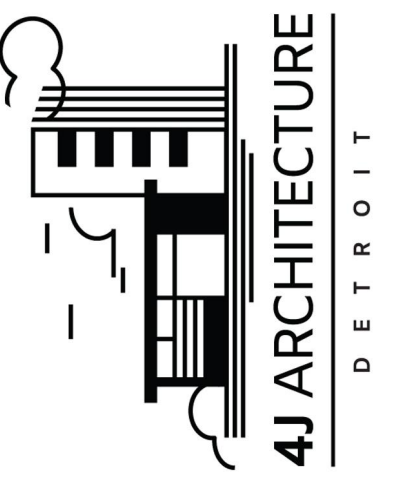
SWEETEST HEART OF MARY HISTORIC DISTRICT

4440 RUSSELL ST., DETROIT, MI 48207

(313) 831-6659

PARISHOFFICE@MOTHEROFDIVINEMERCY.ORG

JASON M. FLIGGER
 LICENSED ARCHITECT
 130 W. PARKHURST PL.
 DETROIT, MI 48203
 (313) 409-7108
 fligger865@comcast.net
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PROPOSED VIEW



HISTORIC VIEW



PROJECT INFORMATION

SCOPE OF WORK:
 THIS IS A HISTORIC BUILDING. REMOVE EXISTING ASPHALTIC PORCH ROOF, AND DEMOLISH WOOD ROOF STRUCTURE AND WOOD COLUMNS AT FRONT PORCH. EXISTING PORCH MASONRY WALLS, HANDRAILS AND STEPS TO REMAIN WITHOUT ALTERATION EXCEPT FOR REMOVAL OF SPALLING PAINT AND CLEANING / TUCKPOINTING OF MASONRY WHERE NECESSARY. NEW WOOD PORCH ROOF STRUCTURE WITH NEW SUPPORT COLUMNS TO BE CONSTRUCTED ON EXISTING MASONRY PORCH WALLS. NEW EPDM ROOF AND COPPER FLASHINGS TO BE INSTALLED. NEW ELECTRICAL PORCH LIGHT TO BE INSTALLED USING EXISTING SWITCHED BRANCH CIRCUIT.

ZONING AND CODE INFORMATION

ZONING LOT SIZE AND LOT COVERAGE (AREA OF WORK ONLY):
 ZONING: B4 (PARCEL NO. 07001241)
 R5 (PARCEL NO. 07002510)
 LOT DIMENSIONS: 56.9 X 96.6
 SITE AREA: 5497 SQ. FT.

EXISTING LOT COVERAGE (BUILDINGS)
 AREA: 3400 SQ. FT. - NO CHANGE PROPOSED
 PERCENT: 61.9% - NO CHANGE PROPOSED

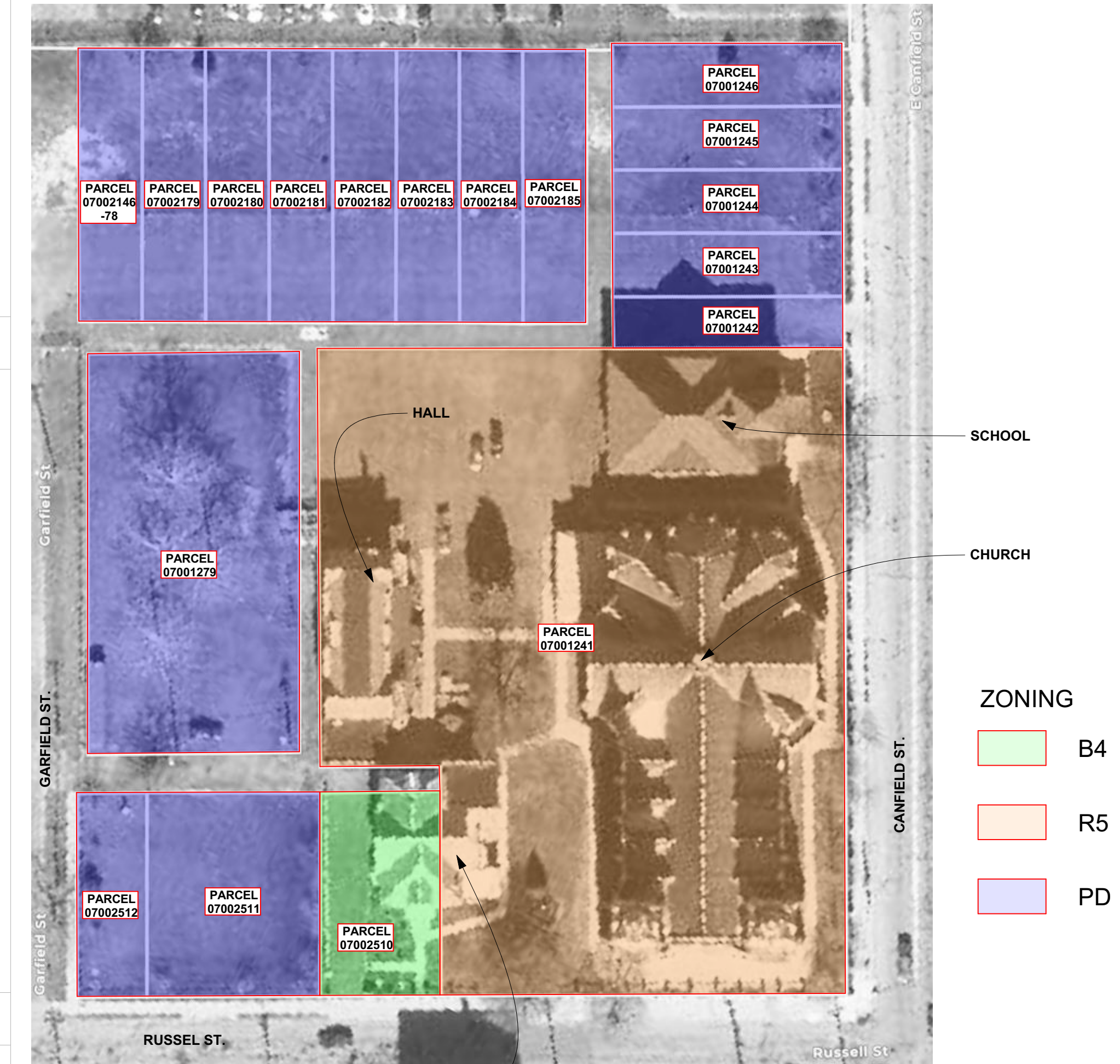
NO CHANGE IN IMPERVIOUS AREAS PROPOSED

CODE INFORMATION:
 CURRENT BLDG. USE: RECTORY / OFFICE - NO CHANGE
 CURRENT OCC. GROUP: R3 / B - NO CHANGE
 EXISTING CONST. TYPE: 3B - NO CHANGE

CODES REFERENCED:
 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 METHOD OF COMPLIANCE: PRESCRIPTIVE METHOD
 2018 CITY OF DETROIT ZONING ORDINANCE

ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY THE STATE OF MICHIGAN AND LOCAL JURISDICTION.

SITE PLANS



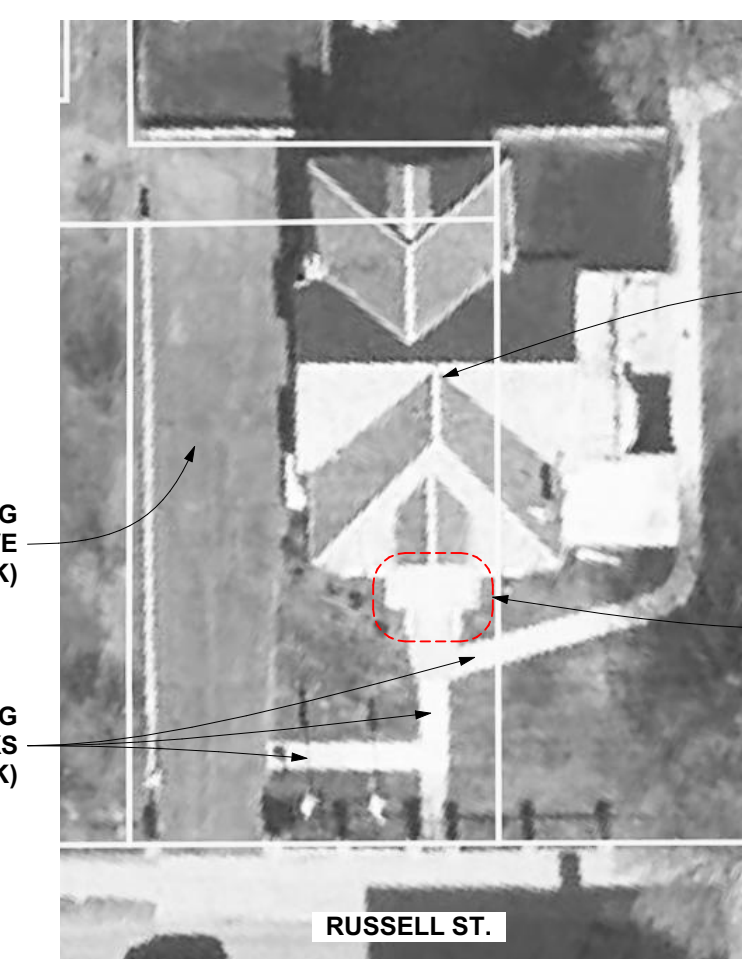
RECTORY-SEE ZOOM SITE FOR LOCATION OF FRONT PORCH WORK

OVERALL SITE PLAN
 SCALE: 1" = 50'

PROPOSED DEMOLITION



- 1 DEMOLISH ROOF AND ROOF FRAMING
- 2 DEMOLISH ROOF SUPPORT STRUCTURE
- 3 DEMOLISH PILASTERS
- 4 DEMOLISH COLUMNS
- 5 DEMOLISH PORCH CEILING
- 6 REMOVE PORCH LIGHT BUT MAINTAIN BRANCH CIRCUIT FOR CONNECTION TO NEW LIGHT



EXISTING DRIVE (NO WORK)

EXISTING WALKS (NO WORK)

LOCATION OF FRONT PORCH WORK

4440 RUSSELL STREET. EXISTING RECTORY IS LOCATED IN LOTS ZONED B4 AND R5 AND A REAR PORTION IS LOCATED IN A FORMER ALLEY. WORK IS LIMITED TO FRONT PORCH.

ZOOM SITE PLAN
 SCALE: 1" = 30'

VICINITY MAP



LOT LEGAL DESCRIPTIONS

- PARCEL NO. 07001241 (CHURCH, SCHOOL, HALL AND RECTORY S. PORTION)**
 N CANFIELD 1 SUB OF PT OF E ROBINSONS SUB L13 P62 PLATS, W C R 7/48 306.60 IRREG
- PARCEL NO. 07002510 (RECTORY N. PORTION)**
 E RUSSELL 4 SUB OF PT ROBINSONS SUB L18 P35 PLATS, W C R 7/92 56.9 X 96.6
- PARCEL NO. 07002511**
 E RUSSELL 3-2 S 7 FT OF 1 SUB OF PT ROBINSONS SUB L18 P35 PLATS, W C R 7/92 82 X 96.6
- PARCEL NO. 07002512**
 E RUSSELL N 33 FT OF 1 SUB OF PT ROBINSONS SUB L18 P35 PLATS, W C R 7/92 33 X 96.6
- PARCEL NO. 07001279**
 S GARFIELD 7 THRU 2 SUB OF PT E ROBINSONS SUB L13 P62 PLATS, W C R 7/48 190 X 100
- PARCEL NO. 07002146-78**
 W RIOPELLE 13 PLAT OF FREUD & SCHULTES SUB L7 P17 PLATS, W C R 7/49 30 X 129.35
- PARCEL NOS. 07002179-07002185**
 W RIOPELLE 12, 11, 10, 9, 8, 7 AND 6 PLATS OF FREUD & SCHULTES SUB L7 P17 PLATS, W C R 7/49 30 X 108.80
- PARCEL NOS. 07001243-07001246**
 N CANFIELD 2, 3, 4 AND 5 PLATS OF FREUD & SCHULTES SUB L7 P17 PLATS, W C R 7/49 30 X 108.80
- PARCEL NO. 07001242**
 N CANFIELD 1 PLAT OF FREUD & SCHULTES SUB L7 P17 PLATS, W C R 7/49 24.35 X 108.80

The contractor shall verify existing site conditions. Any discrepancy between assumed and actual site conditions shall be brought to the attention of the architect to allow corrections to be made prior to commencing construction. The architect and his consultants are instruments of service and are to be used solely for this project. The architect shall be deemed the author of these drawings. Copying this document is prohibited unless expressly authorized by the architect in writing.



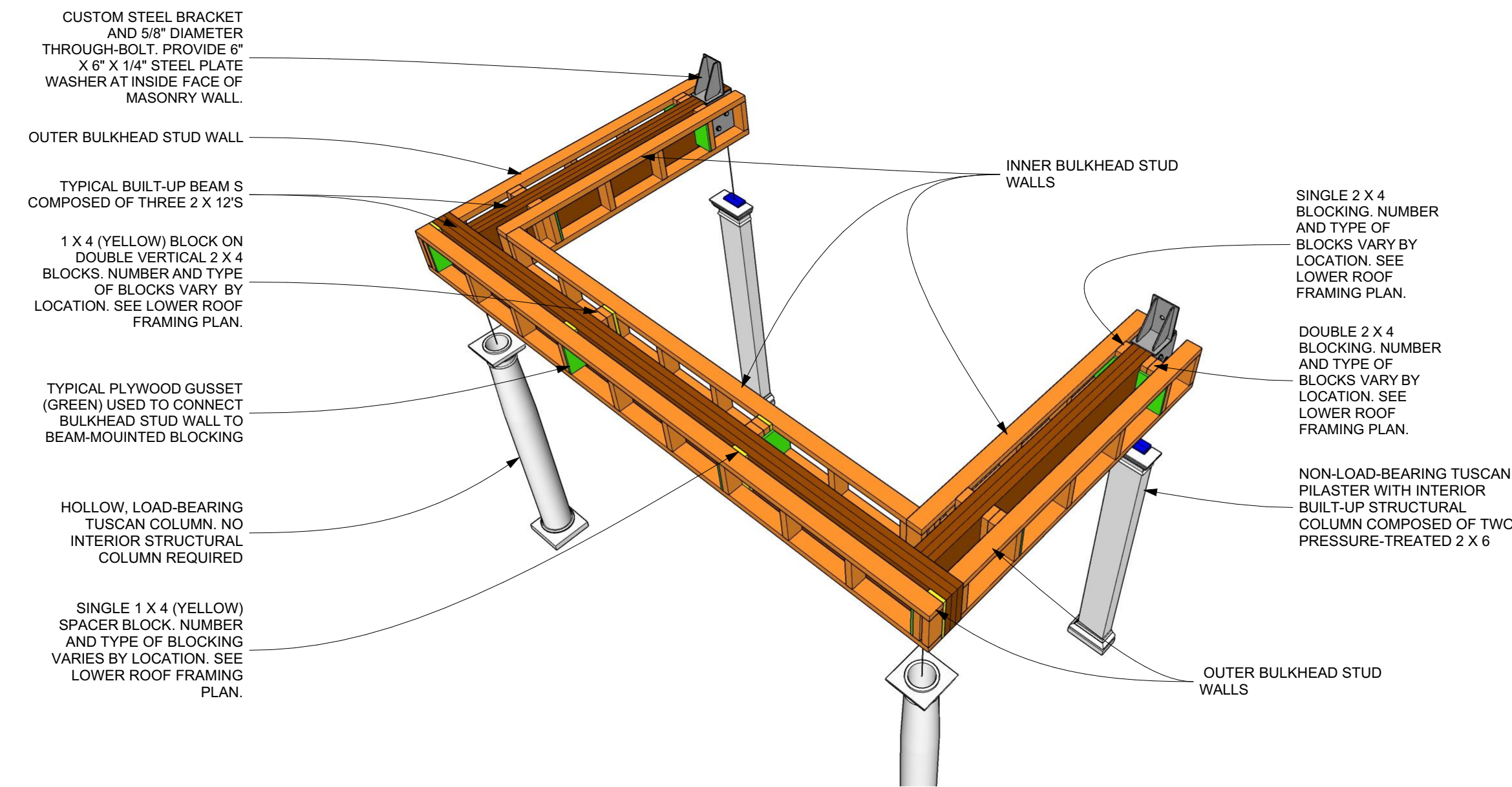
SWEETEST HEART OF MARY RECTORY PORCH RENOVATION
 SITE ADDRESS: 4440 RUSSELL ST., DETROIT, MI 48207
 OWNER / CONTACT: MOTHER OF DIVINE MERCY PARISH (313) 831-6659
 PARISHOFFICE@MOTHEROFDIVINEMERCY.ORG

BY	REVISIONS	DATE
JF	OWNER REVIEW	1/30/23

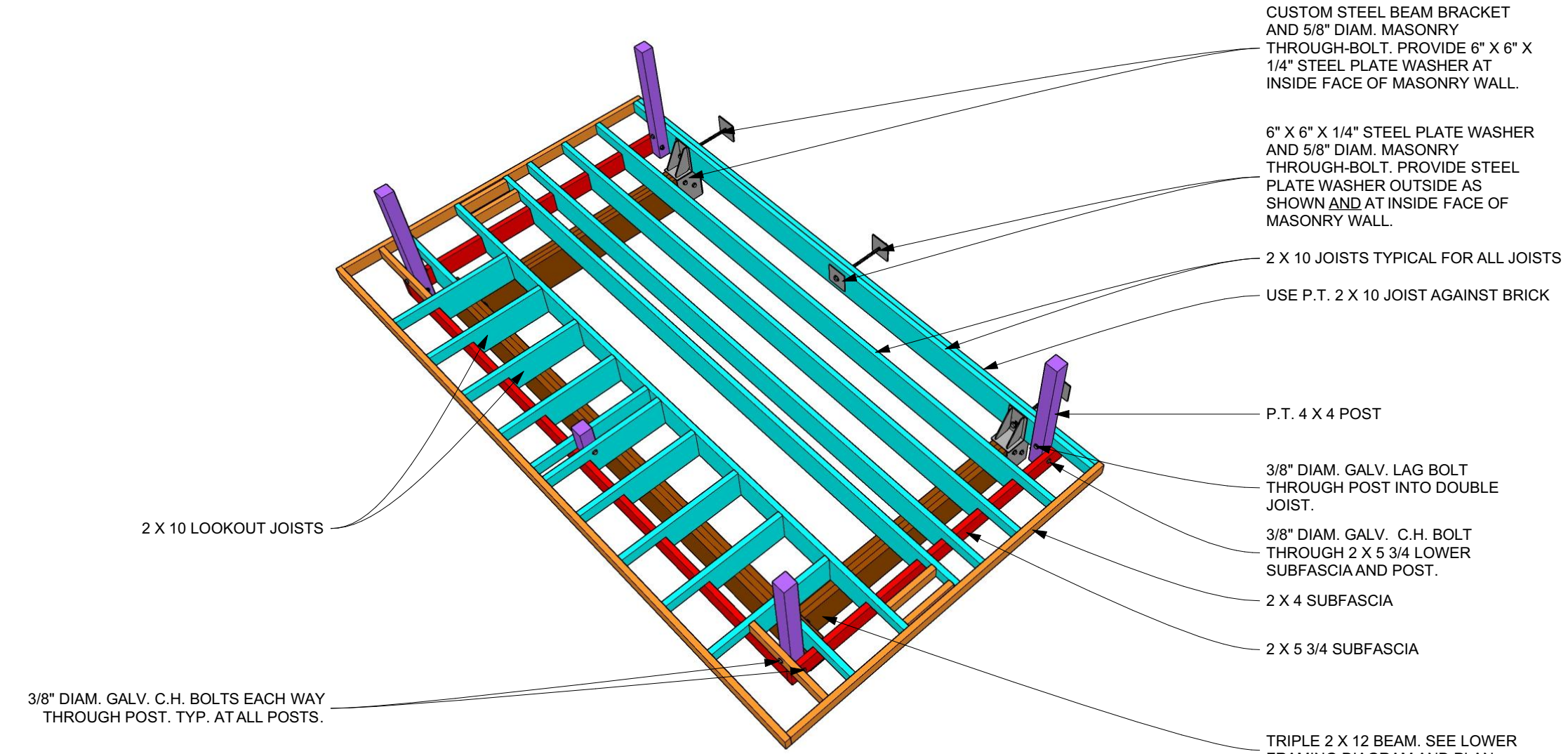
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Job:	083

A0
 Plotted On: 2/24/2023

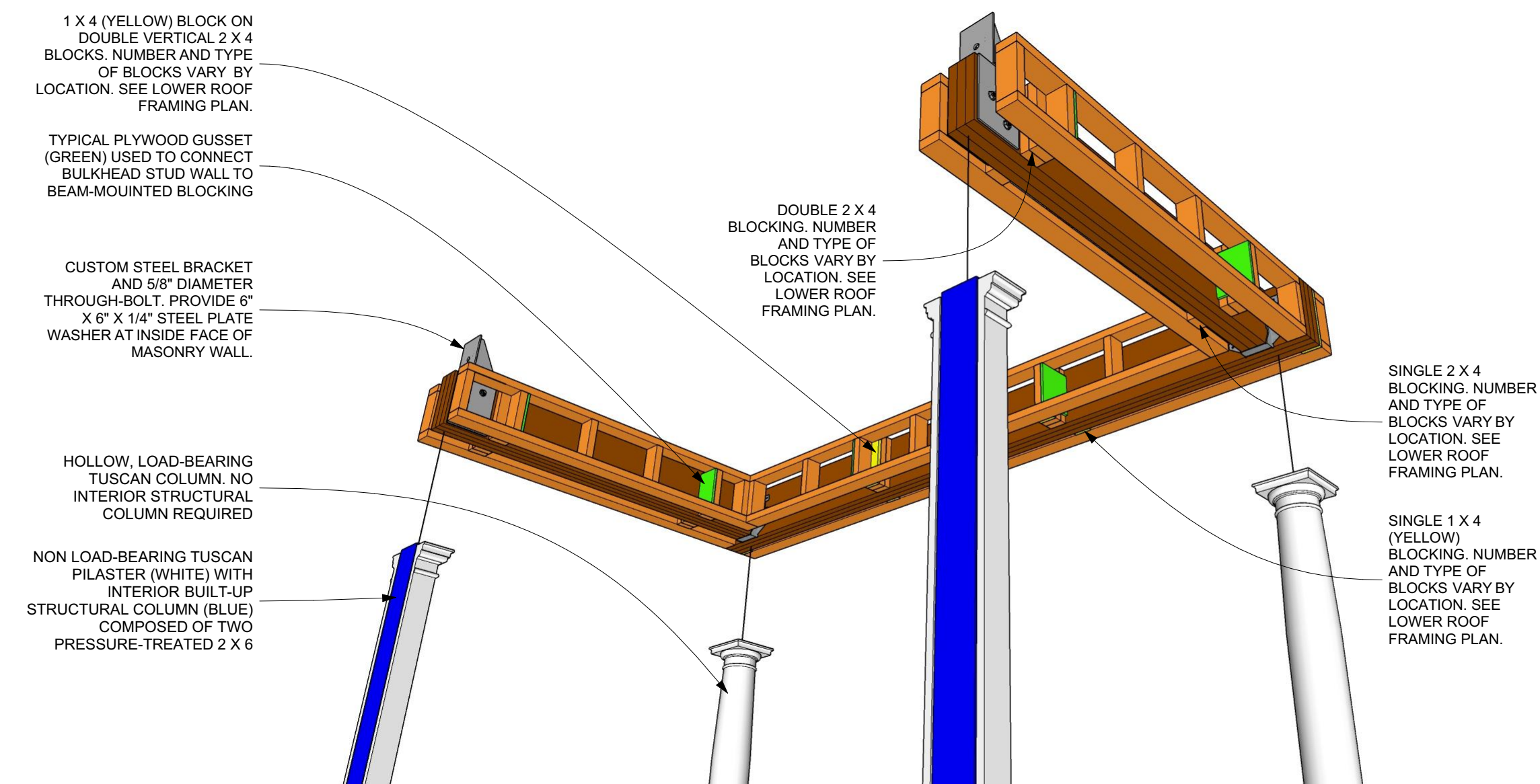
COVER SHEET



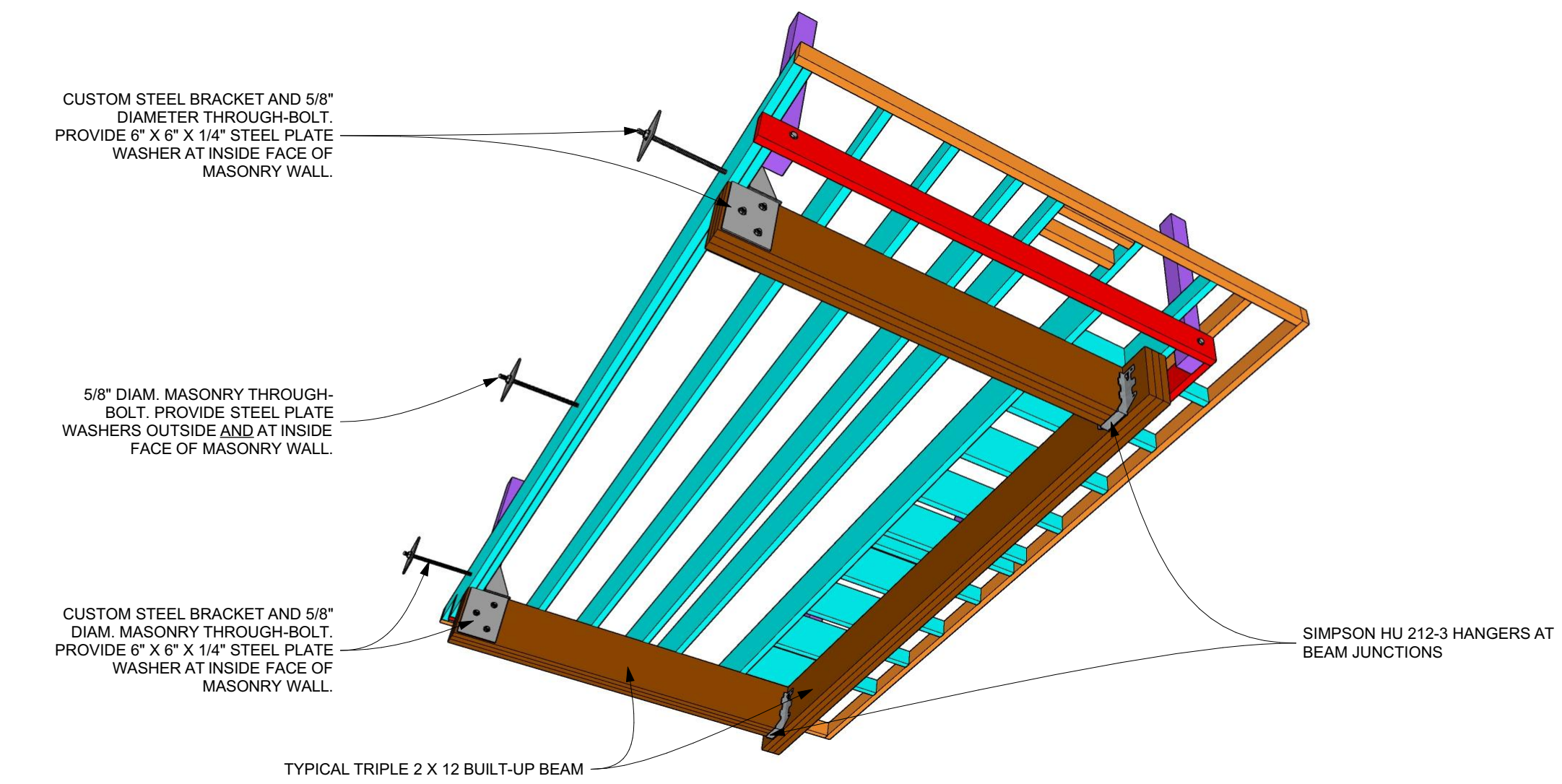
BIRDSEYE VIEW OF LOWER PART OF ROOF FRAMING (BELOW JOISTS)



BIRDSEYE VIEW OF UPPER PART OF ROOF FRAMING



WORMSEYE VIEW OF LOWER PART OF ROOF FRAMING (BELOW JOISTS)

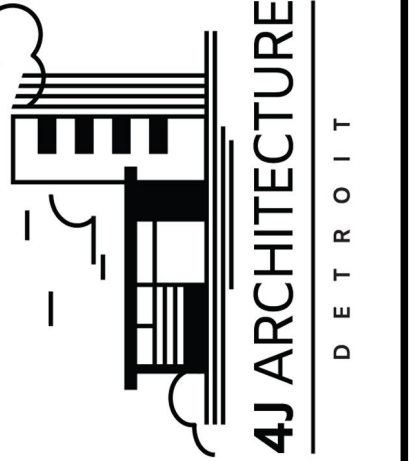


WORMSEYE VIEW OF UPPER PART OF ROOF FRAMING

ROOF FRAMING PERSPECTIVE VIEWS

SCALE: 1/2" = 1'-0"

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IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

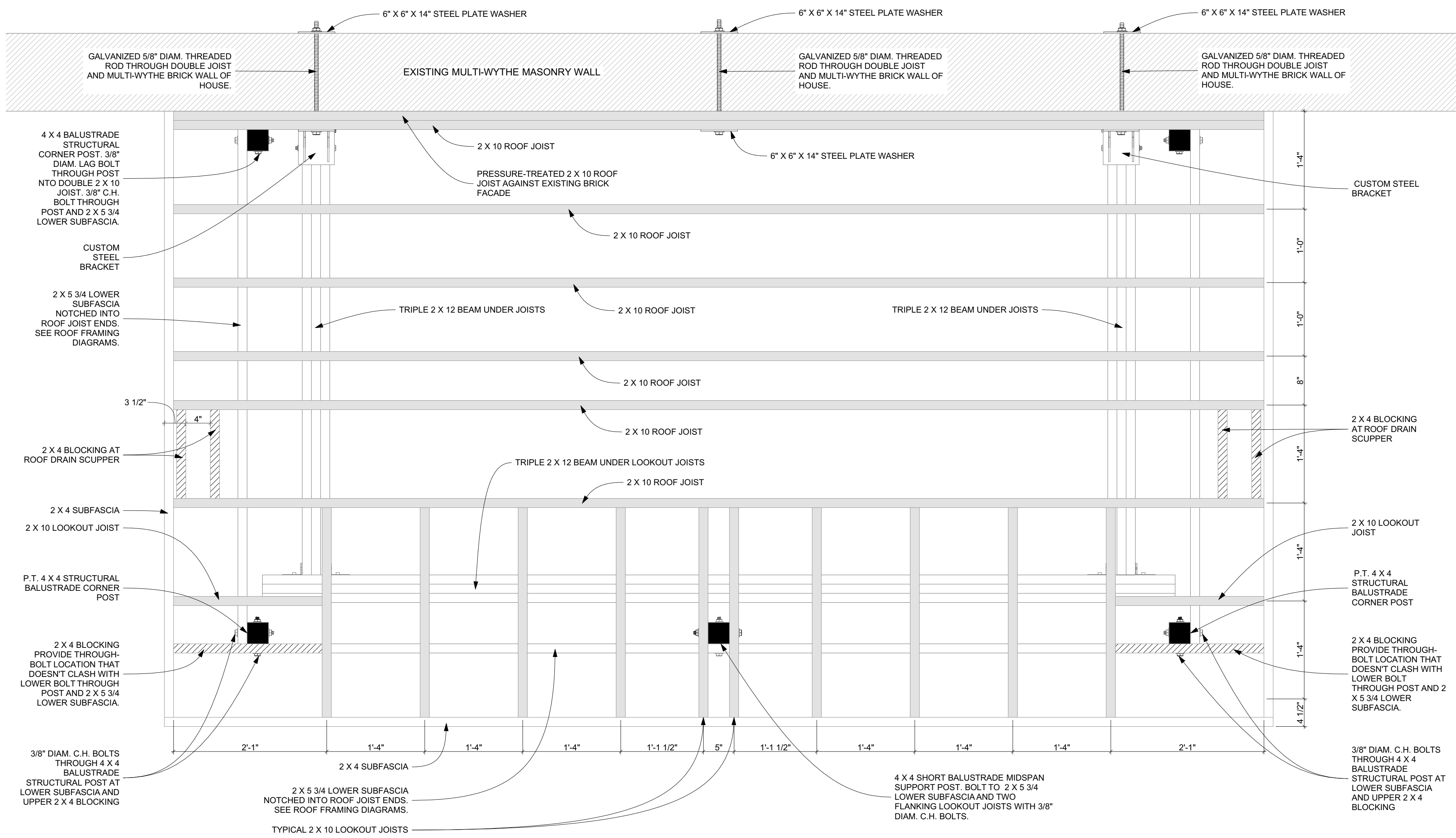
BY	REVISIONS	DATE
JF	OWNER REVIEW	1/30/23

Date: 1/30/23
 Scale: AS NOTED
 Drawn: JF
 Job: 083

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Plotted On: 2/24/2023

ROOF FRAMING PERSPECTIVE VIEWS

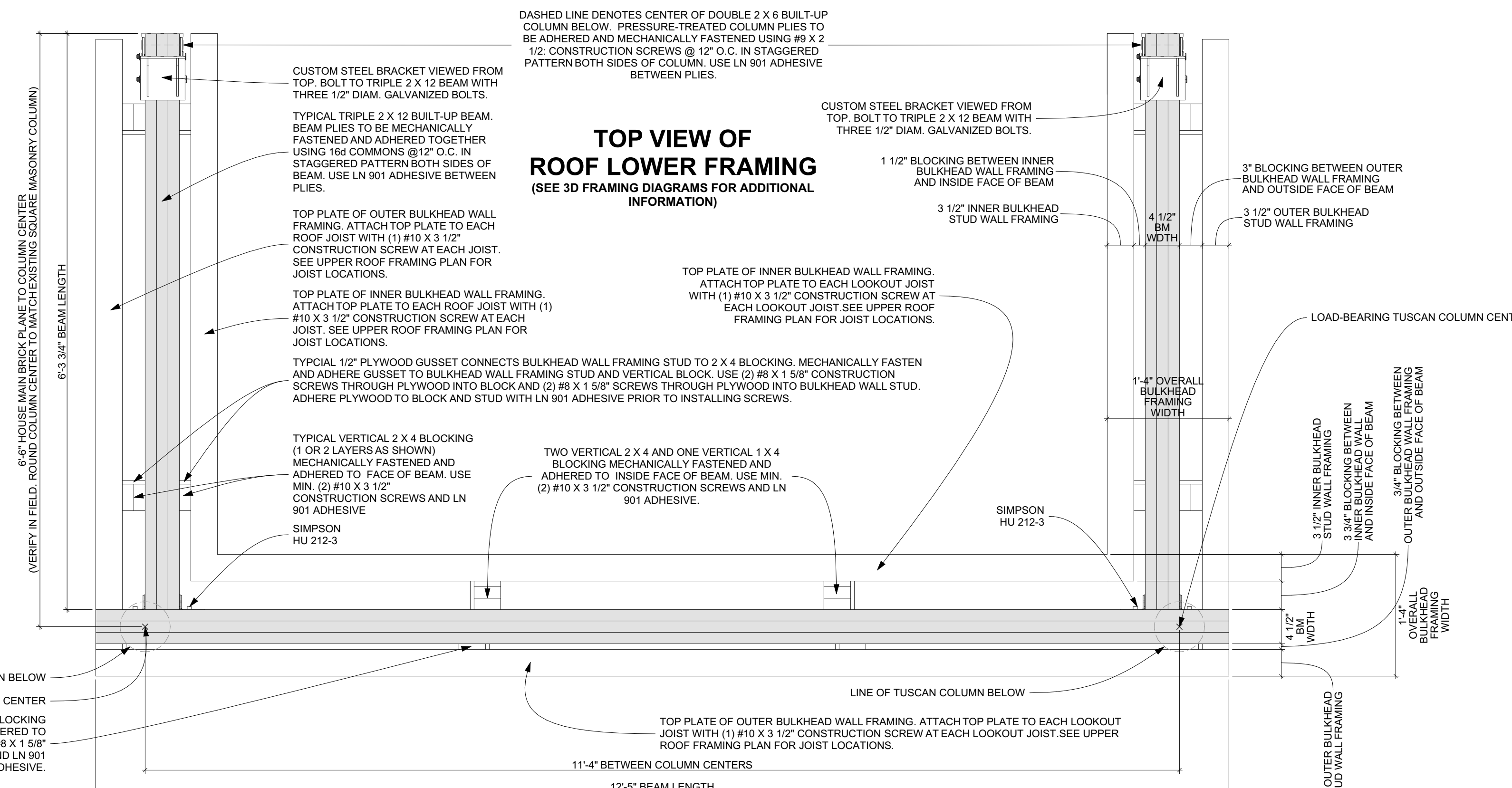
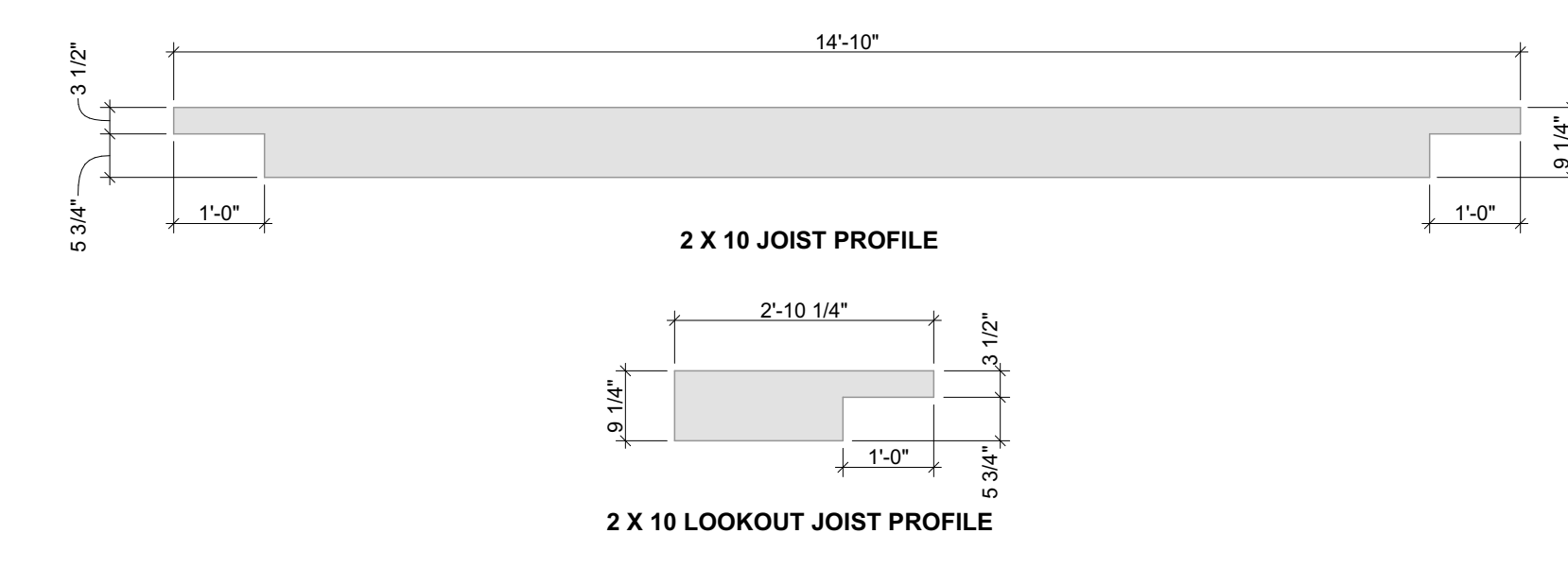


UPPER ROOF FRAMING PLAN

SCALE: 1" = 1'-0"

ROOF JOIST AND LOOKOUT JOIST PROFILES

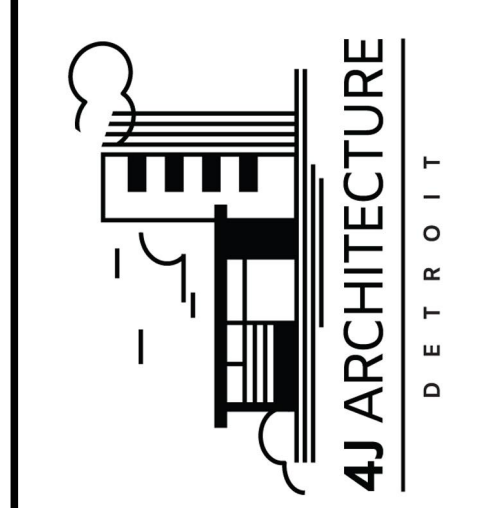
SCALE: 1/2" = 1'-0"



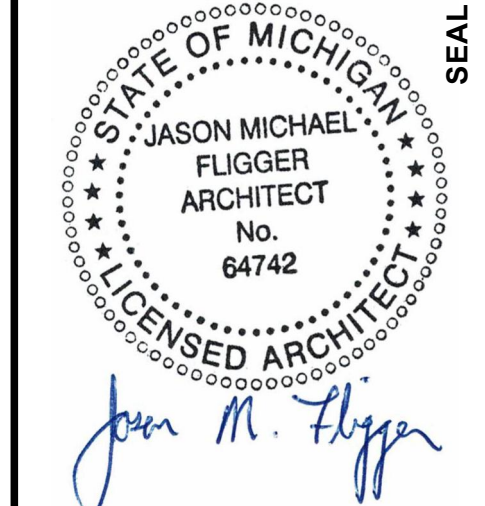
LOWER ROOF FRAMING PLAN

SCALE: 1" = 1'-0"

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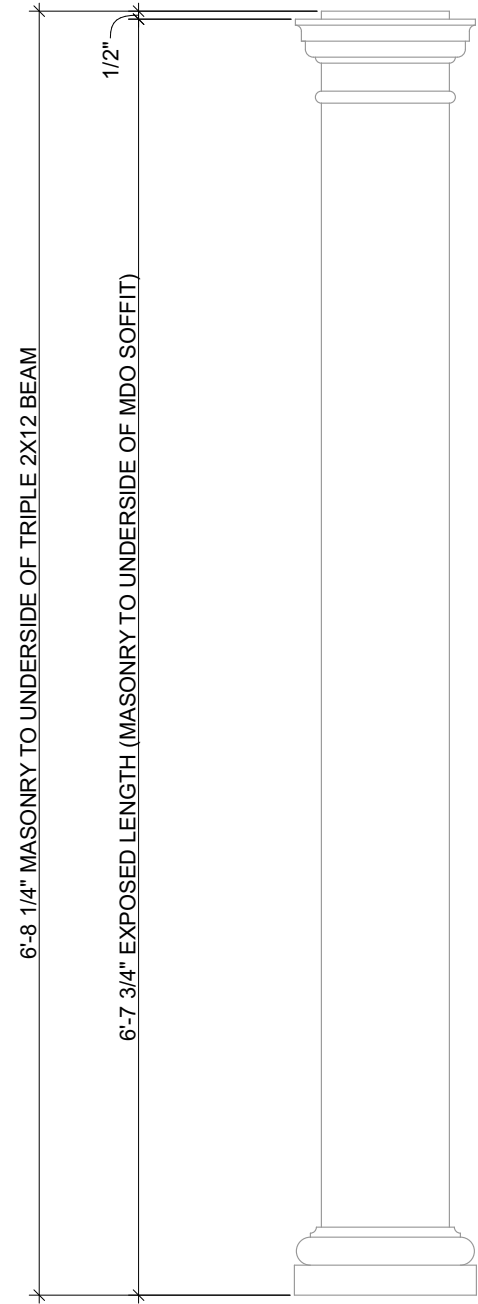
BY	REVISIONS	DATE
JF	OWNER REVIEW	1/30/23

Date: 1/30/23
 Scale: AS NOTED
 Drawn: JF
 Job: 083

A2

Plotted On: 2/24/2023

ROOF FRAMING PLANS AND DETAILS



8" Width x 8' Overall Height - Square Non-Tapered Smooth (FRP), Smooth Finish - Ready to be Painted, with Tuscan Capital and Tuscan Base
Part Number: ES0808NPSA3U7U



TUSCAN BASE				TUSCAN CAPITAL			
Pileth	Torus	Total Height	Echinus	Abacus	Total Height		
A	B	C	D	E	F	G	H
11-1/2"	1-1/2"	1-1/2"	1/2"	4-1/2"	1-1/2"	11-1/2"	2-1/2"

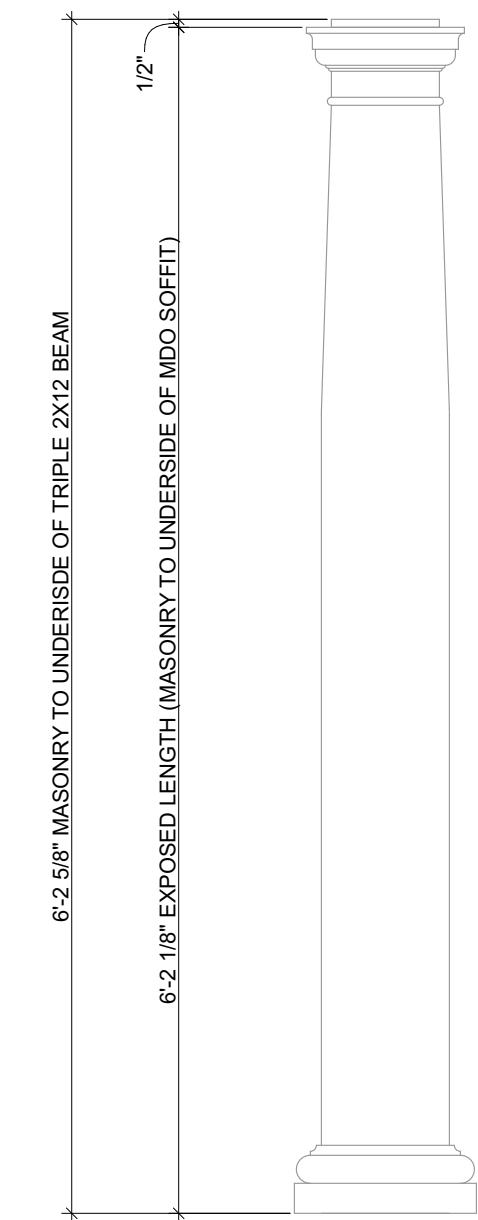
COLUMN SPECIFICATIONS						
Plan Type 1 ¹	Column Height	Trimming from bottom of shaft ²		w/o Interfiring w/Panels		Load Bearing Capacity ³
Split in 1/2 for Reassembly	A	E	F	G	H	0 lbs.
	80"	96"	91-1/2"	96"	91-1/2"	

SHAFT SPECIFICATIONS						
Shaft Bottom			Shaft Top			
Outside	Inside	Outside	Inside	Abtural	Neck Height	
C"	D"	H"	I"	F	G	
8"	6-1/2"	8"	6-1/2"	1/2"	4-1/2"	

¹Actual outside diameters are approximately 1/16" to 1/32" less than shown
²Actual inside diameters may vary by 3/16"

Material ⁴		Wraps Post Size ⁵		Weight		
Shaft	Capital	Round (Fits up to)	Square (Fits up to)	Shaft	Capital	
FRP	Urethane	FRP	6-1/2"	6-1/2"	90.00 lbs.	
						0.90 lbs.
						11.80 lbs.
						103.7 lbs.

RECTANGULAR NON-LOAD-BEARING PILASTER (SPLIT SQUARE COLUMN) DETAIL



8" Diameter x 8' Overall Height - Round Tapered Smooth (FRP), Smooth Finish - Ready to be Painted, with Tuscan Capital and Tuscan Base
Part Number: ES0808ATPSA7U7U



TUSCAN BASE				TUSCAN CAPITAL			
Pileth	Torus	Total Height	Echinus	Abacus	Total Height		
A	B	C	D	E	F	G	H
10-1/2"	1-1/2"	1-1/2"	1/2"	4-1/2"	1-1/2"	9-1/2"	2-1/2"

COLUMN SPECIFICATIONS						
Plan Type A ¹	Column Height	Trimming from bottom of shaft ²		w/o Interfiring w/Panels		Load Bearing Capacity ³
Unsplit / Whole	A	B	w/Post	E	w/Post	10,000 lbs.
	72"	50"	45-1/2"	50"	51-1/2"	

SHAFT SPECIFICATIONS						
Shaft Bottom			Shaft Top			
Outside	Inside	Outside	Inside	Abtural	Neck Height	
C"	D"	H"	I"	F	G	
8"	6-1/2"	6-1/2"	5-1/2"	1/2"	4-1/2"	

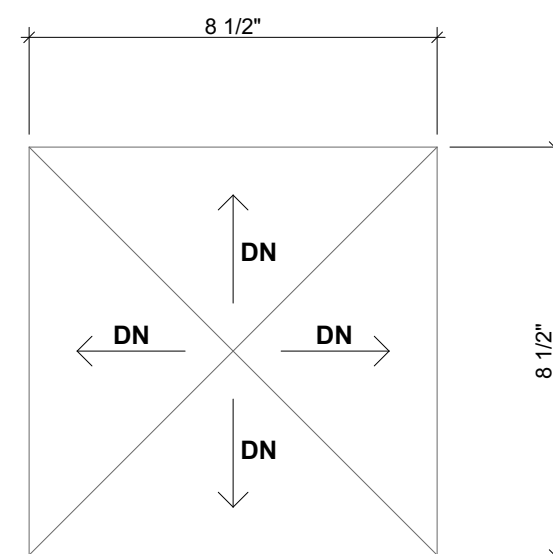
¹Actual outside diameters are approximately 1/16" to 1/32" less than shown
²Actual inside diameters may vary by 3/16"

Material ⁴		Wraps Post Size ⁵		Weight		
Shaft	Capital	Round (Fits up to)	Square (Fits up to)	Shaft	Capital	
FRP	Urethane	FRP	3-1/2"	3-1/2"	62.00 lbs.	
						1.30 lbs.
						3.50 lbs.
						66.8 lbs.

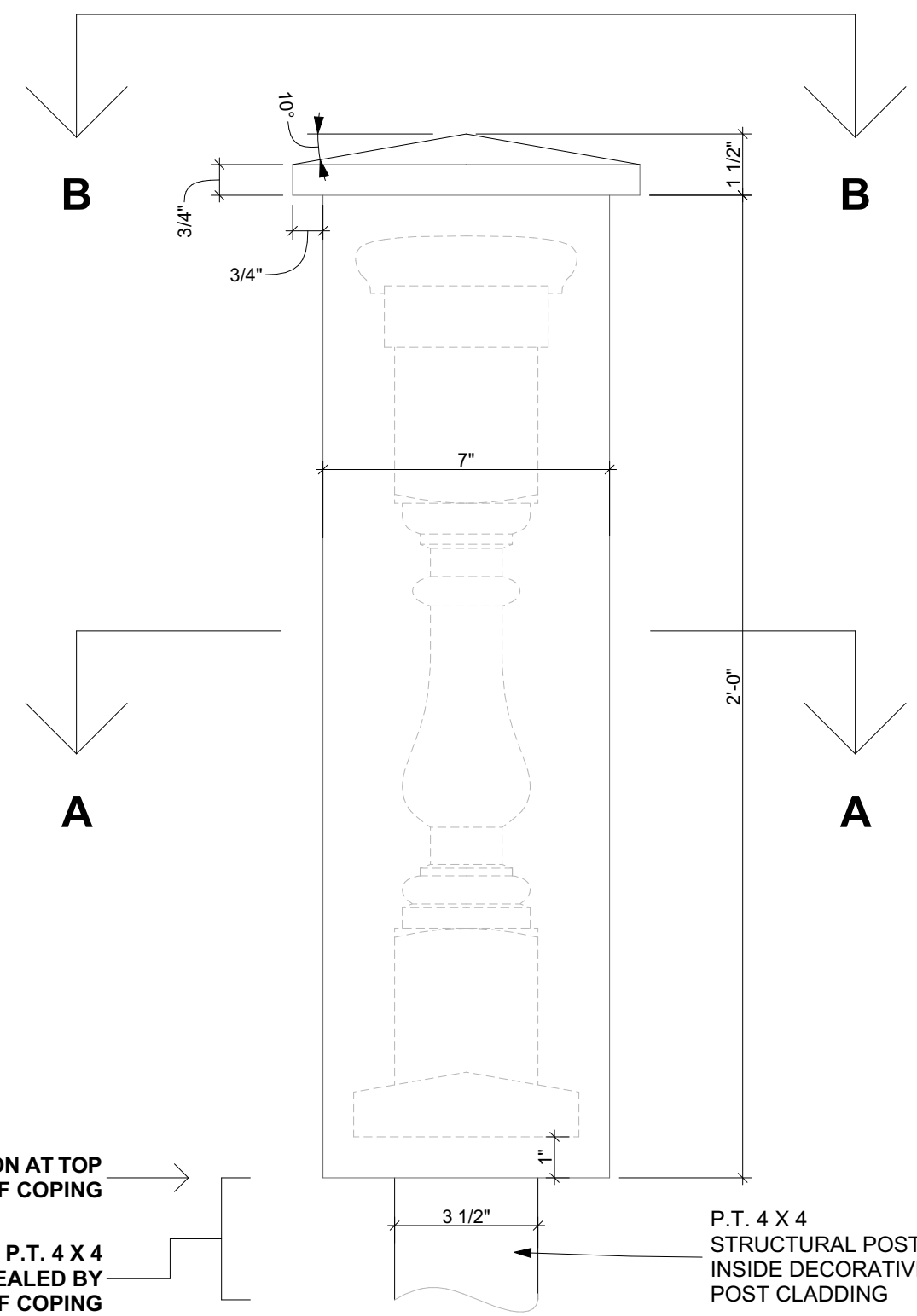
ROUND LOAD-BEARING COLUMN DETAIL

COLUMN AND PILASTER PROFILES

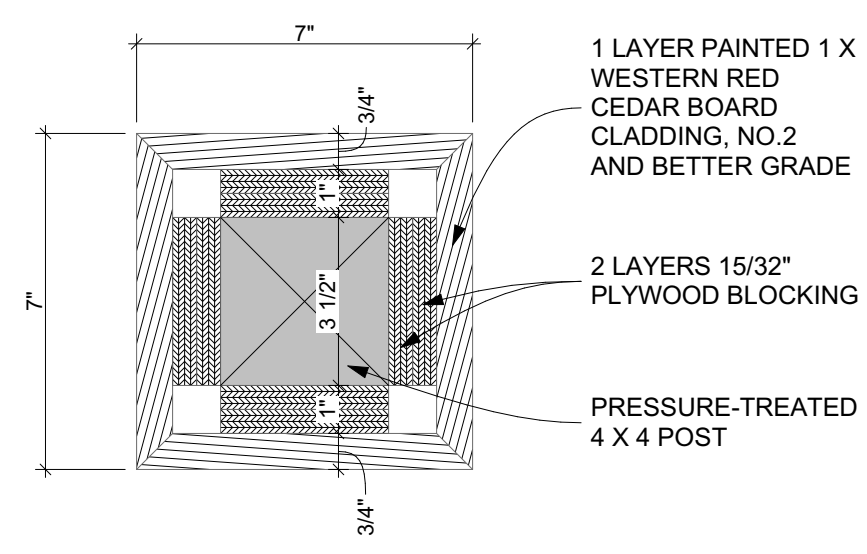
SCALE: 1" = 1'-0"



BALUSTRADE POST PLAN DETAIL B-B AT POST CAP



BALUSTRADE POST ELEVATION

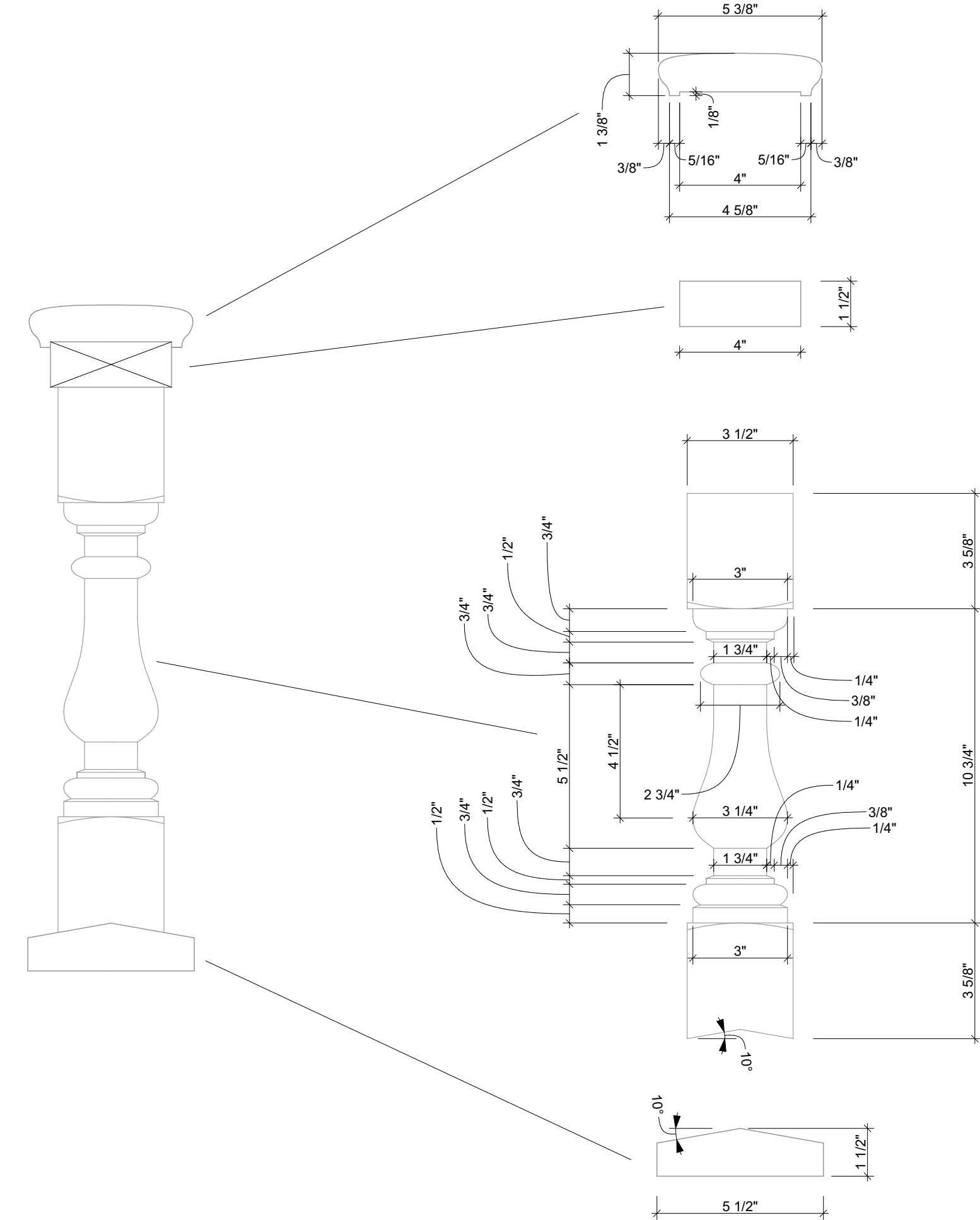


BALUSTRADE POST PLAN SECTION A-A

BALUSTRADE POST DETAILS

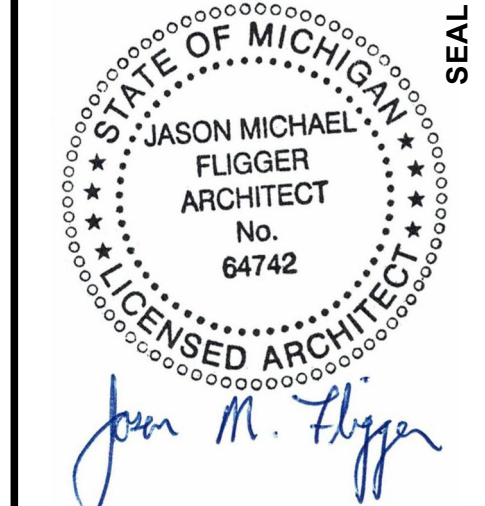
CUSTOM BALUSTRADE COMPONENTS

SCALE: 3" = 1'-0"



BALUSTRADE SPINDLE DETAILS

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BY	REVISIONS	DATE
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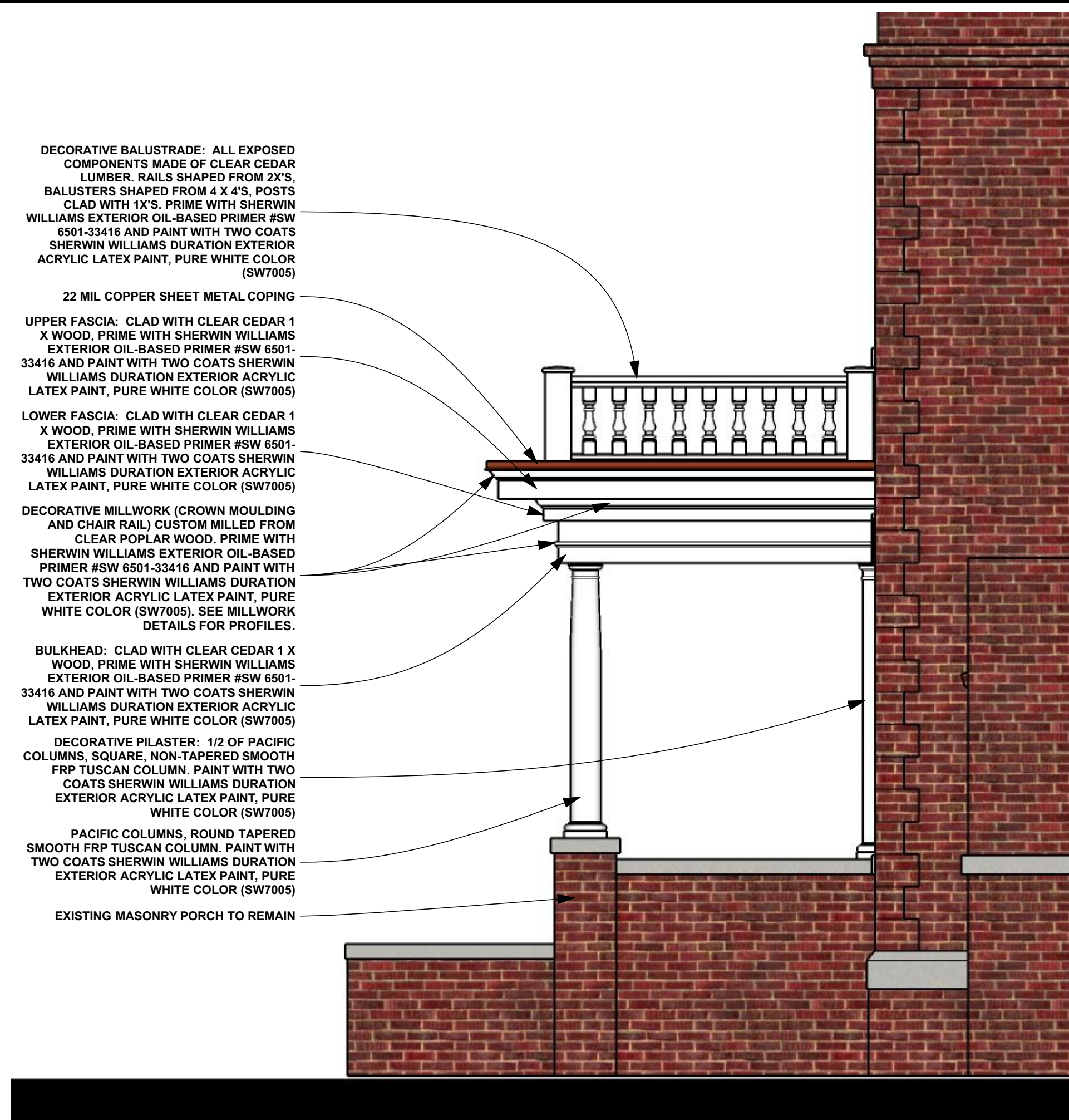
Date: 1/30/23
 Scale: AS NOTED
 Drawn: JF
 Job: 083

A8
 Plotted On: 2/24/2023

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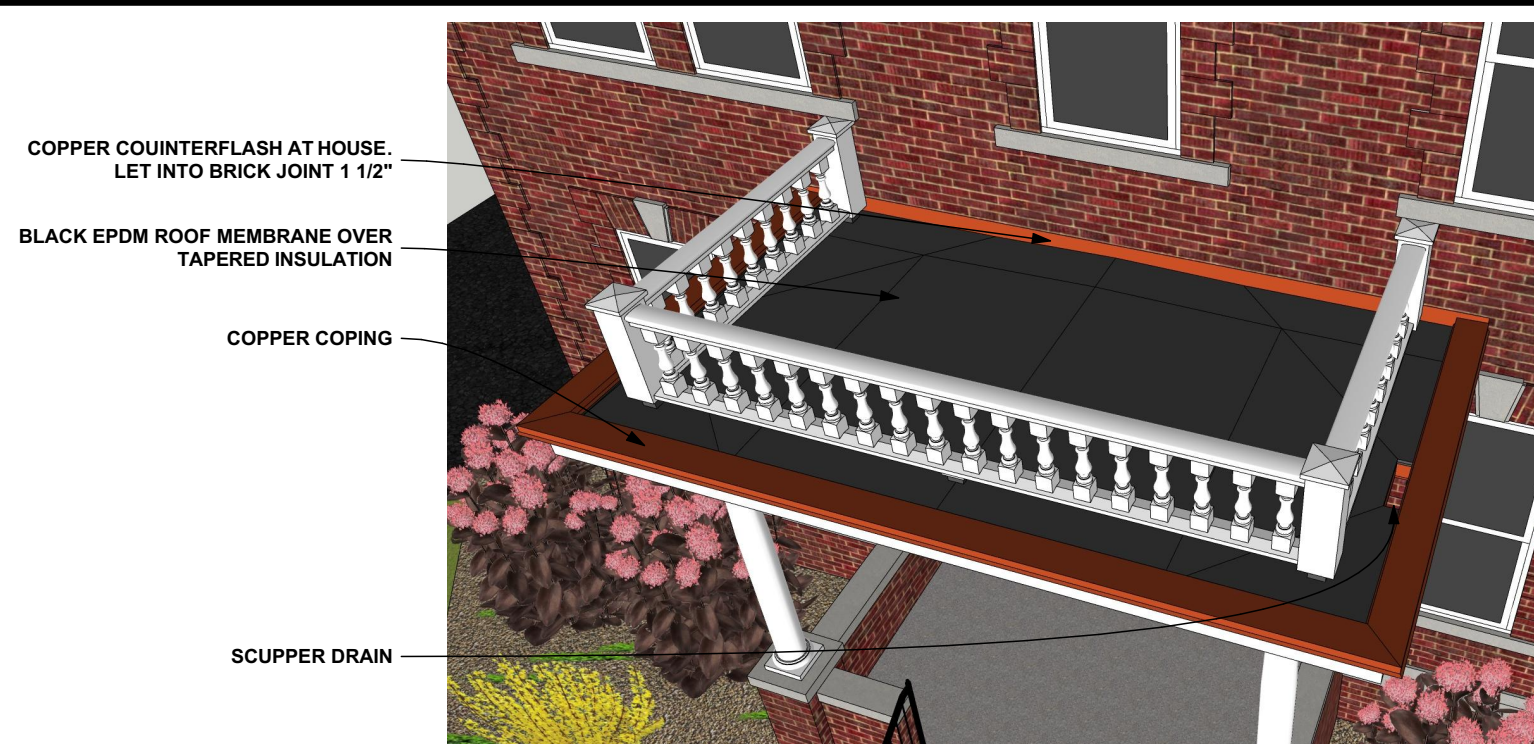
COLUMN AND BALUSTRADE DETAILS



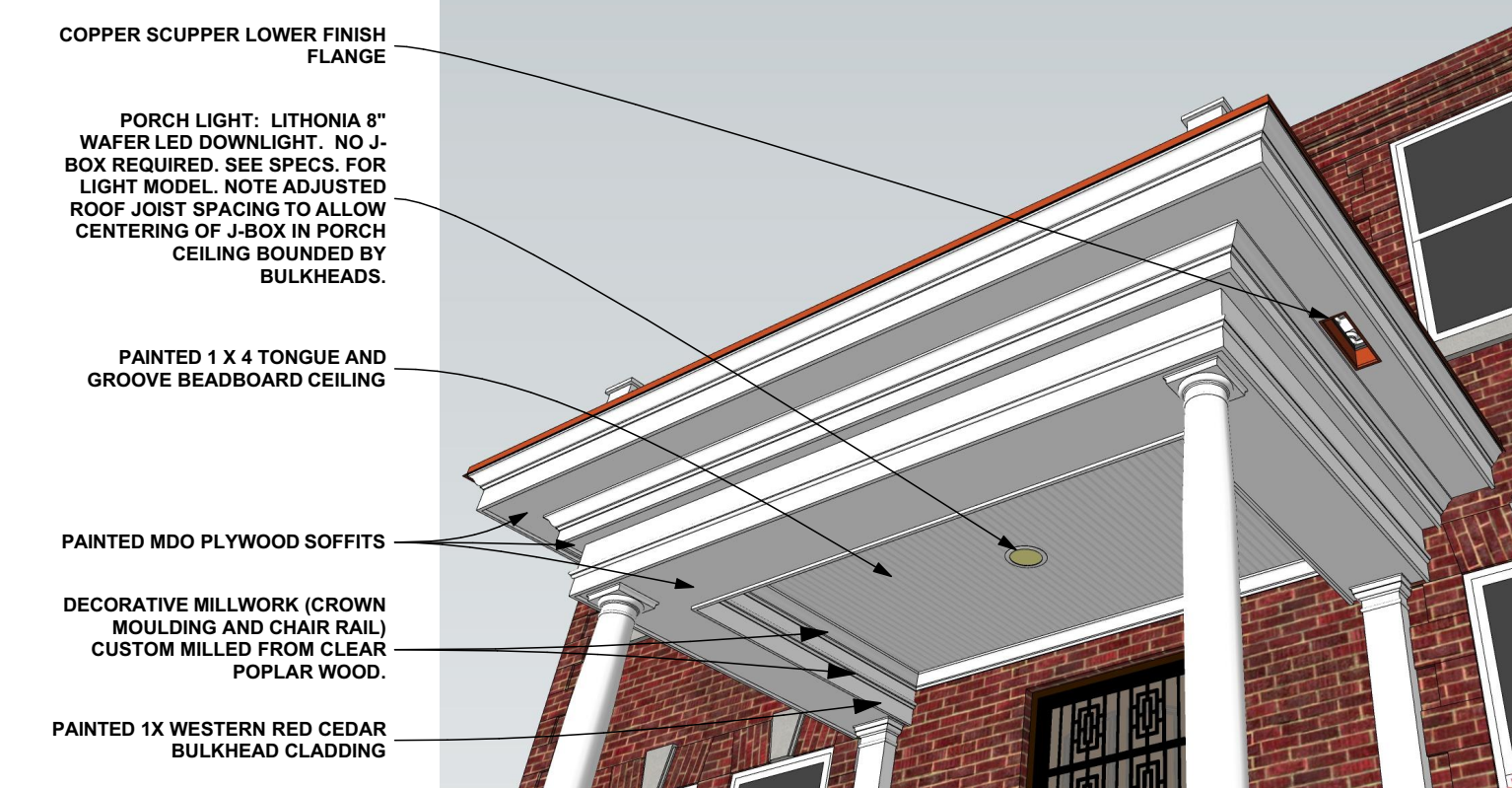
SOUTH ELEVATION

SCALE: 1" = 1'-0"

- DECORATIVE BALUSTRADE: ALL EXPOSED COMPONENTS MADE OF CLEAR CEDAR LUMBER. RAILS SHAPED FROM 2X'S, BALUSTERS SHAPED FROM 4 X 4'S, POSTS CLAD WITH 1X'S. PRIME WITH SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER #SW 6501-33416 AND PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)
- 22 MIL COPPER SHEET METAL COPING
- UPPER FASCIA: CLAD WITH CLEAR CEDAR 1 X WOOD, PRIME WITH SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER #SW 6501-33416 AND PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)
- LOWER FASCIA: CLAD WITH CLEAR CEDAR 1 X WOOD, PRIME WITH SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER #SW 6501-33416 AND PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)
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- BULKHEAD: CLAD WITH CLEAR CEDAR 1 X WOOD, PRIME WITH SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER #SW 6501-33416 AND PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)
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- PACIFIC COLUMNS, ROUND TAPERED SMOOTH FRP TUSCAN COLUMN, PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)
- EXISTING MASONRY PORCH TO REMAIN

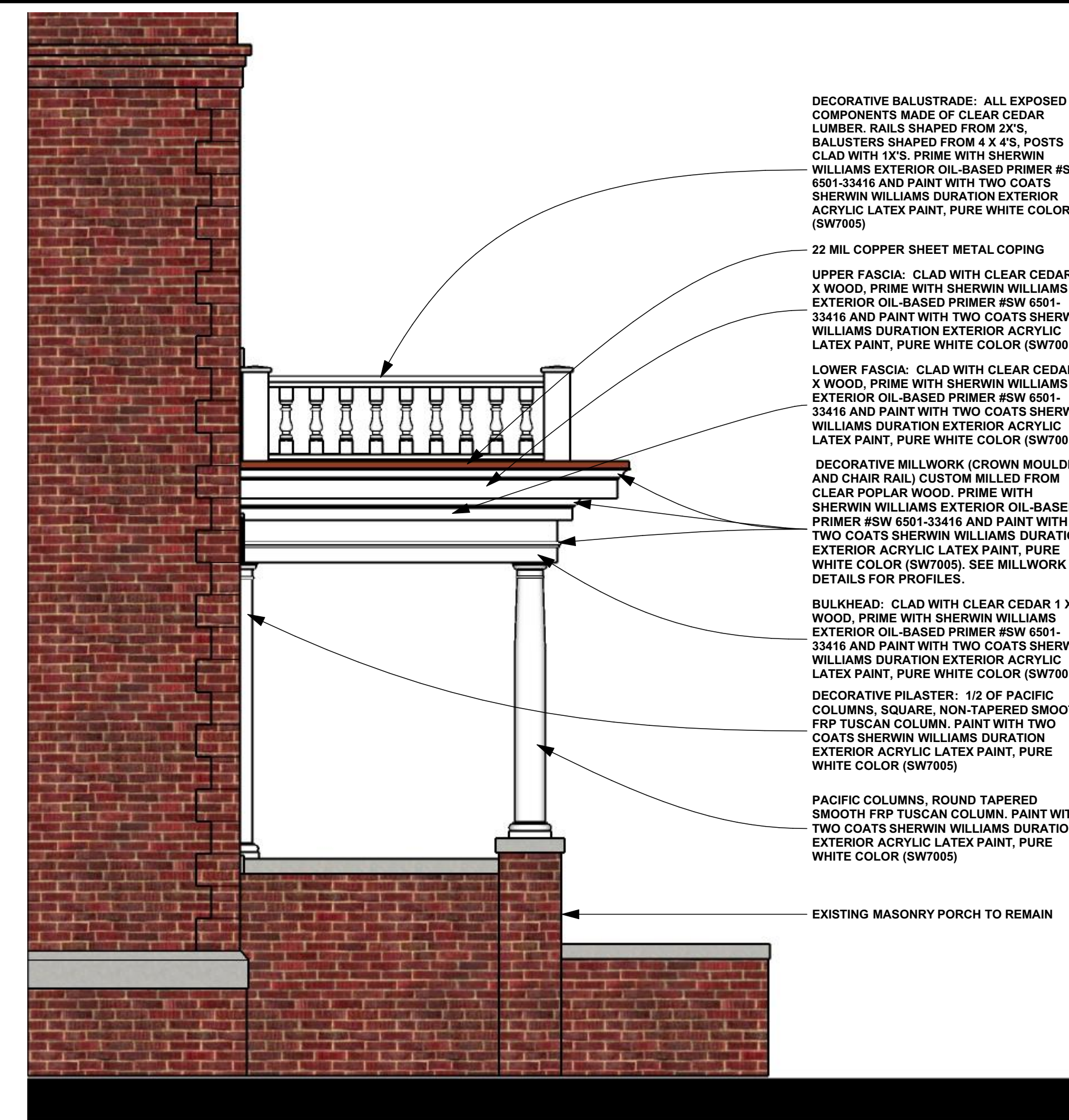


BIRDSEYE VIEW



WORMSEYE VIEW

- COPPER COUNTERFLASH AT HOUSE, LET INTO BRICK JOINT 1 1/2"
- BLACK EPDM ROOF MEMBRANE OVER TAPERED INSULATION
- COPPER COPING
- SCUPPER DRAIN
- COPPER SCUPPER LOWER FINISH FLANGE
- PORCH LIGHT: LITHONIA 8" WAFER LED DOWNLIGHT. NO J-BOX REQUIRED. SEE SPECS FOR LIGHT MODEL. NOTE ADJUSTED ROOF JOIST SPACING TO ALLOW CENTERING OF J-BOX IN PORCH CEILING BOUNDED BY BULKHEADS.
- PAINTED 1 X 4 TONGUE AND GROOVE BEADBOARD CEILING
- PAINTED MDO PLYWOOD SOFFITS
- DECORATIVE MILLWORK (CROWN MOULDING AND CHAIR RAIL) CUSTOM MILLED FROM CLEAR POPLAR WOOD.
- PAINTED 1X WESTERN RED CEDAR BULKHEAD CLADDING



NORTH ELEVATION

SCALE: 1" = 1'-0"

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- EXISTING MASONRY PORCH TO REMAIN



WEST ELEVATION

SCALE: 1" = 1'-0"

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- EXISTING MASONRY PORCH. REMOVE LOOSE PAINT AND CLEAN EXISTING MASONRY PER DETROIT HISTORIC DISTRICT COMMISSION'S "MASONRY CLEANING GUIDELINES" AND REFERENCES CONTAINED THEREIN. SEE https://detroitmi.gov/sites/detroitmi.localhost/files/2018-11/Masonry_Cleaning_Guidelines1.pdf

- NEW 22 MIL COPPER FLASHING AT HOUSE
- EXISTING BRICK FACADE MAIN PLANE. ALL MEASUREMENTS ARE MADE TO THIS PLANE. QUOINS, LIMESTONE TRIM AND OTHER PROTRUDING FEATURES ARE NOT RELEVANT TO ANY DIMENSIONS PROVIDED ON DRAWINGS.
- DECORATIVE PILASTER (PARTIALLY CONCEALED BEHIND ROUND COLUMN): 1/2 OF PACIFIC COLUMNS, SQUARE, NON-TAPERED SMOOTH FRP TUSCAN COLUMN, PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)
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- EXISTING PAINTED STEEL SECURITY DOOR AND WOOD ENTRY DOOR TO REMAIN
- EXISTING PAINTED STEEL HANDRAILS TO REMAIN

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 DETROIT

The contractor shall verify existing site conditions. Any discrepancy between assumed and actual site conditions shall be brought to the attention of the architect to allow corrections to be made prior to commencing construction. The architect and his consultants are instruments of service and are to be used solely for this project. The architect shall be deemed the author of these drawings. Copying this document is prohibited unless expressly authorized by the architect in writing.

Jason M. Fligger

SWEETEST HEART OF MARY RECTORY PORCH RENOVATION

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY	REVISIONS	DATE
JF	OWNER REVIEW	1/30/23

Date: 1/30/23
 Scale: AS NOTED
 Drawn: JF
 Job: 083

OWNER / CONTACT: MOTHER OF DIVINE MERCY PARISH
 (313) 831-6659
 PARISHOFFICE@MOTHEROFDIVINEMERCY.ORG

A9

Plotted On: 2/24/2023

EXTERIOR ELEVATIONS AND VIEWS

FRP Columns

- STRONGEST COLUMN AVAILABLE
- LOW MAINTENANCE
- WIDE ARRAY OF OPTIONS
- CAN BE SPLIT FOR REASSEMBLY
- LIMITED LIFETIME WARRANTY
- READY TO PRIME AND PAINT
- EXTERIOR OR INTERIOR USE
- MADE WITH FLAME GUARD*

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LITHONIA LIGHTING

WFB8 8" LED SWITCHABLE WHITE COLOR TEMPERATURE

8" LED SWITCHABLE WHITE COLOR TEMPERATURE

WFB8 8" LED SWITCHABLE WHITE COLOR TEMPERATURE

WFB8 8" LED SWITCHABLE WHITE COLOR TEMPERATURE

PORCH CEILING LIGHT BY LITHONIA

Exterior Oil-Based Wood Primer

Duration EXTERIOR ACRYLIC LATEX

Pure White (255-C1)

PRIMER, PAINT BASE AND COLOR BY SHERWIN WILLIAMS



FLASHING AND COPING: TYPICAL 22 MIL COPPER FLASHING AND COPING MATERIAL



SOUTHERN YELLOW PINE PORCH CEILING 1 X 4 TONGUE AND GROOVE BEADBOARD TO BE PAINTED



POPLAR TO BE SHAPED INTO CUSTOM MOULDINGS PER MILLWORK PROFILES AND PAINTED



WESTERN RED CEDAR 4 X 4 TO BE SHAPED INTO CUSTOM BALUSTRADE SPINDLES PER DETAILS PROVIDED IN CONSTRUCTION DOCUMENTS AND PAINTED



1 X WESTERN RED CEDAR BOARDS #2 AND BETTER USED TO CLAD ALL FASCIAS AND EXPOSED FRAMING AND PAINTED.



2 X WESTERN RED CEDAR LUMBER #2 AND BETTER TO BE SHAPED FOR HORIZONTAL MEMBERS OF BALUSTRADE AND PAINTED

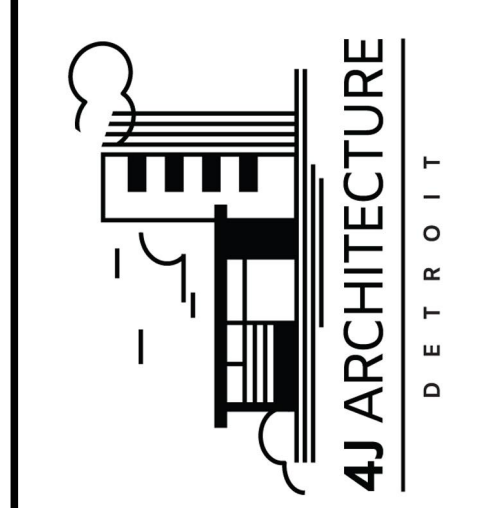


1/2 X 1/2 SOUTHERN YELLOW PINE QUARTER-ROUND TRIM TO BE PAINTED

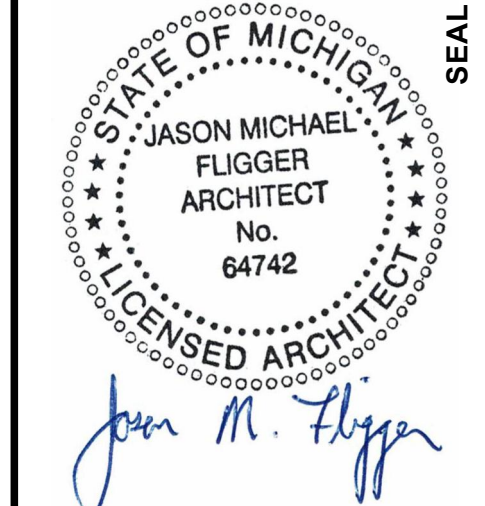


TYPICAL EPDM ROOF SIMILAR TO THAT PROPOSED FOR THIS PROJECT

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fligger865@comcast.net
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SWEETEST HEART OF MARY RECTORY PORCH RENOVATION

SITE ADDRESS:
4440 RUSSEL ST.
DETROIT, MI 48207

OWNER / CONTACT:
MOTHER OF DIVINE MERCY PARISH
(313) 831-6659
PARISHOFFICE@MOTHEROFDIVINEMERCY.ORG

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

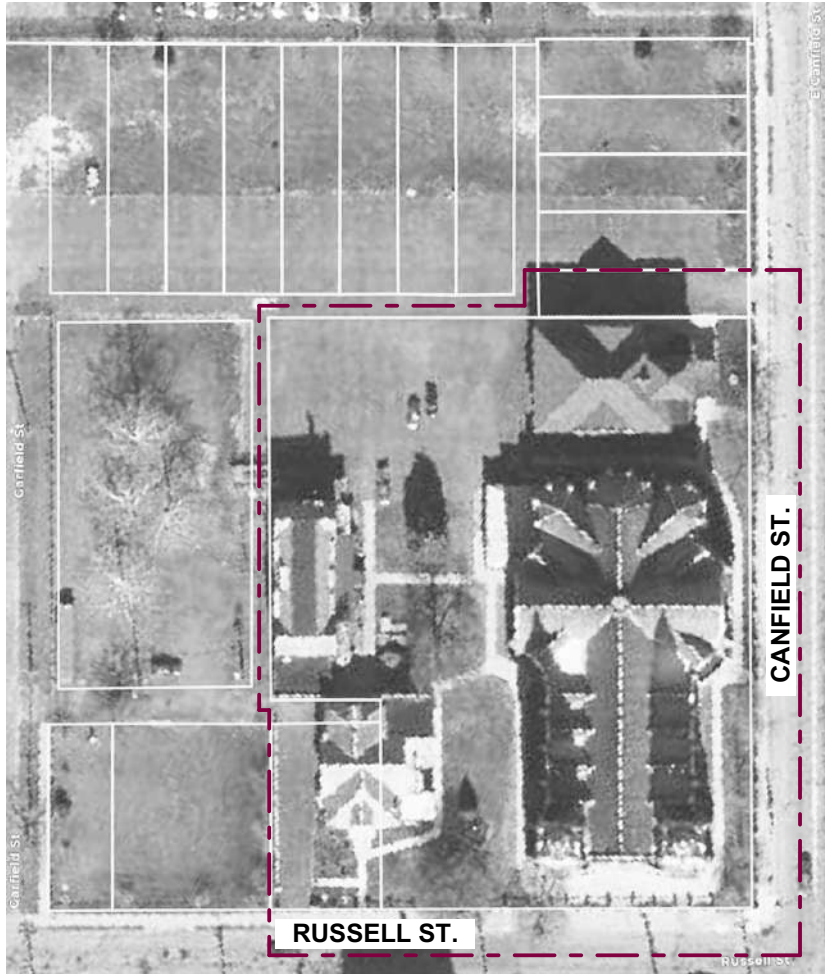
BY	REVISIONS	DATE
JF	OWNER REVIEW	1/30/23

Date: 1/30/23
Scale: AS NOTED
Drawn: JF
Job: 083

A10

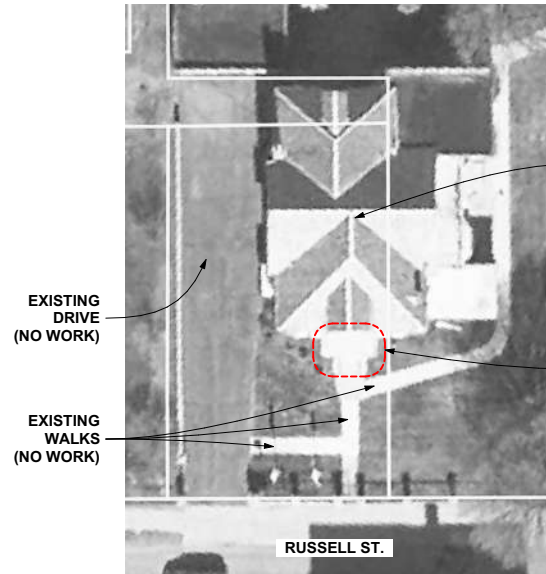
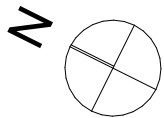
Plotted On: 2/24/2023

MATERIAL SAMPLES AND SPECIFICATIONS



SWEETEST HEART OF MARY HISTORIC DISTRICT

SCALE: 1" = 100'

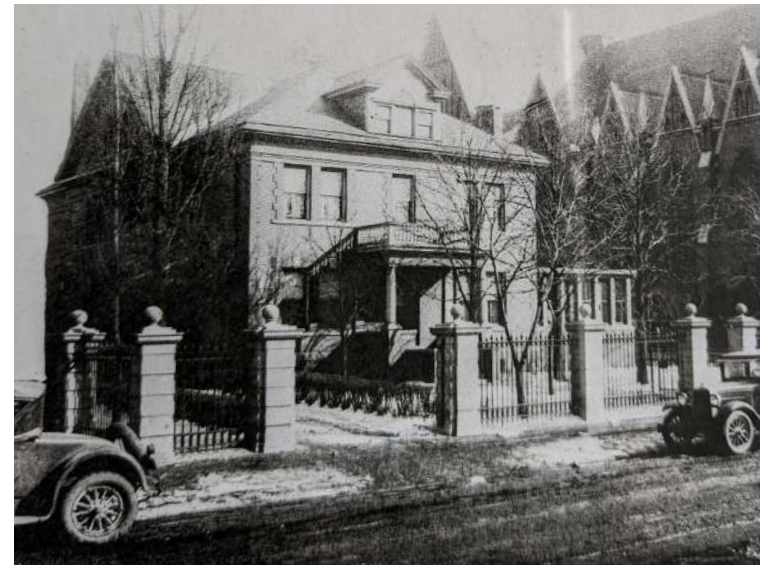


AREA OF WORK

SCALE: 1" = 50'

4440 RUSSELL STREET. EXISTING RECTORY IS LOCATED IN LOTS ZONED B4 AND R5 AND A REAR PORTION IS LOCATED IN A FORMER ALLEY. WORK IS LIMITED TO FRONT PORCH.

LOCATION OF FRONT PORCH WORK



HISTORIC REFERENCE IMAGE

(SHOWING ORIGINAL BALUSTRADE AND ROUND COLUMNS)

**SWEETEST HEART OF MARY
RECTORY PORCH RENOVATION**

SITE PLANS AND HISTORIC REFERENCE IMAGE

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OVERALL EXISTING CONDITION



MULTIPLE LAYERS OF DECAYED ROOFING, LEAKING INTEGRAL GUTTER, INADEQUATE GUTTER DEPTH, DECAYED WALL COUNTERFLASH



MODIFIED OVERHANGS WITH DECAYED SOFFITS AND FASCIA, EXISTING PORCH CEILING AND LIGHT



**TEMPORARY COLUMNS
COLUMN/PILASTER OFFSET,
EXPOSED COLUMN CAPITALS**



**EXISTING COLUMN BASE
SPALLING MASONRY PAINT**



**EXISTING PILASTER
EXISTING DOWNSPOUT**

**SWEETEST HEART OF MARY
RECTORY PORCH RENOVATION**

EXISTING CONDITIONS

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 DETROIT



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22 MIL COPPER SHEET METAL COPING

UPPER FASCIA: CLAD WITH CLEAR CEDAR 1 X WOOD. PRIME WITH SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER #SW 6501-33416 AND PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)

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NEW 22 MIL COPPER FLASHING AT HOUSE

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EXISTING PAINTED STEEL SECURITY DOOR AND WOOD ENTRY DOOR TO REMAIN

EXISTING PAINTED STEEL HANDRAILS TO REMAIN

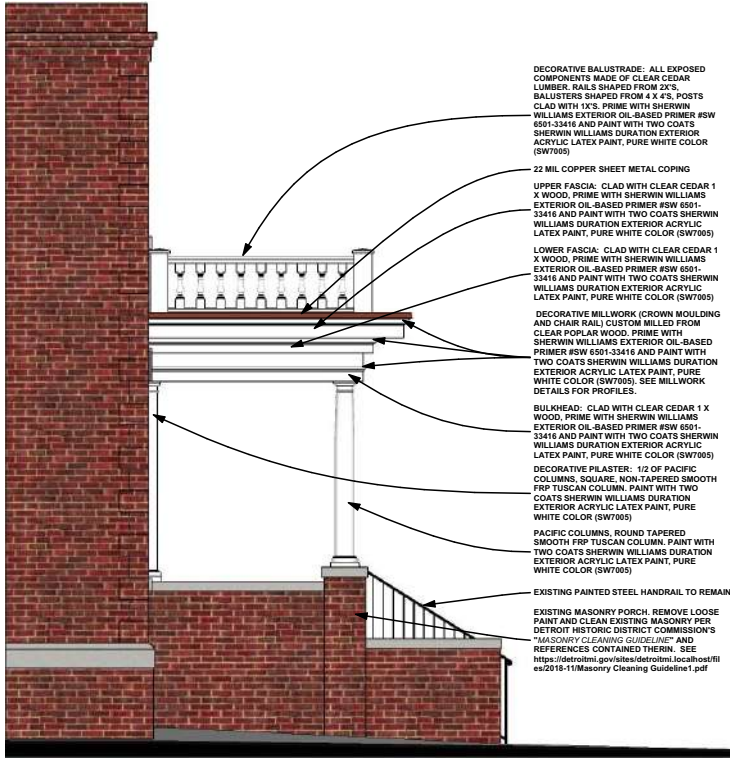
WEST ELEVATION

SWEETEST HEART OF MARY
RECTORY PORCH RENOVATION

PROPOSED ELEVATIONS

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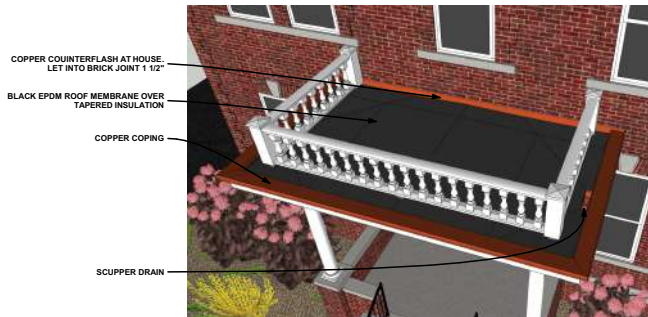




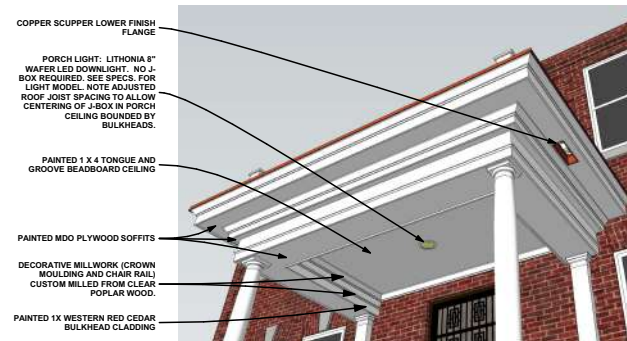
NORTH ELEVATION (SOUTH OPP.)



PERSPECTIVE VIEW



BIRDSEYE VIEW



WORMSEYE VIEW

**SWEETEST HEART OF MARY
RECTORY PORCH RENOVATION**

PROPOSED ELEVATIONS AND VIEWS

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Endura-Stone™ FRP Columns are virtually maintenance-free. They are impervious to insects and termites and rot, as well as staining and discoloring fungi. High-humidity environments have no effect on these non-porous, waterproof columns. All Endura-Stone™ Columns are covered by a limited lifetime warranty to the original purchaser. Warranty details are available from our website.

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Endura-Stone™ FRP Columns are the first fiberglass-reinforced polymer columns to address the limitations of plastics on industry tests (ASTM, BS-60) that measure the flame spread and smoke development of building components in a fire.

Product	Flame Spread	Smoke Development
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0
Endura-Stone™ FRP Column	0	0

PLAN TYPES
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- LOW MAINTENANCE
- WIDE ARRAY OF OPTIONS
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- READY TO PRIME AND PAINT
- EXTERIOR OR INTERIOR USE
- MADE WITH FLAME GUARD™

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FRP COLUMNS BY PACIFIC COLUMNS, INC.



PRIMER, PAINT BASE AND COLOR BY SHERWIN WILLIAMS



FLASHING AND COPING: TYPICAL 22 MIL COPPER FLASHING AND COPING MATERIAL



PORCH CEILING LIGHT BY LITHONIA



TYPICAL EPDM ROOF SIMILAR TO THAT PROPOSED FOR THIS PROJECT

SWEETEST HEART OF MARY RECTORY PORCH RENOVATION

FRP COLUMN / PILASTER, LIGHT, PAINT, FLASHING AND ROOFING MATERIALS

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DETROIT



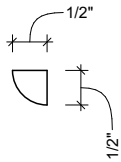
POPLAR
TO BE SHAPED INTO CUSTOM MOULDINGS PER
MILLWORK PROFILES
AND PAINTED



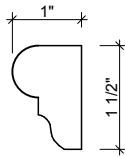
SOUTHERN YELLOW PINE
PORCH CEILING
1 X 4 TONGUE AND GROOVE BEADBOARD
TO BE PAINTED



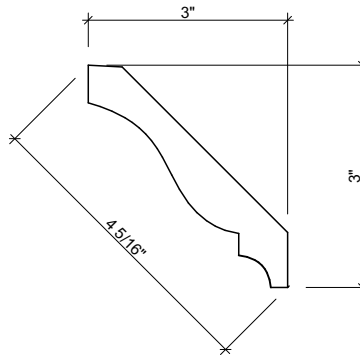
1 X WESTERN RED CEDAR BOARDS
#2 AND BETTER USED TO CLAD ALL
FASCIAS AND EXPOSED FRAMING AND
PAINTED.



**QUARTER-
ROUND**



**FRIEZE
TRIM**



**CROWN
MOULDING**



1/2 X 1/2 SOUTHERN YELLOW PINE
QUARTER-ROUND TRIM TO BE
PAINTED

NOTE: QUARTER ROUND SHAPED FROM SOUTHERN YELLOW PINE IS COMMERCIALY AVAILABLE. FRIEZE TRIM AND CROWN MOULDING TO BE CUSTOM MILLED FROM CLEAR POPLAR. PRIME ALL MILLWORK WITH SHERWIN WILLIAMS EXTERIOR OIL-BASED PRIMER #SW 6501-33416 AND PAINT WITH TWO COATS SHERWIN WILLIAMS DURATION EXTERIOR ACRYLIC LATEX PAINT, PURE WHITE COLOR (SW7005)

**SWEETEST HEART OF MARY
RECTORY PORCH RENOVATION**

PROPOSED MILLWORK MATERIALS AND PROFILES

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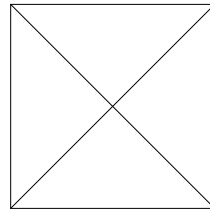




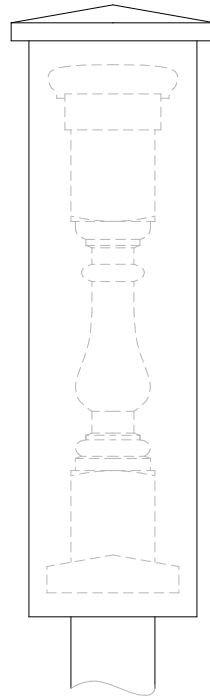
**WESTERN RED CEDAR 4 X 4
TO BE SHAPED INTO CUSTOM BALUSTRADE
SPINDLES (TO BE PAINTED)**



**2 X WESTERN RED CEDAR LUMBER
TO BE SHAPED FOR HORIZONTAL
BALUSTRADE MEMBERS AND POST CAPS
(TO BE PAINTED)**

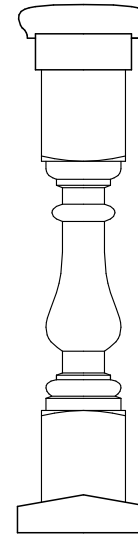


**BALUSTRADE POST PLAN DETAIL B-B
AT POST CAP**



BALUSTRADE POST ELEVATION

BALUSTRADE POST DETAILS
(DIMENSIONS FOR CUSTOM FABRICATION PROVIDED
IN CONSTRUCTION DOCUMENTS)



**BALUSTRADE SPINDLE
PROFILE**
(DIMENSIONS FOR CUSTOM FABRICATION
PROVIDED IN CONSTRUCTION
DOCUMENTS)



**1 X WESTERN RED CEDAR BOARDS
USED TO CLAD BALUSTRADE POSTS
(TO BE PAINTED)**

**SWEETEST HEART OF MARY
RECTORY PORCH RENOVATION**

PROPOSED BALUSTRADE MATERIALS AND DETAILS

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