

# DHDC 22-8013, 22-8034

## APPROVAL DOCUMENT – POST AT WORK LOCATION



CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808  
DETROIT, MICHIGAN 48226

September 21, 2022

### CERTIFICATE OF APPROPRIATENESS

Lars Graebner  
VolumeOne Design Studio, LLC  
1100 Parker Street, Ste 100  
Detroit MI 48214

**RE: Application Number 22-8013 & 22-8034; 3940-42 Third; Willis-Selden Local Historic District**

Dear Applicant,

At the Regular Meeting that was held on September 14, 2022, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on September 21, 2022, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

***Rehabilitate the building and site to include new windows and doors, repair exterior walls and paint all facades, erect bollards adjacent Third Avenue sidewalk, and regrade gravel lot for parking and patio, per the submitted documents, drawings, and presentation materials.***

***With the condition that:***

- The final design for the patio and associated cut sheets for all exterior elements will be submitted to staff for review and approval prior to the issuance of the building permit.***

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant’s responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov).

For the Commission:

Audra Dye  
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

DATE: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS(ES): \_\_\_\_\_ AKA: \_\_\_\_\_

PARCEL ID: \_\_\_\_\_ HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration <i>(3+ scope items)</i>	<input type="checkbox"/> Site Improvements <i>(landscape, trees, fences, patios, etc.)</i>	

BRIEF PROJECT DESCRIPTION: \_\_\_\_\_

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner

Contractor

Tenant or  
Business Occupant

Architect/Engineer/  
Consultant

NAME: \_\_\_\_\_ COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

**Completed Building Permit Application**  
(highlighted portions only)

**ePLANS Permit Number** (only applicable if you've already  
applied for permits through ePLANS)

**Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by  
the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

**Description of existing conditions** (including materials and design)

**Description of project** (if replacing any existing material(s), include an explanation as to why  
replacement--rather than repair--of existing and/or construction of new is required)

**Detailed scope of work** (formatted as bulleted list)

**Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional  
documentation may be required.  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-  
specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO: [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

# P2 - BUILDING PERMIT APPLICATION

Date: \_\_\_\_\_

## PROPERTY INFORMATION

Address: \_\_\_\_\_ Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_

AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_

Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Are there any existing buildings or structures on this parcel?  Yes  No

## PROJECT INFORMATION

**Permit Type:**  New  Alteration  Addition  Demolition  Correct Violations

Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_

Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

**Description of Work** (Describe in detail proposed work and use of property, attach work list)

MBC use change  No MBC use change

**Included Improvements** (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

### Structure Type

New Building  Existing Structure  Tenant Space  Garage/Accessory Building

Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

**Estimated Cost of Construction** \$ \_\_\_\_\_ By Contractor \$ \_\_\_\_\_ By Department

### Structure Use

Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_

Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.** (Building Permit Application Continues on Next Page)

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Permit #: \_\_\_\_\_ Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

**Revised Cost** (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_



**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: \_\_\_\_\_

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_ State Registration#: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Permit Applicant)

Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.





# 3940 3<sup>RD</sup> STREET

REHABILITATION OF A COMMERCIAL  
BUILDING

THE CITY OF DETROIT HISTORIC  
DISTRICT COMMISSION HEARING

SEPTEMBER 14 , 2022

**VE** VOLUMEONE DESIGN STUDIO  
1100 PARKER ST. SUITE 100  
DETROIT, MI 48214  
INFO@V1-STUDIO.COM  
+ 1.313.264.1130

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3940 3rd Street, Detroit, MI 48201

**LOCATION PLAN**

1" = 100"



# EXISTING BUILDING

## 3940 3RD STREET

One Retail Building

Owner: Selden Fifty 666, LLC  
Jon Carlson  
3075 Charlevoix Dr. SE  
Suite 100  
Grand Rapids, MI 49546

Phone: 734-661-4720

Location: 3940 3rd Street  
Detroit, MI 48201

Building Size: 1,275 sq ft GSF

Building Height: 15'-5" (West facade), 12'-8" (North facade), 11'-3" (East facade), 13'-2" (South facade)

Lot Size: 7,500 sq ft  
Parcel Number: 04003400  
County: Wayne  
Subdivision: Cass Farm  
Legal: E THIRD 4 BLK 94 CASS FARM SUB L1 P175-7 PLATS, W C R 4/34 50 X 150

Built: 1953

Zoning Regulations: Willis-Selden Local Historic District  
SD2 – Special District

Occupancy Type, New Use: Retail/ TBD

Construction Type (MBC 602): Type IIIB

Design Team: VolumeOne Design Studio LLC, Detroit  
Lars Gräbner & Christina Hansen  
1100 Parker Street, Suite 100  
Detroit, MI 48214  
Phone: 313-264-1130  
graebner@v1-studio.com, www.v1-studio.com

## PROJECT DESCRIPTION

### EXISTING BUILDING

The building at 3940 Third Street located on the east side of the street between Selden to the south and W. Alexandrine to the north. The one-story, 1,275 square feet building has been used as a restaurant and is currently vacant.

The owner wishes to renovate the building for use by a small, local business.

### Historic Significance

Located in the Willis-Selden Local Historic District, 3940 3rd Street was not included in the list of buildings contributing to the area's historic significance in the Final Report: Proposed Willis-Selden Local Historic District of 2010 (See map on page 4).

### Facade Treatment

Historic evidence shows that the building's facade underwent several transformations including different color schemes, facade panelings, and different openings. The existing plywood panels and trim were added in stages and eventually replaced vertically oriented corrugated metal panels on the front facade. The previous owner changed the color of the building from white to green presumably in 2020.

The building's facade currently consists of painted plywood panels with irregularly spaced, wood trim partially covering CMU walls. Parts of the wood trim and plywood panels are damaged. The plywood panels with wood trim are limited to the entire west and partially the north facades.

An illuminated sign [*Coca-Cola; We deliver Pizza, Ribs and Chicken*] from a previous business remains on the front facade in poor condition.

### Windows

As part of a previous renovation, direct-set single-pane glass were installed instead of windows on the west and north facades.

### Doors

The front entrance door is damaged.

### PROPOSED CHANGES

#### Facade Treatment

The condition of the facade is in a repairable state. Attention should be paid to loose trim and open joints. In order to achieve a cost-effective renovation the painted facade will be primed, caulked, and finished with new facade paint.

To address the facade's appearance, the owner proposes repainting all facades with a mural. The mural's design is intended to add both friendly colors and excitement to the otherwise simple building. Using large, bold patterning, the mural will use an applied perspective [*Razzle Dazzle*] to alter the building's perceived shape and disguise the facade's irregular material palette.

The previous business' signage will be removed.

#### New Windows

The owner plans to replace the direct-set glass panes on the west facade with a more energy efficient aluminum storefront window system.

#### New Doors

The north facade's direct-set glass will be removed and the opening converted into a side entrance with access to a small patio area and parking.

The front entrance door will be replaced including its transom window. The plywood above the current door will be removed to reveal the transom window above.

Both new doors will be fabricated as an aluminum storefront system.






# WILLIS-SELDEN LOCAL HISTORIC DISTRICT MAP

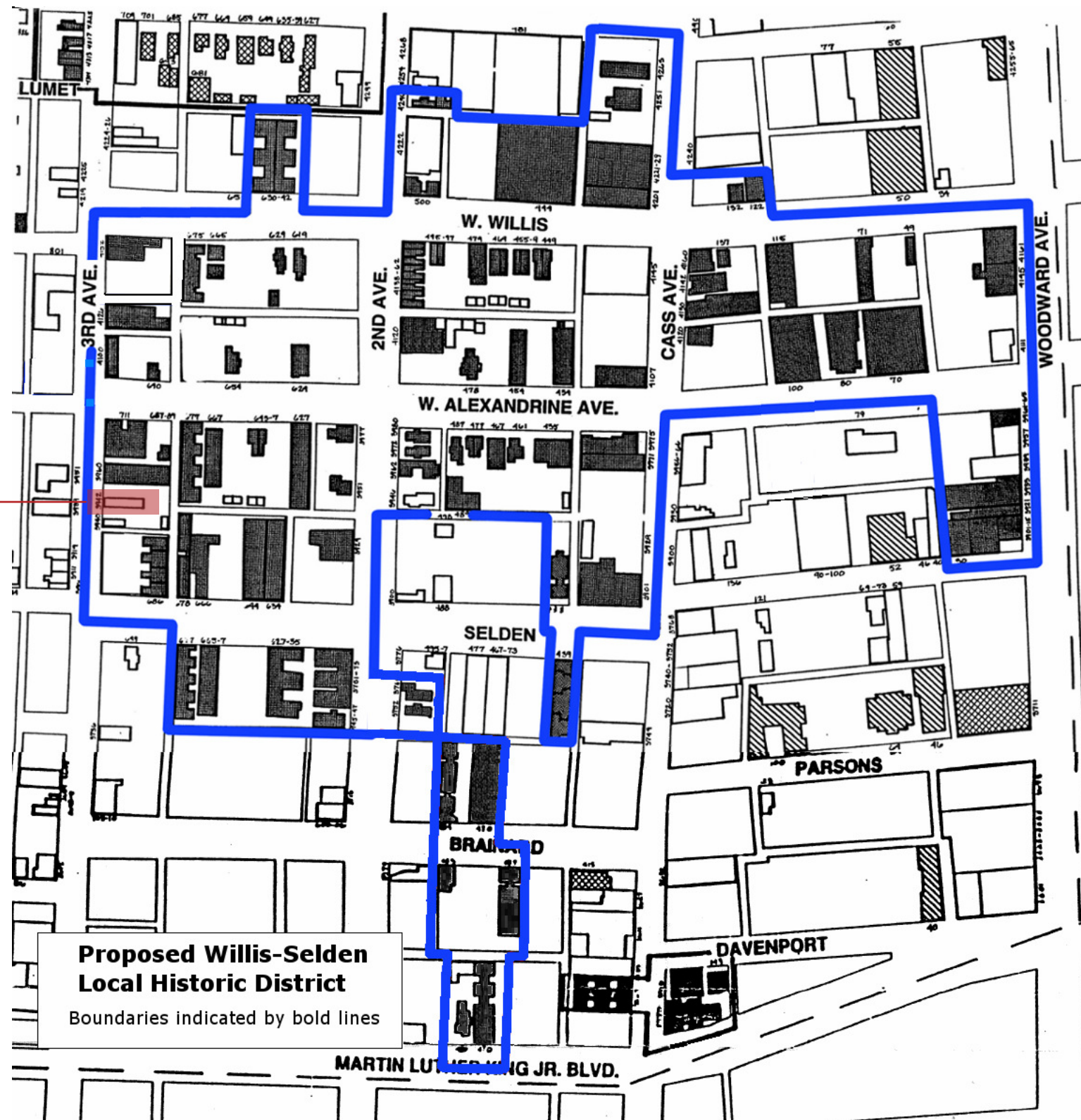
Reference:  
 Final Report: Proposed Willis-Selden  
 Local Historic District  
 Page 17  
 Published October 5, 2010

3940 Third Street

## MAP KEY

*Building historic contribution designations by Historic Designation Advisory Board in 2010 Final Report: Proposed Willis-Selden Local Historic District*

-  Historic district Boundary
-  Building identified as **contributing**
-  Building identified as **not contributing**



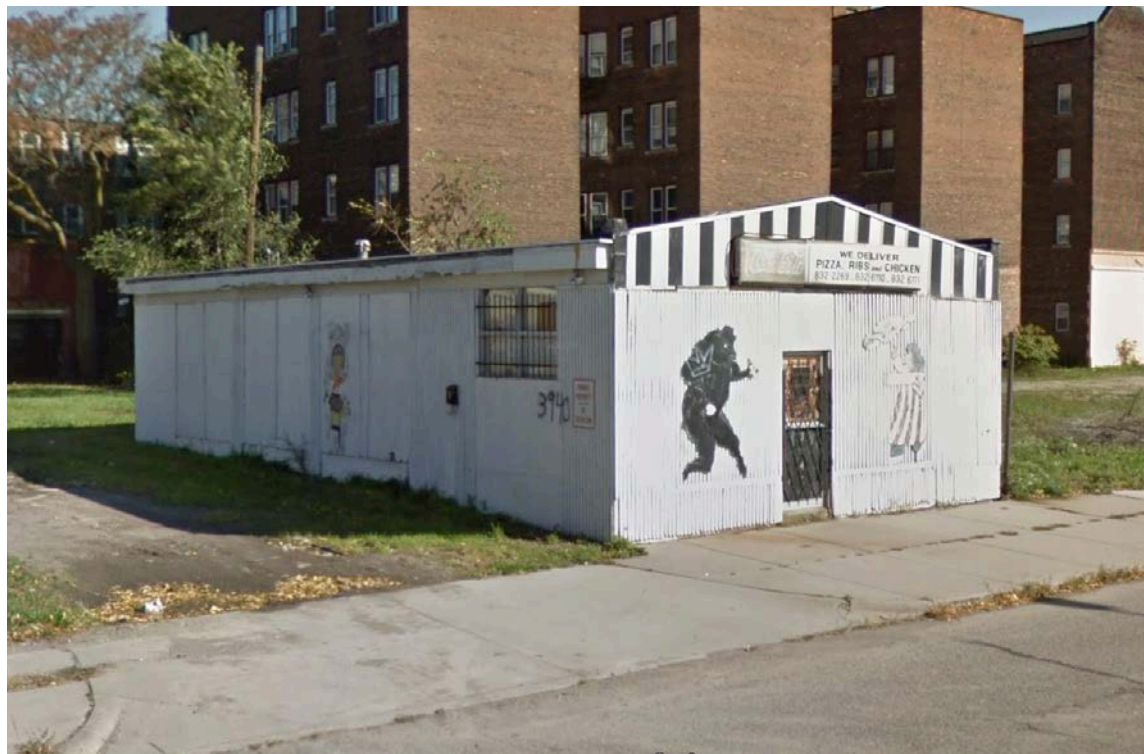
HISTORIC FACADE PHOTOS 2007-2013



August 2007 \*)



August 2009 \*)



June 2011 \*)



July 2013 \*)

\*) Source: Google

HISTORIC FACADE PHOTOS 2016-2022



August 2015 \*)



October 2016 \*)



November 2020 \*)



June 2022

\*) Source: Google

# EXISTING CONDITION JULY 2022



1



2

- 1. Front (West) facade
- 2. North facade
- 3. South facade
- 4. East facade

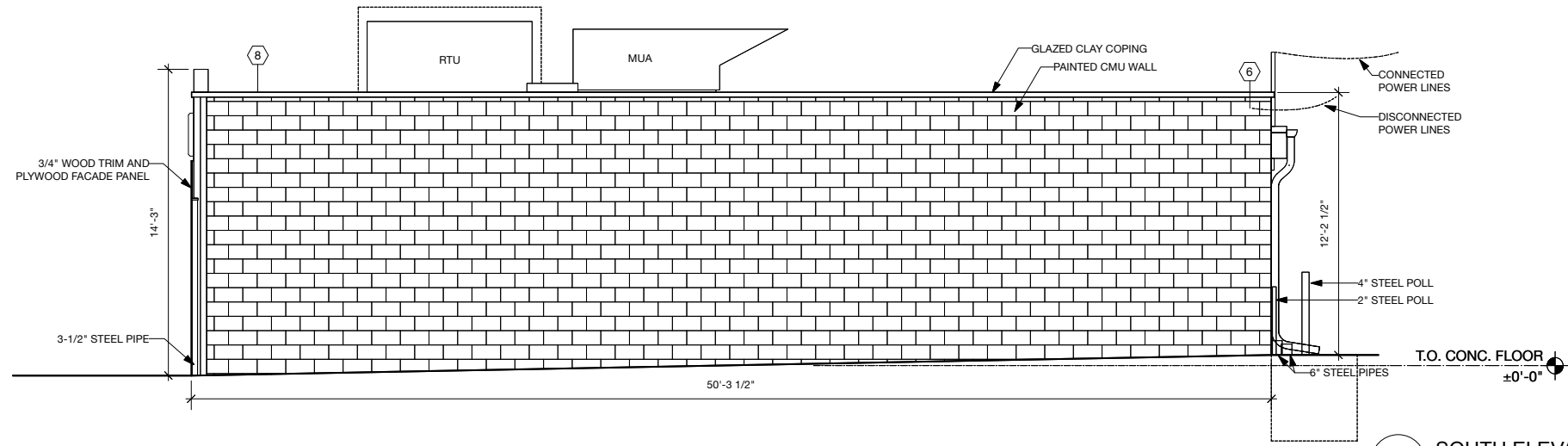


3

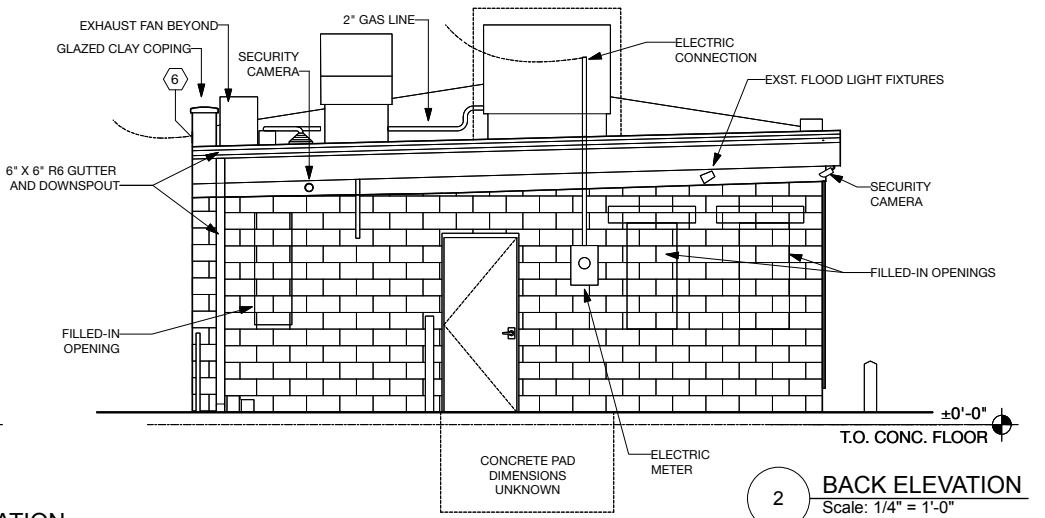


4

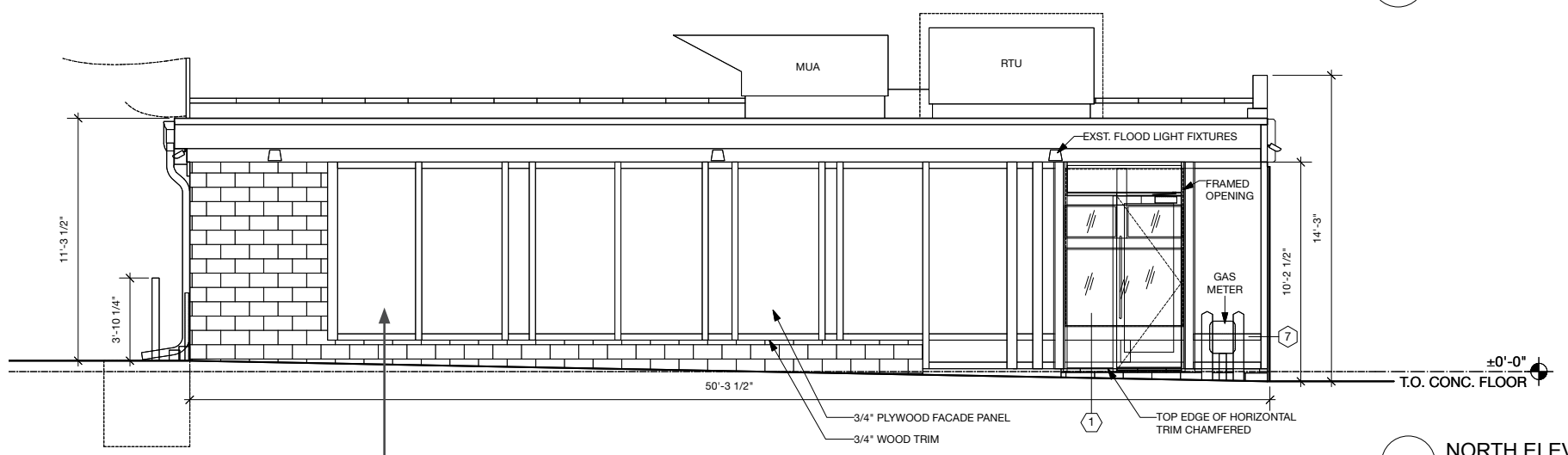
# EXISTING ELEVATIONS



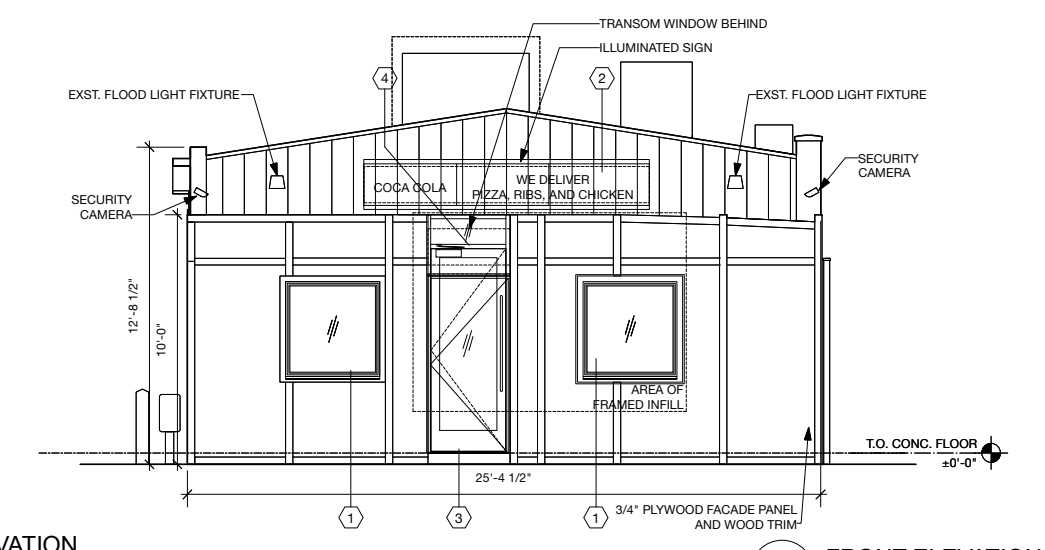
**5 SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



**2 BACK ELEVATION**  
Scale: 1/4" = 1'-0"



**4 NORTH ELEVATION**  
Scale: 1/4" = 1'-0"



**1 FRONT ELEVATION**  
Scale: 1/4" = 1'-0"

Trim, plywood facade panel,  
CMU painted green



## DAMAGED ELEMENTS TO BE REMOVED OR REPAIRED

1. Remove direct-set glass panels
2. Remove signage
3. Remove damaged front entrance door
4. Repair damaged plywood over front entrance
6. Remove decommissioned wires and associated hardware
7. Repair damaged wood trim
8. Repair damaged roof leak

*(photos on following page)*

# ELEMENTS TO BE REMOVED OR REPAIRED

Note: Numbers relate to the drawing on the previous page (Page 9)



4



3



1



1

1. Front facade direct-set glass openings will be replaced with modern storefront system to improve thermal performance
3. Front entrance door will be replaced with modern aluminum storefront system
4. Damaged plywood above front entrance will be removed to reveal opening for storefront glazing above new door



1



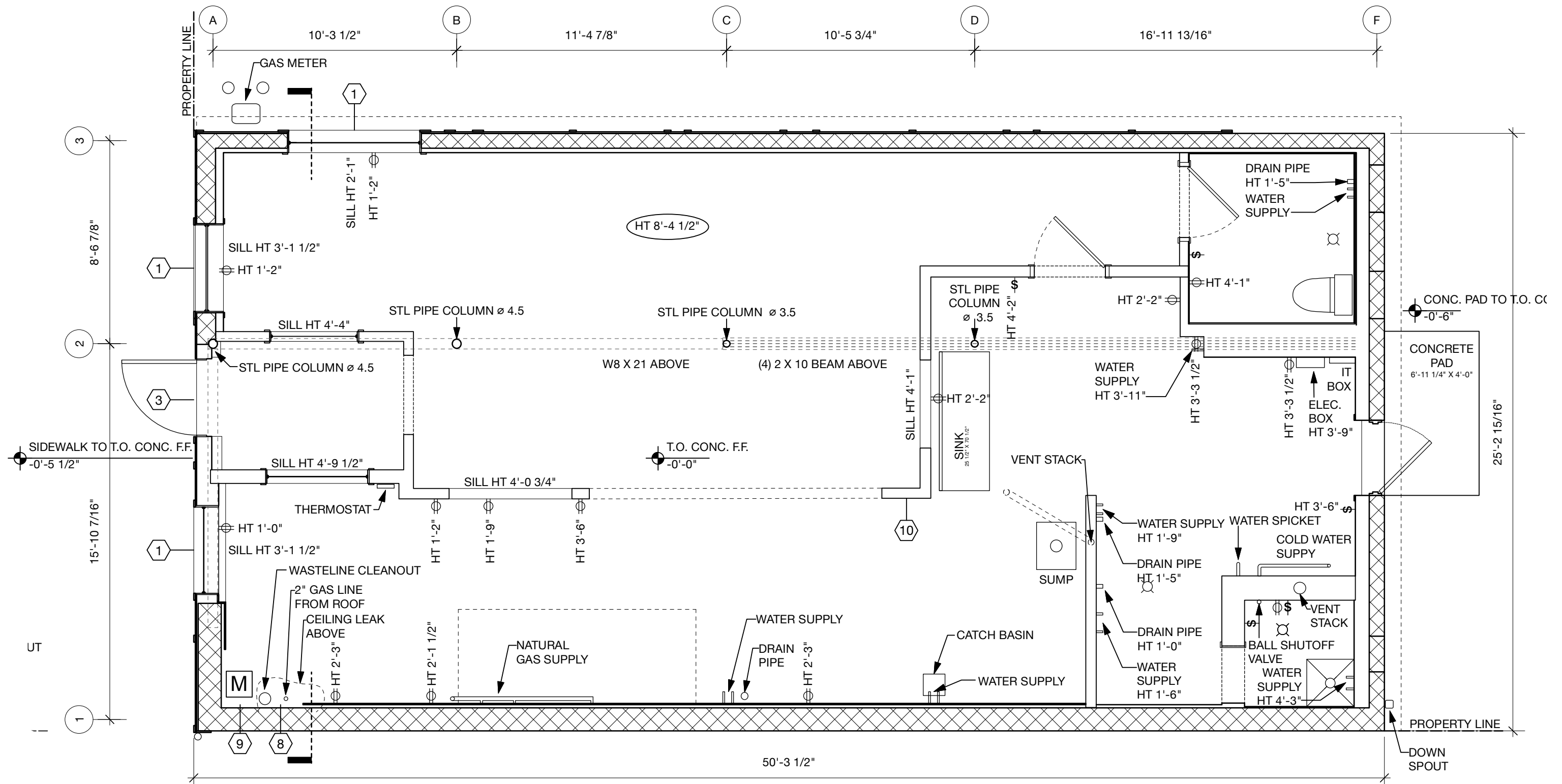
2



7

7. Damaged trim on north facade to be replaced
2. Signage above front entrance to be removed
1. North facade direct-set glass opening to be replaced with door storefront system

# EXISTING FLOOR PLAN

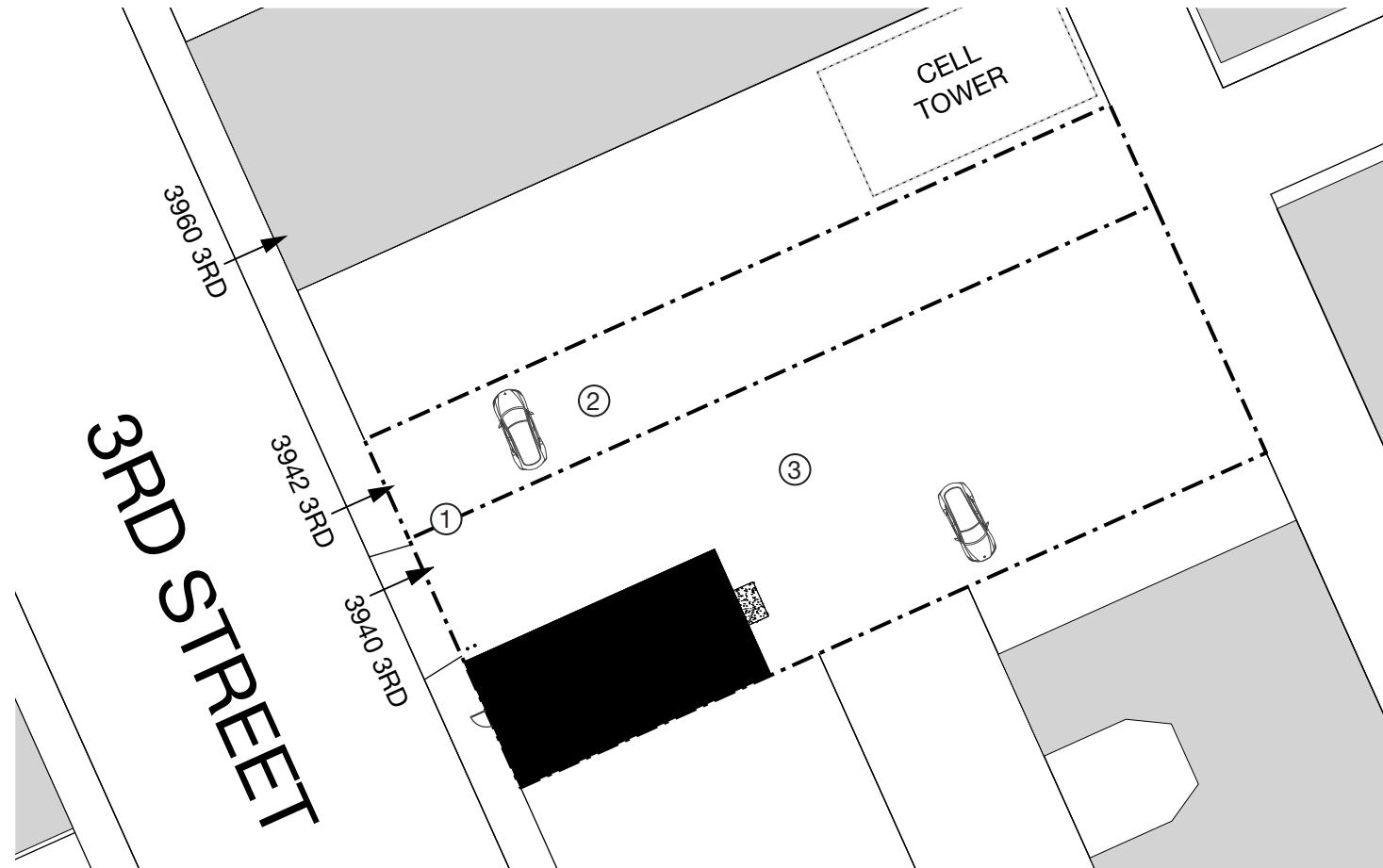




# NEW PROPOSAL

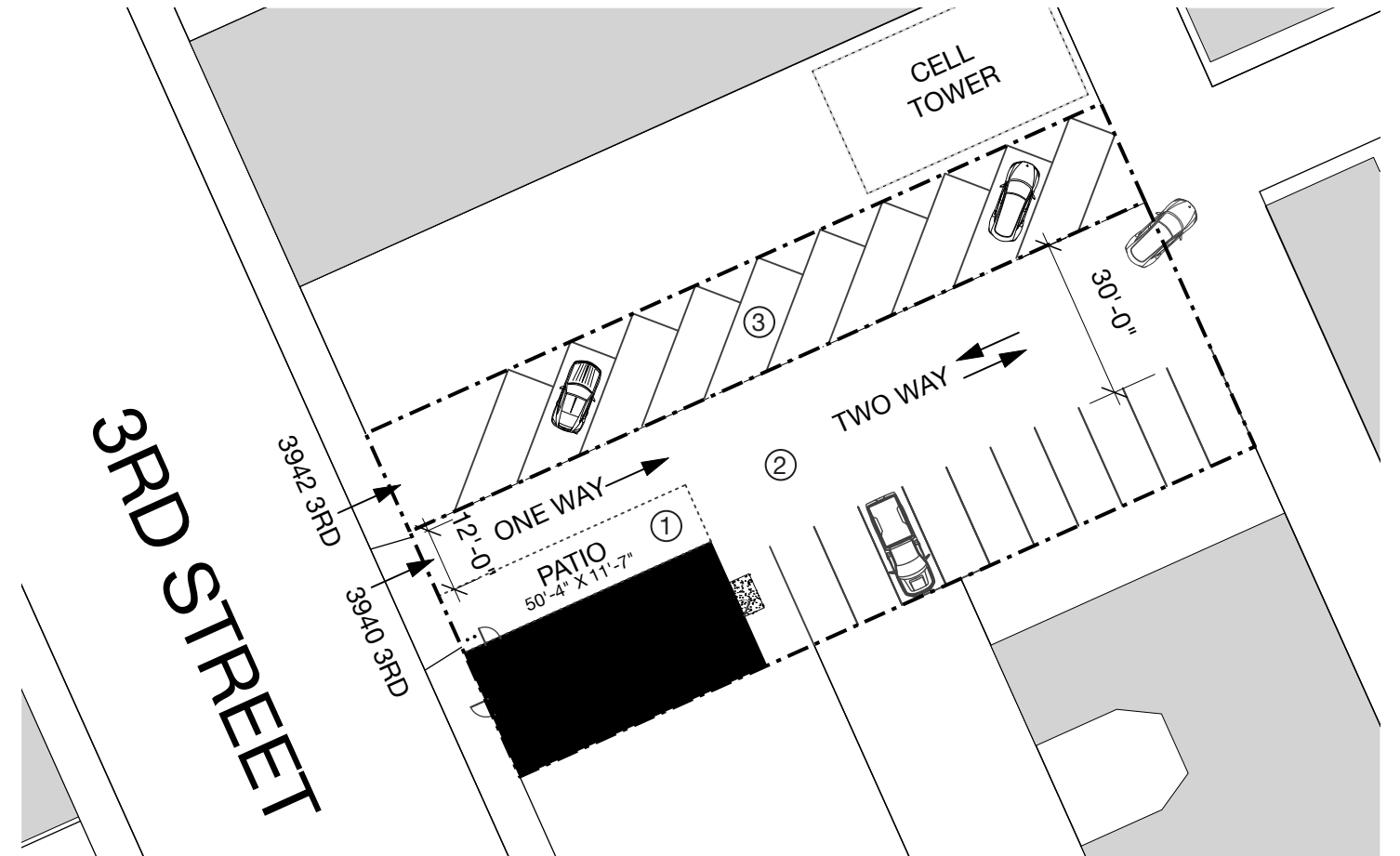


EXISTING SITE PLAN



- ① Owner of 3940 Third also owns 3942 3rd St and 3960 Third
- ② 3942 3rd currently used as parking space for 3940 3rd and 3960 Third
- ③ Unmaintained gravel surface

PROPOSED SITE PLAN



- ① Owner proposes the addition of a patio adjacent to the north side of the building
- ② Both 3942 Third and 3940 Third to be resurfaced with new gravel
- ③ 3942 Third to be converted into 45° angled parking for use by 3940 Third

## PROJECT RESPONSE

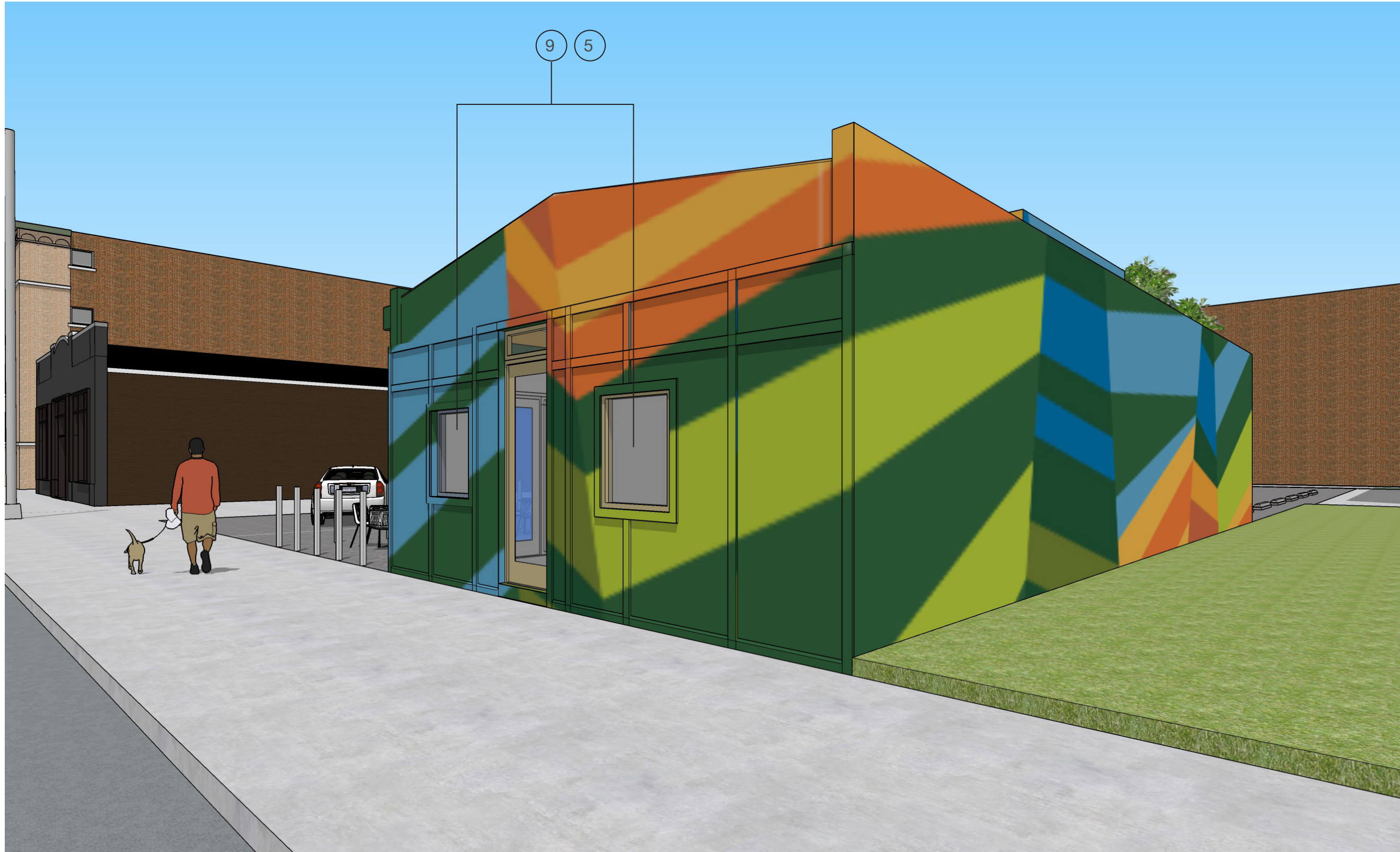
- ① **A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.**  
R: The property will not undergo any change of use. No changes will be made to materials, features, and spatial relationships.
- ② **The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationship that characterize a property will be avoided.**  
R: No changes will be made to materials, features, and spatial relationships.
- ③ **Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**  
R: No changes that create a false sense of historic development will be undertaken.
- ④ **Changes to a property that have acquired historic significance in their own right will be retained and preserved.**  
R: The building is not a contributing resource in the Willis-Selden Local Historic District according to the 2010 Final Report for the Willis-Selden Local Historic District.
- ⑤ **Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**  
R: All existing features will be preserved. Painted facade areas will be repainted with an altered color scheme. New windows and doors will be installed as all windows are missing and the door is in disrepair.
- ⑥ **Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**  
R: All existing and damaged facade elements such as plywood, battens, and trim will be repaired.
- ⑦ **Chemical or physical treatment, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**  
N/A
- ⑧ **Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**  
N/A
- ⑨ **New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**  
R: The majority of exterior alterations are limited to new paint and new windows and doors without changing their size and proportions. The north window opening will be transformed into a door without changing the width and height of the original header or lintel.
- ⑩ **New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**  
N/A

## NORTH AND FRONT FACADE



To address the facade's appearance, the owner proposes repainting all facades with a mural. The mural's design is intended to add both friendly colors and excitement to the otherwise simple building.

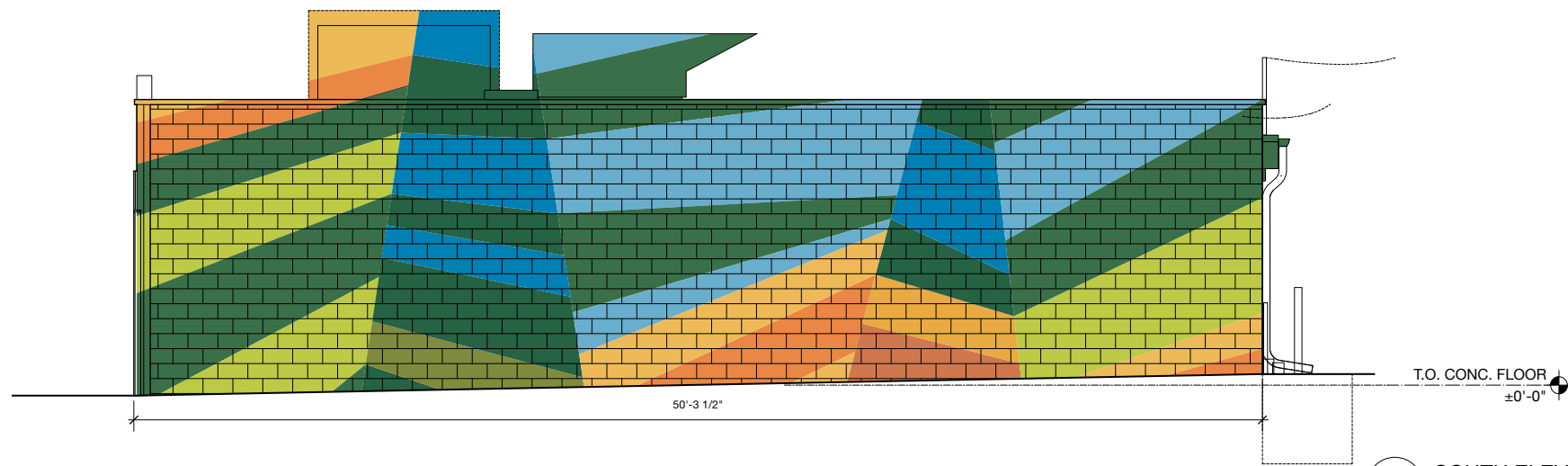
Using large, bold patterning, the mural will use an applied perspective [Razzle Dazzle] to alter the building's perceived shape and disguise the facade's irregular material palette.



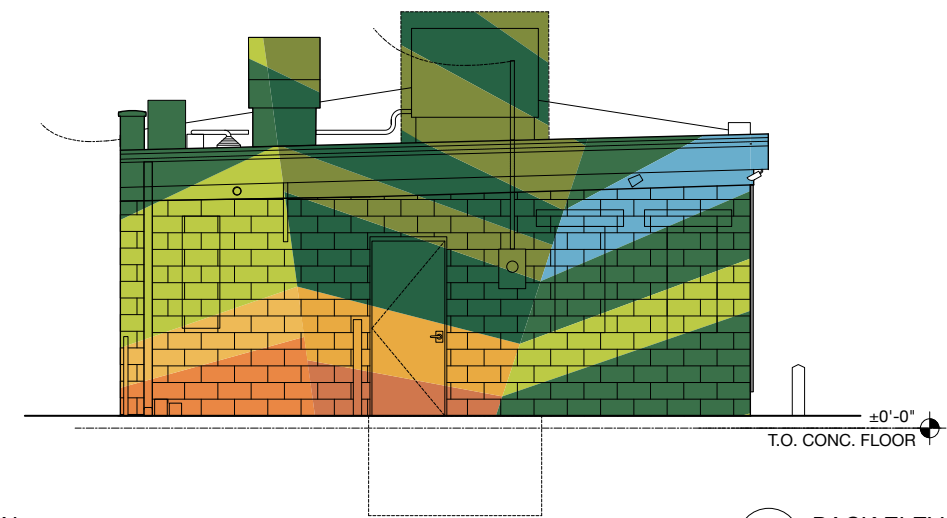
SOUTH AND FRONT FACADE FROM ACROSS STREET



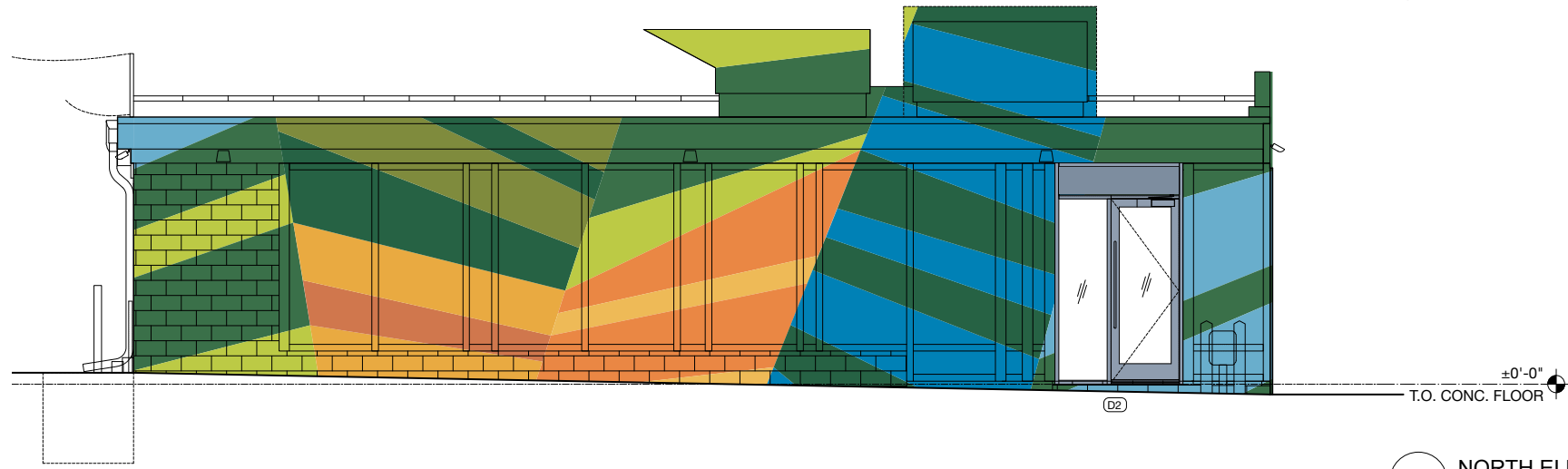
# PROPOSED ELEVATIONS



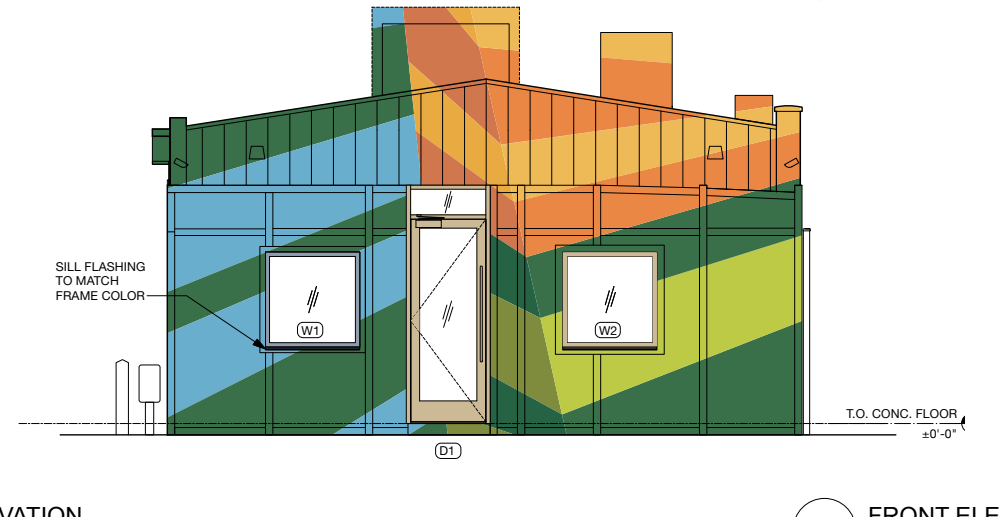
5 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



2 BACK ELEVATION  
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"

# HISTORIC AND PROPOSED MURAL COLOR SWATCHES

## ACCEPTABLE COLORS FOR BUILDINGS IDENTIFIED AS CONTRIBUTING RESOURCES BY THE HISTORIC DESIGNATION ADVISORY BOARD

### ACCEPTABLE COLOR COMBINATIONS \*MS = MUNSELL STANDARD

BODY	TRIM	SASH	CORNICE/ PORCH	IRON CRESTING
Any System B Color <b>EXCEPT</b> A:7, A:8, A:9, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Shingles: Stained or painted any System B Color <b>ESPECIALLY</b> Dark Greens, Olives, Browns and Yellows <b>EXCEPT</b> A:7, A:8, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Existing brick or stone	Any System B Color darker than the brick or stone body, <b>ESPECIALLY</b> B:6, B:8, B:11, B:18	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19


## PROPOSED MURAL COLORS

The building is designated by the Historic Designation Advisory Board as **not** contributing to the Willis-Selden Historic District (see map on page 4).

To address the facade's appearance, the owner proposes repainting all facades with a mural. The mural's design is intended to add both friendly colors and excitement to the otherwise simple building. As a non-contributing building, colors outside of the Acceptable Color Combinations were chosen.

### Storefront Frame Colors



Gold  
UC70542F



Military Blue  
UC70533

### Mural Colors



SW 6678  
Sunflower  
Interior / Exterior  
Location Number:  
133-C7



SW 6684  
Brittlebush  
Interior / Exterior  
Location Number:  
135-C6



SW 6628  
Robust Orange  
Interior / Exterior  
Location Number:  
119-C5



SW 6886  
Invigorate  
Interior / Exterior  
Location Number:  
116-C4



SW 6720  
Paradise  
Interior / Exterior  
Location Number:  
149-C7



SW 6920  
Center Stage  
Interior / Exterior  
Location Number:  
146-C2



SW 6454  
Shamrock  
Interior / Exterior  
Location Number:  
158-C7



SW 6734  
Espalier  
Interior / Exterior  
Location Number:  
150-C7

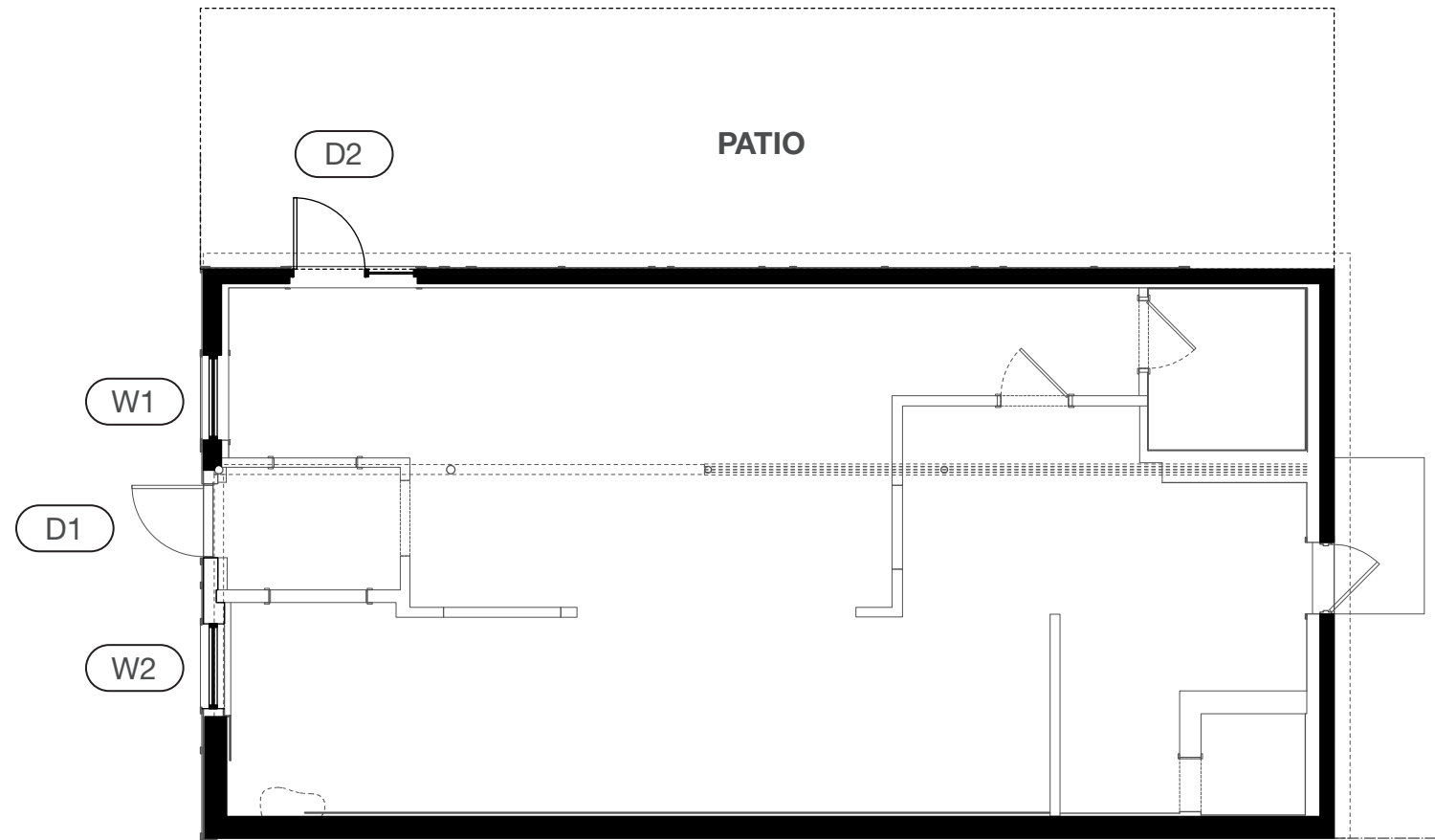


SW 6959  
Blue Chip  
Interior / Exterior  
Location Number:  
176-C1



SW 6802  
Jacaranda  
Interior / Exterior  
Location Number:  
177-C5

# WINDOW AND DOOR SCHEDULE WITH COLOR SWATCHES



Gold  
UC70542F



Military Blue  
UC70533

## WINDOW DOOR SPECIFICATIONS

ALL DIMENSIONS OF ROUGH OPENING TO BE FIELD VERIFIED.  
PROVIDE 1/2" SHIM AROUND ALL WINDOWS.  
ALL WINDOWS ARE DOUBLE PANE GLASS

**(D1)** DOORS/ FRAMES:  
MANUFACTURER: CRL, US ALUMINIUM OR SIMILAR  
SERIES:400-T MEDIUM STILE DOOR WITH A.D.A. BOTTOM RAIL  
FRAME: IT451 ANODIZED ALUMINUM STOREFRONT SYSTEM 2" X 4.25", 1" IGS  
EXTERIOR PULL TBD  
FINISH: SEE SCHEDULE  
DOOR CLOSER MANUFACTURER: ASSA ABLOY NORTON DOORS  
410DAXTPNX689

**(D2)** MANUFACTURER: CRL, US ALUMINIUM OR SIMILAR  
400-T MEDIUM STILE  
SERIES:400-T MEDIUM STILE DOOR WITH A.D.A. BOTTOM RAIL  
FRAME: IT451 ANODIZED ALUMINUM STOREFRONT SYSTEM 2" X 4.25", 1" IGS  
EXTERIOR PULL TBD  
FINISH: SEE SCHEDULE  
DOOR CLOSER MANUFACTURER: ASSA ABLOY NORTON DOORS  
410DAXTPHX689

**(W1)(W2)** WINDOWS  
MANUFACTURER: CRL, US ALUMINIUM OR SIMILAR  
IT451 ANODIZED ALUMINUM STOREFRONT SYSTEM 2" X 4.5", 1" IGS  
FINISH: SEE SCHEDULE  
INCLUDE EXTERIOR SILL FLASHING COLOR TO MATCH FRAME

### DOOR SCHEDULE

DOOR ID	LOCATION	QTY	OPENING SIZE			THRESH. MATL.	MATL. FINISH	HARDWARE SET	CLOSER	DOOR PULL	DOOR STOP	ACCESSORIES	HINGE
			WIDTH	HEIGHT	THICK.								
D1	EAST ENTRANCE	1	3'-4 1/2"	9'-7 1/2"	8 3/8"	ALUMINUM	GOLD UC70542F	A	410DAXTPNX689	TBD	TBD	TBD	TBD
D2	NORTH ENTRANCE	1	5'-8 1/2"	9'-9 1/2"	10 3/8"	ALUMINUM	MILITARY BLUE UC70533	B	410DAXTPHX689	TBD	TBD	TBD	TBD

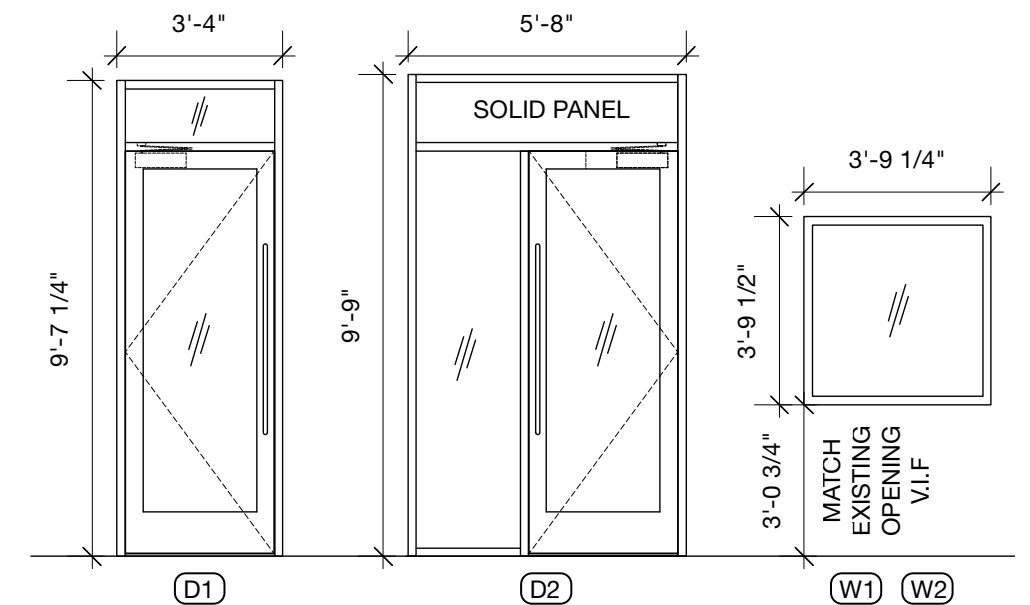
### HARDWARE SCHEDULE

HARDWARE ID	TYPE	LOCK SET	HARDWARE TYPE								
			PUSH SIDE	MANUFACTURER	MODEL NUMBER	FINISH	PULL SIDE	MANUFACTURER	MODEL NUMBER	FINISH	
A	ENTRANCE	1	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD
B	ENTRANCE	1	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD	TBD

### WINDOW SCHEDULE

WINDOW ID	LOCATION	QTY	OPENING SIZE			FRAME		GLAZING		
			WIDTH	HEIGHT	THICK.	MATL.	FINISH	TYPE	COLOR	SPACERS
W1	WEST FACADE	1	3'-9 3/4"	3'-10"	1'-2 1/4"	ALUMINUM	MILITARY BLUE UC70533	TBD	TBD	TBD
W2	WEST FACADE	1	3'-9 3/4"	3'-10"	8 3/8"	ALUMINUM	GOLD UC70542F	TBD	TBD	TBD

ALL DIMENSIONS OF ROUGH OPENING TO BE FIELD VERIFIED PRIOR TO ORDERING WINDOWS OR DOORS







**U.S. Aluminum**  
Color Selection Guide



PPG Coatings Protected

**DURANAR® Coatings**



**DURANAR® SUNSTORM™ Coatings**



These color samples are as close as possible to the actual colors offered within the limitations of color chip reproduction.

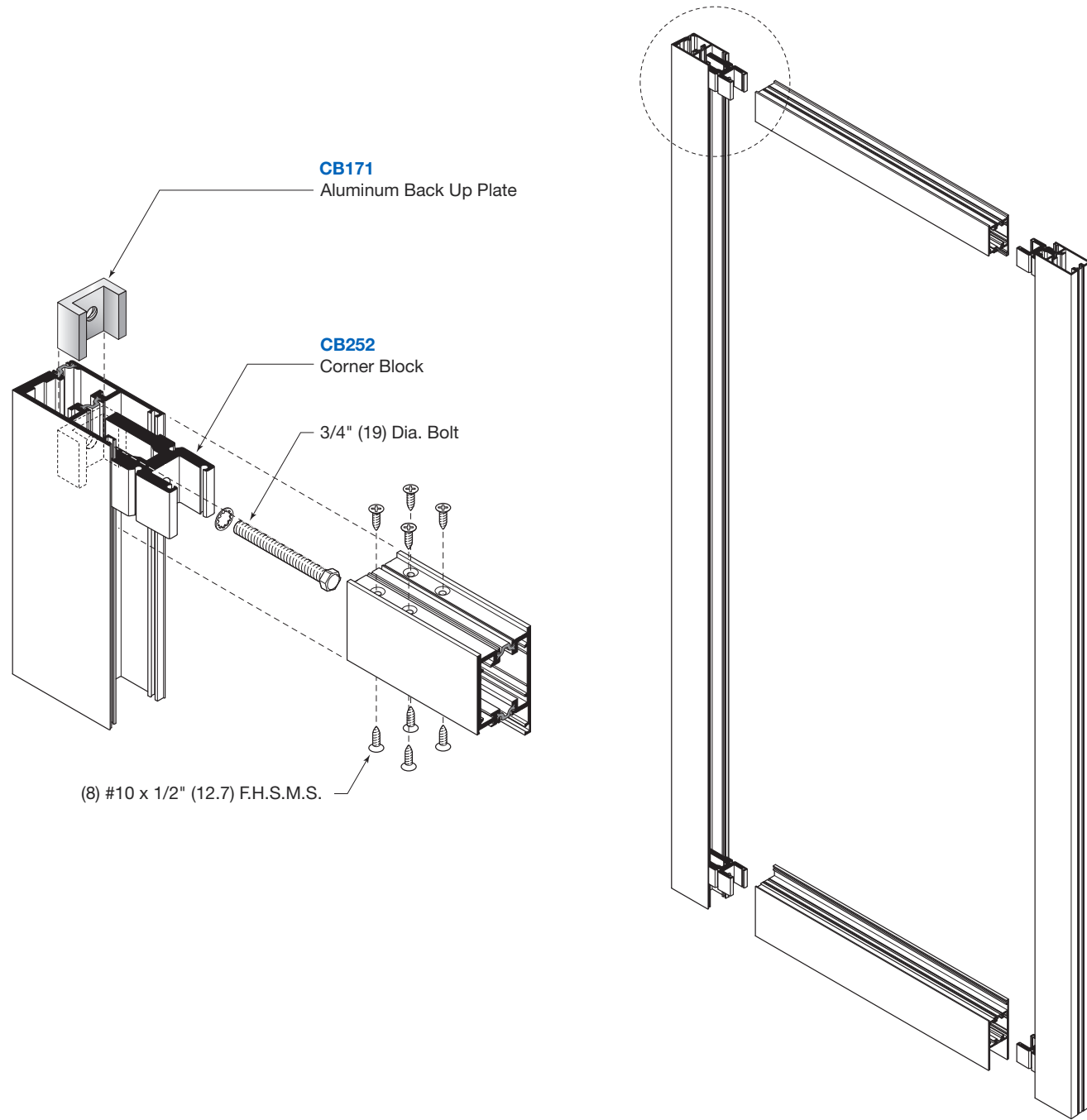
# ENTRANCES

## Door Corner Construction



**Thermal Doors**

- Series 250-T
- Series 400-T

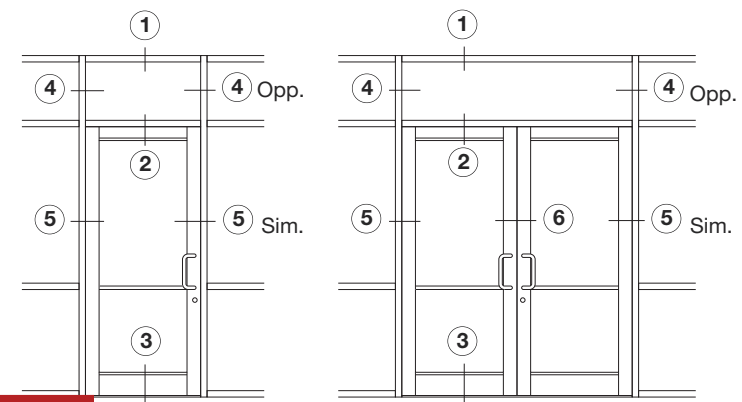


# ENTRANCES



## Typical Details

**NOTE:** Series 400-T Medium Stile Door Shown. For Series 250-T Narrow Stile Door Details, visit [usalum.com](http://usalum.com).



**Thermal Doors**

- Series 250-T
- Series 400-T

