

DHDC 22-8036

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

9/15/2022

CERTIFICATE OF APPROPRIATENESS (ADMINISTRATIVE APPROVAL)

Lillian Candela
Kraemer Design Group, LLC
1420 Broadway
Detroit, MI 48226

**RE: Application Number 22-8036; 2905 Garland Ave.; Dr. Ossian Sweet House Historic District
Project Scope: Rehabilitate Building Exterior**

Dear Applicant,

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission (“DHDC”) delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on 9/15/2022, as it meets the Secretary of the Interior’s Standards for Rehabilitation and the district’s Elements of Design:

Rehabilitate the building exterior including:

- ***cleaning, repairing, and repointing exterior masonry***
- ***repairing, replacing, repainting wood trim and shingles***
- ***rehabilitating historic windows and replacing non-historic windows with historically appropriate units***
- ***replacing the non-historic exterior doors with historically appropriate units***
- ***rehabilitating exterior stairs and adding hand railings***
- ***removing the rubble stone retaining wall***

per the submitted documents, drawings, and correspondence.

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Benjamin Buckley

August 22, 2022

City of Detroit
Historic District Commission
2 Woodward Ave., Suite 800
Detroit, MI 48226

RE: Dr. Ossian Sweet House, 2905 Garland Avenue

Dear Historic District Commission and HDC Staff,

Kraemer Design Group, LLC (KDG) is writing to the Historic District Commission on behalf of the City of Detroit in relation to the rehabilitation of the Dr. Ossian Sweet House located at 2905 Garland Avenue. Located on the city's east side the Dr. Ossian Sweet House is one of the most important early Civil Rights sites in Detroit and KDG is very proud to be assisting the City with this application. The City of Detroit is working cooperatively with the owner of the house to rehabilitate it in accordance with the Secretary of the Interior's Standards for Rehabilitation. Comprehensive exterior rehab is proposed and is being submitted here for the HDC's review. In brief, the exterior work includes

Physical Description

The house is a one-and-a-half story Craftsman style bungalow with its primary façade fronting on Garland Street. The primary (east) façade features a full width porch and a gabled dormer centered on the primary façade at the second floor. The first story is veneered in red brick in a running bond pattern while the upper story is clad in wood shingles, currently painted green. The main roof is a steeply sloped side gable covered in green asphalt shingles. The large side-facing end gables have raking verge boards. Four brick piers support the roof of the porch on the primary façade while a solid brick balustrade encases the porch and porch stairs. Two decorative concrete rain scuppers are located in the porch's solid balustrade to drain water off the floor of front porch. On the porch, there is a plaque on the brick knee wall that commemorates the listing of the house on the National Register of Historic Places and is set around a small surround of decorative Pewabic tiles. A box bay is located at the center point of the south façade while a two-story porch dominates the west (rear) façade of the house. As discussed in the scope of work section below, the rear façade of the house has had some changes over the years including the enclosure of the second story back porch. Historically, the porch on the rear façade was open as testimony for Dr. Sweet's trial indicates as much.¹ The house sits on a slightly elevated lot which rises about 1' above the grade of the sidewalk. A concrete walkway and concrete steps lead up to the front porch on the east façade. A concrete curb runs along Charlevoix at the back yard while a rubble rock retaining wall is found along the boundary of the lawn on Garland Avenue and along a portion of Charlevoix Avenue.

Brief Building History

The Dr. Ossian Sweet House was built in 1916 by a local contractor, Alois DeCruydt. In 1925 African American doctor Ossian Sweet bought the house which was located in an all white neighborhood at the time. When Dr. Sweet and his family attempted to move into the house in September of 1925, a violent mob of white neighbors and onlookers swarmed the house pelted it with rocks, bricks, and other material. Sweet and others in the house attempted to defend themselves and, in the melee, a white man was shot and killed. The murder trial that ensued was covered nationally. Local Black attorneys and the NAACP immediately began working on the defense and, later, the NAACP recruited legendary defense attorney Clarence Darrow to head the defense team. In late 1925, after intense deliberations the jury couldn't reach a verdict and a mistrial was declared. Later, Dr. Sweet's brother, Henry Sweet, was tried separately in the spring of 1926, but he was acquitted in May of that same year. In editorializing the acquittal, the *St. Paul Echo* offered this sobering summation of the whole affair, "Detroit must be congratulated, of course, for the decision in the Sweet case. It is a queer situation when people must be given especial credit for having done nothing more than

¹ "I might add this: That there is in the rear of the house an upstairs porch without any roof on it, on this house, about that position (indicating), and a passageway alongside the garage. Access to this porch is had through the upper hall, the second story hall. You go out through a door at the back of that hall, on that uncovered porch. You might call it a dust porch." *People v. Ossian Sweet, Gladys Sweet, et al.*, November 10, 1925, The Clarence Darrow Digital Collection, University of Minnesota Law School, 12.



dispense the justice which the courts of the land are supposed in all cases to guarantee to all the people who are taken before them. Even so, with the condition of double justice which has been built up in America because of the existing racial situation, such congratulation must be taken as not only sane, but well advised.” The high-profile nature of the case helped garner early financial support for the nascent NAACP Legal Defense Fund which would go on to argue some of the most important cases in U.S. legal history including *Brown v. Board of Education of Topeka* and *Shelley v. Kraemer*. The period of significance for this building is identified as 1925-1926 in the National Register of Historic Places nomination.

Scope of Work

This application will present the following exterior work planned for the building: masonry cleaning and restoration, wood repairs on exterior, window repair and replacement, site work, exterior lighting, and work proposed on the rear porch. The following is a detailed description of each exterior feature proposed to be rehabilitated:

Masonry

The building is a wood framed, two story structure that is faced in brick and wood shingle. The brick is in good to fair condition with some missing mortar, loose units, cracking, and spalling. The brick will be inspected for damage, cleaned, repaired, and repointed. Repointing repairs completed in the past utilized non-historic mortar which has been added between brick units. These past repairs often don't match the original mortar in strength or color. There are some instances of cracking, specifically where the front porch is pulling away from the main structure. In these instances, the brick shall be reset. The majority of the brick has no discoloration except on the north elevation where a downspout is missing and there is some resulting efflorescence and algae growth. There is a large pile of bricks along the north side of the building which match the original units in size and color. The bricks were salvaged from the garage which was demolished following a fire in 2019. It is proposed that the salvaged bricks would be used for any localized replacement as they match the brick on the house. A custom mortar will be mixed to match the color and composition of the historic mortar to ensure the new repointing blends with the historic mortar. The brick will be cleaned with a water and detergent wash.

Exterior Wood Elements

The second floor of the house is clad in wood shingles which are painted a dark green color. The trim, barge boards, and window casings are also wood, all of which are painted white. The wood on the house shows areas of decay and flaking paint. All decayed and damaged wood will be removed and replaced with matching wood elements. All wood elements will be scrapped and repainted. The wood shingles may be repainted a dark yellow (which is approved color B:2 in the City of Detroit Historic District Commission's Color System E and which is appropriate for wood shingles on Craftsman style houses. Trim, barge boards, and window casings will be repainted a Yellowish White (color C:4 in the City of Detroit Historic District Commission's Color System E. The actual paint colors used will be selected from the Benjamin Moore historical color chart to match the Color System E offerings as closely as possible. The paint colors will be provided to HDC staff prior to painting.

Windows

The house has the majority of its historic wood windows but there are some non-historic units: the large picture window located on the primary façade on the first floor, two aluminum slider sash window units on the north façade, and the lower and upper enclosed porches on the rear façade have non-original windows as well. Several basement windows at grade have been infilled with glass block and two original window openings on the north façade have been infilled with wood. The historic units are in fair condition overall with decay noted at the sills and the frames and muntins in some cases. Flaking paint is ubiquitous. The non-historic window unit on the primary façade is in fair to good condition although it is not historically appropriate as is the glass block infill at the basement windows. The window units on the two rear porches (upper and lower) are in poor condition with broken glazing and signs of decay at the mullions. The existing storm windows are in poor condition and will be removed and disposed of. All extant historic windows will be repaired and retained by Turner Restoration LLC. The glass block basement windows will be retained as-is. On the primary façade, the non-historically compatible picture window will be removed and replaced with three historic replica window units with prairie style 9-over-1 lites (to match the windows located on this façade in the second story dormer). The replacement units for the north façade will be historic replica 1-over-1 units. The historic replica units will



be provided by Jeld Wen. The replacement units will be custom wood windows to match the style and profiles of the existing windows. The replacement units will have a flat casing exterior trim to match existing. The two units boarded over on the north façade will have glazing re-introduced into the frames which we believe are located behind the board.

Doors

There are four existing exterior doors currently on the house. One door is located on primary façade, one door is located on the side elevation facing Charlevoix Street, and two doors are on the rear façade: one inside the enclosed porch and one adjacent to the enclosed porch. The doors are all non-historic and appear to date to the mid-century or later. These doors are flush veneer panel doors in poor condition. Each door is covered by a decorative metal security door. These security doors are also non-historic. The security doors and non-historic exterior doors will be removed and replaced with new exterior doors in an appropriate Craftsman style. If a historically appropriate door can be locally salvaged that may be used at the front entrance, otherwise a new Craftsman style door to match the others shall be installed. The doors will be painted to match the selected trim color as described above.

Site Work

There are three sets of steps on the exterior of the house: at the front entrance on the east elevation, at the side entrance on the south elevation, and a non-original stair into the enclosed rear porch. All three stairs are concrete and are in fair to poor condition. Both the front and side stairs have settled and there are large open joints between the steps. The front stair is painted grey. The paint is worn away and flaking in spots. Due to the settlement the rise between each stair is no longer equidistant creating a potential trip hazard. The rise between steps varies from 6" to 7 ¾". There is currently no handrail at this stair. All three stairs will be rehabilitated, and each set of stairs will receive a new black metal hand railing.

The rubble rock retaining wall on the front lawn and the concrete curb at the rear lawn will both be removed. Portions of the concrete wall at the rear yard are cracked and several sections of the rubble rock wall at the front are crumbling and collapsing onto the sidewalk. These walls are not original since early photographs show the house with a lawn that slopes gradually down to where it meets the public sidewalk. Additionally, because the site has been slightly built up over time due to material accumulation, the water problems in the basement are likely exacerbated by the additional organic material that has been pushed up against the side of the house near grade. For these reasons, the retaining wall and curb will be removed, and the site will be graded and sloped down toward the sidewalk to alleviate water issues and to return the site to the historic condition as it existed during the period of significance for this building.

West Façade & Rear Porch

A small brick framed one-story back-room projects off the core block of the house on the west façade and is original. A small porch is located directly adjacent to this back room and provides covered access from the backyard into the first-floor kitchen. There is an enclosed upper porch that sits atop the one-story brick framed back room and the wooden porch below. This upper porch was enclosed at an unknown date although trial testimony indicates the upper porch was open and not enclosed in 1925. The upper enclosed porch is in poor condition with extensive water damage evident on the ceilings and walls while the windows are in poor condition with broken panes and damaged seals. Although there are no extant historic photos that show the west (rear) façade, because of the trial testimony, we believe the historic condition was likely an open upper porch with a low railing. The project team is currently working in collaboration with the homeowner to determine the final work scope for the rear porch. Two paths forward are likely: either removing the enclosed upper porch and returning the rear façade to its historic configuration at the time of Ossian Sweet's arrest and trial or retaining the enclosed upper porch and repairing and replacing any deteriorated elements including the windows and framing. Once the final work scope for the rear porch is determined, it shall be communicated to HDC Staff for approval.

Exterior Lighting



There are two exterior sconces on the building, one at the front entry (Garland Avenue facing) and one at the side entry (Charlevoix Avenue facing). Neither of these two fixtures are original. A globe light is located on the front lawn just beside the main entry walkway. The earliest known photos of the Ossian Sweet house either do not show this light or the light is located just out of the frame of these early photos. That being said, these globe lights are a common feature on Garland Avenue indicating they were probably installed *en masse* at the time of development or an early date thereafter. Because of this, this globe light will remain and will be repaired. Historically appropriate salvaged exterior lights will be sourced from local architectural salvage yards and will be installed at the primary and secondary entrances on the house in the location of the existing exterior lights. These replacement fixtures have not yet been selected.

Signage

No interpretive signage is anticipated at this time.

Landscaping

In order to address the water infiltration issues currently affecting the basement all landscaping will be removed so the site can be regraded and to remove the buildup of material which has accumulated against the house. After regrading, the site will be hydroseeded.

Gutters and Downspouts

The gutters and downspouts are in poor condition and are missing components throughout. The downspouts on the east and south elevations are in fair condition while the downspout on the north elevation is missing causing water to drain down the masonry façade and creating areas of efflorescence and algae growth on the brick. The gutters and downspouts will be repaired, and missing components will be installed with new to match the current extant pieces.

Roof

The roof consists of green asphalt shingles. According to the property owner, the roof was replaced four years ago. Architecturally, the roof appears to be in good condition although there are some areas where exposed flashing has come loose, particularly near the rear enclosed porch. At this time, no work is contemplated on the roof beyond refastening the flashing as the roofing material is newer and it will remain as is.

The items listed above provide a synopsis of the proposed scope of work for the rehabilitation of the building. Further detail is provided in the attached drawings and photos. Please contact me if you have further questions.

Sincerely,

Kraemer Design Group, LLC



Lillian Candela, RA
Project Architect & Architectural Historian



EXAMPLE OF BLACK METAL RAILING PROPOSED FOR FRONT AND SIDE STAIRS



D I C



OSSIAN SWEET HOUSE

100% OWNER REVIEW
10-25-2021

PROJECT LOCATION: 2905 GARLAND STREET
DETROIT, MI 48214

OWNER: CITY OF DETROIT
HOUSING AND REVITALIZATION DEPT.
2 WOODWARD AVE, SUITE 909
DETROIT, MI 48226

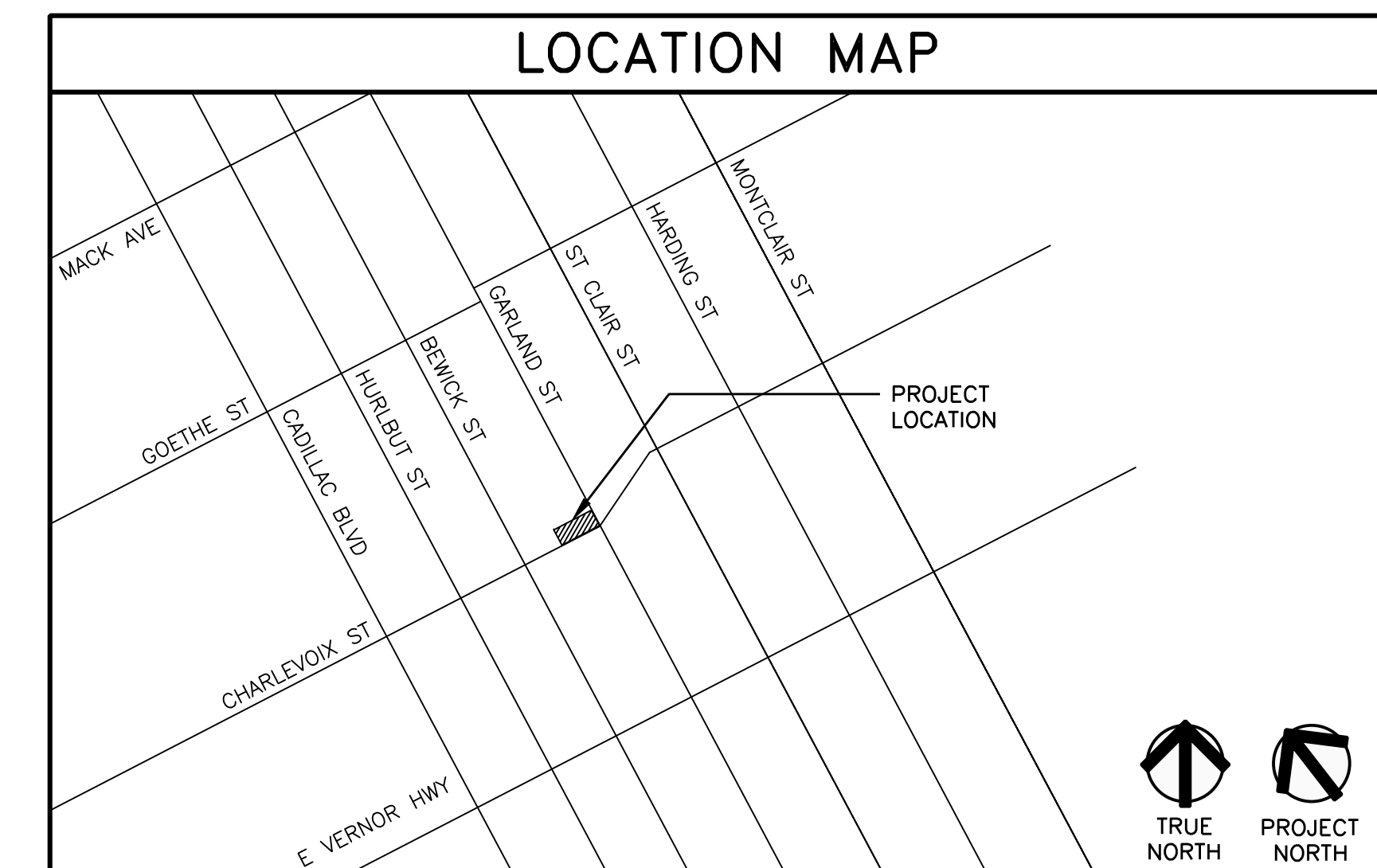
ARCHITECT OF RECORD: KRAEMER DESIGN GROUP, LLC
ROBERT J. KRAEMER, RA, NCARB, IIDA
STATE OF MICHIGAN CERTIFICATE NO. 1301040246
1420 BROADWAY
DETROIT, MI 48226
www.thekraemeredge.com
(313) 965-3399

STRUCTURAL ENGINEER: SILMAN
JOSEPH TORTORELLA
MI LICENSE # 6201068935
211 N FOURTH AVENUE, SUITE 2A
ANN ARBOR, MI 48104

CODE SUMMARY	
PROJECT DESCRIPTION:	REPAIRS TO EXISTING OCCUPIED 1.5 STORY BUNGALOW HOUSE, WOOD AND BRICK CONSTRUCTION
ZONING:	R-2 - TWO-FAMILY RESIDENTIAL DISTRICT
OCCUPANCY CLASSIFICATION:	R-3
CONSTRUCTION TYPE:	V, NON-SPRINKLERED, FIRE ALARM
APPLICABLE CODES:	<p>BUILDING: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015, MICHIGAN RESIDENTIAL CODE (MRC) 2015 AS REFERENCED BY MRCEB.</p> <p>MECHANICAL: MICHIGAN MECHANICAL CODE (MMC) 2015</p> <p>PLUMBING: MICHIGAN PLUMBING CODE (MPC) 2015</p> <p>ELECTRICAL: MICHIGAN/NATIONAL ELECTRICAL CODE (NEC) 2014 WITH PART 8 AMENDMENTS</p> <p>LIFE SAFETY: NFPA 101 2009 / DETROIT FIRE CODE</p> <p>ENERGY: MICHIGAN UNIFORM ENERGY CODE 2015 A BUILDING THAT HAS BEEN SPECIFICALLY DESIGNATED AS HISTORICALLY SIGNIFICANT BY THE ADOPTING AUTHORITY OR IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES OR HAS BEEN DETERMINED TO BE ELIGIBLE FOR LISTING BY THE U.S. SECRETARY OF THE INTERIOR NEED NOT COMPLY WITH THE PROVISIONS OF SECTIONS 5, 6, 7, 8, 9 AND 10 OF THE ASHRAE 90.1 STANDARD. (ASHRAE 90.1, EXCEPTION 1 TO PARAGRAPH 4.2.1.3, REFERENCED BY MEC C503.1)</p> <p>ACCESSIBILITY: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (MRCEB) 2015, SECTION 410, ALTERATIONS REFERENCE MBC 2015, ICC/ANSI A117.1 2009 EX 611/707, ADA ACCESSIBILITY GUIDELINES (ADAAG)</p>

BID ALTERNATES	
ALL ALTERNATES SHALL BE BID FROM ALL TRADES. TRADE TO INCLUDE DESIGN COST FOR ALTERNATE. PROVIDE ZERO SUM IF TRADE IS NOT REQUIRED.	
<p>BID ALTERNATE NO. 1: INTERIOR REPAIRS BASE BID: EXTERIOR REPAIRS ONLY. DO NOT INCLUDE SHEETS A101, A102, A11, A112 ADD ALT: EXTERIOR AND INTERIOR REPAIRS, SEE ALL SHEETS</p>	
<p>BID ALTERNATE NO. 2: WINDOWS BASE BID: DRAWING NUMBER A201 AND A202: REPAIRS TO MISSING OR DAMAGED UNITS AS SHOWN ADD ALT: (3) NON-ORIGINAL WINDOWS TO BE REPLACED WITH HISTORICALLY APPROPRIATE REPRODUCTIONS OF THE ORIGINAL WOOD FRAME WINDOWS. MANUFACTURERS: ANDERSON WINDOWS, MARVIN WINDOWS AND DOORS, PARRETT WINDOWS AND DOORS, WEATHERSHIELD, QUAKER. CONFIRM FINAL MANUFACTURER AND WINDOW DESIGN WITH ARCHITECT PRIOR TO PURCHASING.</p>	
<p>BID ALTERNATE NO. 3: REAR PORCH BASE BID: REPAIRS TO EXISTING TWO-STORY REAR PORCH STRUCTURE. DO NOT INCLUDE SHEET A103. ADD ALT: DEMOLITION OF EXISTING TWO-STORY REAR PORCH STRUCTURE AND CONSTRUCTION OF NEW WOOD FRAME PORCH AND SECOND FLOOR ROOF DECK. SEE SHEET A103.</p>	

SHEET INDEX		SHEET ISSUED		
#	SHEET TITLE	50% OWNER REVIEW	90% OWNER REVIEW	100% OWNER REVIEW
		07-10-20	07-31-20	10-25-21
	COVER			
ARCHITECTURAL				
G001	CODE SUMMARY			
AS101	ARCHITECTURAL SITE PLAN			
A101	BASEMENT & FIRST FLOOR PLAN			
A102	SECOND FLOOR & ROOF PLAN			
A103	BID ALTERNATE #3			
A111	BASEMENT & FIRST FLOOR RCP			
A112	SECOND FLOOR RCP			
A201	EAST & NORTH ELEVATIONS			
A202	WEST & SOUTH ELEVATIONS			
A311	EXTERIOR DETAILS			
A511	INTERIOR DETAILS			
A611	WINDOW ELEVATIONS			



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Consultant

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HOUSING AND REVITALIZATION DEPT
2 WOODWARD AVE, SUITE 909
DETROIT, MICHIGAN

Project / Owner

PRELIMINARY
NOT FOR
CONSTRUCTION

Seal

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100% OWNER REVIEW	10-25-21
90% OWNER REVIEW	07-31-20
50% OWNER REVIEW	07-10-20
Revision	Date

Date
Project Number 2020009

Sheet Title
COVER

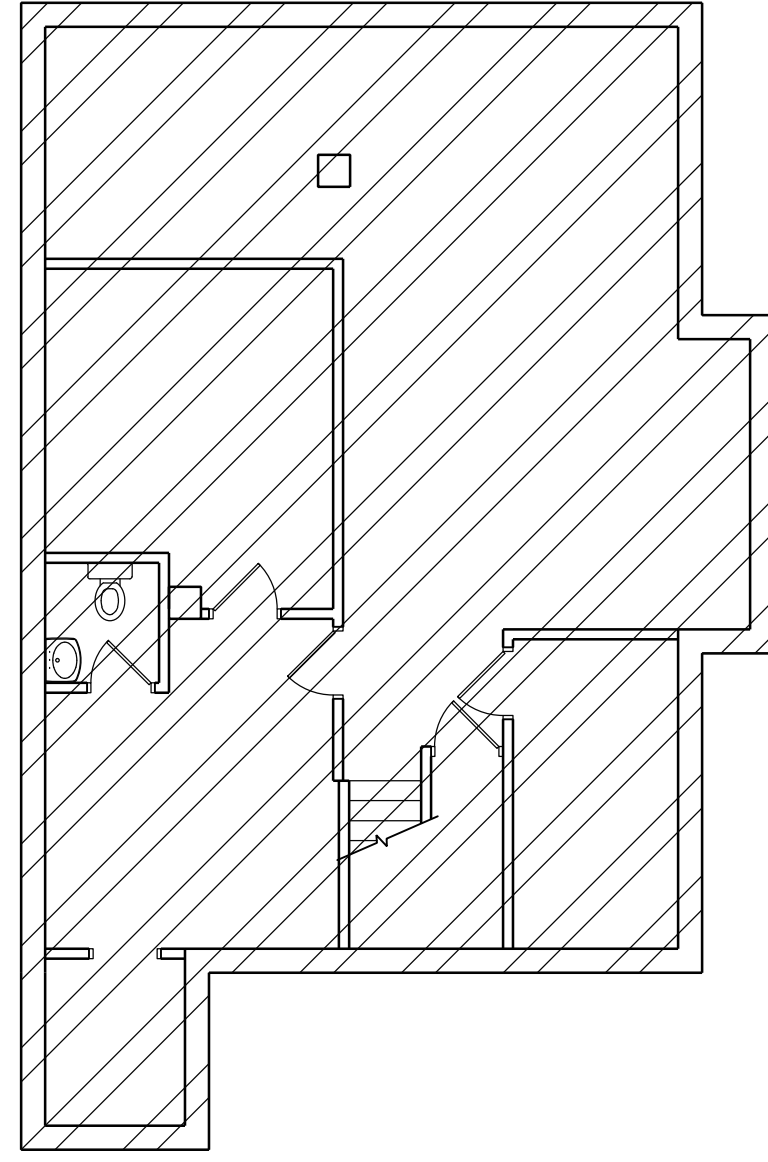
Sheet Number

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LEVEL 1 AND LEVEL 2 WORK AREAS

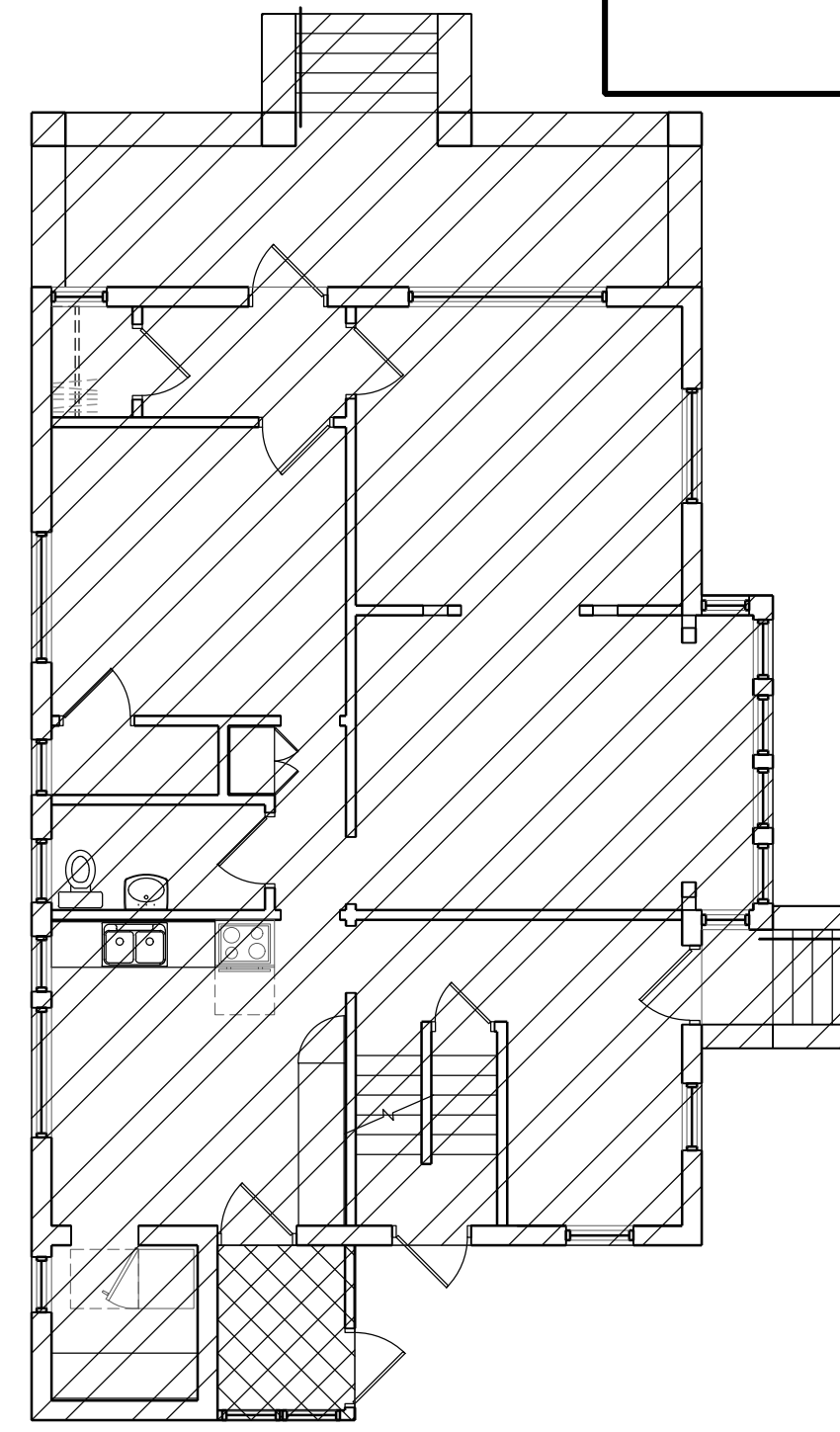
LEGEND

-  LEVEL 1 WORK
-  LEVEL 2 WORK



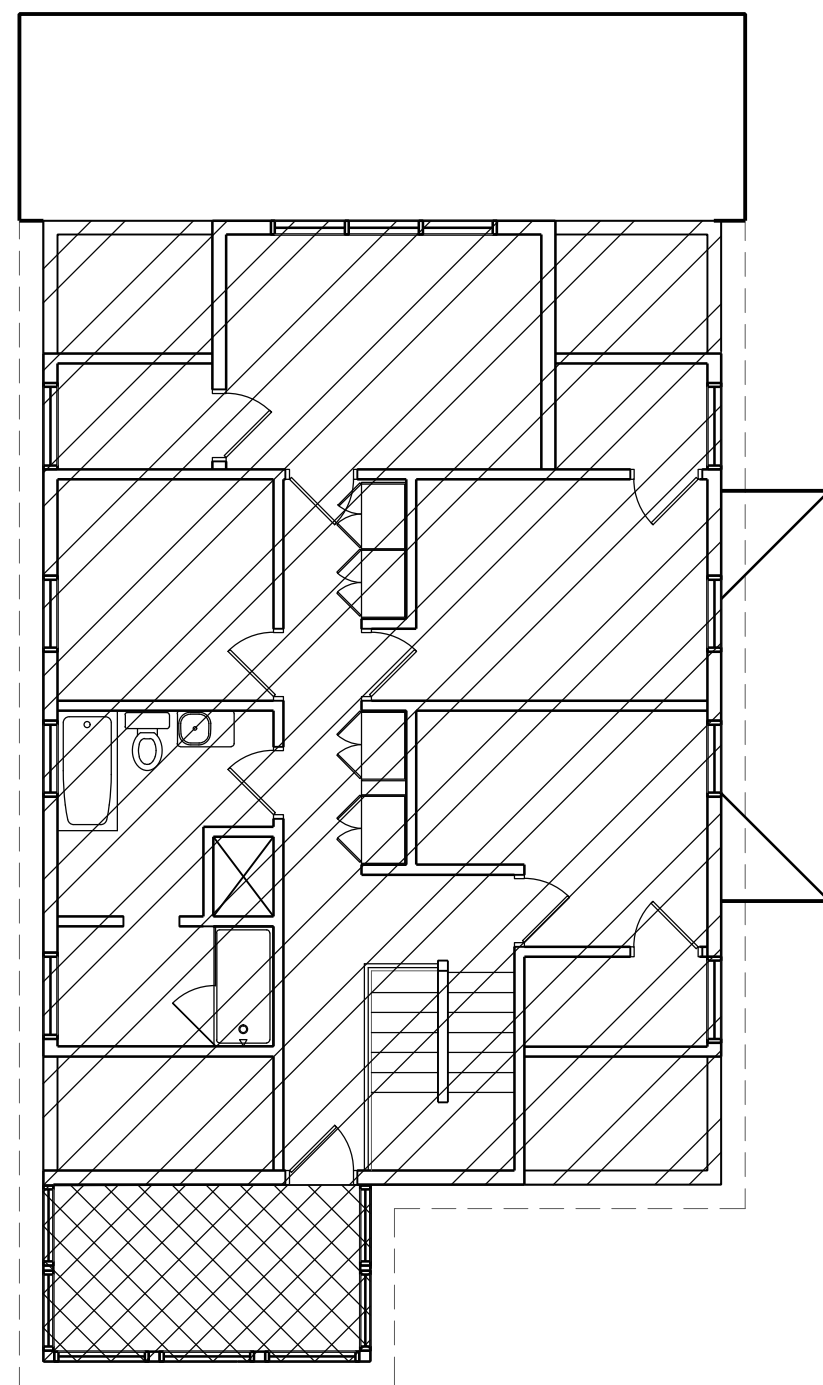
BASEMENT FLOOR PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



0 8' 16' 32' 64'
SCALE : 1/32" = 1'-0"

PLOTTED ON 10/25/2021 1:33 PM | PLOTTED BY LILLIAN CANDELA

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1420 Broadway | Detroit, MI 48226 | p 313 965 3399 | f 313 965 3555
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100% OWNER REVIEW	10-25-21
90% OWNER REVIEW	07-31-20
Revision	Date

Date

Project Number 2020009

Sheet Title
CODE SUMMARY

Sheet Number

G001

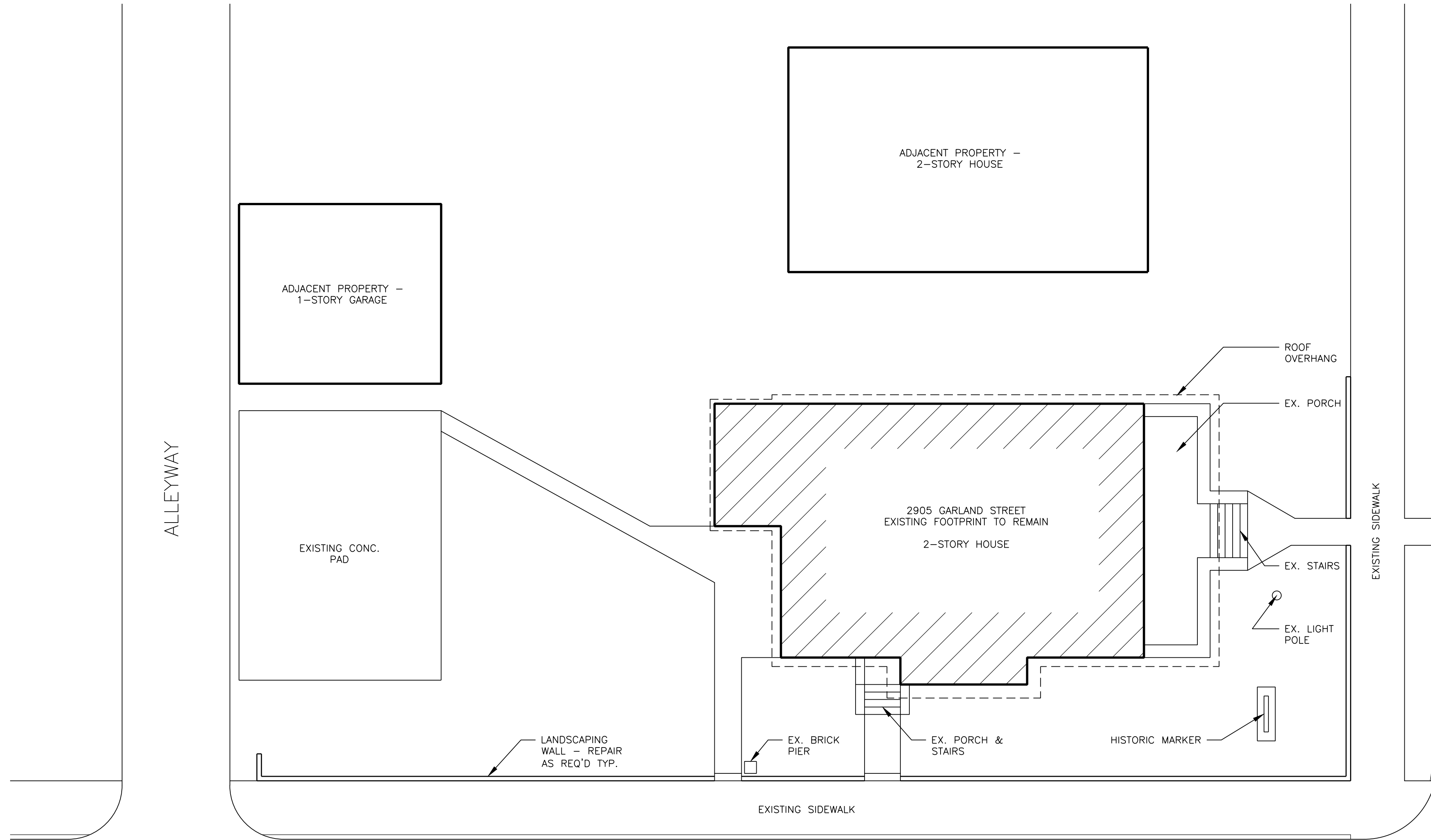
D C B

1

2

3

4



CHARLEVOIX STREET
(30 FT WIDE - PUBLIC)

GARLAND STREET
(30 FT WIDE - PUBLIC)

ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"

GENERAL SITE NOTES

1. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE PLANS AND/OR PROJECT SPECIFICATIONS. ANY WORK NOT COVERED SHALL CONFORM TO THE CITY'S STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF PUBLIC IMPROVEMENTS OR THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MICHIGAN DEPARTMENT OF TRANSPORTATION, LATEST EDITION AND SUPPLEMENTALS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WHO MIGHT HAVE UTILITY LINES ON OR ABOUT THE PREMISES, OR WHO MIGHT BE AFFECTED BY THE CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE UTILITY COMPANIES TO ENSURE COMPLIANCE TO THE PROJECT SCHEDULE ESTABLISHED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT EXISTING UTILITY LINES AND SHALL REPAIR ANY DAMAGES AT HIS OWN EXPENSE.
3. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM ON ALL CONCRETE WALKS, RAMPS, AND PAVING SURFACES.
4. MAINTENANCE OF SEEDED AND SODDED AREAS SHALL INCLUDE ALL NECESSARY FERTILIZATION AND WATERING UNTIL SUCH TIME AS PROPER VEGETATION AND ROOT GROWTH IS ESTABLISHED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING BARRICADES AND OTHER TRAFFIC CONTROL DEVICES AS NECESSARY AROUND THE PERIMETER.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SIDEWALKS AND ACCESSIBLE RAMPS ARE IN COMPLIANCE WITH THE ADAAG REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DESIGN INFORMATION AND ADAAG REGULATIONS PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL SATISFY HERSELF/HIMSELF AS TO EARTHWORK QUANTITIES PRIOR TO BIDDING.

LEGAL DESCRIPTION

2905 GARLAND STREET, DETROIT, MI 48214
 LAND LOCATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN.
 W GARLAND S. 17 FT 469 N 26.44 FT 468 BEWICKS SUB L23
 P14 PLATS, W C R 21/530 43.44 IRREG

KraemerDesignGroup
 1420 Broadway | Detroit, MI 48226 | P 313 965 3399 | F 313 965 3555
 www.kraemerdsg.com

Architect

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 211 N FOURTH AVE, SUITE 2A
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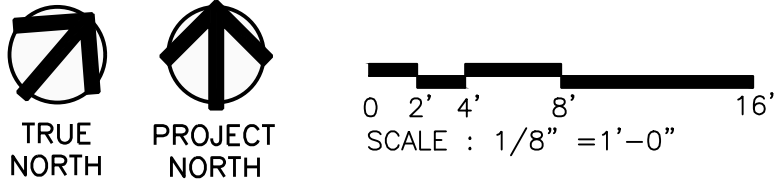
100% OWNER REVIEW	10-25-21
90% OWNER REVIEW	07-31-20
Revision	Date

Date	
Project Number	2020009

Sheet Title
ARCHITECTURAL SITE PLAN

Sheet Number

AS101



10/25/2021 1:33 PM | PLOTTED BY LILLIAN CANDELA

D

C

B

A

GENERAL NOTES

- A. PROVIDE NEW SWITCH PLATES AT SWITCH LOCATIONS WHERE NO PLATES CURRENTLY EXIST. REPAIR SURROUNDING PLASTER IF DAMAGED.
 - B. REPLACE DAMAGED OR MISSING TRANSITION STRIPS AT DOOR THRESHOLDS TO MATCH EXISTING.
 - C. STRIP PAINT AND REFINISH ALL WOOD MOLDINGS, TRIM, AND MILLWORK WHERE CURRENTLY PAINTED. STAIN TO MATCH ORIGINAL FINISH.
 - D. REPAIR CRACKED OR DAMAGED PLASTER WALLS AND CEILINGS. IF DAMAGE REQUIRES SUBSTANTIAL AMOUNT OF PLASTER TO BE REPLACED, GYPSUM BOARD PAINTED TO MATCH EXISTING IS ACCEPTABLE.
- WORK IN EXISTING STRUCTURES
- E. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASEMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASEMENT.
 - F. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
 - G. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
 - H. WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
 - I. ALTERNATE PARTITION ASSEMBLIES THAT VARY FROM THE ASSEMBLIES PROVIDED IN THE PARTITION SCHEDULE TO BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR CONSIDERATION. ALTERNATE ASSEMBLIES MAY REQUIRE REVIEW BY THE LOCAL JURISDICTION. ANY REVIEW SHALL NOT CONSTITUTE A CLAIM FOR DELAY.
 - J. WHERE FINISHES ARE SPECIFIED ON THE FLOOR PLAN REMOVE ALL EXISTING FINISHES, PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE. PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

- K. PROVIDE TEMPORARY DUSTPROOF PARTITIONS AS REQUIRED TO PROTECT ALL EXISTING AREAS FROM DAMAGE.
- L. STRUCTURAL REPAIRS NOTED ARE BASED ON A LIMITED REVIEW OF CURRENTLY EXPOSED STRUCTURAL ELEMENTS. NO INVASIVE INVESTIGATIONS, INCLUDING REMOVAL OF FINISHES STILL INTACT, HAVE BEEN PERFORMED TO DATE. WHERE FINISHES ARE CALLED TO BE REMOVED IN THESE DOCUMENTS, CONTRACTOR IS TO REVIEW EXISTING STRUCTURE BEHIND FINISHES WITH A LICENSED STRUCTURAL ENGINEER PRIOR TO REPAIRING FINISHES TO DETERMINE CONDITION OF STRUCTURE AND LEVEL OF REPAIRS NEEDED. CONTRACTOR TO PROVIDE ALLOWANCE FOR INTERIOR STRUCTURAL REPAIRS THAT MAY BE NEEDED ONCE STRUCTURE IS EXPOSED FOR REVIEW.

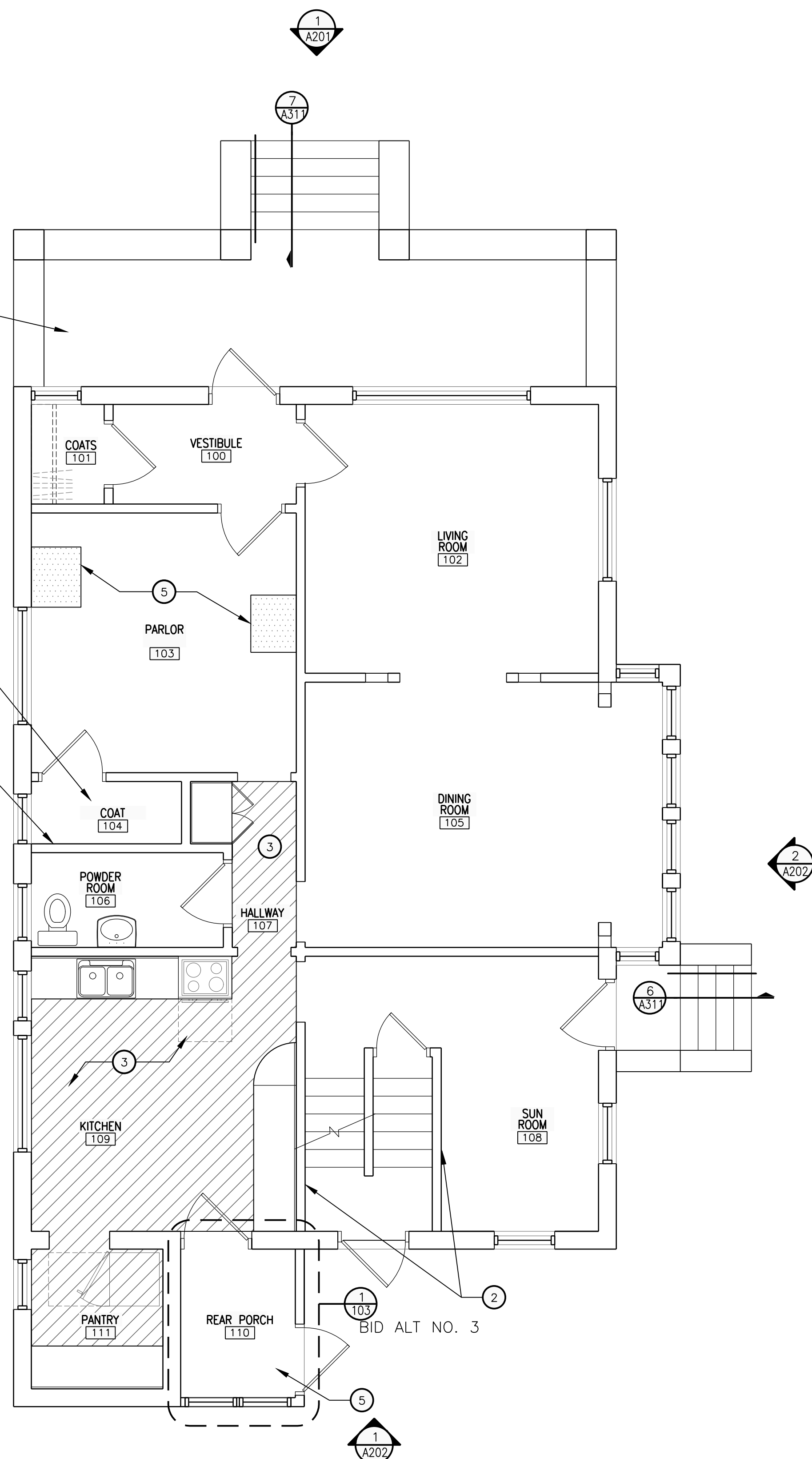
NON-HISTORIC FLOORING MATERIAL LEGEND

- VINYL TILE FLOORING - EXISTING. SEE CONSTRUCTION KEYNOTE 4 FOR TREATMENT
- LINOLEUM - EXISTING. SEE CONSTRUCTION KEYNOTE 3 FOR TREATMENT
- CARPET - EXISTING. SEE CONSTRUCTION KEYNOTE 3 FOR TREATMENT
- AREA OF DAMAGED OR DETERIORATED WOOD FRAMING ELEMENTS

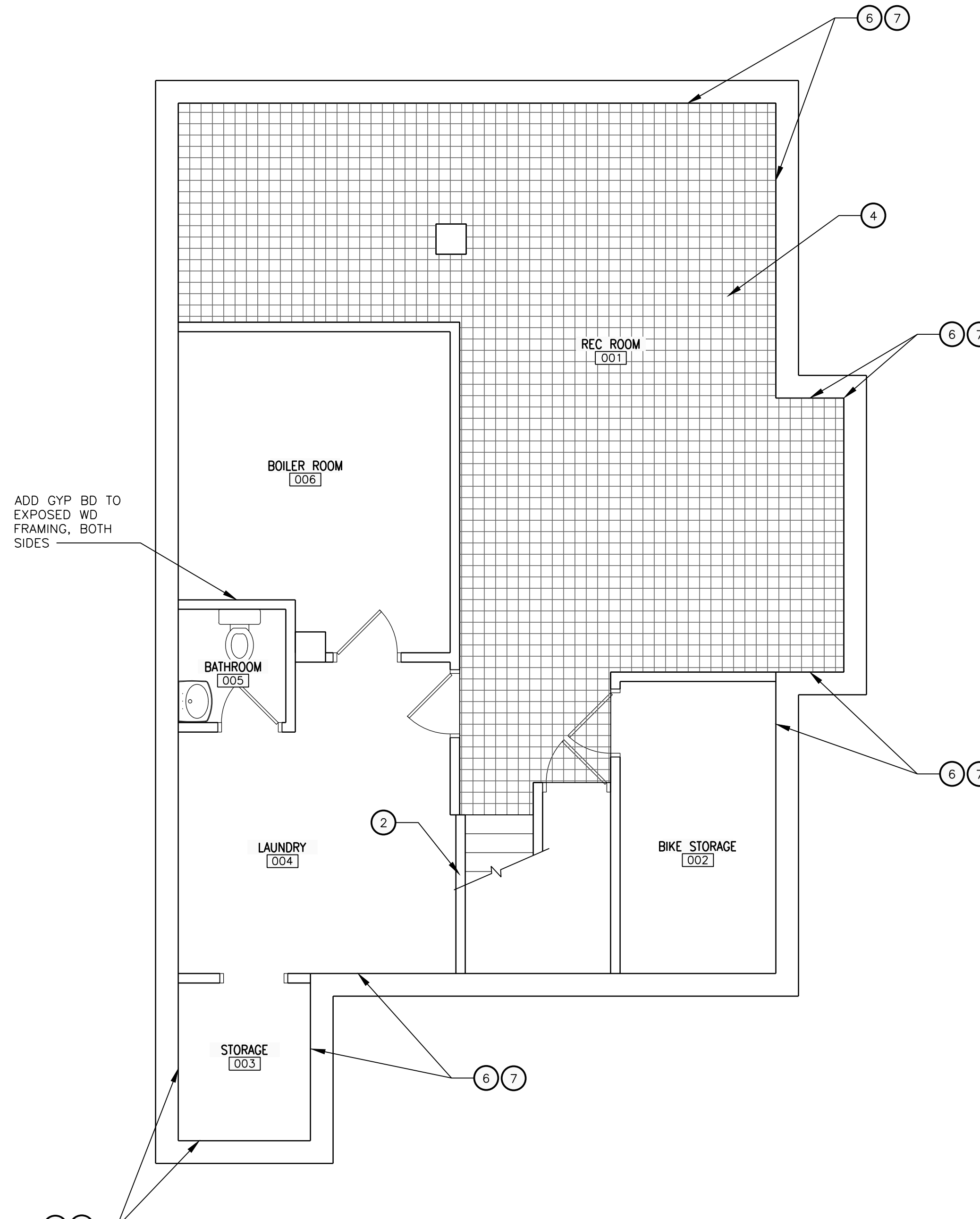
CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- 1. PATCH AND REPAIR PLASTER WALL TO MATCH EXISTING. REFER TO GENERAL NOTES FOR INSTRUCTION.
- 2. PROVIDE NEW HISTORICALLY COMPATIBLE WALL MOUNTED HANDRAIL. HANDRAIL SHOULD BE SOLID PINE OR WHITE OAK WITH ROUND PROFILE.
- 3. REMOVE AND DISPOSE OF EXISTING NON-HISTORIC FLOORING, REFINISH AND STAIN WOOD FLOOR BENEATH TO MATCH EXISTING WHITE OAK STRIP FLOORING. IF WOOD FLOOR BENEATH IS FOUND TO BE IN POOR CONDITION, REPLACE WITH NEW WHITE OAK STRIP FLOORING. PLANK SIZE TO MATCH EXISTING.
- 4. TEST FOR ASBESTOS ON VINYL TILE FLOORING. IF ASBESTOS IS FOUND, CONTRACTOR SHALL ENCAPSULATE AND ABATE THE AFFECTED AREA.
- 5. REMOVE AND REPLACE DAMAGED OR DETERIORATED WOOD FRAMING ELEMENTS. REPLACEMENT TO MATCH ORIGINAL IN SIZE AND BE A MINIMUM OF DF NO. 1 OR BETTER FOR BEAMS AND DF NO. 2 OR BETTER FOR JOISTS. CONTRACTOR TO PROVIDE SHORING AS NEEDED FOR ELEMENT REPLACEMENT, AS WELL AS ALL NECESSARY CONNECTIONS FOR SUPPORTED AND SUPPORTING FRAMING. SEE NOTE R.
- 6. REMOVE AND DISPOSE OF WOOD PANELING WHERE EXISTING. SCRAPE FLAKING PAINT FROM BRICK. REMOVE AND REPLACE DETERIORATED BRICKS. MASONRY CONTRACTOR TO DETERMINE EXTENT OF DAMAGE WITHIN JOINTS TO BE REVIEWED WITH DESIGN TEAM. CONTRACTOR TO CONDUCT A DEEP RAKING TO REMOVE ALL DETERIORATED MORTAR. DEPENDING UPON EXTENT OF DAMAGED MORTAR, REPAIR MAY NEED TO INCLUDE A DEEP GROUTING AND OR DEEP REPOINTING TO ENSURE WALL IS COMPLETELY SOLID ONCE REPAIRS ARE COMPLETE.
- 7. APPLY FLUID APPLIED CRYSTALLINE WATERPROOFING TO ALL BRICK FOUNDATION WALLS.
- 8. REMOVE EXISTING GUTTER AND REPLACE WITH NEW ALUMINUM GUTTER AND DOWNSPOUT TO MATCH EXISTING IN SIZE AND PROFILE. DOWNSPOUTS TO EXTEND AND DRAIN AWAY FROM STRUCTURE.

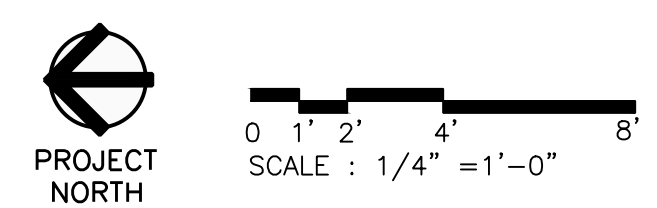


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

BID ALTERNATE NO. 1: INTERIOR REPAIRS
BASE BID: EXTERIOR REPAIRS ONLY, DO NOT
INCLUDE SHEETS A101, A102, A11, A112
ADD ALT: EXTERIOR AND INTERIOR REPAIRS, SEE
ALL SHEETS



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50% OWNER REVIEW	07-10-20
Revision	Date

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Project Number 2020009

Sheet Title
BASEMENT & FIRST FLOOR PLAN

Sheet Number

A101

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Project Number 2020009

Sheet Title
SECOND FLOOR & ROOF PLAN

Sheet Number

A102

GENERAL NOTES

- A. PROVIDE NEW SWITCH PLATES AT SWITCH LOCATIONS WHERE NO PLATES CURRENTLY EXIST. REPAIR SURROUNDING PLASTER IF DAMAGED.
- B. REPLACE DAMAGED OR MISSING TRANSITION STRIPS AT DOOR THRESHOLDS TO MATCH EXISTING.
- C. STRIP PAINT AND REFINISH ALL WOOD MOLDINGS, TRIM, AND MILLWORK WHERE CURRENTLY PAINTED. STAIN TO MATCH ORIGINAL FINISH.
- D. REPAIR CRACKED OR DAMAGED PLASTER WALLS AND CEILINGS, IF DAMAGE REQUIRES SUBSTANTIAL AMOUNT OF PLASTER TO BE REPLACED, GYPSUM BOARD PAINTED TO MATCH EXISTING IS ACCEPTABLE.

WORK IN EXISTING STRUCTURES

- E. WHERE NEW GYPSUM BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASUREMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASUREMENT.
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- G. PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
- H. WHERE EXISTING FIRE-RESISTANCE RATED PARTITIONS ARE DAMAGED OR HAVE EXISTING OPENINGS, PARTITION TO BE PATCHED AND REPAIRED WITH MATERIALS MATCHING THE EXISTING ASSEMBLY TO MEET THE REQUIRED FIRE RESISTANCE RATING. CONTRACTOR TO REVIEW THE CONDITION OF ALL PARTITIONS IN THE FIELD.
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- J. WHERE FINISHES ARE SPECIFIED ON THE FLOOR PLAN REMOVE ALL EXISTING FINISHES. PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE. PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
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NON-HISTORIC FLOORING MATERIAL LEGEND

- VINYL TILE FLOORING - EXISTING. SEE CONSTRUCTION KEYNOTE 4 FOR TREATMENT
- LINOLEUM - EXISTING. SEE CONSTRUCTION KEYNOTE 3 FOR TREATMENT
- CARPET - EXISTING. SEE CONSTRUCTION KEYNOTE 3 FOR TREATMENT
- AREA OF DAMAGED OR DETERIORATED WOOD FRAMING ELEMENTS

CONSTRUCTION KEYNOTES

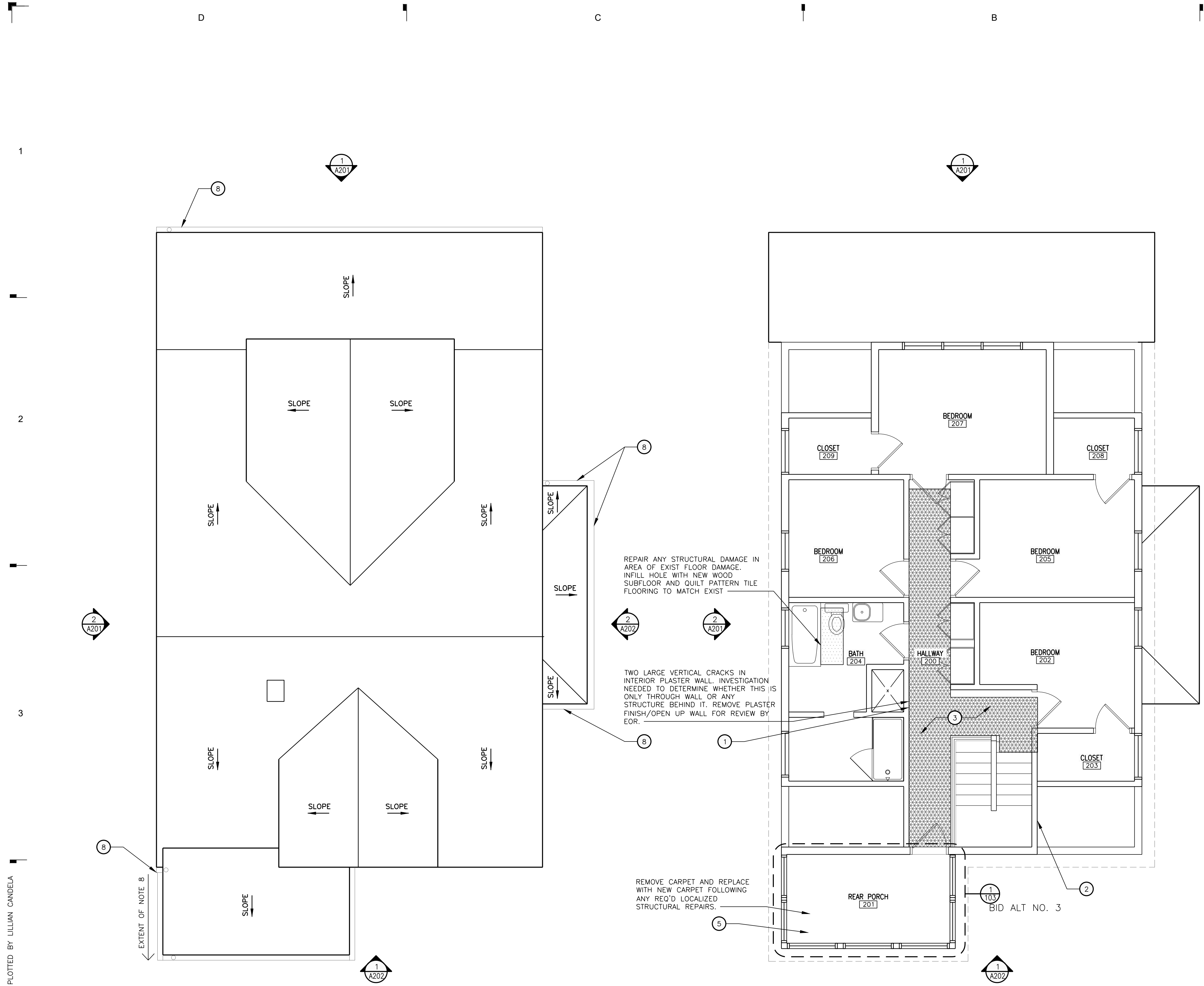
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- 6 REMOVE AND DISPOSE OF WOOD PANELING WHERE EXISTING. SCRAPE FLAKING PAINT FROM BRICK. REMOVE AND REPLACE DETERIORATED BRICKS. MASONRY CONTRACTOR TO DETERMINE EXTENT OF DAMAGE WITHIN JOINTS TO BE REVIEWED WITH DESIGN TEAM. CONTRACTOR TO CONDUCT A DEEP RAKING TO REMOVE ALL DETERIORATED MORTAR. DEPENDING UPON EXTENT OF DAMAGED MORTAR, REPAIR MAY NEED TO INCLUDE A DEEP GROUTING AND OR DEEP REPOINTING TO ENSURE WALL IS COMPLETELY SOLID ONCE REPAIRS ARE COMPLETE.
- 7 APPLY FLUID APPLIED CRYSTALLINE WATERPROOFING TO ALL BRICK FOUNDATION WALLS.
- 8 REMOVE EXISTING GUTTER AND REPLACE WITH NEW ALUMINUM GUTTER AND DOWNSPOUT TO MATCH EXISTING IN SIZE AND PROFILE. DOWNSPOUTS TO EXTEND AND DRAIN AWAY FROM STRUCTURE.

BID ALTERNATE NO. 1: INTERIOR REPAIRS
BASE BID: EXTERIOR REPAIRS ONLY, DO NOT INCLUDE SHEETS A101, A102, A11, A112
ADD ALT: EXTERIOR AND INTERIOR REPAIRS, SEE ALL SHEETS

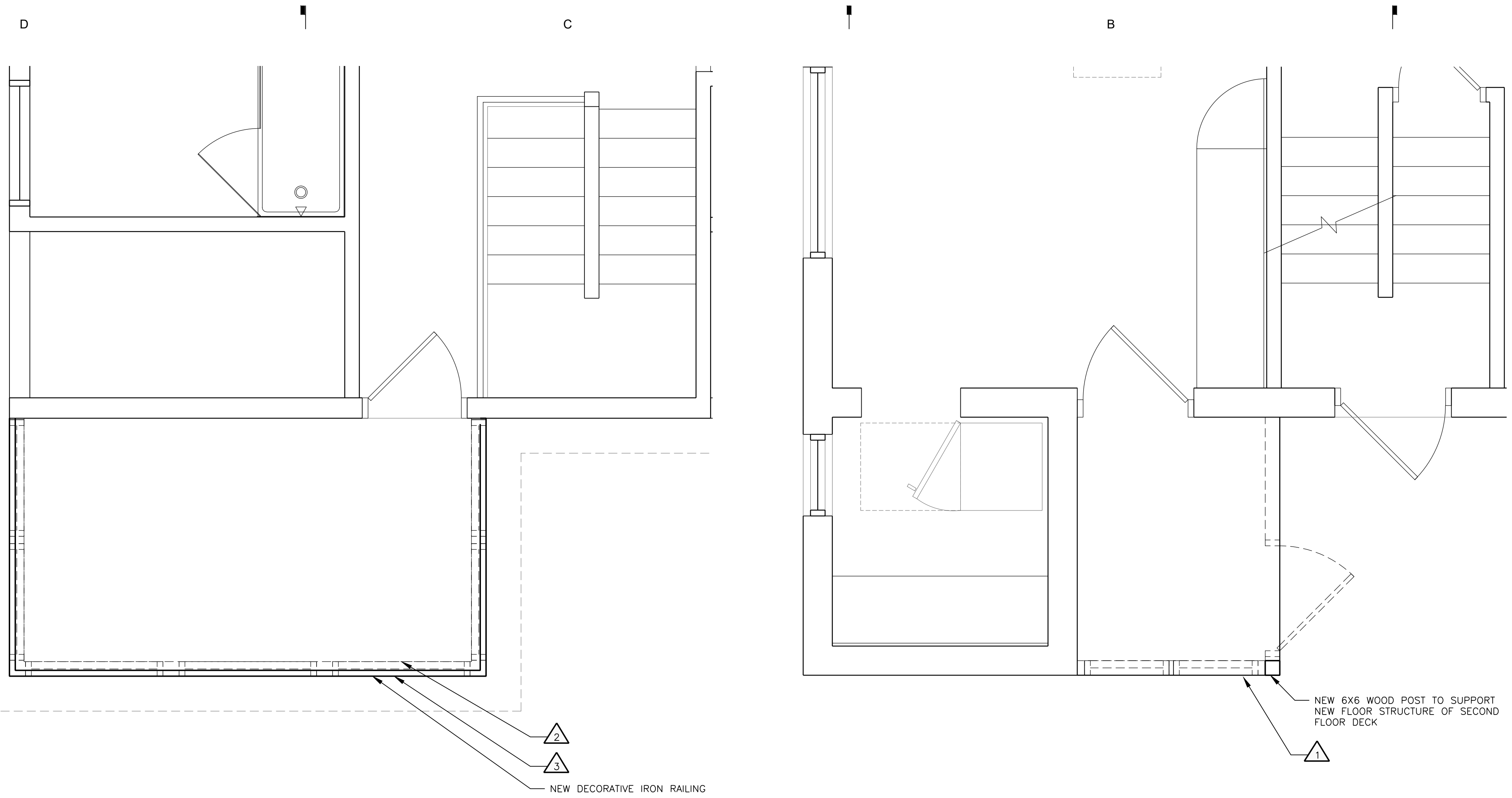


0 1' 2' 4' 8'
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PARTIAL SECOND FLOOR PLAN
SCALE: 1/2" = 1'-0"

PARTIAL FIRST FLOOR PLAN
SCALE: 1/2" = 1'-0"

- GENERAL NOTES**
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
 - PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
 - ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING.
 - CONTRACTOR TO PROVIDE AND MAINTAIN FIRE EXTINGUISHERS AS NECESSARY TO PROVIDE FOR ADEQUATE FIRE PROTECTION AND FIRE FIGHTING.
 - CONTRACTOR TO MAINTAIN REQUIRED MEANS OF EGRESS DURING DEMOLITION AND CONSTRUCTION.
 - CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.
 - SAW CUT THROUGH EXISTING MATERIALS TO PROVIDE A SMOOTH, STRAIGHT EDGE (CLEAN EDGE) FROM WHICH TO REMOVE EXISTING MATERIALS.
 - LIMIT THE SPREAD OF DUST, DIRT AND DEBRIS. BROOM CLEAN ALL WORK AREAS ON A DAILY BASIS.
 - CONTRACTOR TO LEGALLY DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
- ITEMS TO SALVAGE**
- REMOVE DEBRIS, STORED ITEMS, FURNITURE, FIXTURES, AND EQUIPMENT FROM FIRST AND SECOND FLOOR ENCLOSED PORCH STRUCTURES AND PROVIDE TO OWNER FOR STORAGE.
 - USE EXISTING BRICKS STORED UNDER PORCH STRUCTURE FOR ANY MASONRY REPAIRS REQ'D ON THE EXTERIOR.
- DEMOLITION KEYNOTES**
- NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.
- 1 REMOVE METAL PORCH WALL STRUCTURE, WOOD COLUMN, AND BRICK PIER. RETAIN EXIST FLOOR STRUCTURE AT SECOND FLOOR.
 - 2 REMOVE ENTIRE SECOND FLOOR ENCLOSED PORCH STRUCTURE INCLUDING WALLS, WINDOWS, CEILING STRUCTURE, ROOFING. RETAIN EXIST FLOOR STRUCTURE.
 - 3 REMOVE ALL ALUMINUM GUTTERS

1

2

3

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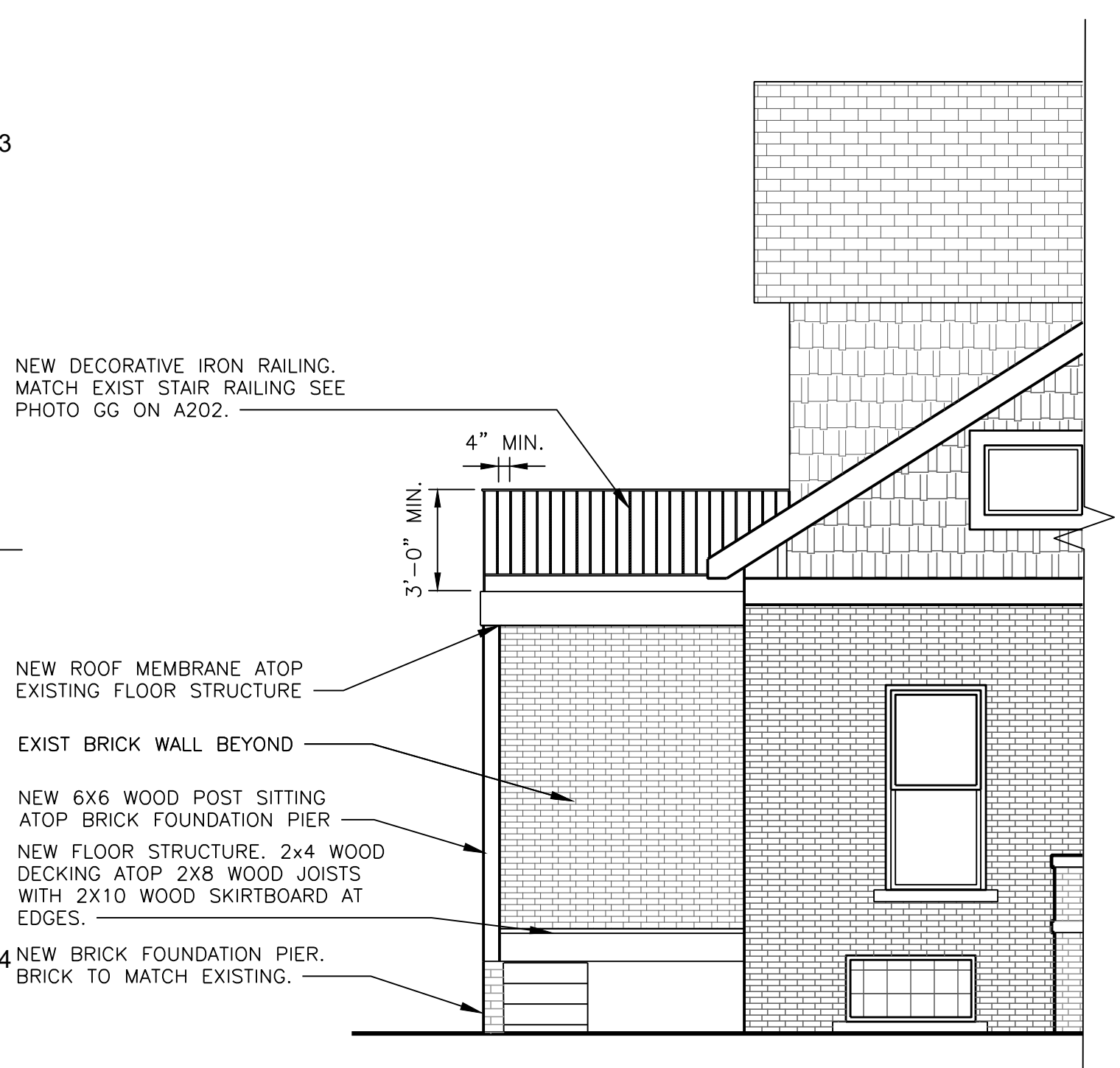
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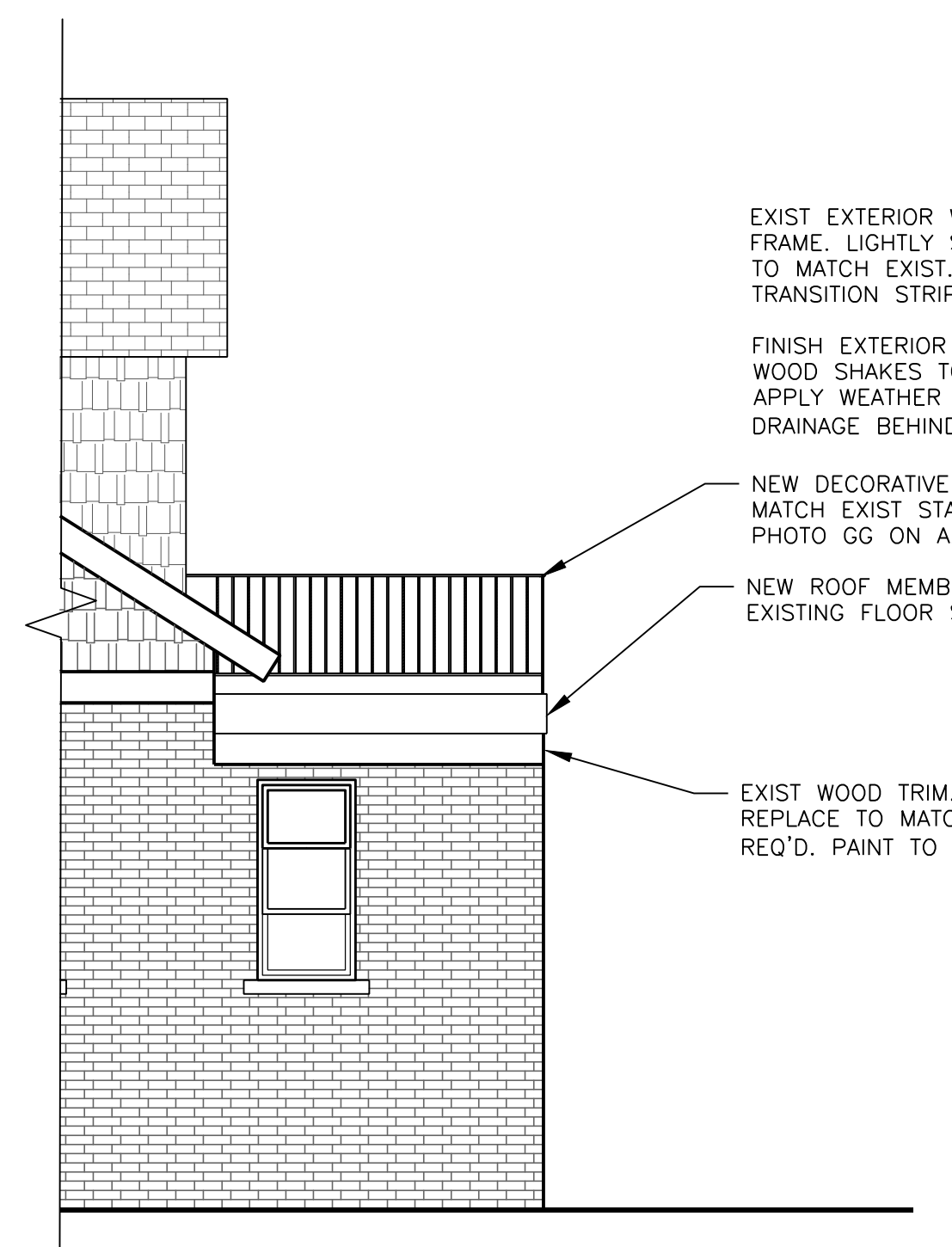
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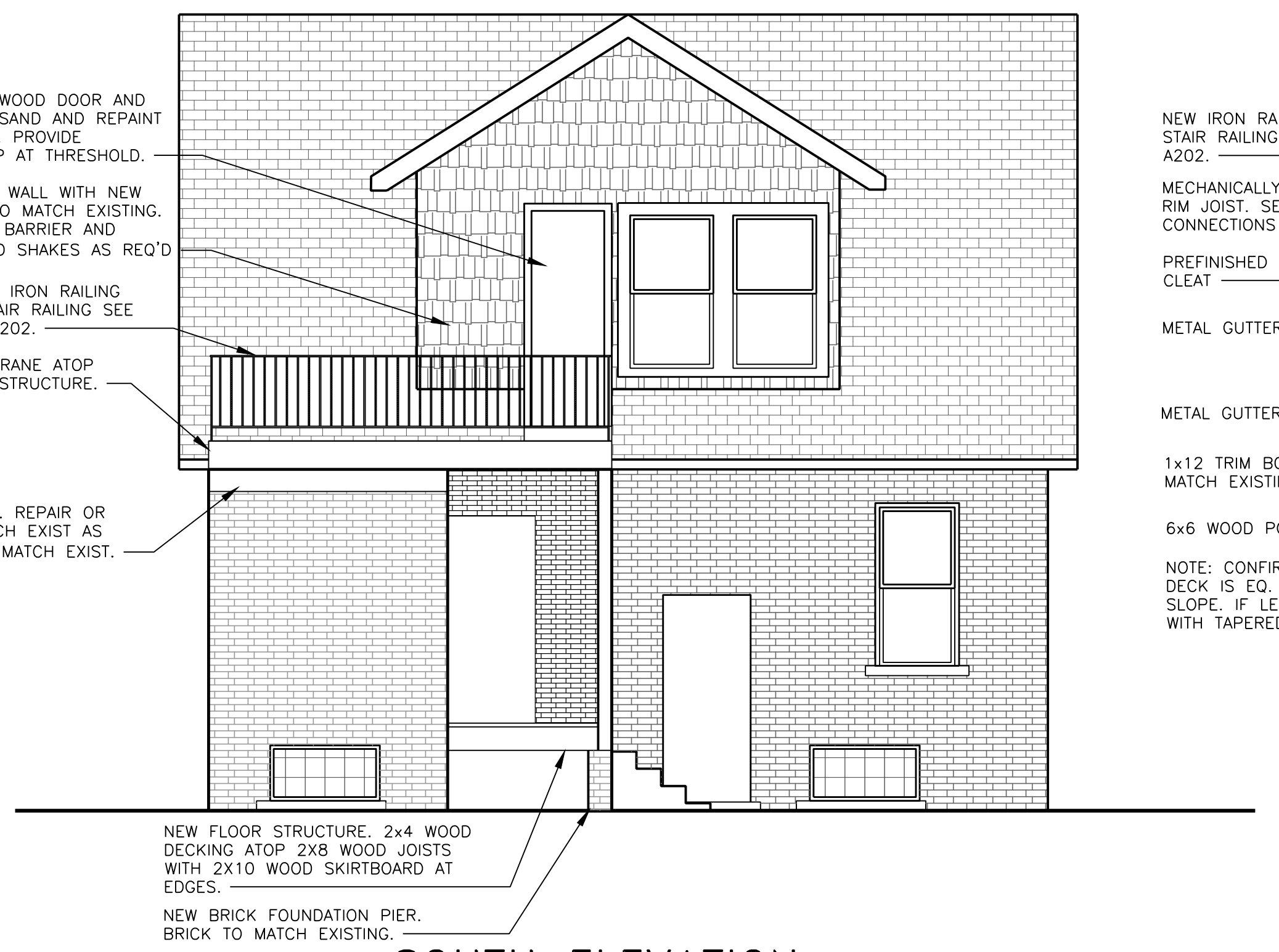
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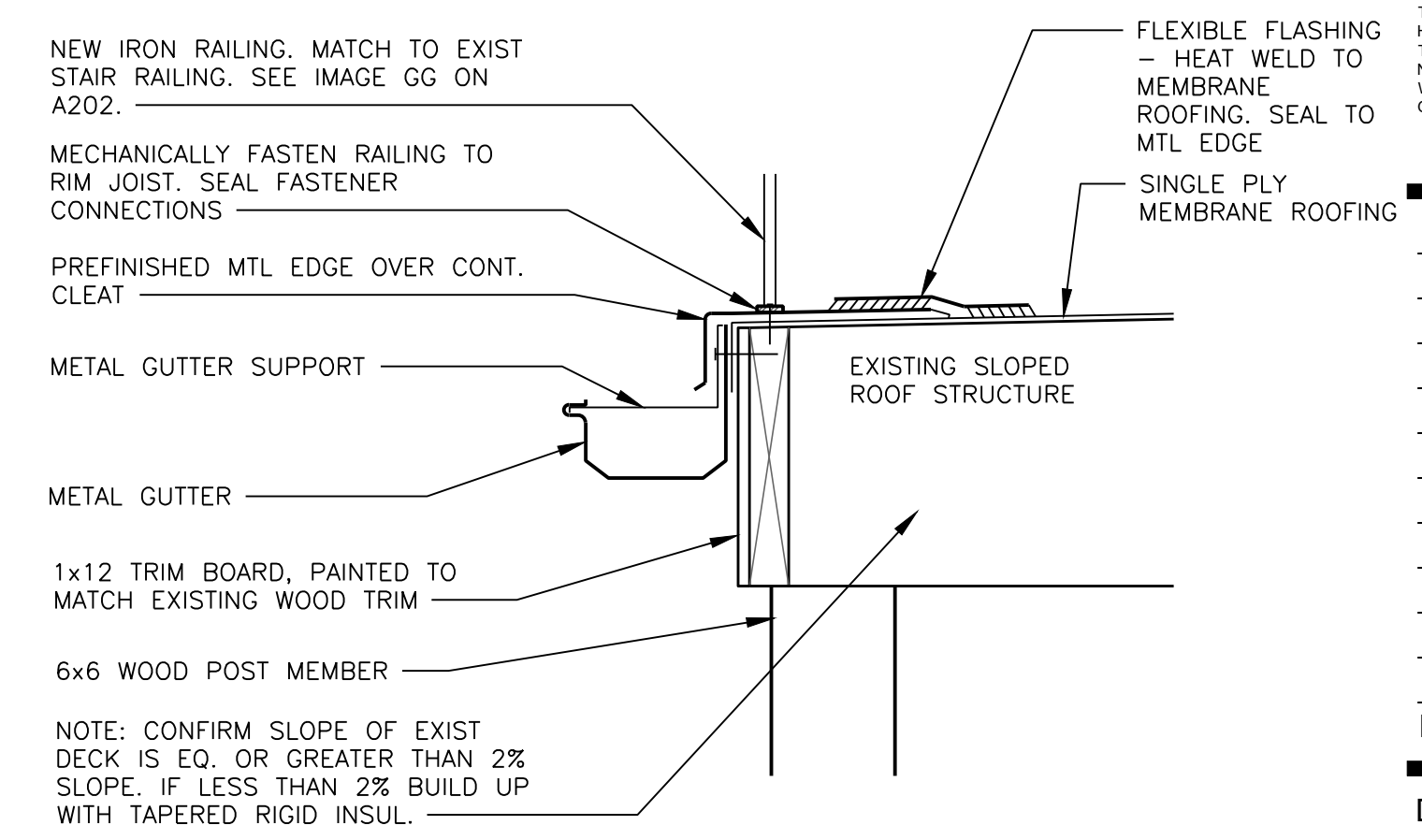
PARTIAL EAST ELEVATION
SCALE: 1/4" = 1'-0"



PARTIAL WEST ELEVATION
SCALE: 1/4" = 1'-0"

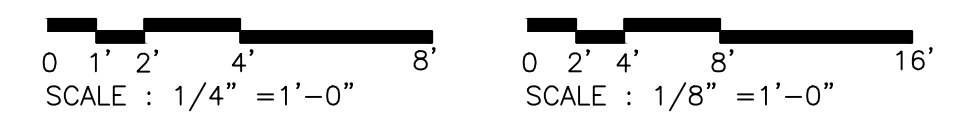
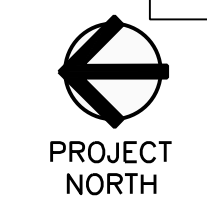


SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



ROOF DECK EDGE DETAIL
SCALE: 1/4" = 1'-0"

BID ALTERNATE NO. 3: REAR PORCH
BASE BID: REPAIRS TO EXISTING TWO-STORY REAR PORCH STRUCTURE.
DO NOT INCLUDE SHEET A103.
ADD ALT: DEMOLITION OF EXISTING TWO-STORY REAR PORCH STRUCTURE AND CONSTRUCTION OF NEW WOOD FRAME PORCH AND SECOND FLOOR ROOF DECK. SEE SHEET A103.



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Date

Project Number 2020009

Sheet Title
BID ALTERNATE #3

Sheet Number

A103

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D

C

B

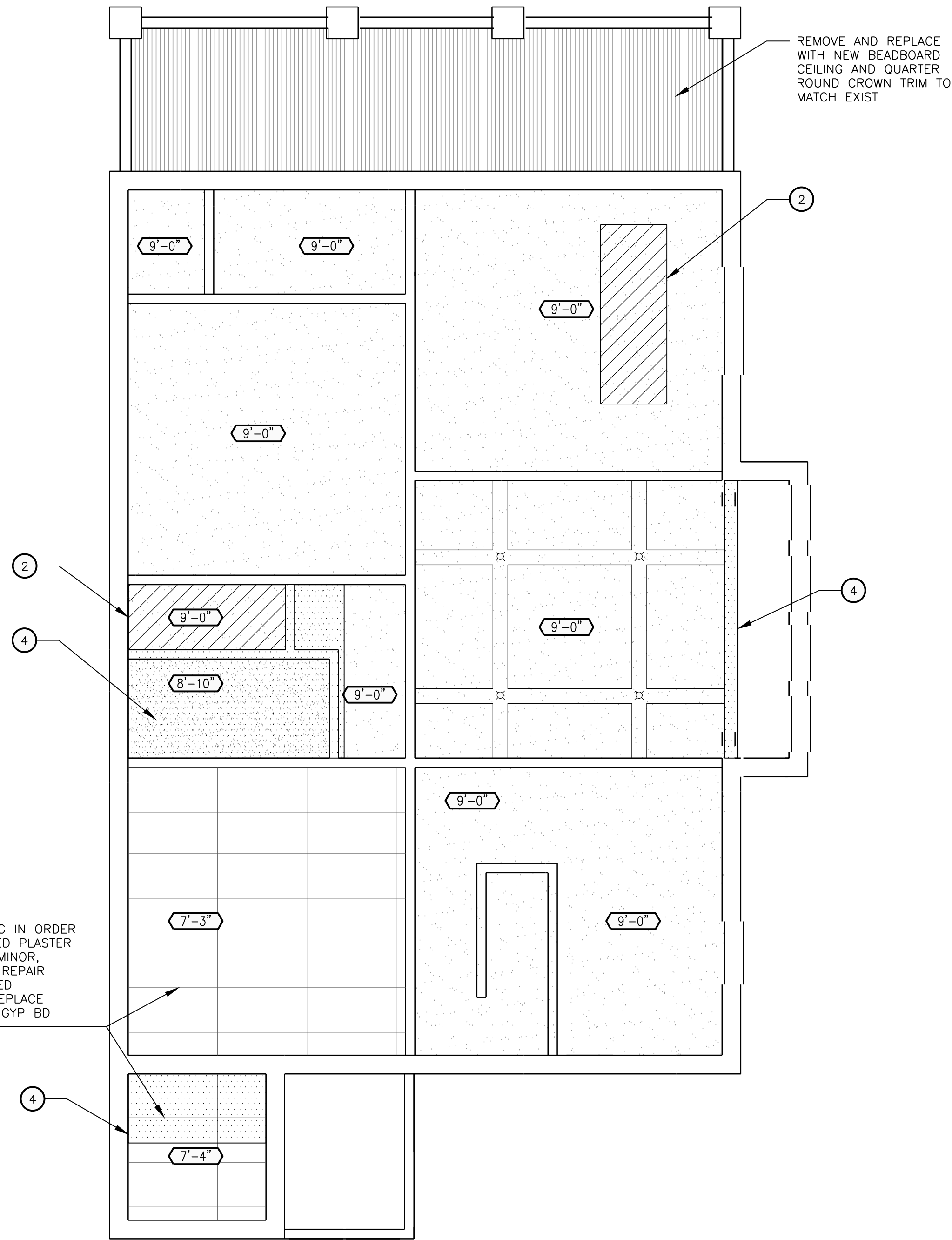
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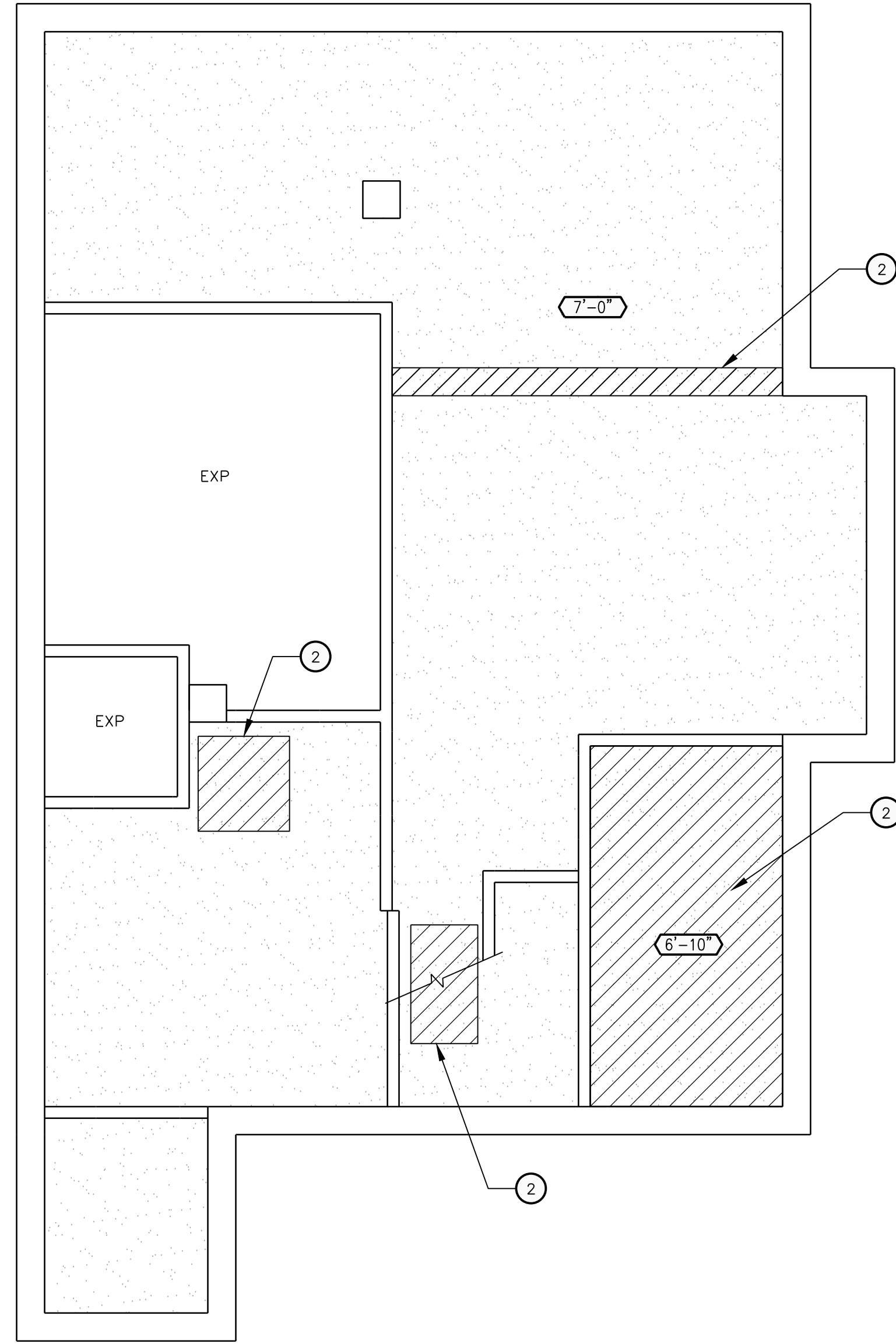
2

3

4



FIRST FLOOR RCP
SCALE: 1/4" = 1'-0"



BASEMENT RCP
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. REMOVE OR PROTECT IN PLACE ALL CONSTRUCTION ITEMS THAT ARE CALLED OUT TO REMAIN, BE REUSED OR BE SALVAGED (I.E. SUPPLY GRILLES, RETURN AIR GRILLE, MAINTENANCE PANEL, EXHAUST GRILLES, FA DEVICES, THERMOSTATS, CABLE TELEVISION DEVICES, IN-WALL PHONE OUTLETS, SPRINKLER HEADS, ETC.)
- B. CLEAN ALL 'ITEMS TO REMAIN' (I.E. SPRINKLER ESCUTCHEONS, FIRE ALARM DEVICES, ETC.) OF ALL OLD PAINT, OVERSPRAY, RESIDUE, ETC. PRIOR TO APPLICATION OF NEW ROOM FINISHES.

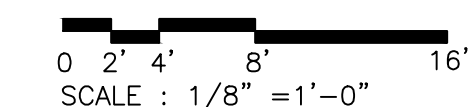
CONSTRUCTION KEYNOTES

NOTE: NOT ALL NOTES ARE APPLICABLE TO THIS SHEET.

- ① SOFFIT
- ② PATCH AND REPAIR DAMAGED PLASTER CEILING AS REQ'D TO MATCH EXISTING
- ③ EXIST HATCH FOR ATTIC ACCESS
- ④ REMOVE AND REPLACE DAMAGED OR DETERIORATED WOOD FRAMING ELEMENTS. REPLACEMENT TO MATCH ORIGINAL IN SIZE AND BE A MINIMUM OF DF NO. 1 OR BETTER FOR BEAMS AND DF NO. 2 OR BETTER FOR JOISTS. CONTRACTOR TO PROVIDE SHORING AS NEEDED FOR ELEMENT REPLACEMENT, AS WELL AS ALL NECESSARY CONNECTIONS FOR SUPPORTED AND SUPPORTING FRAMING. SEE NOTE R.

LEGEND			
KEY TO CEILING			
[Pattern]	GYP SUM BOARD	[Pattern]	PLASTER
EXP	EXPOSED CONSTRUCTION	[Pattern]	ACOUSTIC CEILING TILE
[Dimension]	CEILING HEIGHT	[Pattern]	ACCESS PANEL
[Symbol]	RECESSED DOWN LIGHT	[Pattern]	AREA OF DAMAGED PLASTER
[Symbol]	SURFACE MOUNTED LIGHT FIXTURE	[Pattern]	AREA OF DAMAGED WOOD FRAMING ELEMENTS
KEY TO WALLS			
[Line Style]	PARTITION PENETRATING CEILING PLANE (NON RATED)		
[Line Style]	PARTITION PENETRATING CEILING PLANE (RATED)		
[Line Style]	PARTITION BELOW CEILING PLANE		

BID ALTERNATE NO. 1: INTERIOR REPAIRS
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ADD ALT: EXTERIOR AND INTERIOR REPAIRS, SEE ALL SHEETS



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Architect

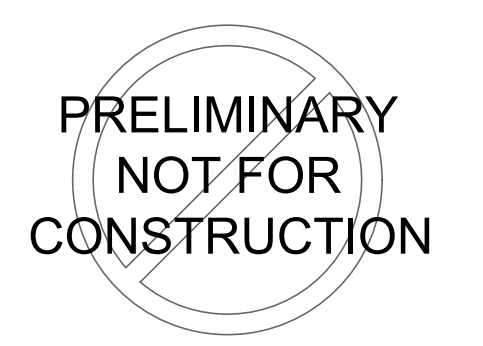
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Date

Project Number 2020009

Sheet Title
BASEMENT & FIRST FLOOR RCP

Sheet Number

A111

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C

B

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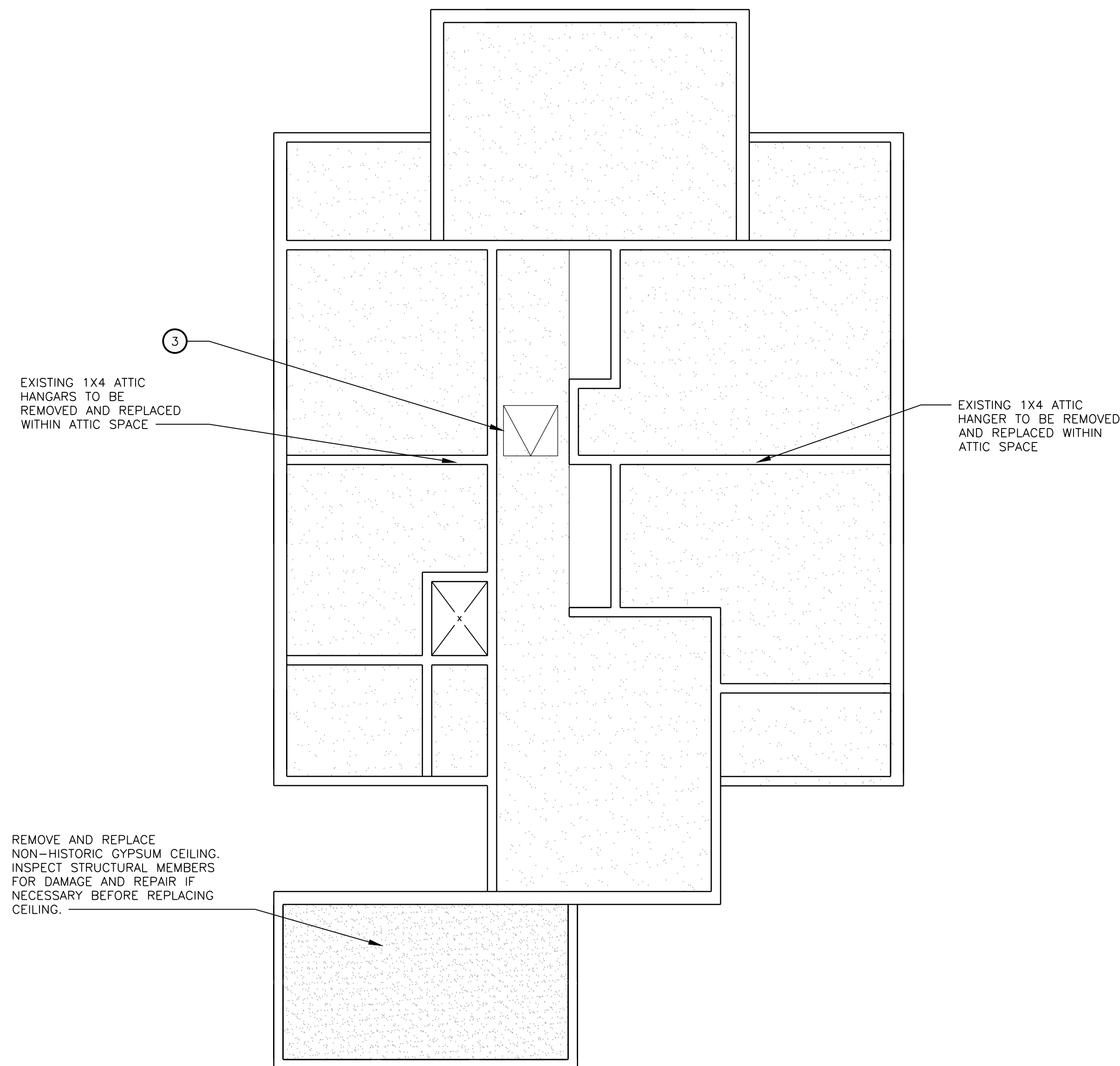
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- ② PATCH AND REPAIR DAMAGED PLASTER CEILING AS REQ'D TO MATCH EXISTING
- ③ EXIST HATCH FOR ATTIC ACCESS
- ④ REMOVE AND REPLACE DAMAGED OR DETERIORATED WOOD FRAMING ELEMENTS. REPLACEMENT TO MATCH ORIGINAL IN SIZE AND BE A MINIMUM OF DF NO. 1 OR BETTER FOR BEAMS AND DF NO. 2 OR BETTER FOR JOISTS. CONTRACTOR TO PROVIDE SHORING AS NEEDED FOR ELEMENT REPLACEMENT, AS WELL AS ALL NECESSARY CONNECTIONS FOR SUPPORTED AND SUPPORTING FRAMING. SEE NOTE R.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

BID ALTERNATE NO. 1: INTERIOR REPAIRS
BASE BID: EXTERIOR REPAIRS ONLY, DO NOT
INCLUDE SHEETS A101, A102, A11, A112
ADD ALT: EXTERIOR AND INTERIOR REPAIRS, SEE
ALL SHEETS

LEGEND			
KEY TO CEILING			
[Pattern]	GYPSUM BOARD	[Pattern]	PLASTER
[Pattern]	EXPOSED CONSTRUCTION	[Pattern]	ACOUSTIC CEILING TILE
[Pattern]	CEILING HEIGHT	[Pattern]	ACCESS PANEL
[Symbol]	RECESSED DOWN LIGHT	[Pattern]	AREA OF DAMAGED PLASTER
[Symbol]	SURFACE MOUNTED LIGHT FIXTURE	[Pattern]	AREA OF DAMAGED WOOD FRAMING ELEMENTS
KEY TO WALLS			
[Pattern]	PARTITION PENETRATING CEILING PLANE (NON RATED)		
[Pattern]	PARTITION PENETRATING CEILING PLANE (RATED)		
[Pattern]	PARTITION BELOW CEILING PLANE		



0 2' 4' 8' 16'
SCALE : 1/8" = 1'-0"

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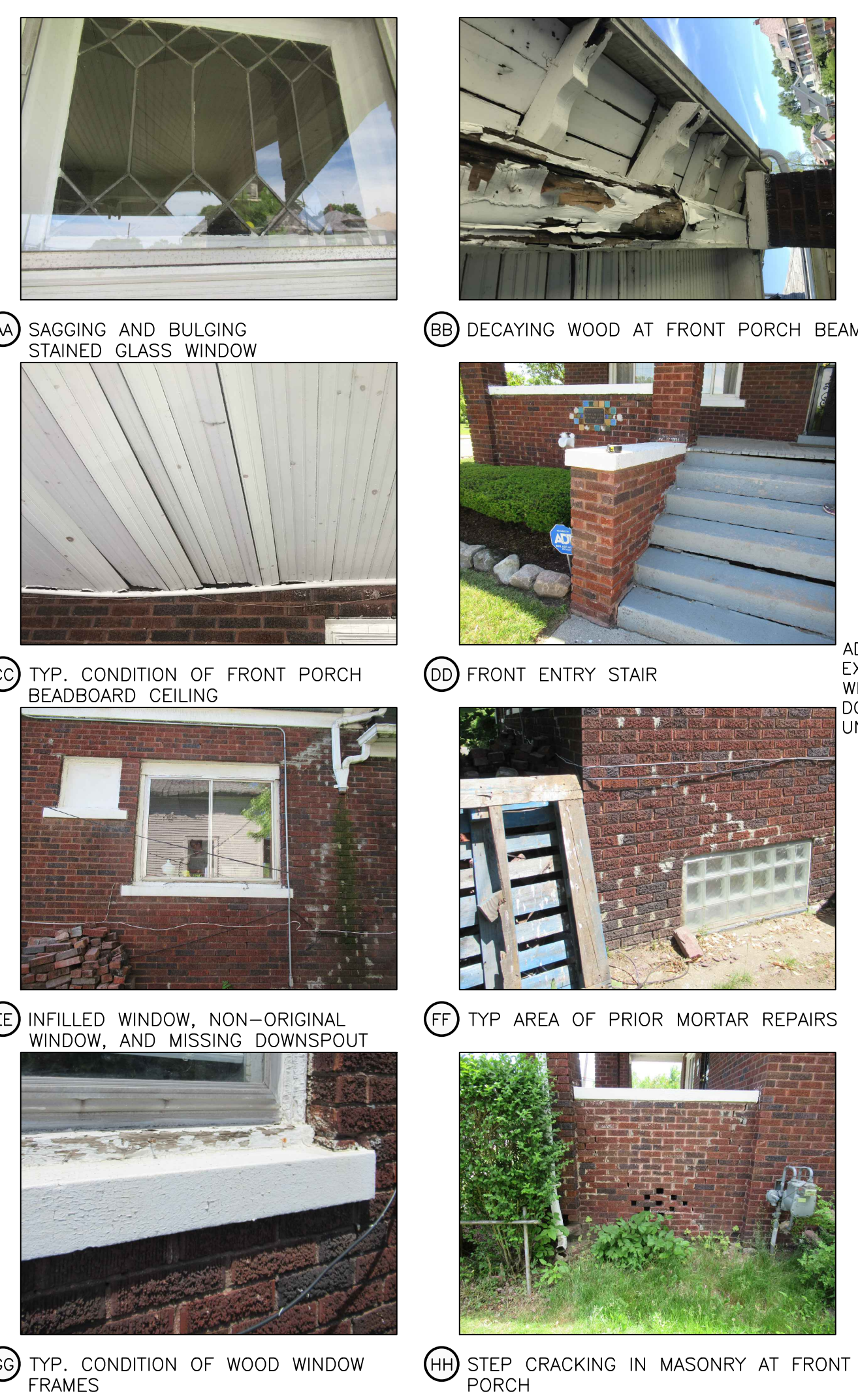
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SECOND FLOOR RCP

Sheet Number

A112

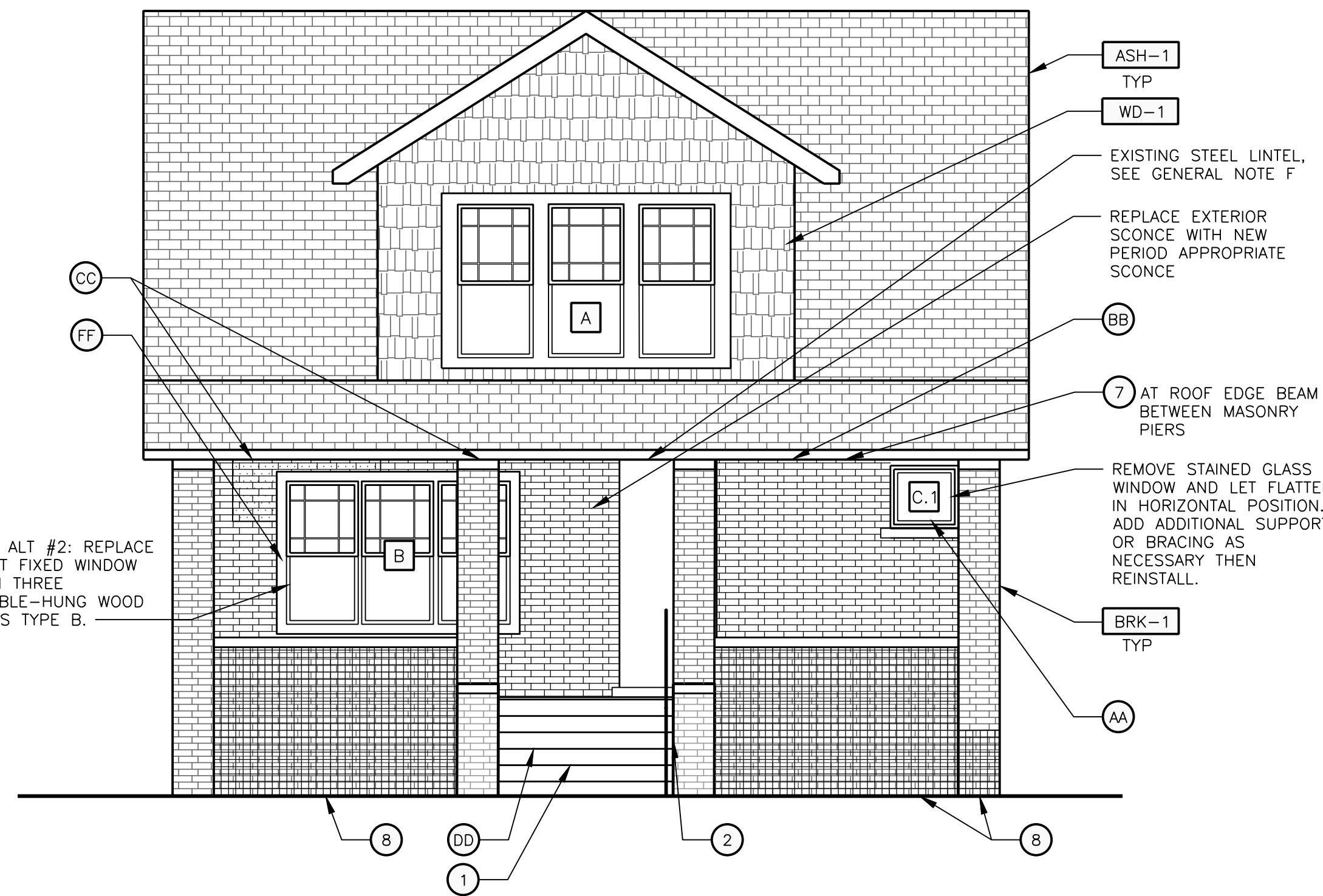
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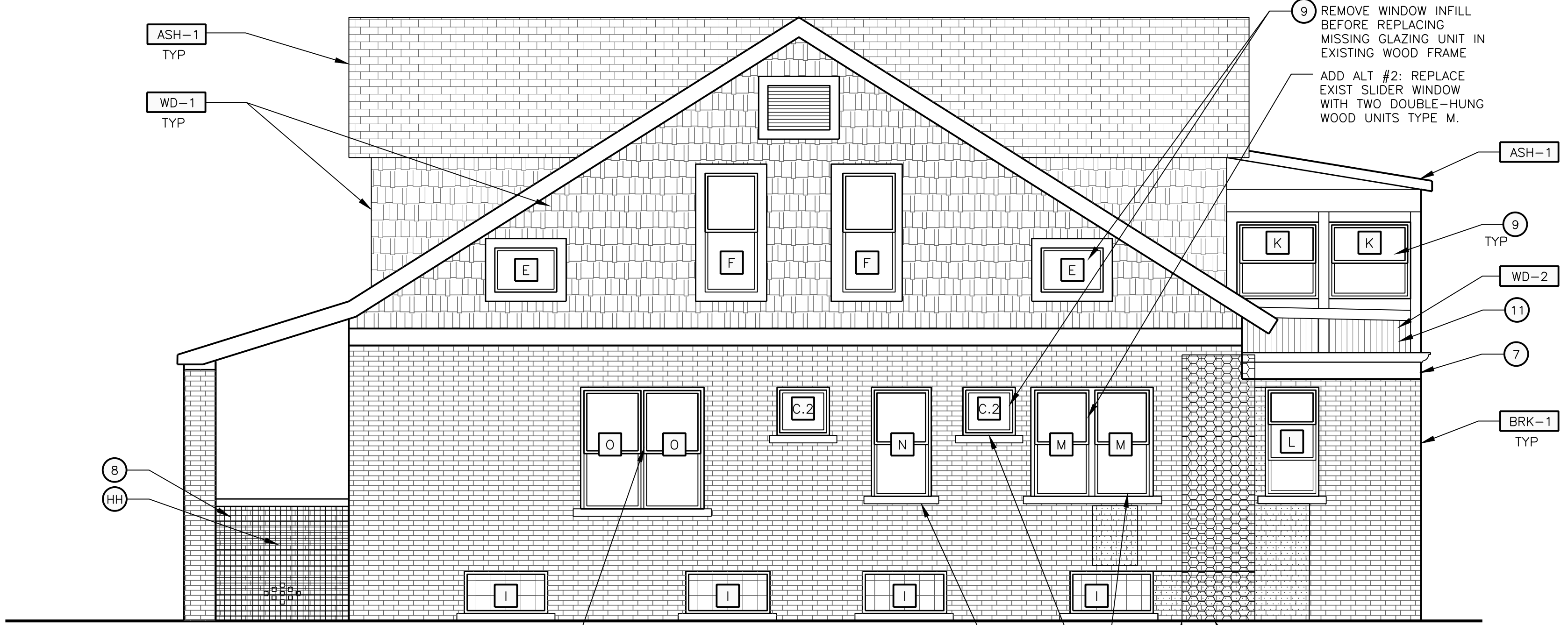


ADD ALT #2: REPLACE EXIST FIXED WINDOW WITH THREE DOUBLE-HUNG WOOD UNITS TYPE B.

ADD ALT #2: REPLACE EXIST SLIDER WINDOW TWO DOUBLE-HUNG WOOD UNITS TYPE O.



1 EAST ELEVATION
 A201 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A101, A102



2 NORTH ELEVATION
 A201 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A101, A102

RESTORATION GENERAL NOTES

- A. MASONRY/STONE RESTORATION CONTRACTOR ("SUBCONTRACTOR") TO PROVIDE ALL LABOR, MATERIAL, TEMPORARY SHORING AS NEEDED, EQUIPMENT, SUPERVISION, PERMITS, AND ANY OTHER COSTS OR EXPENSES NECESSARY TO COMPLETE THE WORK. SUBCONTRACTOR JOB MOBILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, ANY NECESSARY WORK STATION AND JOB TRAILER, MAST CLIMBING PLATFORMS, AERIAL LIFTS, SWING STAGES, BARRICADES AND WALK THROUGH SCAFFOLD AS NEEDED.
- B. BUILDING RESTORATION TO INCLUDE ALL TERMS, CONDITIONS, AND SPECIFICATIONS OF ORIGINAL CONTRACT AND ANY ADDITIONAL WORK NECESSARY TO MEET THE SECRETARY OF THE INTERIOR STANDARDS FOR THE REHABILITATION OF HISTORIC PROPERTIES. THIS INCLUDES ALL WORK NECESSARY OVER AND ABOVE THAT SPECIFIED IN THE ARCHITECTURAL DRAWINGS AND OTHER CONSTRUCTION DOCUMENTS, INCLUDING ALL NOTES, REGARDLESS OF TIME AND MATERIAL NECESSARY TO EXECUTE THIS WORK. ANY AREAS INDICATED WITHIN DRAWINGS ARE ONLY SUGGESTIVE IN NATURE. MASON TO MEET WITH ARCHITECT AND OWNER TO CONFIRM THE SCOPE OF WORK.
- C. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- D. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK AND STONE CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- E. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. USE ONLY OWNER APPROVED PRODUCTS AND NATURAL BRISTLE BRUSHES. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING OR MORTAR SMEAR. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURROUNDING AREAS.
- F. SURFACES TO BE PRE-WET WITH CLEAN WATER. CLEANING SOLUTIONS TO NOT REMAIN ON SURFACES FOR MORE THAN 5 MINUTES FOLLOWED IMMEDIATELY BY LOW-PRESSURE FLOOD RINSE. UNO IN MASONRY CLEANING SPECIFICATION. CLEANING IS TO BRING MASONRY/STONE UNIT AS CLOSE AS POSSIBLE TO ORIGINAL COLOR WITHOUT BURNING OR ABRASION. IF NECESSARY TO ACHIEVE DESIRED EFFECT, SPOT CLEAN MASONRY WITH CONCENTRATED CLEANING SOLUTION, AS INDICATED IN THE SPECIFICATIONS, TO REMOVE ANY REMAINING STAINED AREAS.
- G. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST "CLEANED" COLOR.
- H. 100% OF MORTAR JOINTS TO BE VISUALLY INSPECTED. ALL MORTAR JOINTS DETERIORATED IN EXCESS OF 3/8 INCH BEYOND FACE OF MASONRY/STONE UNIT, OR EVIDENCING UNSOUNDNESS OR CRACKING WHETHER STRUCTURAL OR OTHERWISE SHALL BE REMOVED TO A DEPTH OF 1/2" MINIMUM. PREVIOUS MORTAR OR CAULKING IN JOINTS THAT DO NOT MATCH ORIGINAL IN STRENGTH OR COLOR SHOULD BE REMOVED. WRITTEN APPROVAL BY OWNER SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF REPAIR BY SATISFACTORY SUBMISSION OF MOCK-UP OF PROPOSED MORTAR JOINT.
- I. NEW MORTAR APPLIED TO ALL OPEN JOINTS SHALL BE OF NO GREATER STRENGTH THAN ORIGINAL MORTAR OR MASONRY UNITS. MORTAR COLOR, TEXTURE, CONSISTENCY AND JOINT PROFILE WILL MATCH EXISTING AS CLOSE AS POSSIBLE.
- J. APPLY NEW, TWO COMPONENT URETHANE SEALANT AT ALL JOINTS WHERE DISSIMILAR MATERIALS MEET, AND ALL SKYWARD FACING JOINTS. BACKER ROD TO BE INSTALLED IN OPEN JOINT PRIOR TO SEALANT APPLICATION.
- K. NO ACCELERATORS OR OTHER ADMIXTURES SHALL BE USED WITHOUT PRIOR WRITTEN OWNER APPROVAL. ENCLOSURES AND HEAT SUFFICIENT TO PROTECT MORTAR FROM FREEZING PRIOR TO SET SHALL BE THE SOLE RESPONSIBILITY OF SUBCONTRACTOR.
- L. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. JOINTS SHALL BE RINSED WITH CLEAN WATER REMOVING DUST AND DEBRIS. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- M. ANY MASONRY/STONE UNIT SHALL BE REPLACED WITH OWNER APPROVED MATERIAL TO MATCH EXISTING MATERIAL IN APPEARANCE WHEREIN SPALLING OR OTHER DETERIORATION ELIMINATED MORE THAN 5% OF THE MASONRY/STONE UNIT (MEASURED BY ORIGINAL BRICK OR STONE FACE AREA.)

GENERAL NOTES

- A. REFER TO A600 SERIES FOR WINDOW AND DOOR SCHEDULE AND DETAILS.
- B. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT INFORMATION.
- C. REFER TO ROOF PLAN FOR PARAPET AND OVERHAND INFORMATION.
- D. PROVIDE BACKING AND/OR STRUCTURAL SUPPORT AS REQUIRED FOR SIGNAGE AND LIGHTING.
- E. ANY NEW EXPOSED STRUCTURAL STEEL SHALL BE GALVANIZED AND PAINTED UNLESS NOTED OTHERWISE.
- F. SCRABE, PRIME, AND REPAINT ANY EXISTING EXPOSED STEEL LINTELS.
- G. APPLY SEALANT WHENEVER DISSIMILAR MATERIALS MEET.
- H. REPLACE MISSING OR DAMAGED WINDOW UNITS WITH NEW GLAZING TO FIT ORIGINAL FRAMES.
- I. RE-GRADE LANDSCAPE TO SLOPE AWAY FROM THE STRUCTURE
- J. REPOINT MASONRY WHERE NECESSARY

CONSTRUCTION KEYNOTES

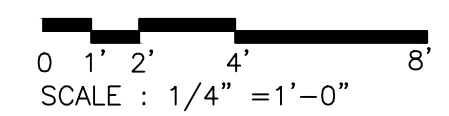
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 - 4 REPAIR OR REPLACE ROOF FLASHING WHERE NECESSARY
 - 5 REPLACE DAMAGED OR DECAYING FASCIA BOARD WITH NOMINAL 2X10 LUMBER TO MATCH EXISTING. PAINT TO MATCH EXISTING.
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 - 8 SHADED AREA INDICATES MASONRY WHERE BRICKWORK HAS VISIBLY MOVED OR HAS SEPARATED REQUIRING LOCALIZED REMOVAL AND RESETTING OF BRICKWORK. WHERE BRICK IS MISSING, DETERIORATED, OR BROKEN, CONTRACTOR TO PROVIDE NEW BRICKWORK TO MATCH ORIGINAL. SEE GENERAL NOTES H AND L FOR ADDITIONAL INFORMATION.
 - 9 REPLACE BROKEN OR MISSING GLAZING PANES WITH NEW CLEAR MONOLITHIC GLASS TO MATCH EXISTING IN THICKNESS.
 - 10 RELOCATE BRICK PIER TO FRAME END OF PORCH. CONTRACTOR TO PROVIDE NECESSARY SUPPORT AND SHORING.
 - 11 REPAIR OR REPLACE WOOD SIDING WHERE NECESSARY. PAINT TO MATCH EXISTING.

EXTERIOR ELEVATION MATERIAL LEGEND

BRK-1	RED BRICK - EXISTING
BRK-2	RED BRICK - NEW TO MATCH EXISTING
ASH-1	ASPHALT SHINGLES - EXISTING
WD-1	WOOD SHAKES - EXISTING
WD-2	WOOD SIDING - EXISTING
MTL-1	WHITE METAL PANEL - EXISTING
GL-1	GLASS BLOCK - EXISTING
[Pattern]	WOOD INFILLED WINDOW
[Pattern]	MASONRY EFFLORESCENCE
[Pattern]	AREA OF VISIBLE BRICKWORK MOVEMENT OR SEPARATION
[Pattern]	AREA REQUIRING MASONRY REPOINTING, SEE RESTORATION NOTES H AND I

BID ALTERNATE NO. 2: WINDOWS
 BASE BID: DRAWING NUMBER A201 AND A202: REPAIRS TO MISSING OR DAMAGED UNITS AS SHOWN

ADD ALT: (3) NON-ORIGINAL WINDOWS TO BE REPLACED WITH HISTORICALLY APPROPRIATE REPRODUCTIONS OF THE ORIGINAL WOOD FRAME WINDOWS. MANUFACTURERS: ANDERSON WINDOWS, MARVIN WINDOWS AND DOORS, PARRETT WINDOWS AND DOORS, WEATHERSHIELD, QUAKER. CONFIRM FINAL MANUFACTURER AND WINDOW DESIGN WITH ARCHITECT PRIOR TO PURCHASING



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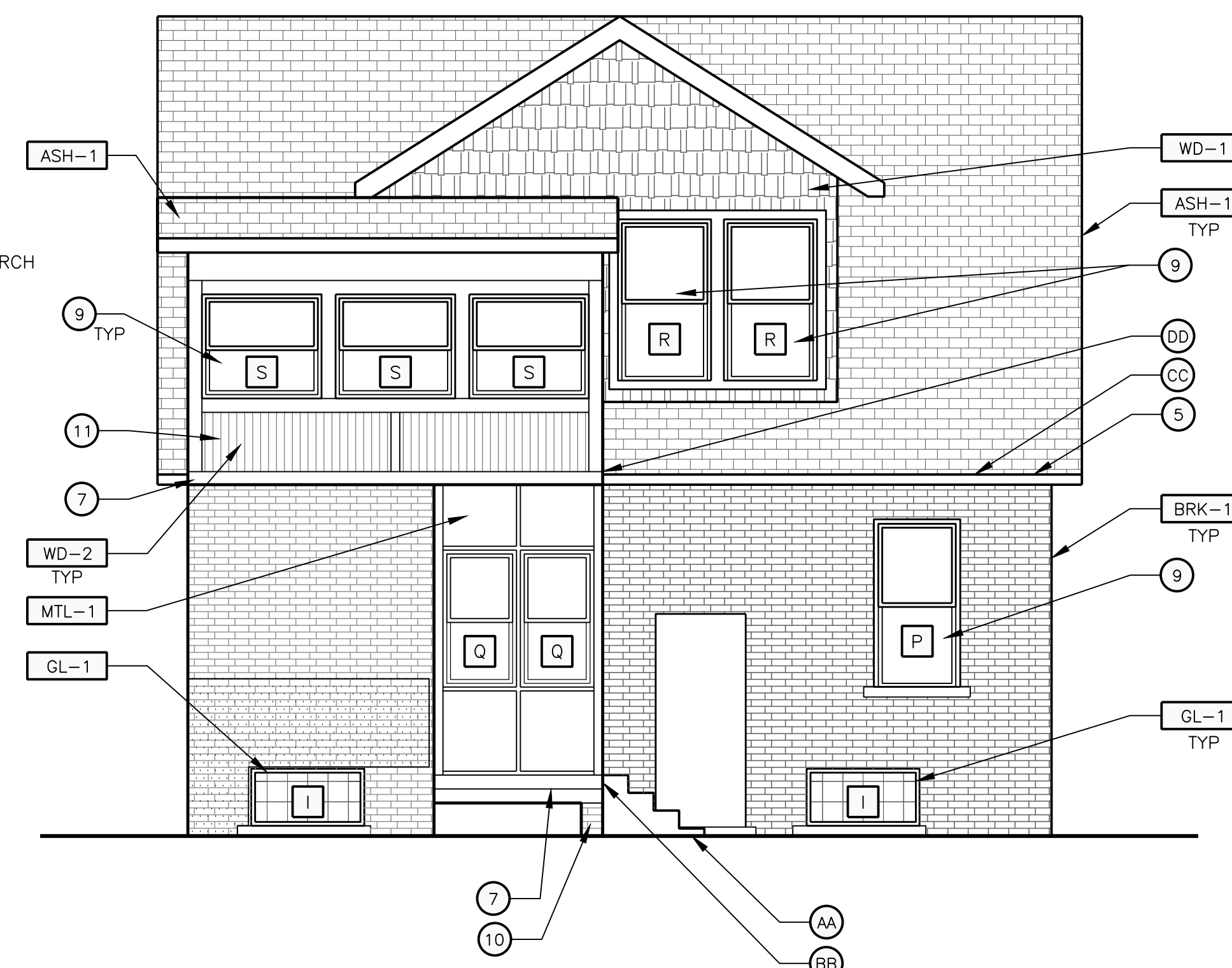
Project Number 2020009

Sheet Title
EAST & NORTH ELEVATIONS

Sheet Number

A201

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1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A101, A102



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 REFERENCE LOCATIONS: A101, A102

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CONSTRUCTION KEYNOTES

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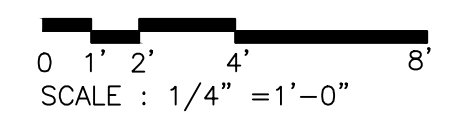
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EXTERIOR ELEVATION MATERIAL LEGEND

	BRK-1	RED BRICK - EXISTING
	BRK-2	RED BRICK - NEW TO MATCH EXISTING
	ASH-1	ASPHALT SHINGLES - EXISTING
	WD-1	WOOD SHAKES - EXISTING
	WD-2	WOOD SIDING - EXISTING
	MTL-1	WHITE METAL PANEL - EXISTING
	GL-1	GLASS BLOCK - EXISTING
		WOOD INFILLED WINDOW
		MASONRY EFFLORESCENCE
		AREA OF VISIBLE BRICKWORK MOVEMENT OR SEPARATION
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BID ALTERNATE NO. 2: WINDOWS
 BASE BID: DRAWING NUMBER A201 AND A202: REPAIRS TO MISSING OR DAMAGED UNITS AS SHOWN

ADD ALT: (3) NON-ORIGINAL WINDOWS TO BE REPLACED WITH HISTORICALLY APPROPRIATE REPRODUCTIONS OF THE ORIGINAL WOOD FRAME WINDOWS.
 MANUFACTURERS: ANDERSON WINDOWS, MARVIN WINDOWS AND DOORS, PARRITT WINDOWS AND DOORS, WEATHERSHIELD, QUAKER. CONFIRM FINAL MANUFACTURER AND WINDOW DESIGN WITH ARCHITECT PRIOR TO PURCHASING



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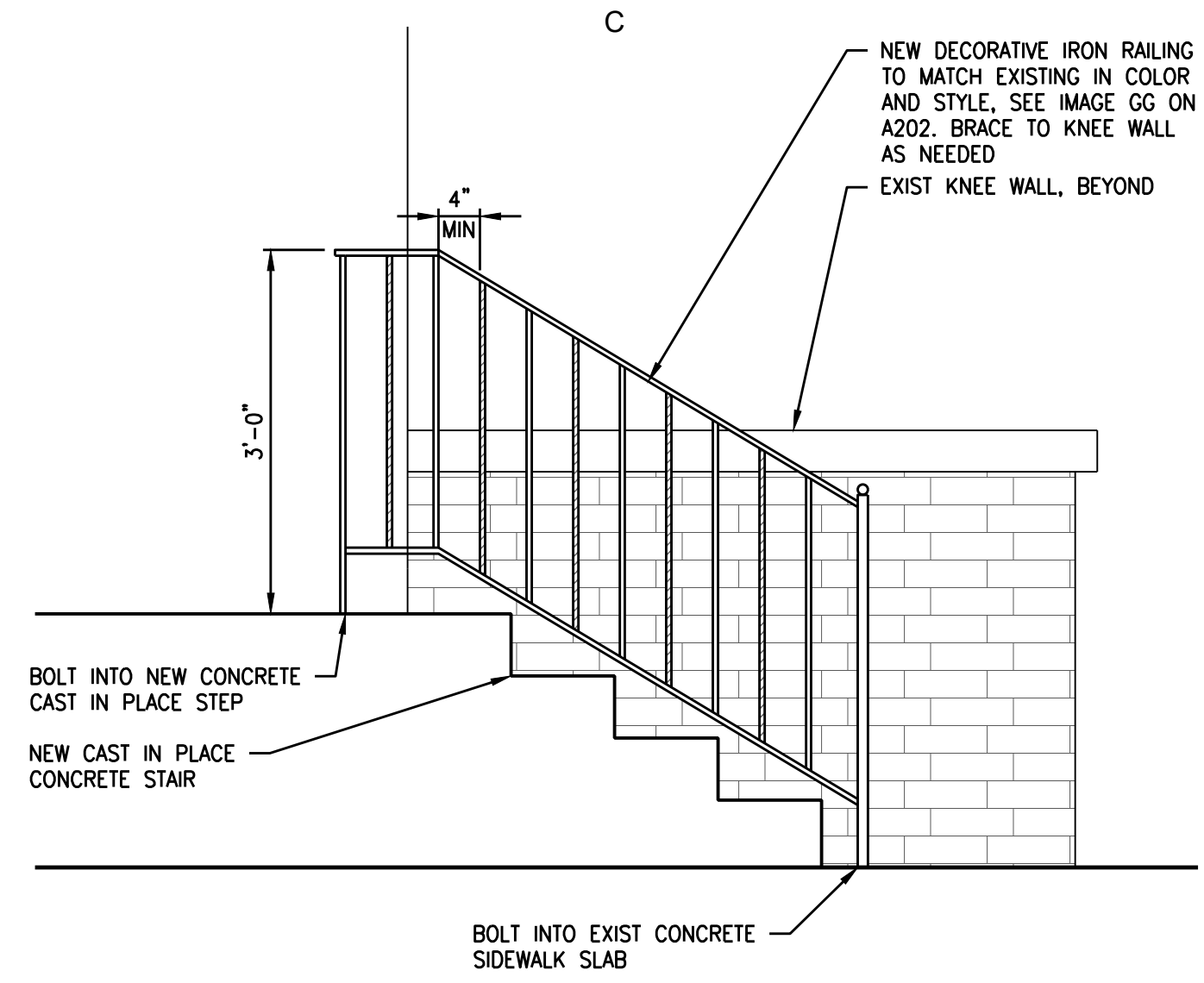
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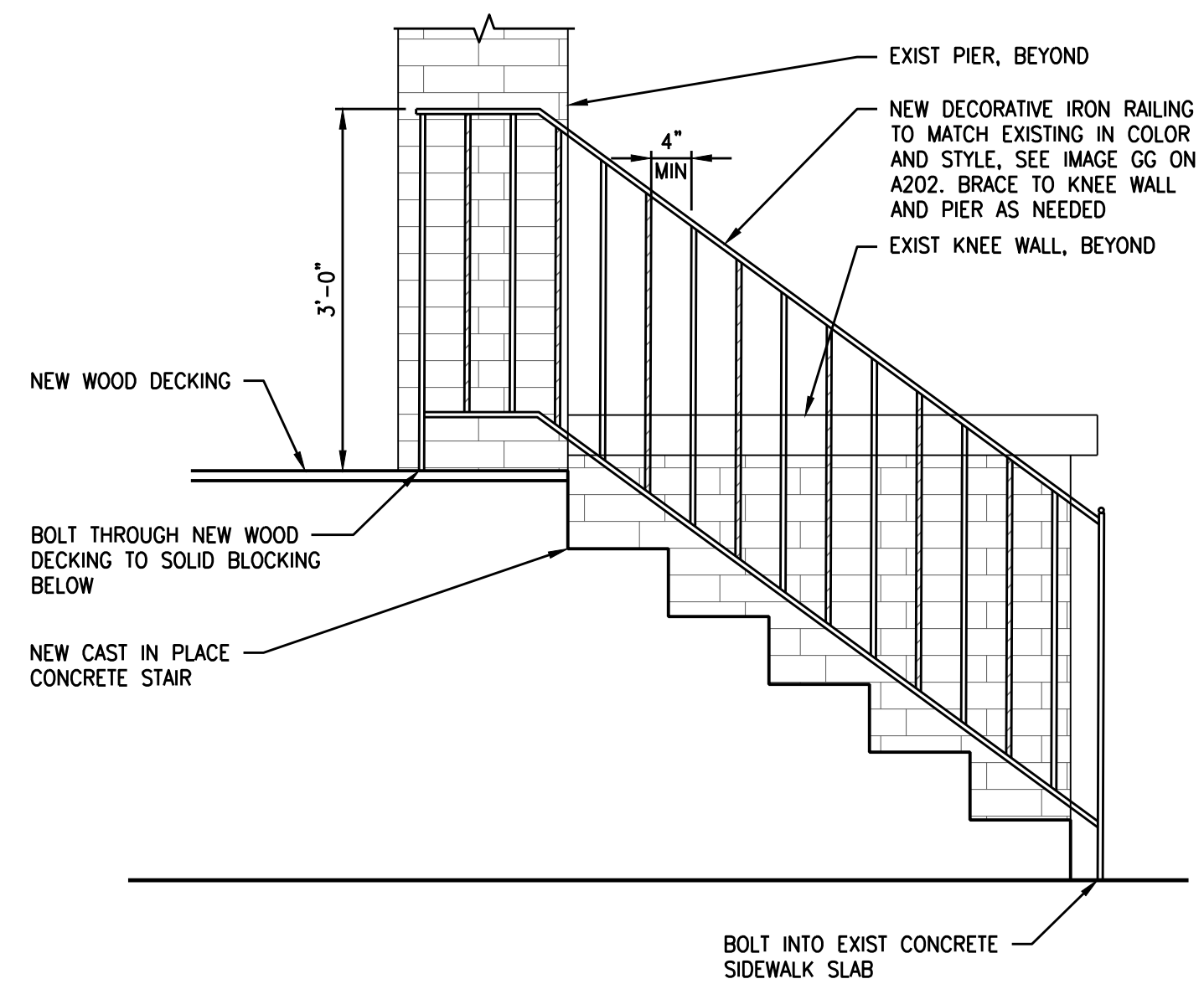
Sheet Title
WEST & SOUTH ELEVATIONS

Sheet Number

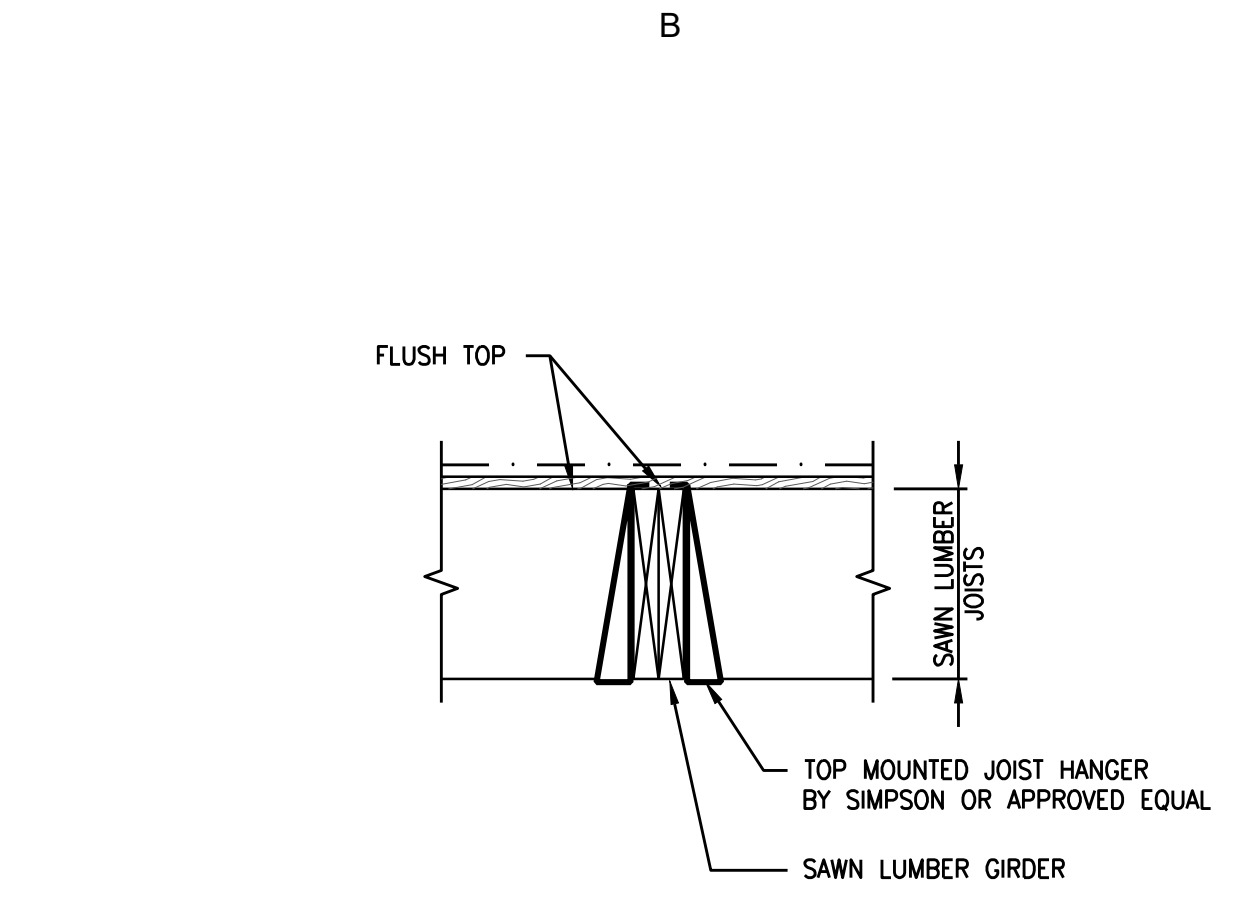
A202



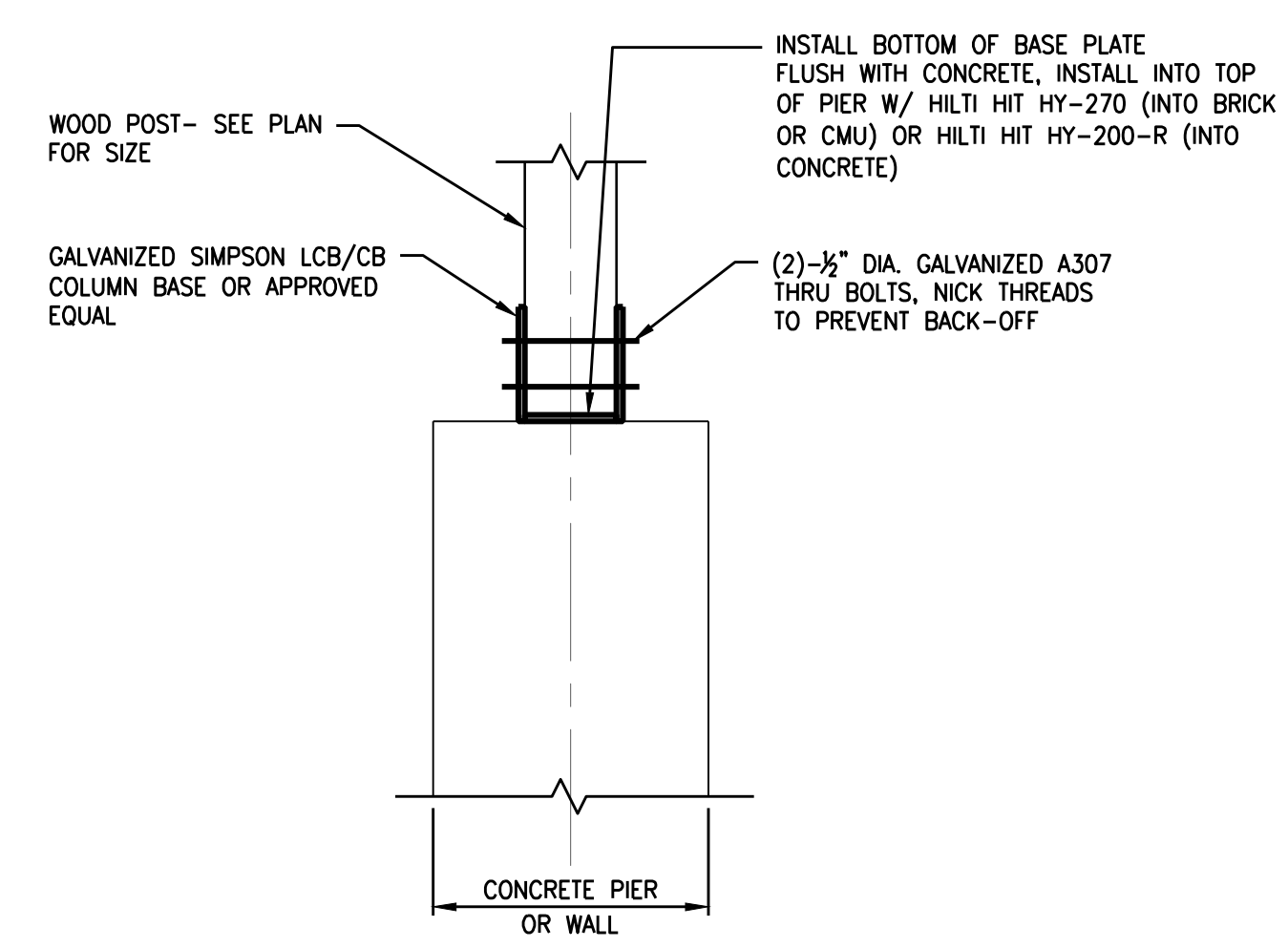
6 SIDE ENTRY RAILING
 A311 SCALE: 3/4"=1'-0"
 REFERENCE LOCATIONS: A101



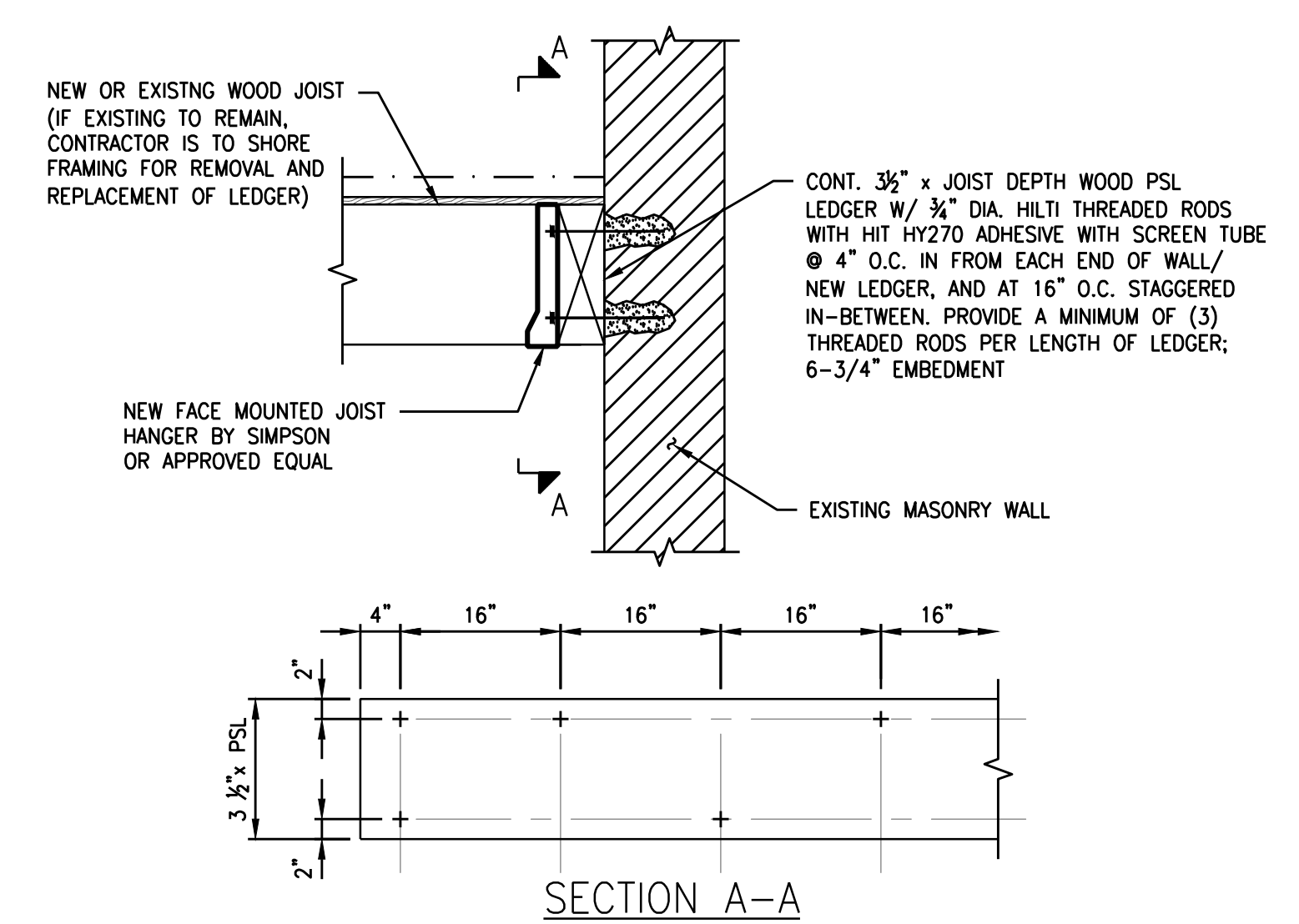
7 FRONT ENTRY RAILING
 A311 SCALE: 3/4"=1'-0"
 REFERENCE LOCATIONS: A101



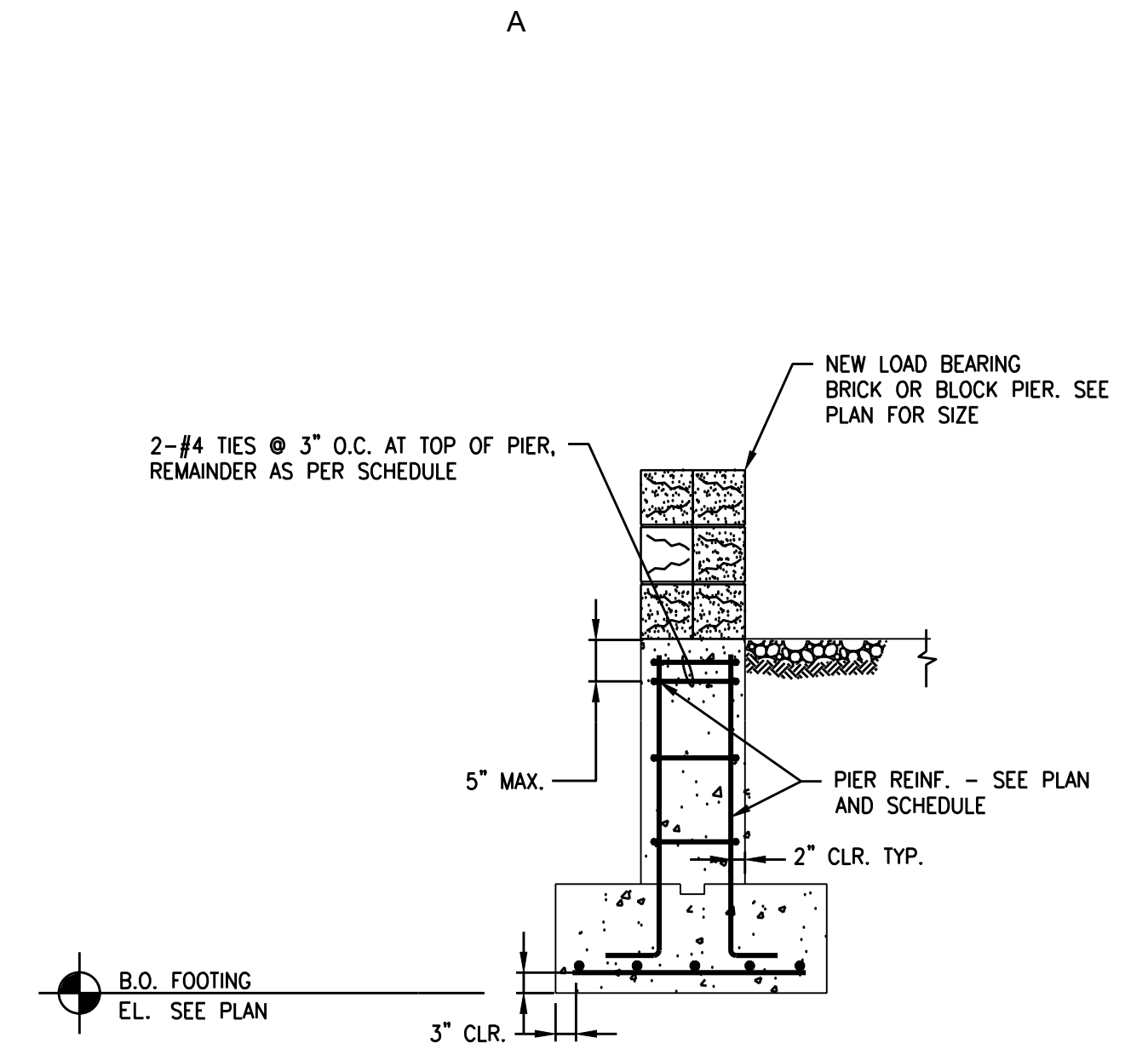
3 TYPICAL SAWN LUMBER JOISTS TO SAWN LUMBER GIRDERS
 A311 SCALE: 1"=1'-0"
 REFERENCE LOCATIONS:



4 TYPICAL WOOD POST ON MASONRY WALL OR PIER
 A311 SCALE: 1"=1'-0"
 REFERENCE LOCATIONS:



5 TYPICAL REPLACEMENT OF WOOD LEDGER ON BRICK WALL
 A311 SCALE: 3/4"=1'-0"
 REFERENCE LOCATIONS:

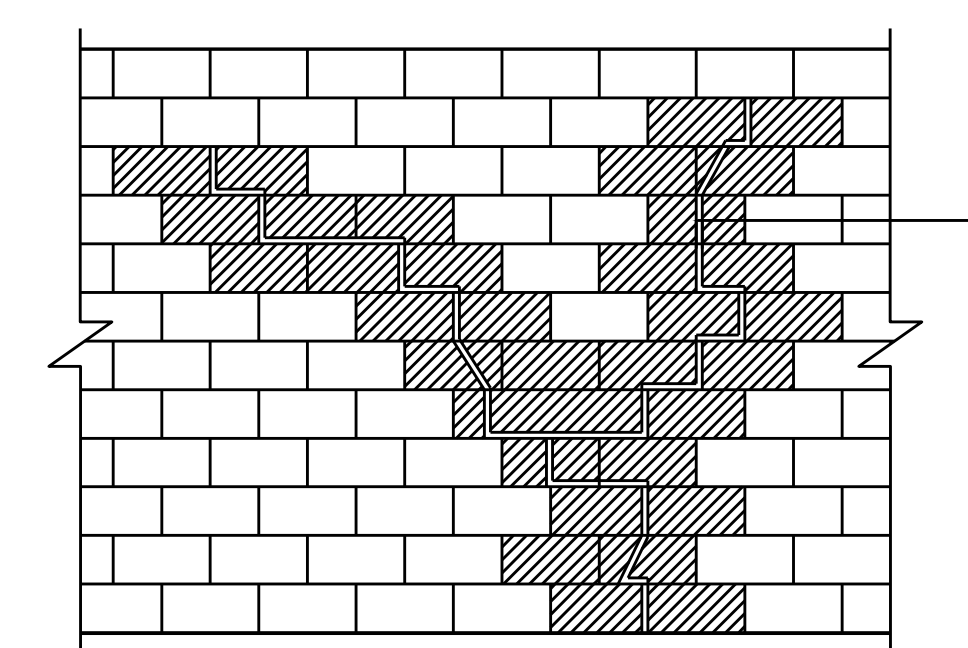


NOTES:
 1. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY AS SPECIFIED IN THE GENERAL NOTES.
 2. IF PIER HEIGHT IS LESS THAN 2'-6", EXTEND COLUMN DWELLS INTO FOOTING. SEE COLUMN SCHEDULE FOR SIZE AND REINFORCING.

PIER SIZE	MIN. VERTICAL BARS	CLOSED TIES
16" x 16"	4 - #6	#4 @10"o/c
18" x 18"	4 - #6	#4 @12"o/c
20" x 20"	8 - #5	#4 @10"o/c
22" x 22"	8 - #6	#4 @12"o/c
24" x 24"	8 - #6	#4 @12"o/c
26" x 26"	8 - #7	#4 @12"o/c
28" x 28"	8 - #7	#4 @12"o/c
30" x 30"	12 - #7	#4 @12"o/c
36" x 36"	12 - #7	#4 @12"o/c

NOTE: REINFORCING SHALL BE NO LESS THAN SCHEDULED UNLESS NOTED OTHERWISE.

1 TYPICAL DETAIL PIER AND FOOTING
 A311 SCALE: 1/2"=1'-0"
 REFERENCE LOCATIONS:



NOTES:
 1. DENOTES BRICK TO BE REPLACED, WHERE CRACK IS THRU WALL, REPLACE ALL WYTHES OF BRICK ON EACH SIDE OF CRACK TO 1st MORTAR JOINT, REPLACE EXISTING HEADERS WITH NEW HEADERS, REPLACE LOOSE AND CRACKED BRICKS, WHERE CRACK IS ONLY IN OUTER WYTHE, REPLACE ONLY OUTER WYTHE.
 2. WHERE CRACK IS OPEN AND 1/8" OR LESS AND IS PRESENT ONLY IN THE OUTER WYTHE AND ONLY IN JOINTS, RAKE AND REPOINT JOINTS ONLY.

2 TYPICAL DETAIL REPAIR IN BRICK MASONRY
 A311 SCALE: N.T.S.
 REFERENCE LOCATIONS:

PLOTTED ON 10/25/2021 1:34 PM | PLOTTED BY LILLIAN CANDELA

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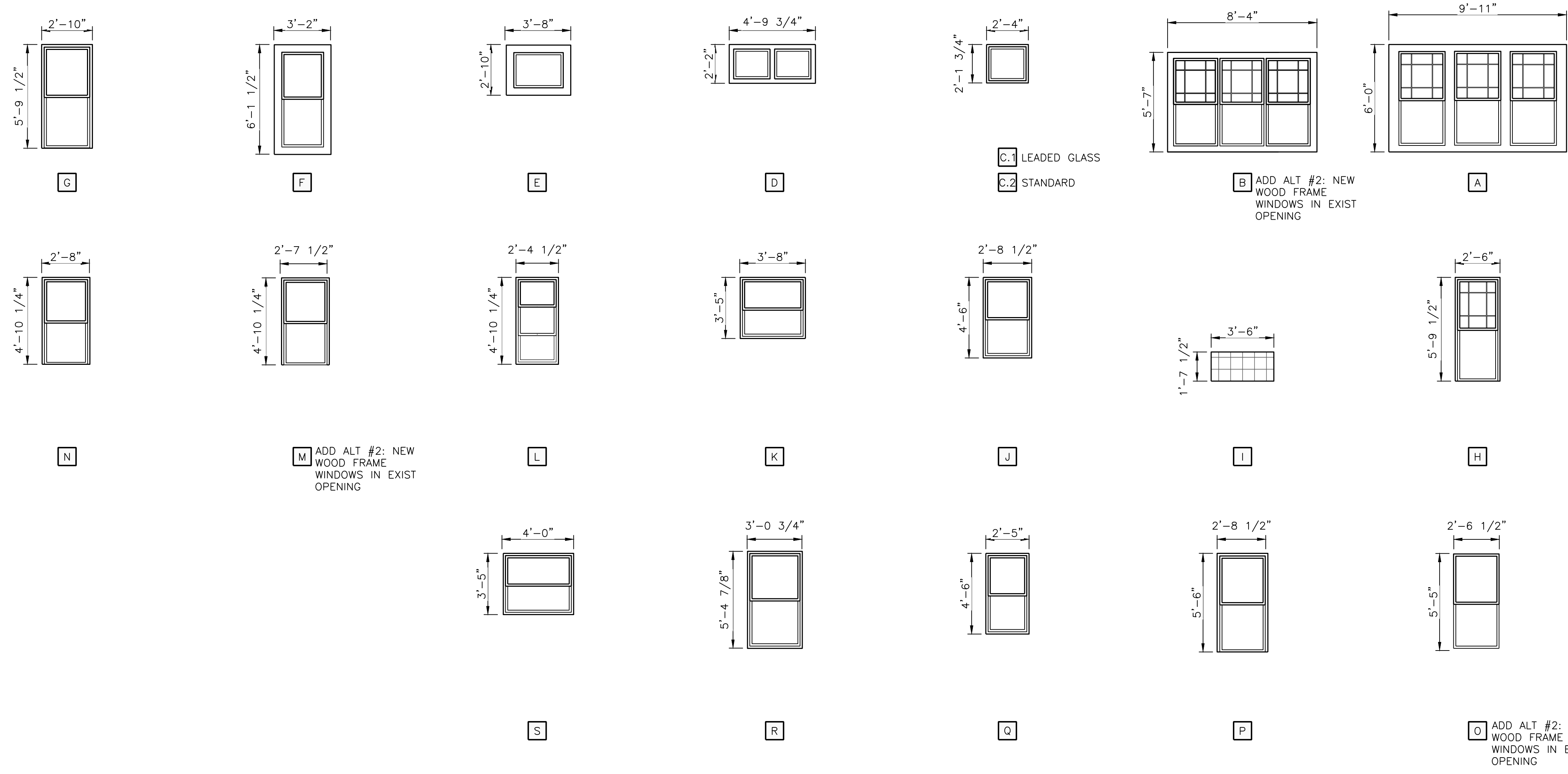
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Project Number 2020009

Sheet Title
TYPICAL STRUCTURAL & EXTERIOR DETAILS

Sheet Number
A311

WINDOW ELEVATIONS



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BID ALTERNATE NO. 2: WINDOWS
 BASE BID: DRAWING NUMBER A201 AND A202: REPAIRS TO MISSING OR DAMAGED UNITS AS SHOWN

ADD ALT: (3) NON-ORIGINAL WINDOWS TO BE REPLACED WITH HISTORICALLY APPROPRIATE REPRODUCTIONS OF THE ORIGINAL WOOD FRAME WINDOWS.
 MANUFACTURERS: ANDERSON WINDOWS, MARVIN WINDOWS AND DOORS, PARRETT WINDOWS AND DOORS, WEATHERSHIELD, QUAKER. CONFIRM FINAL MANUFACTURER AND WINDOW DESIGN WITH ARCHITECT PRIOR TO PURCHASING

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50% OWNER REVIEW	07-10-20
Revision	Date

Date

Project Number 2020009

Sheet Title
WINDOW ELEVATIONS

Sheet Number

A611



JELD-WEN®

CUSTOM™ WOOD
WINDOWS AND PATIO DOORS

ABOUT JELD-WEN

DEDICATION FROM DAY ONE

Since 1960, when JELD-WEN began with one millwork plant, we've been dedicated to crafting windows and doors that enhance the beauty and functionality of your home. Today we continue that tradition with products that are durable and well-designed. It's the result of innovation as a driving force in all that we do.

In addition to responsible reforestation practices, we reuse and recycle as much of our raw resources as possible. Innovation is also at the heart of our design and manufacturing process. With JELD-WEN, you can expect products that are more than just beautiful on the outside. The inner workings of our windows and doors are engineered to function for years to come.



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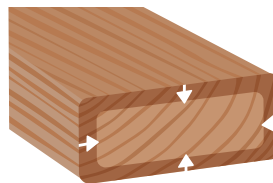
AuraLast™

AuraLast® pine is a patented wood product that provides protection against wood rot, water damage, and termites. This water-based process fortifies wood all the way to the core, providing an exclusive level of protection you'll only find through JELD-WEN.

LIMITED
LIFETIME
WARRANTY

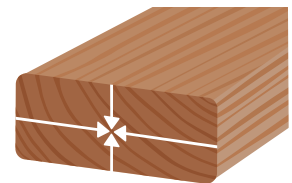
For warranty details, visit jeld-wen.com, click Support, and select JELD-WEN Warranties.

TRADITIONAL TREATMENT



SURFACE ONLY

 AuraLast™



SURFACE TO CORE

Traditional treatments cover just the surface. AuraLast® penetrates to the core using a proprietary vacuum-pressure process.



EASY ON THE ENVIRONMENT

Water-based process releases up to 96 percent fewer volatile organic compounds (VOCs) during the manufacturing process than traditional solvent-based methods.



WET WEATHER PROTECTION

Whatever the climate, AuraLast® pine protects against water damage and rot like no other. Whether it's humidity, storms, or dampness, AuraLast® pine stands up to the rigors of wet weather.



TERMITE PROTECTION

Termites can be devastating to windows and doors, but not to those built with AuraLast® pine. It safely and effectively repels termites, preserving the beauty of your investment.





SUPPORTING OUR ENVIRONMENT

At JELD-WEN, environmental stewardship is nothing new. With origins rooted in wood product manufacturing, our legacy has been to make windows, doors, and components in a manner consistent with efficient use of what nature provides. In effect, we've always strived to make stiles and sash, not sawdust.

To us, minimizing waste has always made good ecological and business sense. Our mission is to develop high performance, high-value products that satisfy our customers' needs, while also caring for our communities by seeking ways to reduce our impact on the environment.



Only JELD-WEN makes window and door products with natural

AuraLast® pine. AuraLast pine releases 96% fewer volatile organic compounds (VOCs) during the manufacturing process than traditional submersion treatment methods used by other manufacturers.

AuraLast is manufactured with a water-based solution that is safer to handle compared to much harsher, solvent-based treatments.

Best of all, our Limited Lifetime Warranty protects against termites, water saturation, and wood rot for as long as the owner owns and occupies their home.

Environmental stewardship is a journey, and our ongoing efforts will remain directed toward continual improvement of our products, processes, and culture.

We do this not because it's popular.

We do it because it's the right thing to do.



WINDOW AND PATIO DOOR CHOICES

THE ONLY LIMITATION IS YOUR IMAGINATION.

Our Custom™ Wood windows and doors come in a variety of designs, including those you create yourself. The following pages contain choices to inspire.



INTERIOR OPTIONS



INTERIOR WOOD OPTIONS

(Custom wood species also available)
Full list on page 13

INTERIOR STAINS



Fruitwood

Cordovan

Walnut



Kodiak

Charcoal

Americano

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

SURFACE TEXTURING AND ANTIQUING AVAILABLE

See page 15 for details



INTERIOR TRIM



WM316

WM346

WM356

WM366

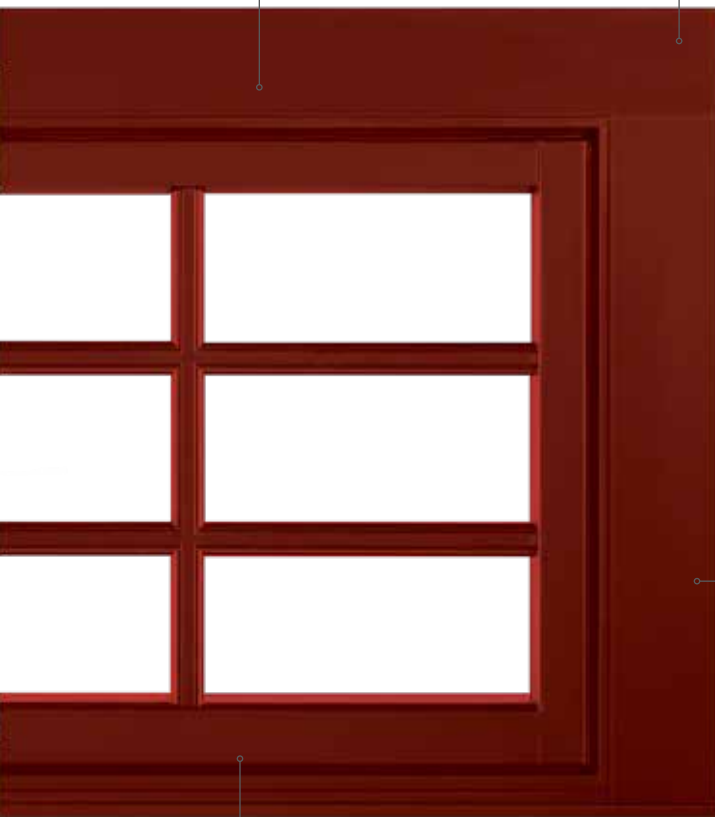
WM445

EXTERIOR OPTIONS



EXTERIOR WOOD OPTIONS

Full list on page 13



WOOD EXTERIOR TRIM



Adams



Flat



Brickmould



Backband

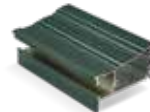


Pendleton



Heritage

ALUMINUM EXTERIOR TRIM



Adams



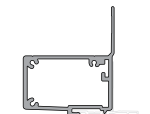
Flat



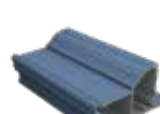
Brickmould



Manchester



Kenison



Pendleton

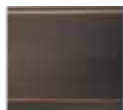
COPPER CLADDING OPTIONS



Bright Copper



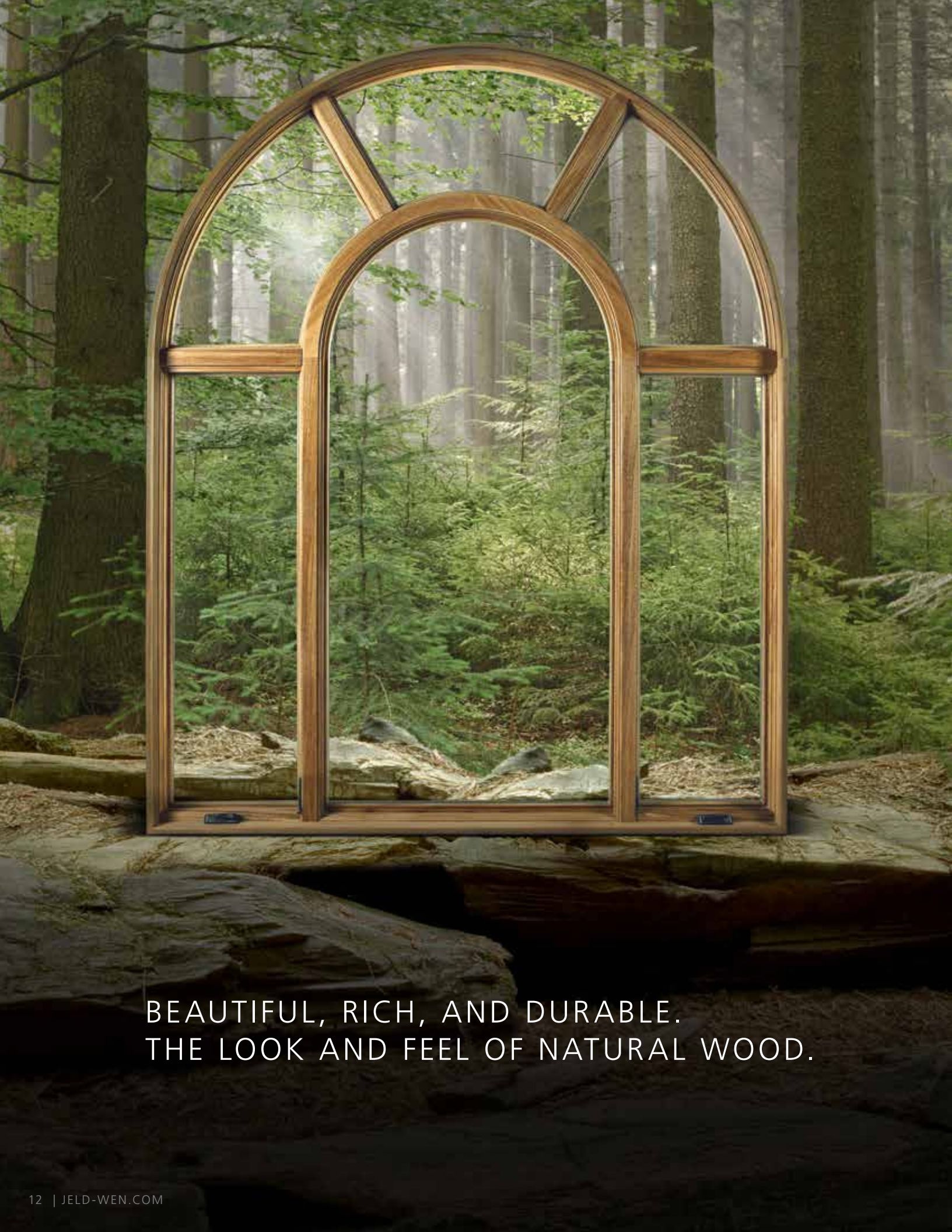
Speckled Patina Copper



Hand-Rubbed Patina Copper

See pages 20-21 for details

In addition to our standard wood and aluminum clad trim selection, we can create custom trim options for commercial, historical, and retrofit projects.



BEAUTIFUL, RICH, AND DURABLE.
THE LOOK AND FEEL OF NATURAL WOOD.

WOOD SPECIES

I INTERIOR WOOD SPECIES

E EXTERIOR WOOD SPECIES

Primed
AuraLast® Pine

I E



Our primed windows and doors are light gray in color and are ready to paint.

AuraLast® Pine

I E



Pine is harvested from plantation forests. Pine is a softwood with distinct grain patterns and color variations. The wood will darken and yellow with age, adding character and charm.

Knotty Alder

I



This hardwood is smooth with a straight, even grain and knots that create beautiful swirl patterns. Color ranges from tan to a pale pinkish brown. This species stains well, enhancing its natural grain.

Vertical-Grain
Douglas Fir

I E



The texture of this wood is smooth with a straight, even grain. It is slightly softer and lighter than hardwoods.

Reclaimed
Douglas Fir

I



Reclaimed wood is recovered from old barns, houses, fences, and factories. The naturally weathered appearance and texture of reclaimed lumber gives every room a classic look of its own.

Mahogany

I E



Mahogany is a highly dense, long-lasting hardwood with deep, rich-looking grain and a natural elegance. It accepts stain well.

Oak

I



Oak is a hardwood known for its pronounced grain pattern, which varies from a tight, vertical grain to a beautifully arched pattern. Oak accepts stain very well.

Walnut

I



Walnut's durability makes it ideal for our windows. The color varies from a rich, dark brown to black with purple undertones. Walnut generally has a straight grain with occasional waves or curls.

Cherry

I



This is a strong wood species with a smooth texture and a fine, straight, and close grain. Cherry stains easily and smoothly, and it will darken slightly with age.

Custom Species

I



We also offer many other types of wood species. Check with your sales associate to see what exotic species we can offer to fulfill your project design needs.



SURFACE TEXTURE DETAILS

All of our wood species are available with unique surface textures that allow you to create one-of-a-kind windows and patio doors with weather-worn, rustic appeal. Mix and match any of our surface textures for a custom distressed look.

LIGHT DISTRESSING ►

Distress marks only, no wormholes or hand hewing.



WIRE BRUSHED ▲

Windows and doors with this texture feature a charming, uneven, and rough appearance. We achieve this by running the wood through a wire brushing wheel that grooves the wood for a raised-grain appearance.

ANTIQUING ▼

This look is achieved through a multi-step process beginning with a base stain for overall color. Next, depending on base color, a dark brown or black stain is applied between the mouldings, panels, and character marks, which highlights these areas.





PAINT & STAIN COLORS

Personalize your wood or aluminum clad windows and patio doors with 27 exterior finishes and 12 interior finishes. Custom colors and PVDF protection are also available.

BRILLIANT WHITE

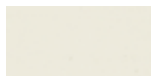


DOVE

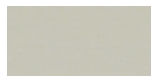
INTERIOR PAINTS



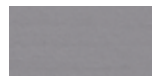
Brilliant White



Ivory



Desert Sand



Dove



Gunmetal



Black

INTERIOR STAINS



Fruitwood



Cordovan



Walnut



Kodiak



Charcoal



Americano

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

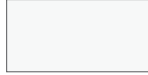
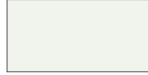

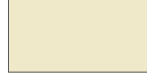



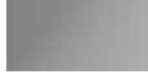







EXTERIOR CLADDING COLORS

Our aluminum clad color finishes will stay truer and brighter because they feature a commercial-grade 70% PVDF resin system that resists fading and chalking. Plus, they're backed with a 30-Year Limited Warranty.*

MOSS

EXTERIOR CLADDING COLORS

						
Bone White	Brilliant White	French Vanilla	Heirloom White	Ivory	Mocha Cream	Desert Sand
						
Silver	Smoke	Stone	Flagstone	Cocoa	Surf	

*For warranty details, visit jeld-wen.com, click Support, and select JELD-WEN Warranties.



NAVY



Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

COPPER CLADDING



Bright Copper



Speckled Patina Copper




Hand-Rubbed Patina Copper

Enjoy a dynamic look with our copper cladding. Copper is a living finish that changes in appearance over time (color will vary based on interaction with atmospheric elements). The look of these windows will age to a rustic charm that only copper can offer. If you prefer it to look aged without the wait, we offer Speckled Patina and Hand-Rubbed Patina. If you prefer the sheen of our Bright Copper and want it to last, proper cleaning will keep it looking new for years to come.

Copper is available on the window sash component or patio door panel only, so you can select a contrasting or complementary metal clad color for the frame or choose the natural look of a wood frame.

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.





Custom™ Wood casement windows with copper cladding that has aged to a rich green patina.

AUTHENTIC DIVIDED LITE
APPEARANCE FOR INCREASED
VISUAL APPEAL.



DIVIDED LITES & GRILLES



SIMULATED DIVIDED LITES (SDL)

Select SDL for an authentic divided lite appearance, with interior wood bars, metal spacers between panes of glass, and exterior metal bars. Bars are available in five widths and two profiles. Exterior metal bars come in 27 clad colors or your custom color; or choose primed metal bars, which may be painted any color.

HIGH PROFILE SIMULATED DIVIDED LITES (SDL)

For historical projects, upgrade to our high profile traditional SDL for increased architectural aesthetics and added depth. The same color and profile options available for the traditional SDL apply.



GRILLES BETWEEN THE GLASS (GBG)

Designed for lower maintenance, GBG feature spacer bars between panes of glass. We offer 5/8" flat grilles or 23/32" or 1" contour grilles; contour grilles are available with two-tone coloring (Brilliant White inside / Desert Sand outside or vice versa).

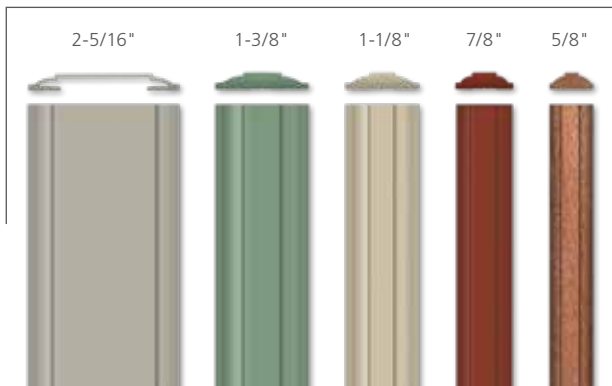
CONTEMPORARY SQUARE SIMULATED DIVIDED LITES

For the most contemporary appearance, choose this low-profile option for the interior of your windows. Available in all standard SDL sizes and color choices, contemporary square SDLs are permanently adhered to the glass.

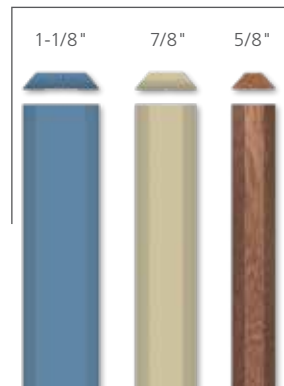


SIMULATED DIVIDED LITE PROFILES

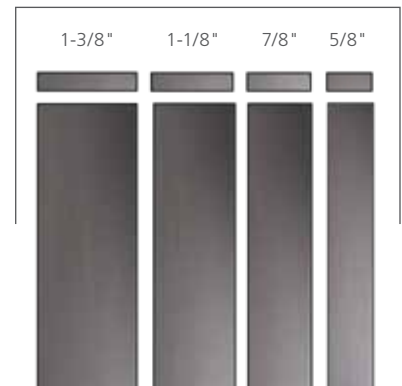
BEAD



PUTTY

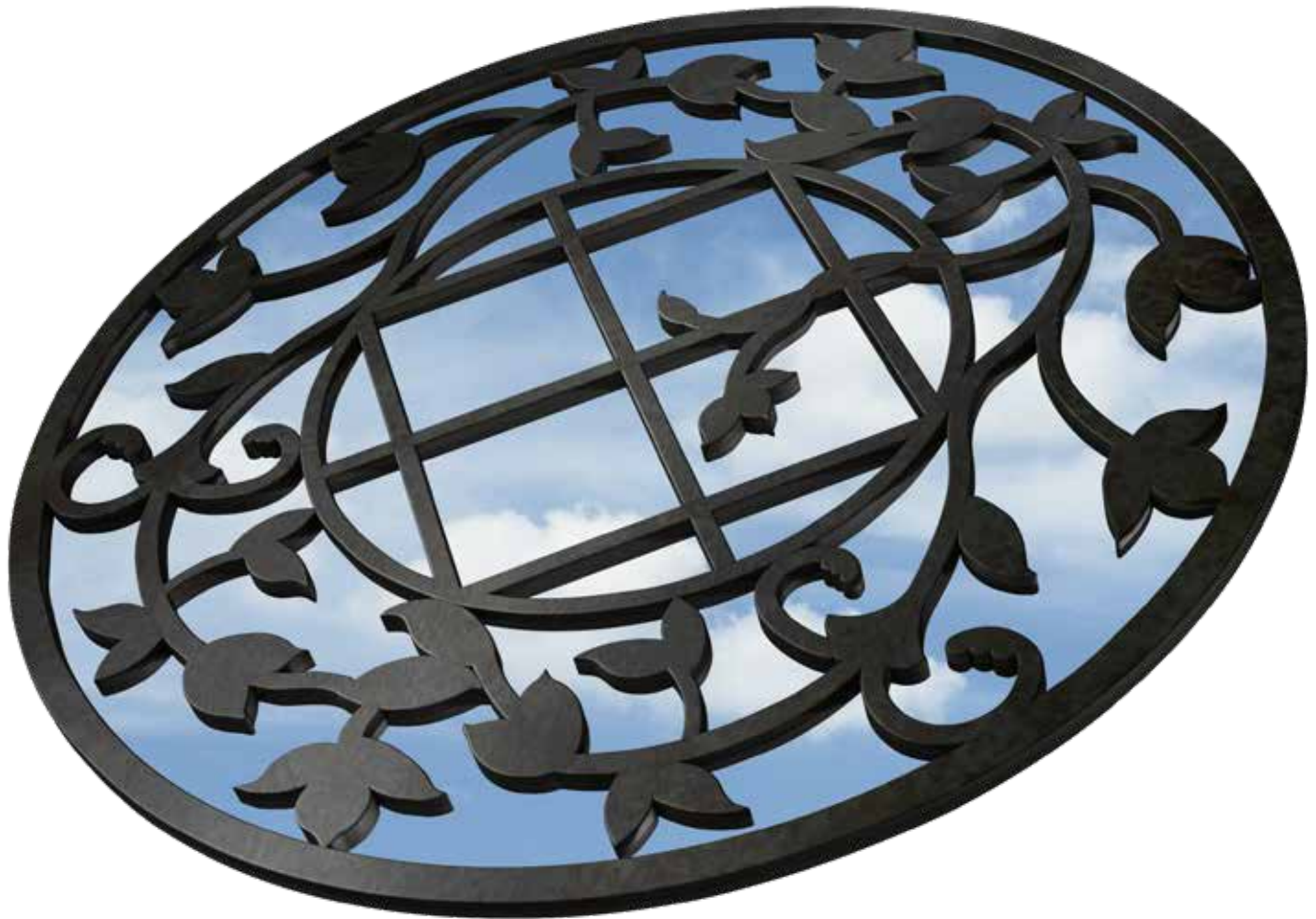


CONTEMPORARY



DECORATIVE METAL GRILLES

REFINED WINDOW ART WORTH YOUR PRESENTATION.



Nothing dresses up your custom windows like the classic look of decorative metal grilles. Choose from our designs such as Georgian™, Chateau™, Heritage™, Lotus™, Monte Carlo™, and more. These selections feature the customized look of Old World artisanship while showing your creative taste in window art.



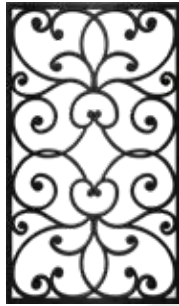
DECORATIVE METAL GRILLE OPTIONS

RADIUS TOP



Versailles™

RECTANGLE



Versailles™

FULL CIRCLE



Etruscan™

SEGMENT TOP



Chateau™



Georgian™



Sundial™



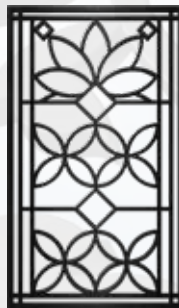
Chateau™



Infinity™



Heritage™



Lotus™



Lotus™



Lotus™



Monte Carlo™



Monte Carlo™



Armada™



Armada™

SQUARE



Etruscan™



Infinity™



Heritage™



Armada™



JELD-WEN'S Decorative Grille Program features custom capabilities to build your own creations.

Using your sketches and combinations of patterns, we can build nearly anything you imagine.

GLASS OPTIONS

CLEAR GLASS IS PROPOSED

Add a distinctive touch to our Custom™ Wood windows and patio doors with textured, tinted, or decorative glass. The best choice for you will balance your preferences for light flow and privacy.

TEXTURED GLASS



Obscure



Seedy Reamy



Glue Chip



Rain



Narrow Reed



Cross Reed



Sandblasted



Water



Aquatex



Delta Frost



Sycamore



Autumn

TINTED GLASS



Gray Tinted



Bronze Tinted



Azurlite Tinted



Green Tinted



Bronze Reflective



Gray Reflective



Graylite Tinted

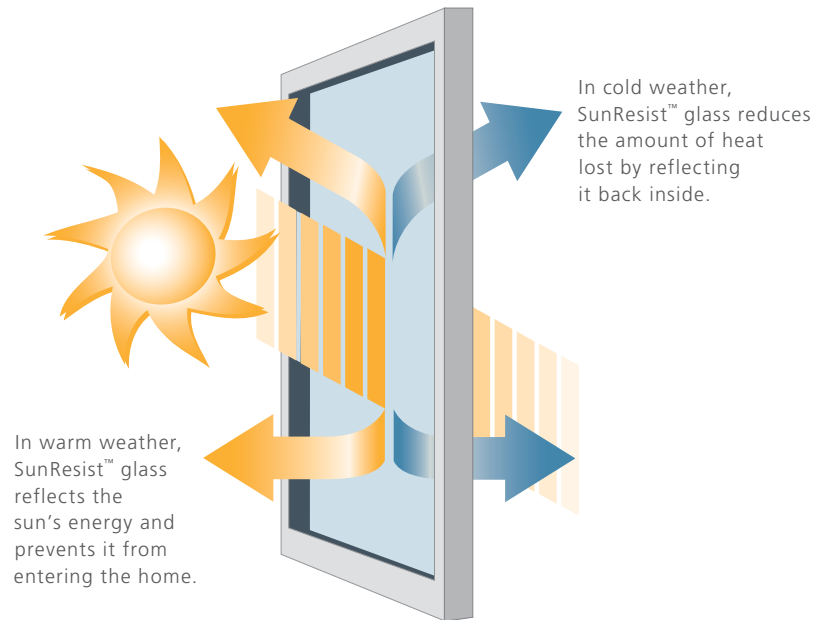
Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



PERFORMANCE GLASS

SUNRESIST™ LOW-E INSULATING GLASS

Our standard high-performance SunResist™ Low-E insulating glass enhances energy conservation by helping homes stay cooler in the summer and warmer in the winter. SunResist™ glass provides greater protection against solar heat gain, reduces condensation, and helps limit fading of interior furnishings. Additional Low-E glass options are available for improved thermal performance.



PROTECTIVE FILM

Standard for all Custom™ Wood styles, this film is factory-applied to both sides of the glass. It protects against debris and scratches during shipping and handling or at a construction site. Easy to remove, it saves clean-up time after installation.

DIRT-RESISTANT GLASS

This innovative option harnesses the sun's UV rays to loosen dirt from the glass, so that rainwater can easily rinse away any grime. No manual activation is required.

TEMPERED GLASS

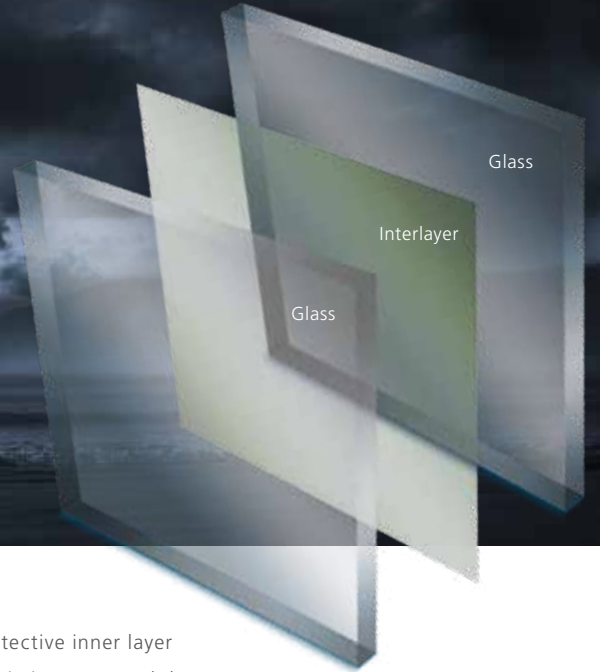
Treated with heat in order to withstand greater force or pressure on its surface, tempered glass will not break into sharp pieces. It is used most frequently on patio doors or windows installed near floor level.



ENERGY STAR®

Many JELD-WEN® windows and doors are ENERGY STAR® certified, which means they exceed the minimum energy efficiency criteria for the climate region in which you live. JELD-WEN has been a proud ENERGY STAR® partner since 1998. Please see your local dealer for options in your area.

IMPACT RESISTANT GLASS



Optional ImpactGard® glass, which features a protective inner layer laminated between two sheets of glass, helps minimize structural damage by preventing windborne debris from breaching the building envelope (through broken doors and windows). In the event of breakage, most of the broken glass adheres to the protective inner layer or falls to the outside of the home. ImpactGard glass also helps resist forced-entry attempts involving breaking the window glass and decreases sound transmission from outside the home.

SAFE IMPACT-RESISTANCE

During a severe storm, a broken window can affect a home's structural integrity. Windows and patio doors with ImpactGard® glass are designed to help resist impacts. Even if the glass cracks, the fragments will adhere to the interlayer, so the shards remain within the frame.

ImpactGard windows and patio doors meet the nation's toughest building codes. These codes specify that windows must withstand a nine-pound 2x4 traveling at 50 feet per second (34 miles per hour).



Standard Glass ImpactGard® Glass



SECURE FORCED-ENTRY RESISTANCE

Windows and patio doors with ImpactGard® glass help resist forced entry. Because the interlayer separating the panes helps resist a potential intruder's glass cutter, break-ins are less likely.

DECREASED SOUND TRANSMISSION

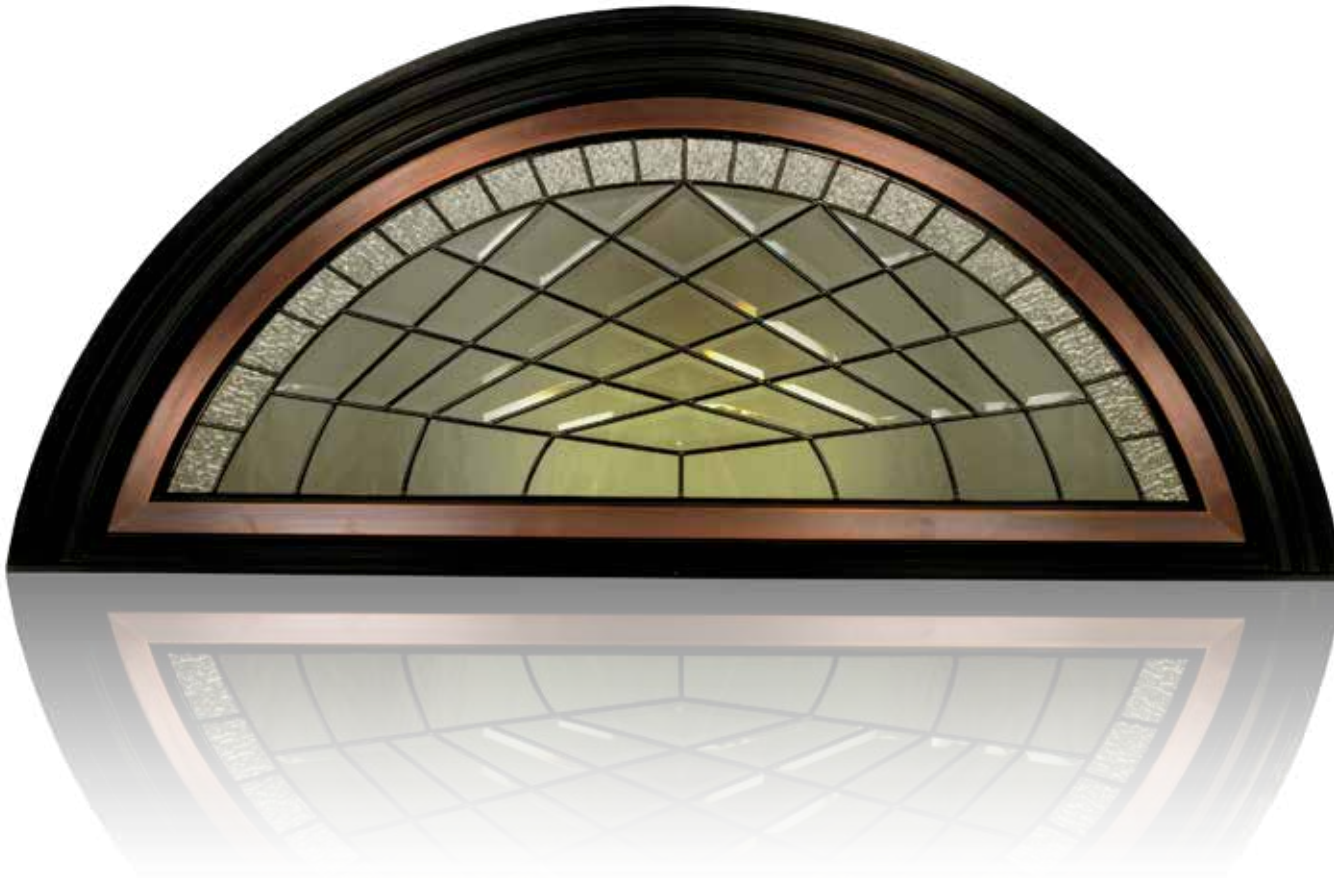
Unwanted outdoor noise is noticeably dampened with ImpactGard® glass.

To compare, a single pane of glass generally has an STC rating around 27, a typical insulating glass unit has an improved STC rating of 31, and a laminated insulating glass unit can achieve an STC rating up to 35. The higher the STC rating, the better the sound dampening effects.



DECORATIVE GLASS

UNLOCK YOUR IMAGINATION.
WE'LL CUSTOMIZE A WINDOW
CREATION JUST FOR YOU.



Send us a sketch or picture of your ideas and we will turn them into a unique decorative glass creation. We have developed a program that supports nearly any customized design. You can also choose from our five unique glass collection styles, which draw from popular JELD-WEN entry door designs. Make a statement with your doors and windows.



DECORATIVE GLASS OPTIONS

Featuring five popular standard glass collections, this program gives you the ability to create a custom decorative glass creation.

Using combinations of patterns, colors, obscure glass, and coming options, we can build nearly anything you can imagine.



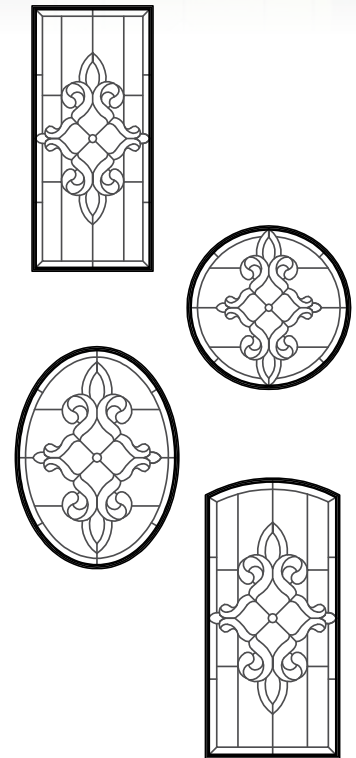
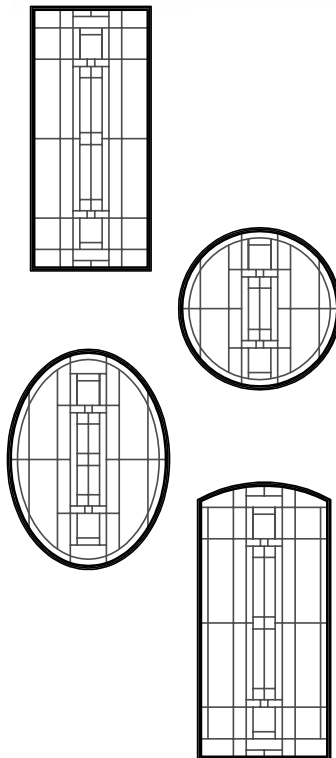
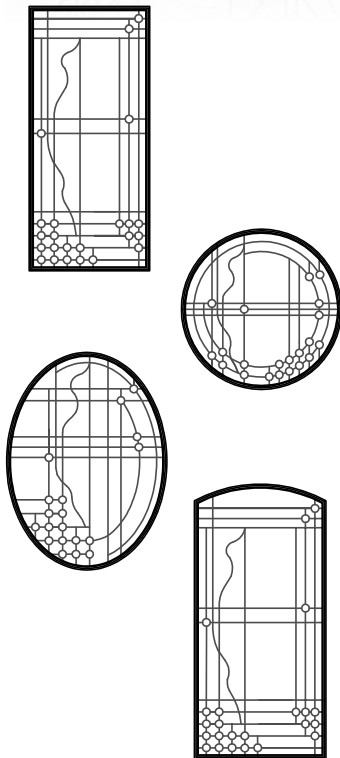
CONTEMPORARY COLLECTION



ESTATE COLLECTION



CLASSIC COLLECTION



Coming Options: Choose one of our five coming selections to determine how your decorative glass pattern will appear.



Satin Nickel



Copper



Patina



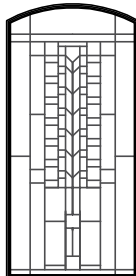
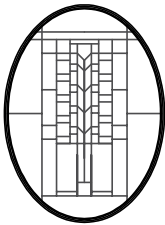
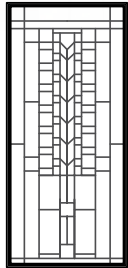
Brass



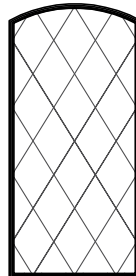
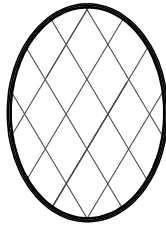
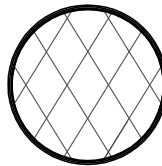
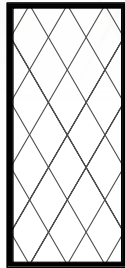
Zinc



CRAFTSMAN COLLECTION



DIAMOND COLLECTION



Note: Glass patterns will change based on size and style of window.

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

SCREENS

PHANTOM SCREENS® TECHNOLOGY

Available to match interior wood species

Our windows are available with Phantom Screens® Technology. This feature includes convenient, retractable insect screens that fully reveal beautiful exterior views. They're made to be durable, secure, and easy to use, and they'll integrate seamlessly with the rest of the window. Screens for double-hung windows also have a removable track that allows sash to tilt in for easy cleaning.

1. Integrated design creates a seamless look
2. Fully retractable for a clear view
3. Removable tracks allow sash to tilt in for easy cleaning on double-hung windows

Note: Insect screens are intended to allow air and light in, while keeping insects out. They are not intended to stop children from falling through an open door or window. For safety screens and other security devices, contact your local building supply retailer.



WOOD FRAME SCREENS

For greater beauty and design consistency, select optional wood insect screen frames for casement and awning windows. They're available in our interior wood species. The mesh consists of durable charcoal fiberglass screen cloth that resists dents.

Also available in Red Oak, Walnut, and Cherry.

Pine

Knotty Alder

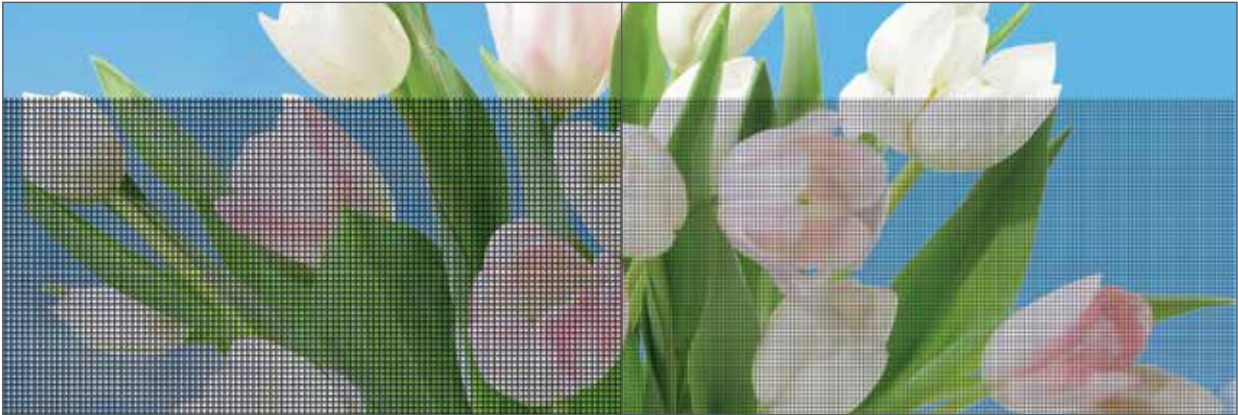
Vertical-Grain
Douglas Fir

Mahogany



ULTRAVUE® SCREENS

Note: The below images are for illustration purposes only.



View through regular fiberglass insect screen

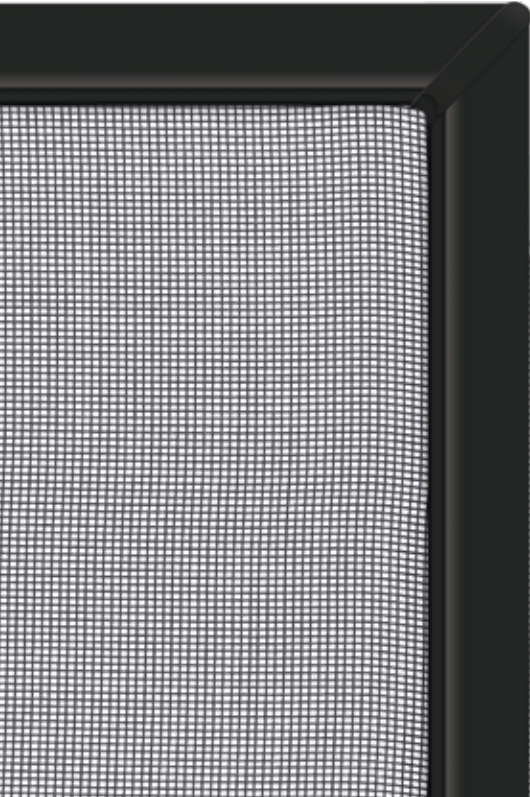
View through UltraVue® insect screen

These screens are designed to keep more insects outside, while letting more natural light inside. They feature fine, black fiberglass mesh with a light gloss finish. UltraVue® insect screens are now standard for awning, casement, double-hung, and sliding windows.

ALUMINUM FRAME SCREENS

Combine your window with one of the five standard aluminum screen colors or select optional color match to get your aluminum screen in the same color as any of our 27 cladding colors. Custom color matching is also available. Also available in Silver and Black.

Chestnut Bronze



Brilliant White



Desert Sand

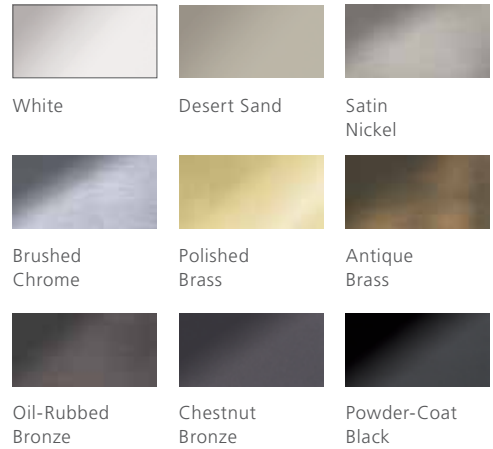


Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



WINDOW HARDWARE

CASEMENT AND AWNING	DOUBLE-HUNG AND HORIZONTAL SLIDING
<p data-bbox="191 478 331 527">Standard Folded Nesting Handle</p>  <p data-bbox="191 699 331 722">Push-Out Handle</p> 	<p data-bbox="516 478 656 548">Cam-Lock With Concealed Tilt Latch</p> 



WINDOW OPENING CONTROL DEVICES (WOCD)

AVAILABLE ON DOUBLE-HUNG AND CASEMENT WINDOWS

Because windows can be necessary for emergency escape and rescue, building codes in your area may require certain windows to open fully. Factory-installed window opening control devices are designed to meet the current ASTM F2090 standard intended to help prevent accidental falls from windows by children five years of age and younger. A WOCD automatically limits the sash opening to less than four inches, unless it is deliberately disengaged, allowing the sash to open fully.

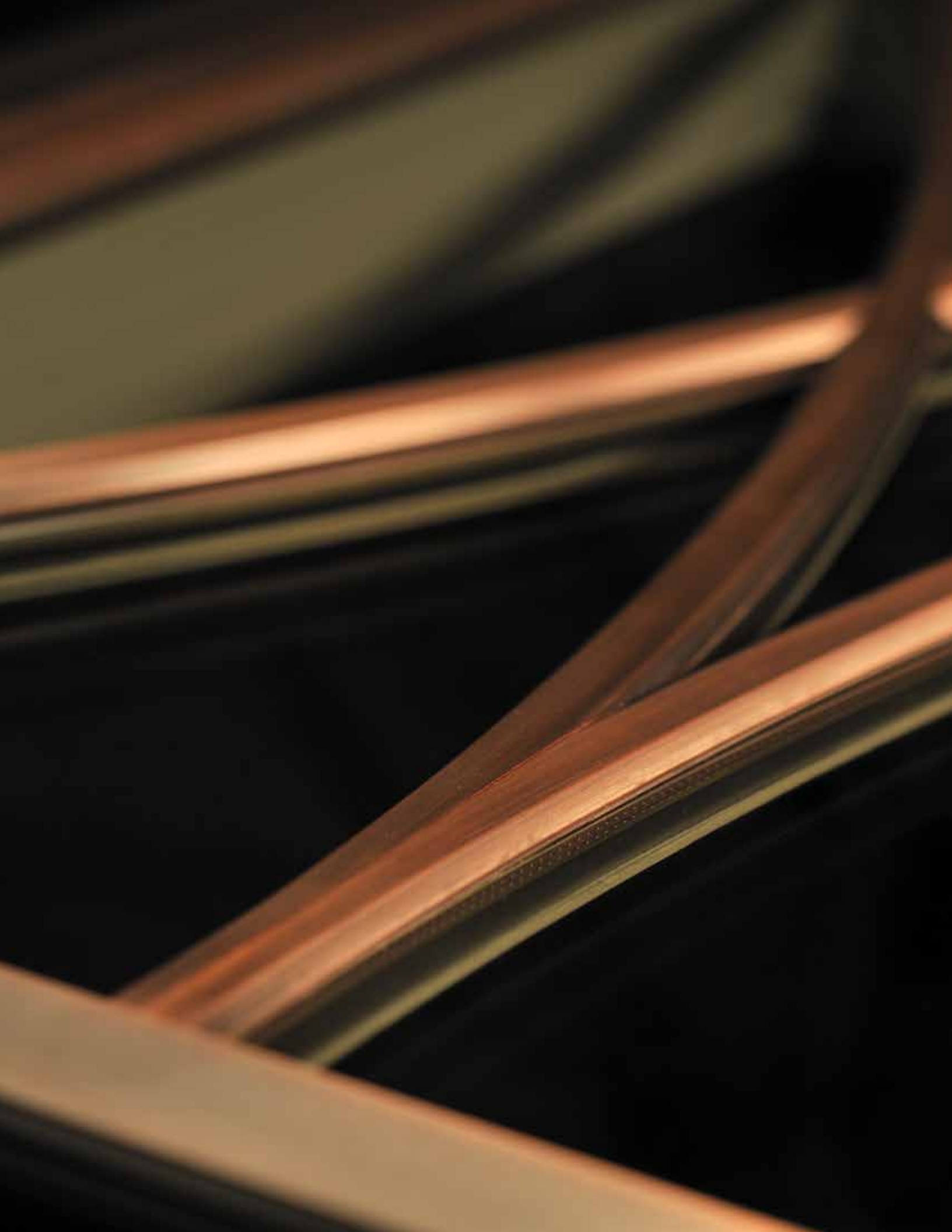


Window Open

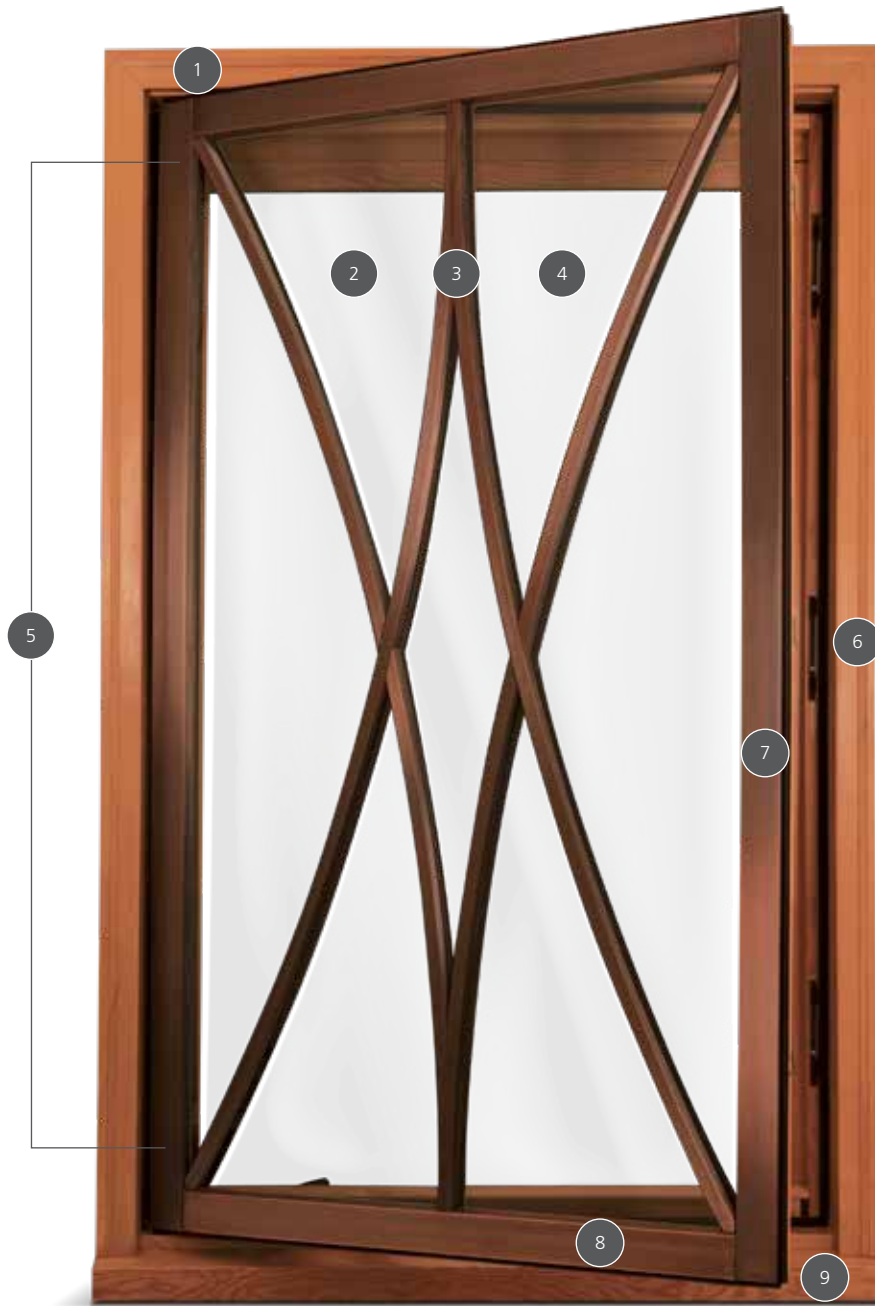


Window Closed

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



ANATOMY OF A WINDOW



ANATOMY OF A CUSTOM CASEMENT / AWNING WOOD WINDOW

- | | |
|--------------------|--------------|
| 1. Head jamb | 6. Side jamb |
| 2. Lites | 7. Stile |
| 3. Grille | 8. Rail |
| 4. Glazing / glass | 9. Sill |
| 5. Sash | |

The window frame consists of the head jamb, side jamb, and sill.

Casement in Bright Copper clad with custom Argyle SDL



CASEMENT WINDOWS

These stylish windows lend a sense of elegance to any home, and they deliver the most unobstructed viewing areas, structural integrity, and ventilation of any operating window. Each one is hinged so the sash opens in a swinging motion.

For a window with heightened grandeur and presence, select our Epic® or Epic® Plus casement windows. We also offer push-out casement windows that operate simply with friction hinges and have a particularly clean look. Learn more about these windows on pages 44 and 45.



EPIC[®] CASEMENTS

What differentiates this casement from our standard Custom[™] Wood window is that its top rail, bottom rail, and stiles are all 2-3/32" wide – making it architecturally sound in its design.



EPIC[®] PLUS CASEMENTS

As our largest casement window, the Epic[®] Plus pushes the boundaries with enormous expanses of glass made possible with thicker stiles and rails, larger hardware, and extruded sash – all designed for strength while making a big style statement. This window can be configured to fit openings 5' wide by 5' tall or 4' wide by 9' tall, respectively.



RADIUS TOP CASEMENTS



NESTING FOLDING HANDLE

Stylishly recessed, this hardware allows for hassle-free movement of window treatments

SINGLE ACTION UNISON LOCK

One lever operates two locking mechanisms for ease of operation and increased security

AVAILABLE HARDWARE FINISHES FOR ALL CASEMENT WINDOWS



*Oil-Rubbed Bronze will change in appearance over time

†Available with optional PVD finish for increased resistance to wear and discoloration

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

PUSH-OUT CASEMENTS



1 - HIDDEN MAGNETIC CLOSURES

For a clean, unobstructed look

2 - SWINGING SCREEN

Historically-detailed swinging screen matches wood and hardware finishes

3 - STAY BAR

Stay bar holds sash open in windy conditions and is reminiscent of Old World architectural detail



4 - PUSH-OUT HANDLE

Simple and secure, this handle is reminiscent of Old World charm but with the added benefits of modern security





AWNING WINDOWS

These versatile windows are compatible with a variety of architectural styles. They're hinged at the top and open out from the bottom in an upward swing.



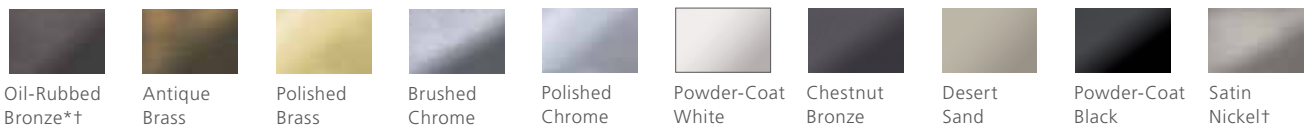
DUAL LOCK LEVERS

For easy, smooth operation and increased security

NESTING FOLDING HANDLE OR PUSH-OUT HANDLE AVAILABLE

Our stylish nesting folding handle allows for hassle-free movement of window treatments while our simple and secure push-out handle is reminiscent of Old World charm but with the added benefits of modern security.

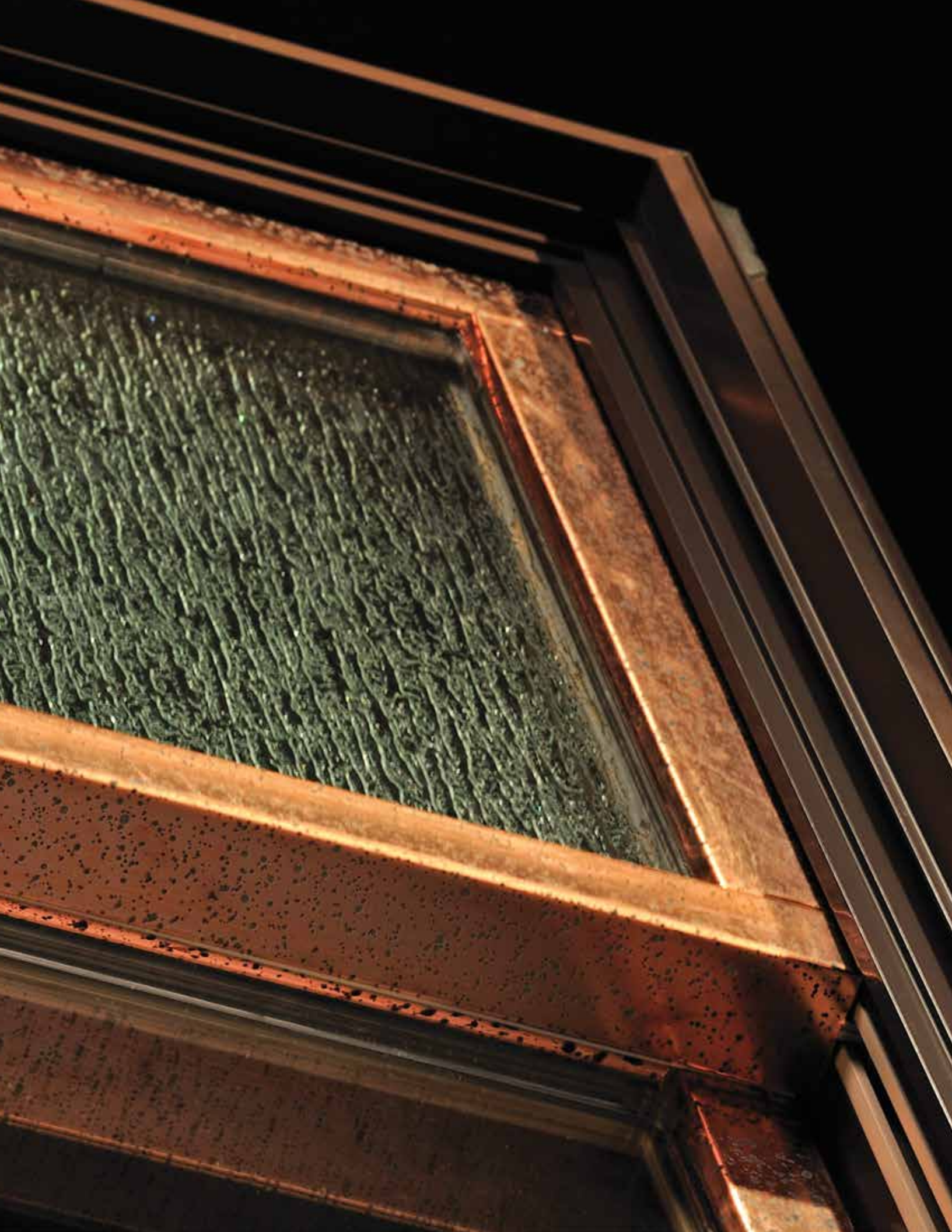
AVAILABLE HARDWARE FINISHES



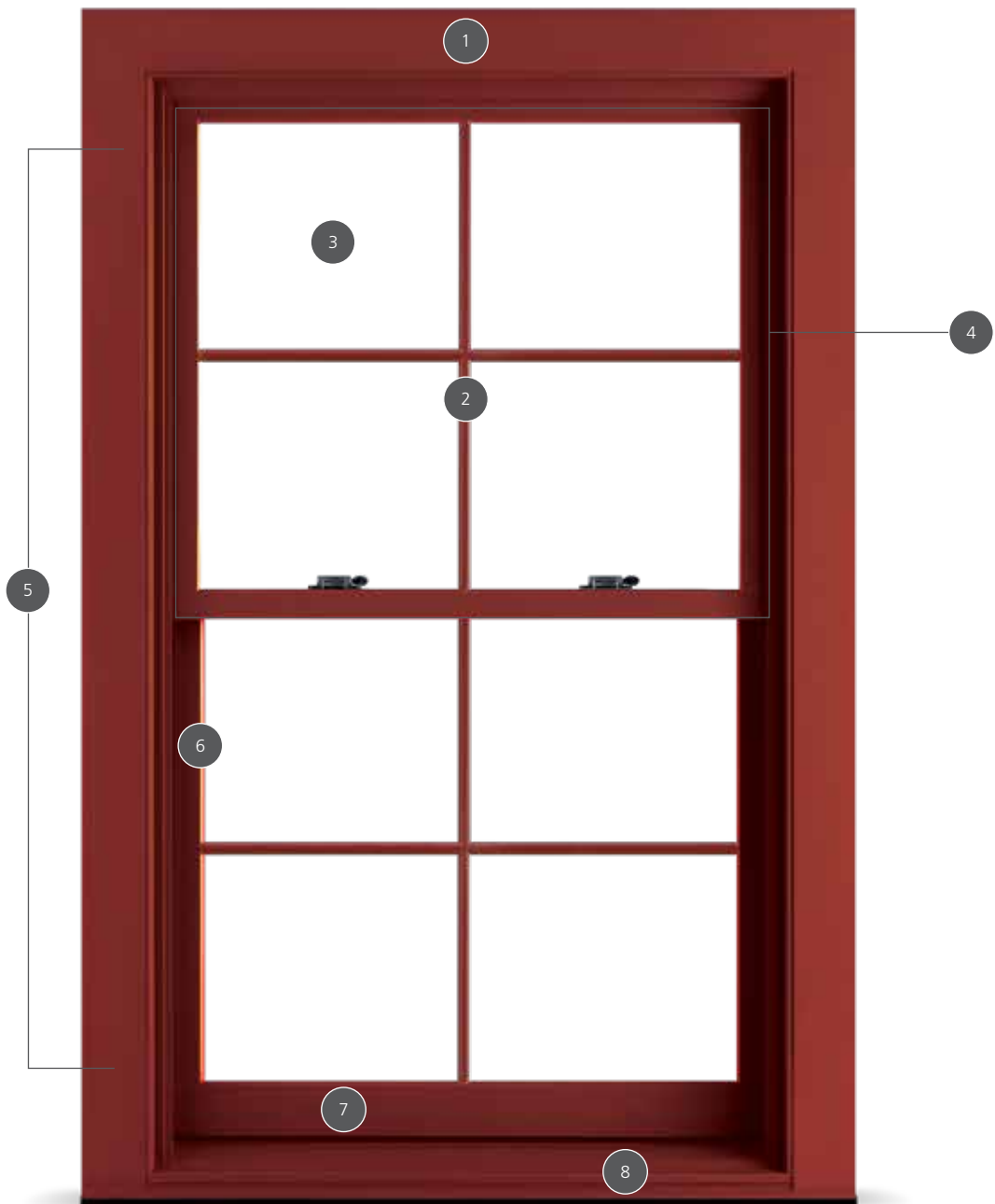
*Oil-Rubbed Bronze will change in appearance over time

†Available with optional PVD finish for increased resistance to wear and discoloration

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



ANATOMY OF A WINDOW



ANATOMY OF A CUSTOM DOUBLE-HUNG WOOD WINDOW

- | | |
|--------------------|--------------|
| 1. Head jamb | 5. Side Jamb |
| 2. Grille | 6. Stile |
| 3. Glazing / glass | 7. Rail |
| 4. Sash | 8. Sill |

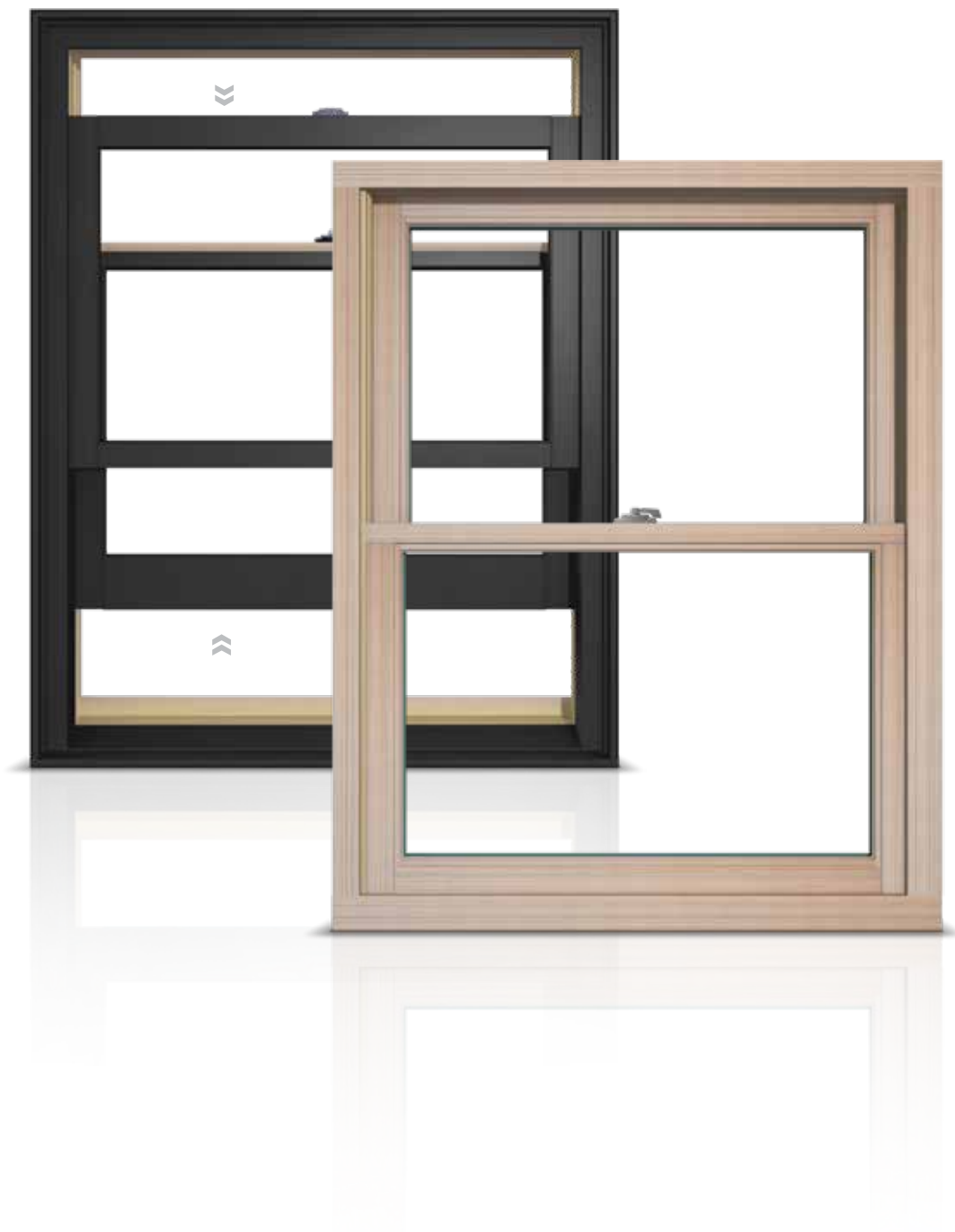
The window frame consists of the head jamb, side jamb, and sill.

Double-Hung in Mesa Red clad with SDL



DOUBLE-HUNG WINDOWS

No other windows convey the sense of traditional American design like our double-hung windows. They feature an upper and lower sash that slide vertically past each other in a single frame. The sash also tilt in for convenient cleaning. In addition, we offer double-hung sash replacement windows, which allow for easy installation. We also offer large-scale Epic® series double-hung windows (shown below; see page 55 for more information).



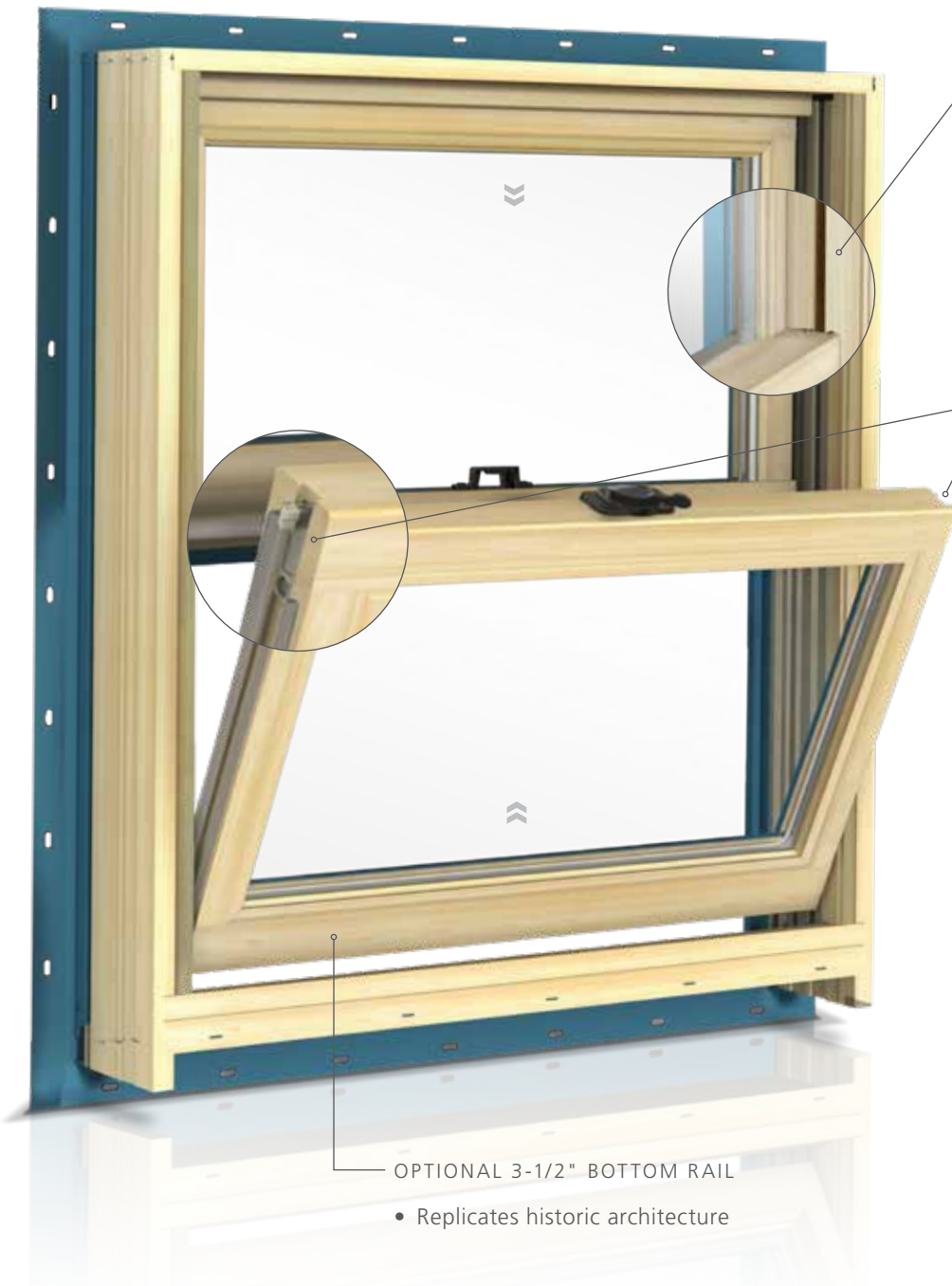


EPIC[®] DOUBLE-HUNG WINDOWS

When you select Epic[®] double-hung windows, you are choosing something more than ordinary. You choose an attitude towards substance, performance, and bold visual statements. Whether you're considering windows for historic renovation, commercial projects, mixed-use developments, or residential use, you'll be pleased to find a flexible and feature-rich product to suit your requirements and architectural style. These windows can be incorporated into new or existing rough openings up to 5'6" wide and 8'6" tall or up to 4'6" wide and 10'6" tall, respectively.



DOUBLE-HUNG FEATURES & OPTIONS



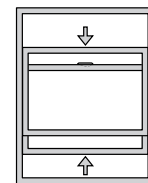
CONCEALED JAMB LINER

- Replicates historic architecture
- No exposed track
- Cover will match interior species and finish



CAM-LOCK WITH CONCEALED TILT LATCH

- Tilt sash allows for easy cleaning from the inside of your home
- A single mechanism controls both the locking and tilting of the sash
- Tilt latches are concealed within the sash for a clean, streamlined appearance



DOUBLE-HUNG

Uses moving sash on top and bottom to increase usability and air circulation

OPTIONAL 3-1/2" BOTTOM RAIL

- Replicates historic architecture

AVAILABLE HARDWARE FINISHES



Oil-Rubbed Bronze*†

Antique Brass

Polished Brass

Brushed Chrome

Polished Chrome

Powder-Coat White

Chestnut Bronze

Desert Sand

Powder-Coat Black

Satin Nickel†

*Oil-Rubbed Bronze will change in appearance over time

†Available with optional PVD finish for increased resistance to wear and discoloration

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

SASH REPLACEMENT SYSTEM



Includes all of the necessary parts and hardware for replacing existing windows while keeping trim and frame intact



POCKET WINDOWS

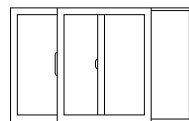
Replacing drafty, old windows with new JELD-WEN® double-hung, casement, or awning pocket replacement windows is an easy way to make a big impact in your home. These windows will give any renovation project years of reliability and beauty.





SLIDING WINDOWS

Streamlined sliding windows allow for ventilation without taking up additional space when open. Each one has a stationary sash and a sash that glides to the right or left.



GLIDING SASH

Moves effortlessly in either a right or left hand direction



CAM-LOCK

Classic styling with unobtrusive lines; simple, elegant, secure

AVAILABLE HARDWARE FINISHES



Oil-Rubbed Bronze*†

Antique Brass

Polished Brass

Brushed Chrome

Polished Chrome

Powder-Coat White

Chestnut Bronze

Desert Sand

Powder-Coat Black

Satin Nickel†

*Oil-Rubbed Bronze will change in appearance over time

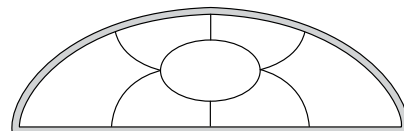
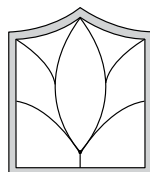
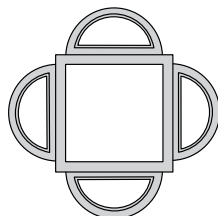
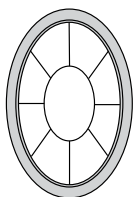
†Available with optional PVD finish for increased resistance to wear and discoloration

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



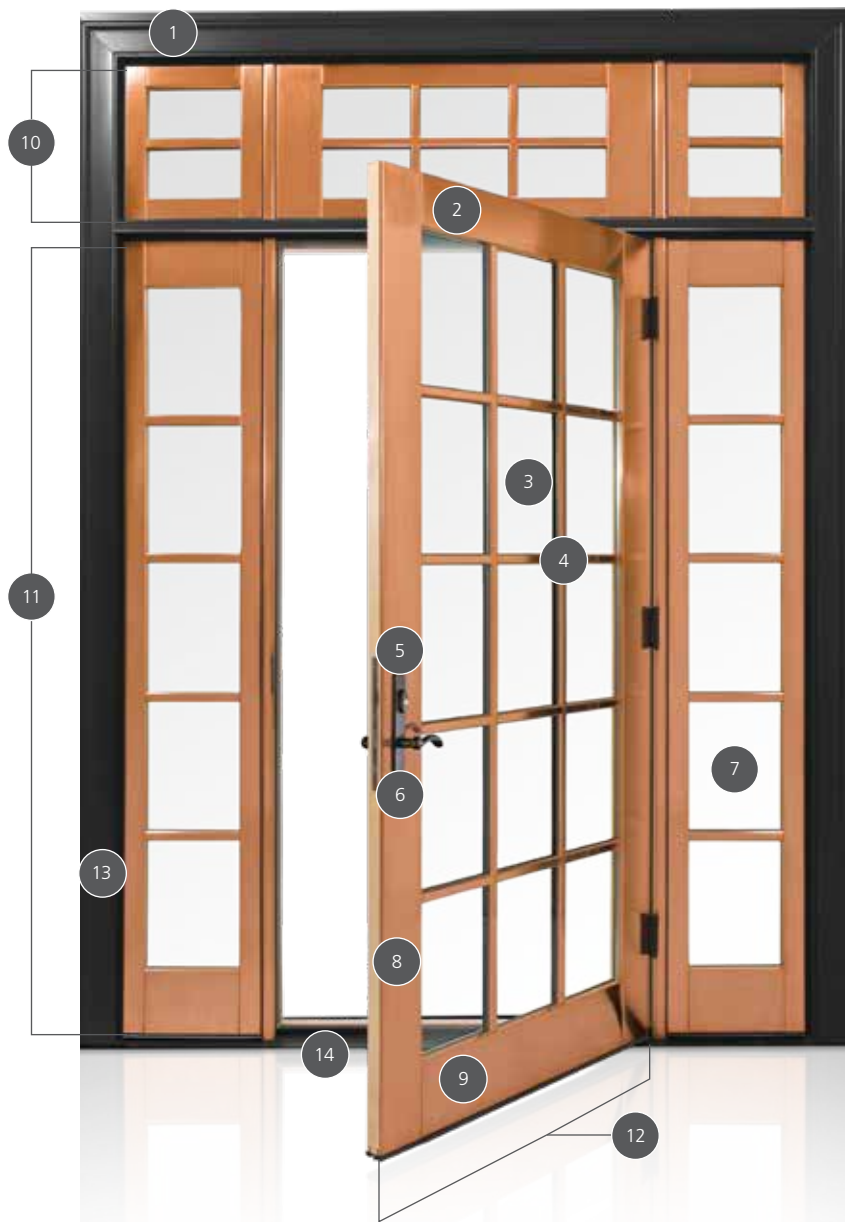
FIXED, RADIUS, & GEOMETRIC WINDOWS

Our fixed, radius, and geometric windows are a distinctive choice that can emphasize a home's architecture or a stunning vista. They're available as fixed (direct set or in-sash) units or operating units in a wide range of standard shapes and sizes. In addition to our standard offerings, you may select a custom design for a unique look.





ANATOMY OF A DOOR



ANATOMY OF A CUSTOM PATIO DOOR

1. Head jamb
2. Top rail
3. Lites
4. Grille
5. Handle set
6. Keyway
7. Glazing/glass
8. Stile
9. Bottom rail
10. Transom
11. Sidelite
12. Panel
13. Side jamb
14. Sill

The patio door frame consists of the head jamb, side jamb, and sill.

Open your home to the joy of nature and protect it from the harshest weather. Our enduring patio doors make it possible.

Swinging patio door, transom, and sidelites in Bright Copper clad with Black clad frame.



STYLE AND INDIVIDUALITY.



PATIO DOOR SYSTEMS



JELD-WEN has a comprehensive offering of patio door systems — folding, swinging, multi-slide, and sliding. Our doors help capture the beauty right outside your home. We believe that our systems offer the best combination of style, craftsmanship, reliability, and individuality and a beautiful solution for bridging your indoor and outdoor living spaces. We've created a wide array of sizes, exterior colors, copper finishes, and decorative options to suit your imagination and add a customized look to your home.



FOLDING PATIO DOORS

Our folding patio door systems operate accordion-style, which means each section slides on an overhead track and neatly folds away for full access to the indoors or outdoors. To accommodate a variety of openings, we also offer various door configurations, ranging from two to eight panels (depending on opening width). Special order options include door heights up to 118" and widths up to 41-7/8".



FLUSH BOLT LOCKS
Flush bolt levers engage and disengage easily to secure the door



PULL HANDLE
For security, our folding door systems feature night latches and mortise locks (or hook latches, depending on the configuration)



FOLDING DOOR SYSTEM OPTIONS

FOLDING DOOR HARDWARE

Standard hardware finishes include Brushed Stainless Steel and Oil-Rubbed Bronze*. Optional finishes are also available. The sill is a low-level bronze anodized combination for ease of access.



FOLDING DOOR CONFIGURATIONS

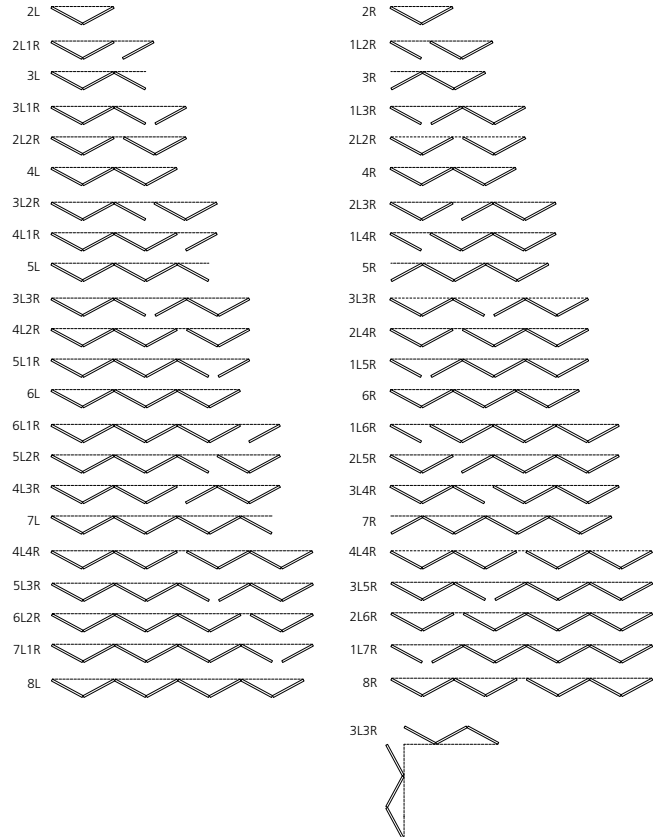
The exterior folding door systems we create are truly customizable, because they're available in several configurations, ranging from two to eight leaves (depending on the opening width). Special order options include door heights up to 118". We offer widths up to 41-7/8" (for doors opening from the center with a properly engineered header).

STANDARD SIZE GUIDE

Number of doors	Door configuration
2	2L or 2R
3	2L1R, 1L2R, 3L or 3R
4	2L2R, 3L1R, 1L3R, 4L or 4R
5	4L1R, 1L4R, 3L2R, 2L3R, 5L or 5R
6	5L1R, 1L5R, 4L2R, 2L4R, 3L3R, 6L, 6R or 3L3R90
7	6L1R, 1L6R, 5L2R, 2L5R, 4L3R, 3L4R, 7L or 7
8	6L2R, 2L6R, 5L3R, 3L5R, 4L4R, 7L1R, 1L7R, 8L or 8R

All units are outswinging

*Oil-Rubbed Bronze will change in appearance over time.

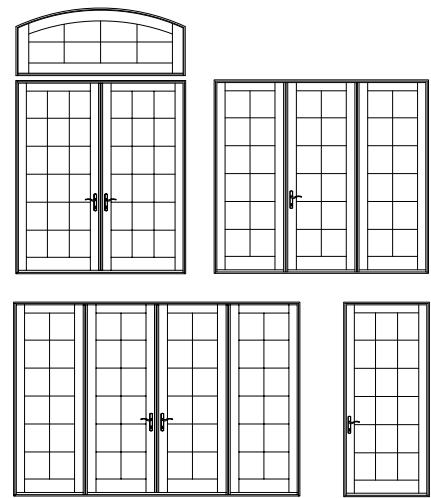




SWINGING PATIO DOORS

Add charm to any home with French or center-swinging patio doors. These patio doors swing either out or in on side hinges. Both are built with the same design profile as our window line, which ensures architectural correctness.

In addition, we offer Epic® series patio doors for new projects or historic renovations. They feature 6-5/8" stiles and a 10-1/4" bottom rail to incorporate commercial hardware needs.



MULTIPLE CONFIGURATIONS AVAILABLE

4" X 4"
ADJUSTABLE HINGES

With stainless steel pin



STANDARD BRONZE
EXTRUDED ALUMINUM SILL

With thermal break; door panels are fitted with a dual-durometer vinyl sweep for increased energy efficiency



Outswing sill shown



SLIDING PATIO DOORS

Our sliding patio doors join contemporary styling with the traditional warmth of wood. They open by gliding along horizontal tracks at the head and sill. Typically, they feature two panels, but they're also available in three- and four-panel designs.



STEEL BALL BEARING TANDEM ROLLERS

Allow the panels to glide smoothly



EXTRUDED FIBERGLASS SILL

Adds to the strength and reliability of the door



PATIO DOOR HARDWARE

A wide range of hardware designs and finishes ensures that your Custom™ Wood patio doors will beautifully align with any architectural style.







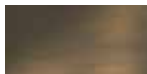





WHITBY™ CONTEMPORARY



BELMAR™ TRANSITIONAL



HARLESTON™ TRADITIONAL

	
White	Polished Chrome*
	
Polished Brass*	Brushed Brass*
	
Antique Brass*	Satin Nickel*
	
Oil-Rubbed Bronze**	Chestnut Bronze
	
Matte Black	Black Chrome*

Finishes will perform at or above PVD-tested finishes.

*Plated finish. **Finish will not change over time.

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.



SIDELITES & TRANSOMS

Sidelites and transoms can increase the sense of elegance or drama in any home.

A sidelite is simply a window installed on one or both sides of a patio door. A transom is a fixed window (direct set or in-sash) set above another window or a door.



RADIUS TOP TRANSOMS



CUSTOM COLLECTIONS CRAFTED TO ACCENTUATE YOUR INDIVIDUALITY.

For the complete line of JELD-WEN® custom window and door catalogs, visit jeld-wen.com or see your local dealer.



IWP® WOOD
EXTERIOR DOORS



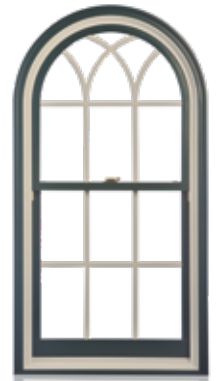
IWP® AURORA®
EXTERIOR DOORS



IWP® WOOD
INTERIOR DOORS



CUSTOM™ WOOD
PATIO DOORS



CUSTOM™ WOOD
WINDOWS



CUSTOM CLAD FRAME ENTRY DOOR SYSTEMS



Your Custom™ Wood clad window package blends perfectly with a custom clad entry door frame system. All colors with a 70% PVDF finish are available for entry door frame systems (or, choose your own: an optional color match is also available).

Custom™ Wood clad windows and patio doors pair seamlessly with IWP® Aurora® fiberglass exterior doors. These unique fiberglass exterior doors stand up to any climate and appear virtually indistinguishable from solid wood doors.

FIBERGLASS ENTRY DOOR SELECTIONS

In the hands of JELD-WEN artisans, fiberglass is transformed into exceptionally beautiful doors. These doors feel and look like solid wood (even down to the knots and character marks). To enhance them, we offer luxurious woodgrain finishes and paint colors, exceptional glass, and charming hardware options to support any design preference and architectural style. The combination of options you select allows you to enjoy a customized look that will endure year after year.

To see the complete line of IWP® Aurora® doors, please visit jeld-wen.com to view product pages and get the brochure.



A1202
Knotty Alder woodgrain door,
Caramel finish, optional 1-3/4"
diamond clavos in dark patina



A1322
Mahogany woodgrain door,
Honey finish, optional 1-3/4"
round clavos in Dark Patina



A1301
Knotty Alder woodgrain door,
Antique Caramel finish, optional
1" round clavos, corner straps and
speakeasy with rustic grille in Dark
Patina



A362
Mahogany woodgrain door,
Antique Cashmere finish,
insulation glass, optional shelf
(Note: 9-lite configuration in 8'0"
door)



A252
Mahogany woodgrain door, Sequoia finish, A glass (Clear Beveled, Rain),
Polished Zinc caming



A412
Mahogany woodgrain door, Sequoia
finish



A225
Oak woodgrain door,
Honey finish



A302
Mahogany woodgrain door,
Cashmere finish

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

FIBERGLASS ENTRY DOOR SELECTIONS



A200
Paint surface doors, Khaki finish, Y glass (Clear Beveled, Reed, Glue Chip, Rain/Cotswald), Patina caming



A1208
Knotty Alder woodgrain panel door, Antique Caramel finish



A1301
Paint surface woodgrain segment top panel door, custom finish, optional 1" round clavos in Dark Patina



A110
Oak woodgrain door, Mocha finish, J glass (Clear Beveled, Glue Chip), Brass caming



A5037
Knotty Alder woodgrain door with optional segment top, Mocha finish, clear insulating glass with Heritage grille in Dark Patina

STYLE & DESIGN



A5144 SDL Door and A5702 SDL Sidelite
Mahogany woodgrain door, Sequoia finish,
clear insulating glass



A5501
Mahogany woodgrain segment top SDL doors,
Mocha finish, clear insulating glass



A5037
Mahogany woodgrain door,
Caramel finish, clear insulating glass
with Century grille in Dark Patina



A110
Mahogany woodgrain
radius top panel door,
Sequoia finish



A1202
Knotty Alder woodgrain
panel door, Chappo finish

Actual colors may vary from samples shown due to printing process and/or differing monitor calibrations.

JELD-WEN® WINDOW & PATIO DOOR LIMITED WARRANTY

OUR WARRANTY TO YOU...

JELD-WEN® Products¹ are designed to create lasting value for your home. This warranty is effective for all JELD-WEN window and patio door Products (except United Collection products) manufactured on or after **June 1, 2019** for use in the United States and Canada. Any previous warranties will continue to apply to products manufactured by JELD-WEN prior to this date. For additional information, including care and maintenance instructions, installation instructions, and previous warranties, refer to www.jeld-wen.com or www.jeld-wen.ca.

What This Warranty COVERS

Except as set forth in the Special Coverages section below, we warrant that if your JELD-WEN Product exhibits a defect in material or workmanship within the time periods from the date of manufacture as specified below, we will, at our option, repair, replace or refund the purchase price of the Product or component part. Skilled labor² (where deemed necessary by us) to repair or replace any component is provided as specified below.

	Wood & Metal Clad Wood	Composite	Vinyl and Metal Clad Vinyl	Aluminum
Basic Product Coverage Owner-Occupied Single-Family Residence	20 years	10 years; glass is covered for 20 years	as long as you own and occupy your residence	10 years
Basic Product Coverage Commercial (Other than Owner-Occupied Single-Family Residence)	20 years	10 years	10 years	2 years
Skilled Labor² Coverage	2 years	2 years	2 years	1 year
Transferability - the maximum length of any coverage when you sell your residence or it becomes occupied by other than the original owner	10 years	10 years	10 years	Non-transferable

Special Coverages (Applies to both Owner-Occupied and Commercial)

The following Special Coverages apply to special product features and options; not all options are available on all products or in all regions.

Glass Options	Coverage	Notes
Triple-Glazed Glass Units	20 years	Includes the glass panes and the insulating seal.
ImpactGard® Glass Units	10 years	
Special Glazings	5 years	Includes laminated glass units other than ImpactGard, and glass options not listed in our product literature, e.g., leaded or decorative glass.
Blinds/Shades Between the Glass	10 years	Includes the seal, external control mechanism, and operation of the shade/blind.
Stress Cracks	1 year	Applies to sealed glass units installed in windows and patio doors. Laminated glass and special glazings are excluded. Coverage includes replacement glass and skilled labor ² necessary to replace the glass. Stress cracks occur when the glass develops a crack without sign of impact.
Accidental Glass Breakage	Same as the Basic Product Coverage above (Owner-Occupied or Commercial)	Applies to Products ordered with double strength or thicker glass. Not covered: damage attributable to acts of nature (e.g. fire, hurricane, etc.), civil disorder, building settling, structural failures of walls or foundations or improper installation, construction job-site mishaps, storage, or handling. Special glazings and ImpactGard glass are not covered by this glass breakage warranty.
Finish Options	Coverage	Notes
Clad Finish on Metal Clad Exteriors	AAMA 2605: 30 years	Coverage is for peeling, checking, cracking, or exhibiting excessive chalk, fade or color change ³ . Clad products installed within one mile of a salt-water source (for example, an ocean or salt lake) or other corrosive environment require additional and specific maintenance requirements. Refer to our full care and maintenance instructions.
	AAMA 2603/2604: 10 years	
	Anodized: 5 years	
Factory Interior Finish on Wood Products	1 year	Coverage is for peeling, checking, or cracking. Should the factory interior finish be proven defective within this time period, we will at our option, replace or refinish the component or product, or offer a refinish credit up to \$50 per opening for windows or \$100 per opening for patio doors. This coverage applies to factory-applied finish coat options only; standard factory-applied primer is not a finish coat.
Colored and Laminated Surfaces on Vinyl and Composite Products	10 years	Coverage is for peeling, blistering, or flaking, and excessive color change ³ . This coverage does not extend to discoloration, polish, surface damage, or alteration caused by the use of natural or chemical solvents or an environmental factor causing such damage.

Continued on next page

Other Special Coverages	Coverage	Notes
AuraLast® Protection for Wood Products	Owner-Occupied Single-Family Residence: as long as you own and occupy your residence	Coverage is for wood decay and/or termite damage in pine wood components. Warranty coverage outside Canada, the contiguous 48 states and Alaska is contingent upon approval from the JELD-WEN Customer Care Department. Please contact us.
	Commercial: 20 years	
Custom Fiberglass Door Slabs	As long as you own and occupy your residence	
Factory Prefinish on Custom Fiberglass Doors	10 years	Should the factory prefinish be proven defective, we will at our option refinish the door or pay up to \$350.00 per opening to the current owner.
Electric Operators	1 year	Coverage includes replacement parts and skilled labor necessary to replace the operator for one year.
Retractable Roll Screens	5 years	

How To Get Assistance

If you have a problem with your JELD-WEN Product, contact the dealer/distributor or contractor from whom you purchased your product or contact us directly:

	In the United States:	In Eastern Canada:	In Western Canada:	In Ontario Canada
Mail:	JELD-WEN Customer Care Attn: Warranty Claims P.O. Box 1329 Klamath Falls, OR 97601	JELD-WEN Service Dept 90, rue Industrielle Saint-Apollinaire, Quebec Canada G0S 2E0	JELD-WEN Service Dept 550 Munroe Avenue Winnipeg, Manitoba Canada R2K 4H3	JELD-WEN Service Dept 90 Stone Ridge Road Vaughan, Ontario Canada L4H 3G9
Phone:	888-JWHelpU 888-594-3578	800-463-1930	888-945-5627 204-668-8230	800-440-2714 905-265-5700
Fax:	800-436-5954	888-998-1599	204-663-1072	905-265-5704
E-mail:	jeldwenwarranty@jeld-wen.com		wpgservice@jeld-wen.com	
Web:	www.jeld-wen.com/contact-us	www.jeld-wen.ca/contact-us		

We can respond quickly and efficiently if you provide the following: a) product identification (from the original order/invoice, spacer code, permanent label, or the window identification number found on corner of glass), b) how to contact you, c) the address where the product can be inspected, and d) a description of the apparent problem and the product (photographs are helpful).

What We Will Do

Upon receiving your notification, we will send out an acknowledgement within three business days to the contact, which you have provided. We will investigate your claim and will begin to take appropriate action within 30 days after receipt of notification. If your warranty claim is denied, we may charge an inspection fee for an onsite inspection that is required or requested by you.

If your claim is approved, and we choose to repair or replace the product or a component of the product, the replacement product/component will be provided in the same specification as the original product or its nearest equivalent current product. Replacement components/products are warranted for the balance of the original product warranty or 90 days, whichever is longer.

If the claimed nonconformity is warp of a door slab, we may defer repairing or replacing the door slab for a period up to twelve (12) months from the date of claim. It is not uncommon for a temporary warp condition to occur as the door slab adjusts to local humidity and temperature conditions. This deferral will not be counted against the warranty period.

What This Warranty Does NOT Cover

JELD-WEN is not liable for damage, product failure or poor product performance due to:

- Normal wear and tear, including normal wear and tear of weatherstrip; natural weathering of surfaces. Variance in color or texture of natural wood parts, and natural tarnishing of copper cladding are not considered defects.
- Normal wear and tear to hardware and naturally occurring changes to hardware finishes (e.g., corrosion or tarnishing).
- Exposure to chemicals (e.g. brick wash) or a harsh environment (e.g. salt spray or airborne pollutants) unless otherwise stated above.
- Misuse, abuse or failure to properly finish and provide maintenance.
- Alteration or modification to the Product (e.g. customer applied tints or films, paint finishes, security systems).
- Any cause beyond the reasonable control of JELD-WEN (e.g. fire, flood, earthquake, other acts of nature, and acts of third parties outside of our control).
- Failure to provide an adequate overhang for fiberglass doors; damage caused by extreme temperature buildup where storm doors are present. For general guidelines, see our "Appropriate Protection for Exterior Doors" in our product literature or at www.jeld-wen.com/resources; for specific information pertaining to your structure, consult your contractor or other building professional.

Continued on next page

- Improper installation not in conformance with JELD-WEN installation instructions (note: see www.jeld-wen.com for current installation instructions); operational problems and problems related to water and/or air infiltration/leaking as a result of improper installation or flaws in building design or construction.
- Installation into a condition that exceeds product design standards and/or certified performance specifications and/or is not in compliance with building codes.
- Extreme artificial temperature buildup or exposure (e.g., where storm doors/windows are present).
- Hardware or inserts that are not provided by us, such as locksets, door handles, strikes, etc.
- Condensation or damage as a result of condensation (Note: unless due to insulating glass failure, most condensation problems are related to excessive humidity levels in a structure. Contact a heating/air conditioning specialist for help).
- Wood decay in wood components other than of pine species and any components (including pine) that come in direct contact with soil. Note: superficial mold/mildew does not indicate wood decay.

JELD-WEN is also not liable for:

- Glass breakage (except as covered above).
- Screen damage due to normal wear and tear, misuse, abuse, or insect or animal activity.
- Slight expansion or contraction due to varying environmental conditions; slab movement (shrinkage or swelling) of 1/4" or less due to temperature and humidity, consult the Homeowner's Manual on how to work with this natural movement.
- Slight imperfections or wavy distortions in the glass that don't impair structural integrity. Note: wavy distortions in the glass (e.g. related to laminate interlayer or heat strengthening of glass) are not considered a defect. Slight color variations in glass are not considered a defect.
- Hairline cracks in factory-applied finishes; surface cracks that do not compromise the underlying material are not a defect.
- Damage or distortion to other property, including but not limited to, vinyl siding, building components or landscaping caused in whole or in part by reflection of light or heat from JELD-WEN windows or doors.
- Product or component performance decline due to aging, inert gas dissipation, natural processes or failure to provide proper maintenance. Note: Other than inert gas loss due to seal failure, the migration of an inert gas, such as argon, is a natural process that occurs over time and is not a defect.
- Repairs on product not accessible by road; travel costs related to repairs on product located more than 125 miles/200 kilometers from an authorized dealer; providing, assembling, or dismantling scaffolding, lifts, or other specialized equipment.
- Labor and materials for repainting or refinishing activities or the removal or disposal of defective product(s); labor exceeding the time periods specified above.
- Incidental or consequential damage. Some states/provinces do not allow the exclusion or limitation of incidental or consequential damages, so this may not apply to you.

Important Legal Information -- Please read this carefully. It affects your rights.

This Limited Warranty document sets forth our maximum liability for our products. We shall not be liable for special, indirect, consequential, or incidental damages. Your sole and exclusive remedy with respect to any and all losses or damages resulting from any cause whatsoever shall be as specified above. We make no other warranty or guarantee, either express or implied, including implied warranties of merchantability and fitness for a particular purpose to the original purchaser or to any subsequent user of the Product, except as expressly contained herein. In the event state or provincial law precludes exclusion or limitation of implied warranties, the duration of any such warranties shall be no longer than, and the time and manner of presenting any claim thereon shall be the same as, that provided in the express warranty stated herein. This Limited Warranty document gives you specific legal rights, and you may have other rights that vary from state/province to state/province.

Any dispute, controversy or claim arising out of or relating to this warranty, any alleged breach thereof, or the use or sale of the products to which this warranty applies shall be resolved by mandatory and binding arbitration administered by the American Arbitration Association in accordance with its commercial arbitration rules. Any ensuing arbitration will be venued in Charlotte, North Carolina. Original purchaser agrees that they may assert claims against JELD-WEN in their individual capacity only, and not as a plaintiff or class member in any purported class action proceeding. This warranty shall be interpreted in accordance with the laws of North Carolina (excluding North Carolina's conflict of laws principles). If any provision of this warranty is deemed illegal or unenforceable in a judicial proceeding, that provision shall be severed and excluded, and the remainder of this warranty shall continue in force. Rejection of these dispute resolution provisions must be sent to JELD-WEN at the address provided herein within thirty (30) days of original purchaser's receipt of the Products to which this warranty applies.

No distributor, dealer or representative of JELD-WEN has the authority to change, modify or expand this warranty. The original purchaser of this Product acknowledges that they have read this warranty, understand it and are bound by its terms and agrees to provide this warranty to the original owner of the structure into which the Product is installed.

¹ "JELD-WEN Products" shall refer to window and patio door products (except United Collection products) manufactured in the United States and/or Canada and marketed under the JELD-WEN brand name for use in the United States and/or Canada. See our separate United Collection warranty, or our Export Warranty for applicable coverage on products used outside the United States and Canada.

² "Skilled labor" refers to tasks where specialized technical knowledge, experience, methods or tools are required to properly identify, diagnose and/or correct product-related issues.

³ "Chalking" of the exterior finish is not a defect unless it exceeds a numerical rating of eight (8) when measured in accordance with the standard procedures specified in ASTM D4214. Fading or changing in color of the exterior finish is not a defect unless it exceeds five (5) E units, calculated in accordance with ASTM D2244, paragraph 6.2. Color change shall be measured on an exposed area of finish that has been cleaned of surface soils and chalk, and the corresponding values measured on the original or unexposed area of finish. Fading or color changes may not be uniform if the surfaces are not equally exposed to the sun and elements. If the above ASTM standards change, the standard in effect at the time of purchase applies. As an option to replacement, we may choose to refinish the product.





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11-750A 05/22



SEARCH



WARRANTY

CATALOG

WHERE TO BUY

(715) 526-2146

Door Styles

Door Types

Materials & Specs

Custom Door

Galleries

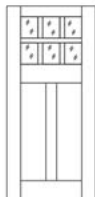
Videos

Help

Contact

Exterior – 6 Lite French over 2 Panel Flat

Door Styles / Flat Panel / Exterior – 6 Lite French over 2 Panel Flat



- Exterior wooden doors provide the strength you require and the beauty you are looking for.
- Woodport Doors offers multiple wood species and materials to choose from. Scroll down to see the standard wood options or contact us for a complete listing.
- Woodport Doors offers dozens of decorative glass options to achieve the style you are looking for. Lower on the page you can see a sampling of our glass offerings. Contact us for information on the full range of glass options.
- The most common profiles are Flat Ovolo and Mission. See door code prefixes below

6L2FORV or 6L2TRV

Thickness

1.750"

Height

84"

Door Width

36"

The rear kitchen and basement doors are 32x80 and we are proposing the glassless Woodport door for those:



SEARCH



WARRANTY

CATALOG

WHERE TO BUY

(715) 526-2146

Door Styles

Door Types

Materials & Specs

Custom Door

Galleries

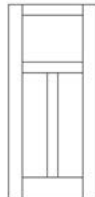
Videos

Help

Contact

Exterior – 3 Panel Flat

Door Styles / Flat Panel / Exterior – 3 Panel Flat



- Exterior wooden doors provide the strength you require and the beauty you are looking for.
- Flat panel doors provide a classic look that fits in great with any style of home.
- Woodport Doors offers multiple wood species and materials to choose from. Scroll down to see the standard wood options or contact us for a complete listing.
- The most common profiles are Flat Ovolo and Mission. See door code prefixes below

3TFO or 3TM

Thickness

1.750"

Height

80"

Door Width

32"

Panel Profile

Cassandra M. Talley, J.D., M.S. | Architectural Historian

36 CFR 61 Architectural Historian

Human Resource Specialist