

DHDC 22-7661

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

3/15/22

CERTIFICATE OF APPROPRIATENESS

Phillip Cooley
1052 Seminole
Detroit, MI 48214

RE: Application Number 22-7661; 1052 Seminole; Indian Village Historic District

Dear Applicant,

At the Regular Meeting that was held on March 9, 2022, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on March 15, 2022, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

The proposed rear addition per attached drawings.

The Certificate of Appropriateness is issued with the following conditions:

- *The applicant provides HDC staff a dimensional elevation drawing showing locations of the exterior lights, doors and windows, and cut sheets on the sliding doors for HDC staff review and approval. Should the proposed design products and materials not be acceptable to staff, they will be returned to the Commission for further review.*
- *Selection of replacement bricks shall be reviewed by staff for compatibility. Replacement brick shall be field mixed with salvaged brick to create a uniform expression.*

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Daniel Rieden
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 01.03.22

PROPERTY INFORMATION

ADDRESS(ES): 1052 SEMINOLE ST. AKA: _____

PARCEL ID: 17007567 HISTORIC DISTRICT: INDIAN VILLAGE

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/Doors	<input checked="" type="checkbox"/> Walls/Siding	<input type="checkbox"/> Painting	<input checked="" type="checkbox"/> Roof/Gutters/Chimney	<input checked="" type="checkbox"/> Porch/Deck/Balcony	<input checked="" type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration (3+ scope items)	<input checked="" type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.)	

BRIEF PROJECT DESCRIPTION: ONE STORY ADDITION ON REAR OF BUILDING THAT MATCHES HISTORIC ARCHITECTURE

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: PHILLIP COOLEY COMPANY NAME: _____

ADDRESS: 1052 SEMINOLE CITY: DETROIT STATE: MI ZIP: 48214

PHONE: 313.478.5735 MOBILE: 313.478.5735 EMAIL: phillipgcooley@gmail.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 01.03.22

PROPERTY INFORMATION

Address: 1032 SEMINOLE ST. Floor: Suite#: Stories: 3
AKA: Lot(s): Subdivision: PARK
Parcel ID#(s): 17007567 Total Acres: Lot Width: 100 Lot Depth: 171.5
Current Legal Use of Property: RESIDENTIAL Proposed Use: RESIDENTIAL
Are there any existing buildings or structures on this parcel? [X] Yes [] No

PROJECT INFORMATION

Permit Type: [] New [] Alteration [X] Addition [] Demolition [] Correct Violations
[] Foundation Only [] Change of Use [] Temporary Use [] Other:
[] Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
ONE STORY ADDITION TO REAR OF BUILDING THAT MATCHES
CURRENT HISTORIC STRUCTURE
[] MBC use change [X] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)
[X] HVAC/Mechanical [X] Electrical [] Plumbing [] Fire Sprinkler System [] Fire Alarm

Structure Type
[X] New Building [] Existing Structure [] Tenant Space [] Garage/Accessory Building
[] Other: Size of Structure to be Demolished (LxWxH) cubic ft.
Construction involves changes to the floor plan? [] Yes [] No
(e.g. interior demolition or construction to new walls)

Use Group: R1 Type of Construction (per current MI Bldg Code Table 601) TYPE 5
Estimated Cost of Construction \$ 40,000.00 By Contractor \$ By Department

Structure Use
[X] Residential-Number of Units: 1 [] Office-Gross Floor Area [] Industrial-Gross Floor Area
[] Commercial-Gross Floor Area: [] Institutional-Gross Floor Area [] Other-Gross Floor Area
Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements
(must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings,
existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? [] No
Permit Description:

Permit #: Current Legal Land Use: Proposed Use:
Permit#: Date Permit Issued: Permit Cost: \$
Zoning District: Zoning Grant(s):
Lots Combined? [] Yes [] No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$
Structural: Date: Notes:
Zoning: Date: Notes:
Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: PHILLIP COOLEY Company Name: _____

Address: 1052 SEMINOLE ST City: DETROIT State: MI Zip: 48214

Phone: _____ Mobile: 313.478.5735

Driver's License #: C400683285148 Email: phillipgcooley@gmail.com

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: PHILLIP COOLEY Signature: _____ Date: 01.03.22
(Homeowner)

Subscribed and sworn to before me this 4th day of JAN 20 22 A.D. WAYNE County, Michigan

Signature: _____ My Commission Expires: 1/7/2022
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

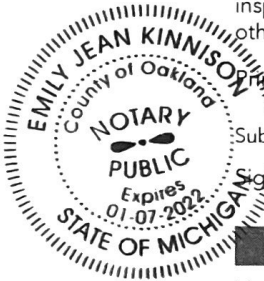
Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



1052 Seminole
Detroit, MI 48214
Indian Village



Front(west) of 1052 Seminole

1052 Seminole St.
Detroit, Michigan 48214
Indian Village
January 4, 2022

Current Condition & Project Description

1052 Seminole was in structural disrepair when we purchased the property in 2019. We have had to add many structural steel I beams and lvl headers throughout the house along with extensive jacking. The worst area sagged 4" over 8'. In this particular area we added a temporary steal i beam because the second story was sagging 2" because the dark brown wooden columns are rotted and floating off of their crumbling brick supports. The dark brown tarp covers the rear facade, as required by our insurance company, where we did not replace the existing door and window after demolition because we wish to add the addition versus rebuilding the historic door and replacing the old window with a historically appropriate window. It is currently boarded up, waiting approval for the addition. We will take the brick down from the former exterior walls that will become interior and clean them. We will reuse the brick on the facade of the addition. The windows and doors will come from the architecture line from Pella window, matching the previous 40+ windows installed in 2020. The addition will be used for a mud room and a family room.



Rear(east) and Side(north) of 1052 Seminole

- Dig and pour foundation and tie into existing foundation
- Rough frame structure
- Brick facade, install limestone cap
- Roof building
- Build porches and railings
- Rough electrical and heating and cooling
- Get rough inspections
- Instal windows and doors
- Instal hardwood flooring
- Instal drywall
- Instal cabinetry
- Finish interior connections between new and existing structure
- Stain and Paint Interior Finishes
- Finish electrical and heating and cooling
- Get final inspections
- Close out permits



Interior view of Pella Window, Architecture Series
Wood windows w/aluminum clad exterior.



Exterior view of Pella Window, Architecture Series
Wood windows w/aluminum clad exterior.
Color matching existing, approved windows

Dan Rieden

From: Phillip Cooley <phillipgcooley@gmail.com>
Sent: Friday, February 18, 2022 4:55 PM
To: Dan Rieden
Subject: [EXTERNAL]Fwd: Revised Drawing
Attachments: 20220218 Cooley Residence - HDC Comments.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: HD Applications

Sorry it took so long.

----- Forwarded message -----
From: Brian Hurttienne <brian@cha-c.com>
Date: Fri, Feb 18, 2022 at 4:31 PM
Subject: Revised Drawing
To: <phillipgcooley@gmail.com>

Phillip,
Enclosed is the revised drawing.

Brian V. Hurttienne | Principal | FAIA

Christian Hurttienne Architects

2111 Woodward Avenue, #201
Detroit, MI 48201 www.cha-c.com
O: 313-825-2005 x 102 C: 313-850-6689

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.



▲ LOCATION PLAN

COOLEY RESIDENCE ADDITION

1052 SEMINOLE STREET, DETROIT, MI 48214

PHILLIP COOLEY

1052 Seminole Street, Detroit, MI 48214
313.478.5735 philippcooley@gmail.com

OWNER

Christian Hurttienne Architects, LLC

2111 Woodward Avenue, Suite #201, Detroit, MI 48201
Brian Hurttienne 313.825.2005 brian@cha-c.com

ARCHITECT

TBD

STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

CONTRACTOR

GENERAL NOTES
1. ANY MENTION OF "CONTRACTOR" INCLUDES THE GENERAL CONTRACTOR (GC), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTORS(S) AS THEY RELATE TO THE CONTRACTUAL DELIVERY METHOD AGREED TO BY THE OWNER AND ENTITY RESPONSIBLE FOR UNDERSTANDING CONSTRUCTED IMPROVEMENTS OF THE PROPERTY. ACCORDINGLY, THE USE OF THE TERM "CONTRACTOR" IS TO REFER TO ANY AND ALL ENTITIES AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB (GENERAL CONTRACTOR / CONSTRUCTION MANAGER) AND/OR A SPECIFIC TRADE (SUBCONTRACTORS).
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION, UNLESS OTHERWISE ADVERTED UPON. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
3. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
4. THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF INFLUENCE OF THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATIONS AND / OR DIRECTIVES WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THESE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
8. THE CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
9. THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
10. THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
11. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REVIEWS ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
12. CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED / APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED A CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
13. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, GUYS, OR TIE-DOWNS IF NECESSARY MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
14. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.
15. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION.
16. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
17. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREAL MAINTAIN LEGAL EXISTING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.
18. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS (IF APPLICABLE) AND THE LOCAL JURISDICTION.
19. ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO THE OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
21. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
22. IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY THE ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW WITHIN THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS.
23. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS INCLUDING PIPING, TEXTILES, EQUIPMENT, DUCTWORK, WIRING, DRIVES, PANELS, AND ACCESSORIES AS REQUIRED BACK TO THE POINT OF ORIGIN. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION DIRECTION PRIOR TO.
24. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL, AND GAS SERVICES, ETC., BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
25. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
26. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE

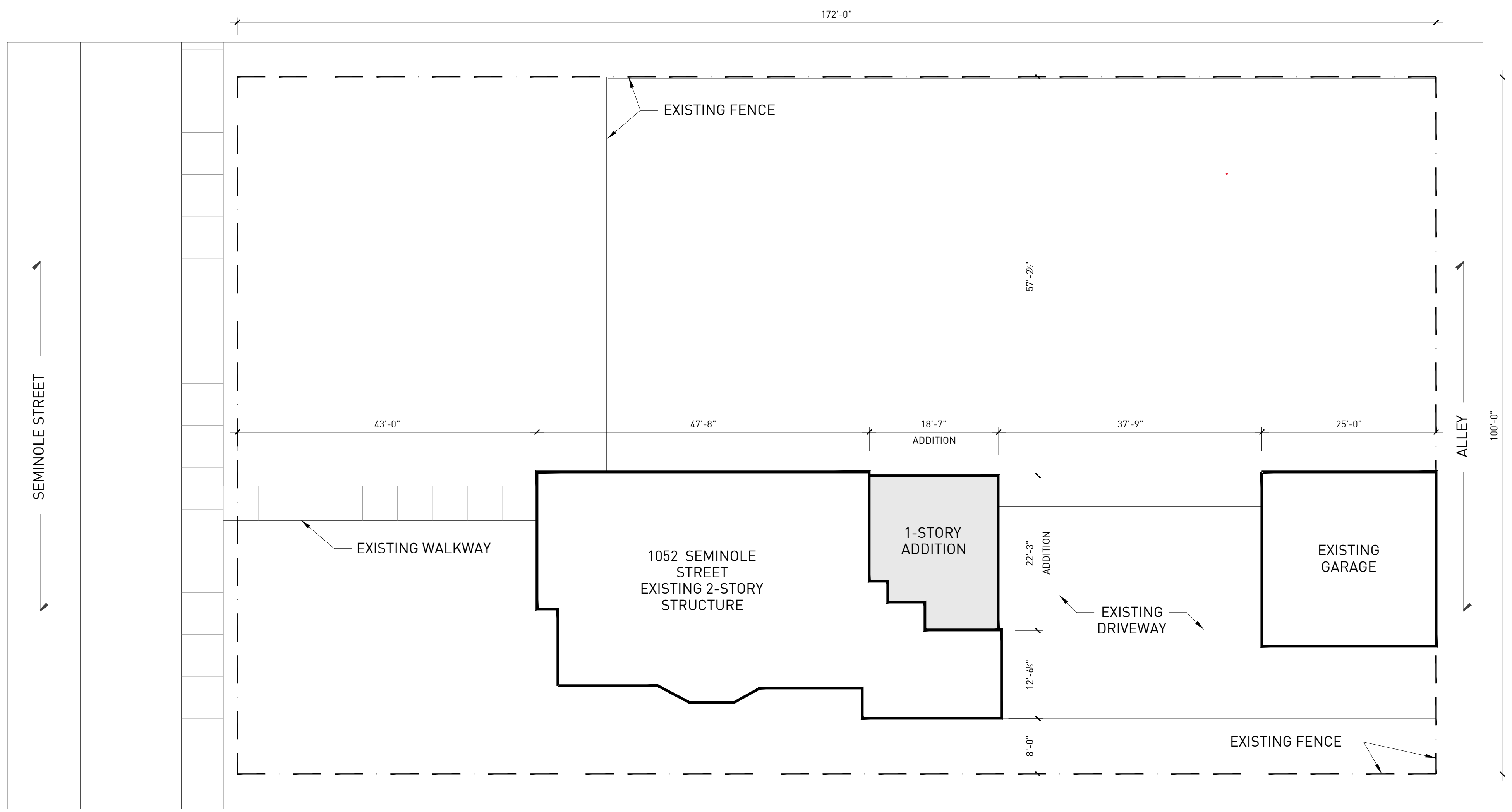
GENERAL NOTES
27. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
28. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
29. IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (GC) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE GC SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, WITHIN THE SCOPE OF THE CONTRACT.
30. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE TENANT SPACE AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY 2015 MICHIGAN BUILDING CODE, NFPA 10 AND THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
31. PROVIDE EXIT SIGNS PER 2015 MICHIGAN BUILDING CODE WITH 4" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES. PROVIDE GREEN LETTERING.
32. PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGN, COMPLYING WITH ICC 117.1.1 ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, EXIT PASSAGEWAY, EXIT DISCHARGE, OR OTHERWISE REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
33. PROVIDE EMERGENCY LIGHTING LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
34. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
35. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
36. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING PER SECTION 803, BASED UPON OCCUPANCY GROUP SPECIFIED IN TABLE 803.9 P. 199 OF THE 2015 MI BUILDING CODE.
37. DECORATIONS (PRIVACY CURTAINS, DRAPES, SHADES, HANGINGS, WALL COVERINGS, ETC.) SHALL CONFORM TO THE REQUIREMENTS OF SECTION 803 OF 2015 MICHIGAN BUILDING CODE.
38. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

LEGEND	
	CONCRETE MASONRY UNIT
	BRICK
	CONCRETE
	INSULATION (BATT, CELLULOSE, SPRAY-FOAM)
	RIGID INSULATION
	PLYWOOD
	METAL
	FINISHED WOOD
	WOOD ROUGH (CONTINUOUS)
	WOOD ROUGH (NON-CONTINUOUS / BLOCKING)
	GLASS
	ALIGN
	COLUMN LINE IDENTIFICATION
	PARTITION TYPE
	DEMOLITION KEYNOTE
	FOUNDATION KEYNOTE
	ARCHITECTURAL KEYNOTE
	ROOF KEYNOTE
	ELECTRICAL KEYNOTE
	STRUCTURAL KEYNOTE
	ELEVATION KEYNOTE
	VERTICAL HEIGHT ELEVATION
	WINDOW TYPE/SCHEDULE NUMBER
	DOOR TYPE/SCHEDULE NUMBER
	MATERIAL SPECIFICATION NUMBER
	REVISION NUMBER
	PLAN DETAIL TAG
	DETAIL NUMBER SHEET NUMBER
	ELEVATION TAG SHEET NUMBER
	SECTION TAG
	SECTION NUMBER SHEET NUMBER
	SHEET IDENTIFICATION NUMBER
	DISCIPLINE DESIGNATOR - A - ARCHITECTURAL SHEET
	SHEET SEQUENCE NUMBER NUMBER IDENTIFYING EACH SHEET IN SET
	SHEET TYPE DESIGNATOR 0 - GENERAL (SYMBOLS, LEGEND NOTES) 1 - PLANS (HORIZONTAL VIEWS) 2 - ELEVATIONS (VERTICAL VIEWS) 3 - SECTIONS, DETAILS, DIAGRAMS, NOTES

PROJECT INFORMATION
PROJECT ADDRESS: 1052 SEMINOLE STREET, DETROIT MI 48214
PARCEL NUMBERS AND LEGAL DESCRIPTIONS: PARCEL NUMBER: 17007547 LEGAL DESCRIPTION: E SEMINOLE SQUARE PARK SUB L19 P59 PLATS, W C R 17/18 100 X 171.50 NEZ# CERT #2006-0425, NEZ# PARCEL #2706425.
PROJECT DESCRIPTION: FIRST FLOOR MUD ROOM AND LIVING ROOM ADDITION
APPLICABLE CODES: ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO: 1. 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - ALTERATION LEVEL 3 2. 2015 MICHIGAN MECHANICAL CODE 3. 2014 MICHIGAN ELECTRICAL CODE 4. 2015 MICHIGAN PLUMBING CODE

DRAWING LIST	
GENERAL SHEETS G0-00 COVER SHEET GENERAL NOTES, LEGENDS, SYMBOLS	
CIVIL SHEETS C-100 ARCHITECTURE SITE PLAN	
ARCHITECTURAL SHEETS A-100 ARCHITECTURAL PLANS AND ELEVATIONS A-301 WALL SECTIONS	
STRUCTURAL ENGINEERING SHEETS	
MECHANICAL ENGINEERING SHEETS	
PLUMBING ENGINEERING SHEETS	
ELECTRICAL ENGINEERING SHEETS	
DRAWING ISSUE DATES	
DESCRIPTION	DATE OF ISSUE
1. HDC REVIEW	01.10.22
2. -	-
3. -	-
4. -	-
5. -	-
6. -	-
SIGNATURE BLOCK	
NAME OF AUTHORIZED REPRESENTATIVE	
{owner} Ben Newman	
{Architect} Christian Hurttienne Architects, LLC	
{General Contractor}	

CONTRACTOR NOTE
 ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



1 ARCHITECTURAL SITE PLAN
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"

MECHANICAL ENGINEER
 STRUCTURAL ENGINEER

COOLEY RESIDENCE
 1052 SEMINOLE, DETROIT, MI 48214
 HISTORIC DISTRICT COMMISSION REVIEW

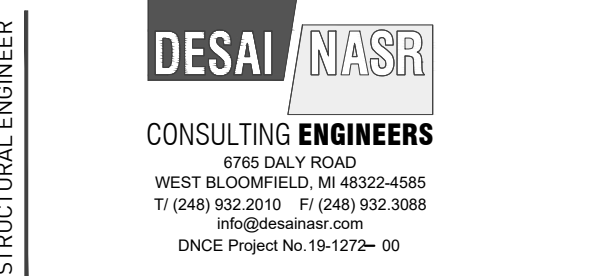
REVISIONS	DATE	DESCRIPTION
1.	20220110	HDC REVIEW

SEAL

ARCHITECTURAL PLANS

DRAWING NO. **C-100**

CONTRACTOR NOTE
 ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



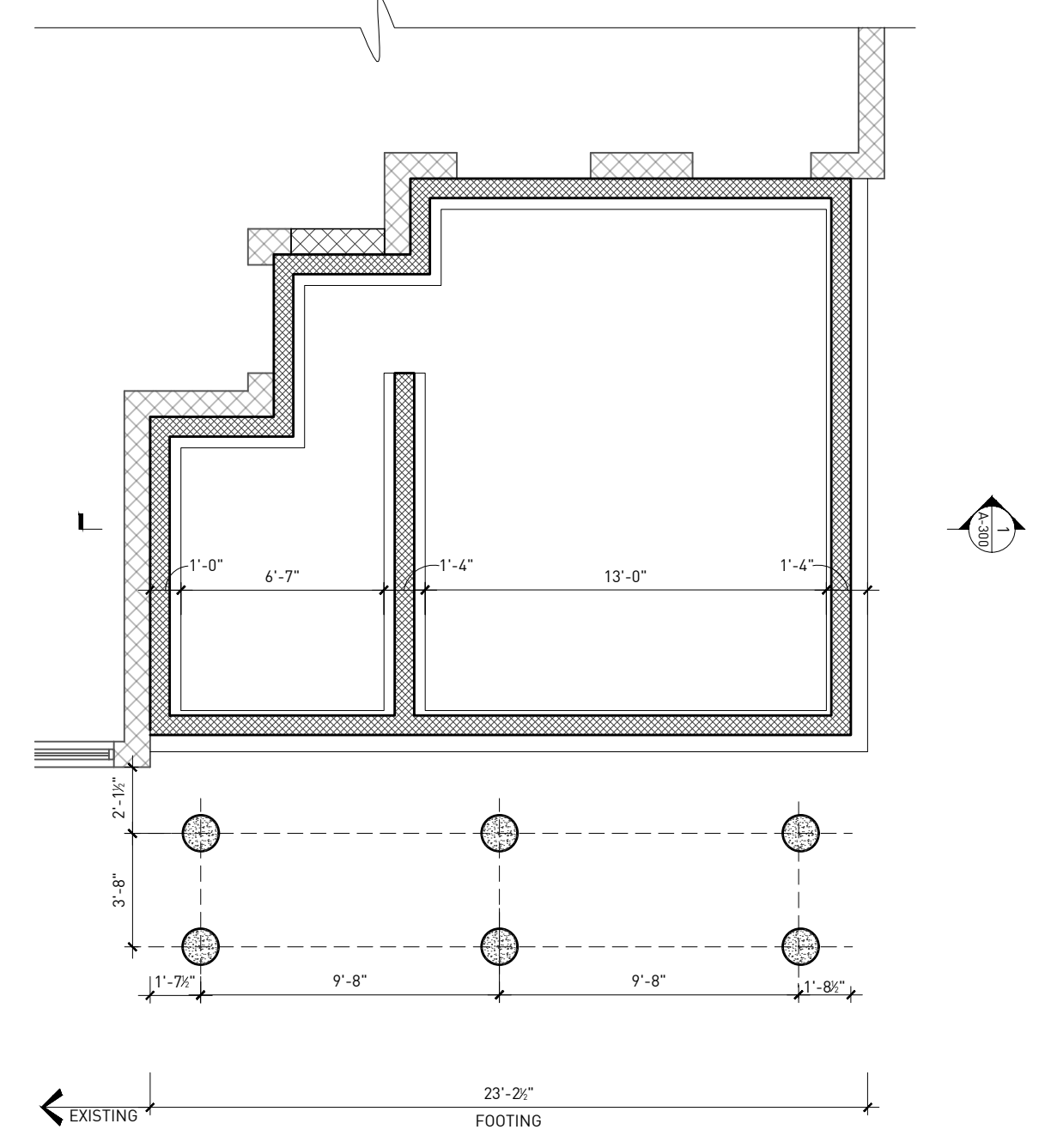
SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

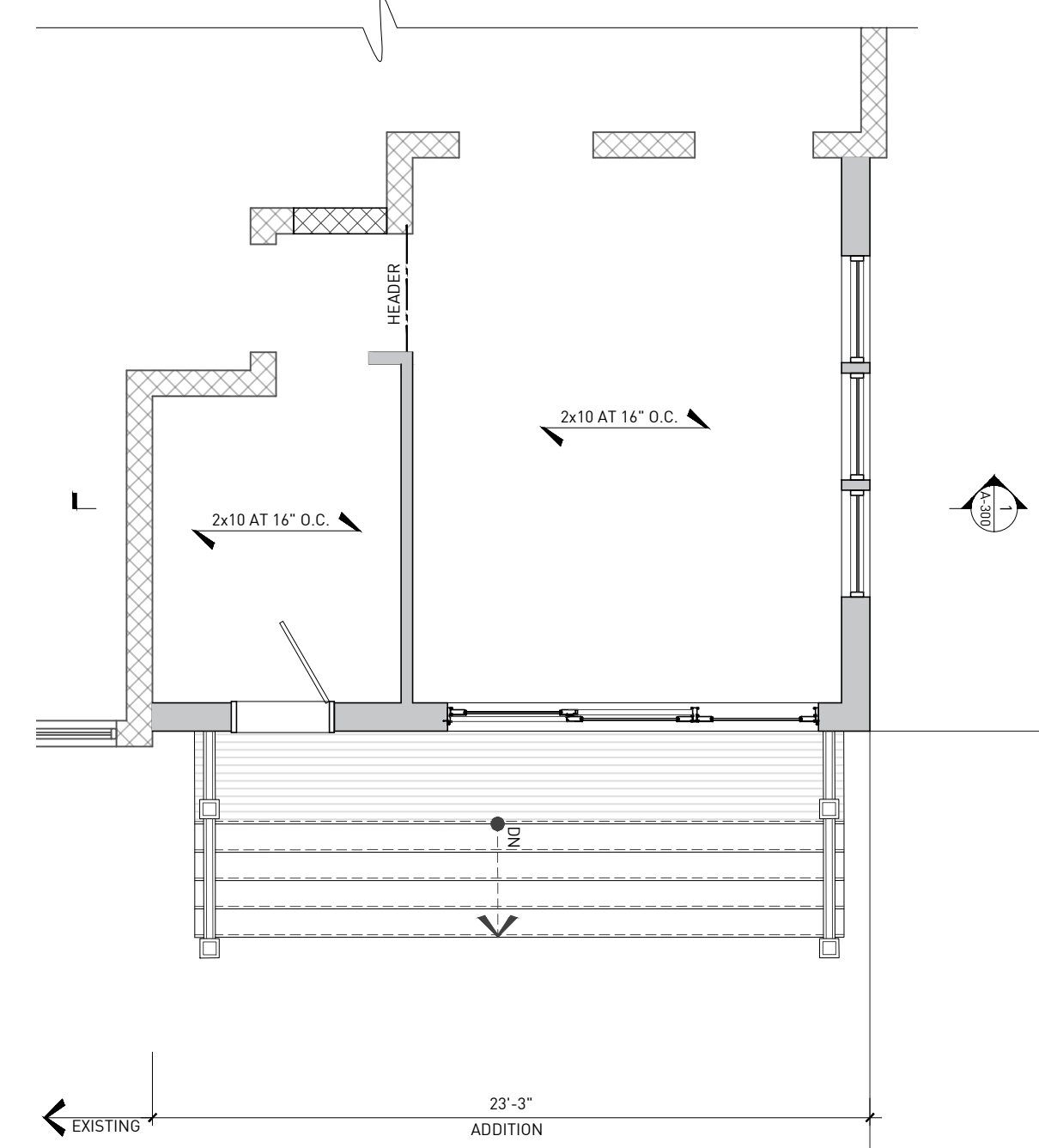
- EXISTING MASONRY WALL CONSTRUCTION.
- EXISTING WALL CONSTRUCTION.
- NEW 8" MASONRY WALL CONSTRUCTION WITH 2X6 METAL 'FURRED' CONSTRUCTION WITH BATT INSULATION AND 5/8" GYPSUM BOARD.
- NEW 4" MASONRY WALL CONSTRUCTION WITH 2X6 METAL 'FURRED' CONSTRUCTION WITH BATT INSULATION AND 5/8" GYPSUM BOARD.
- NEW METAL-FRAMED WALL CONSTRUCTION

ARCHITECTURE GENERAL NOTES

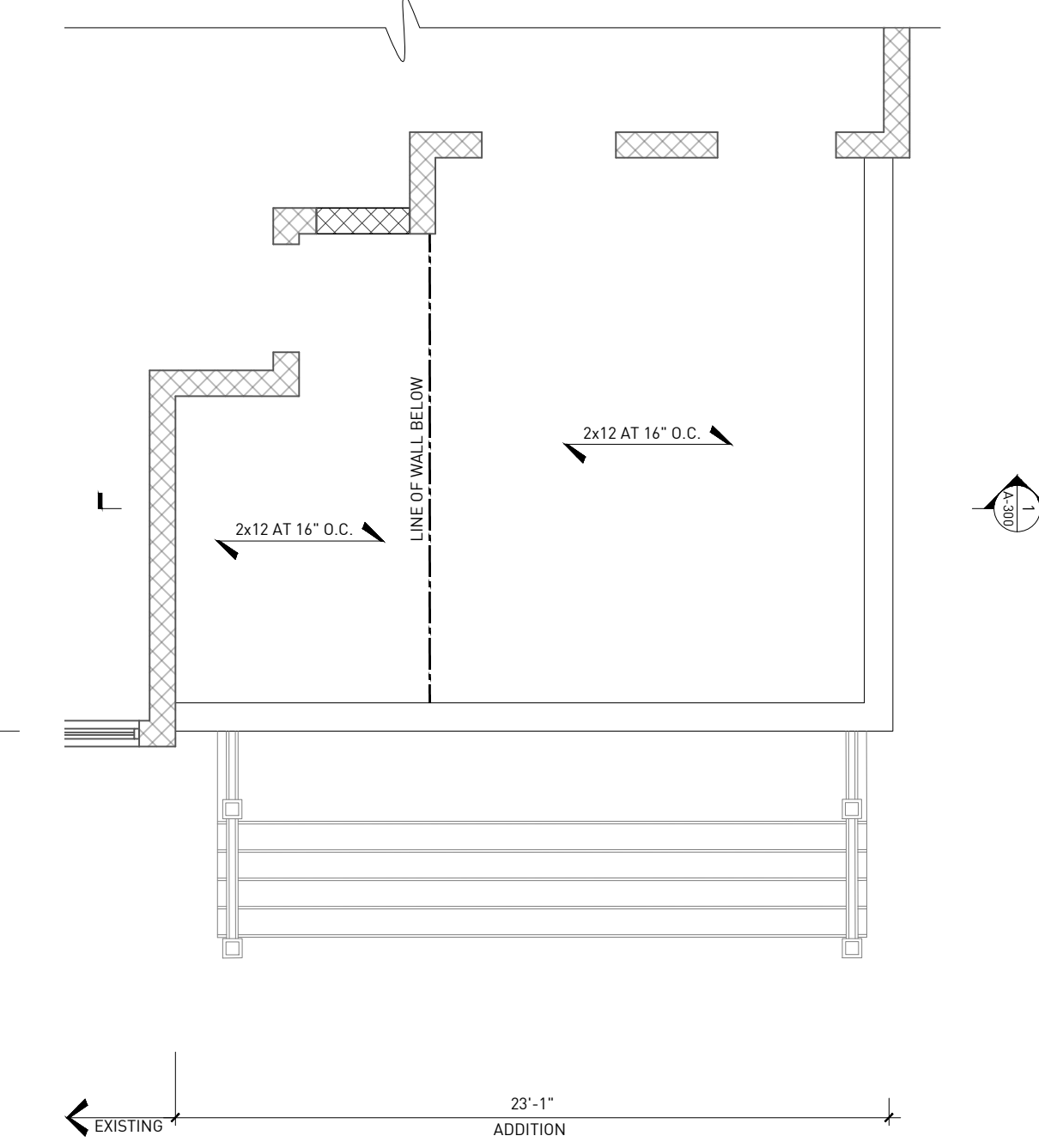
1. ALL NEW WALL AND PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY A2 SHEET A5-01, UNLESS OTHERWISE NOTED.
2. ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
3. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
4. FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
5. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
6. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
7. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.



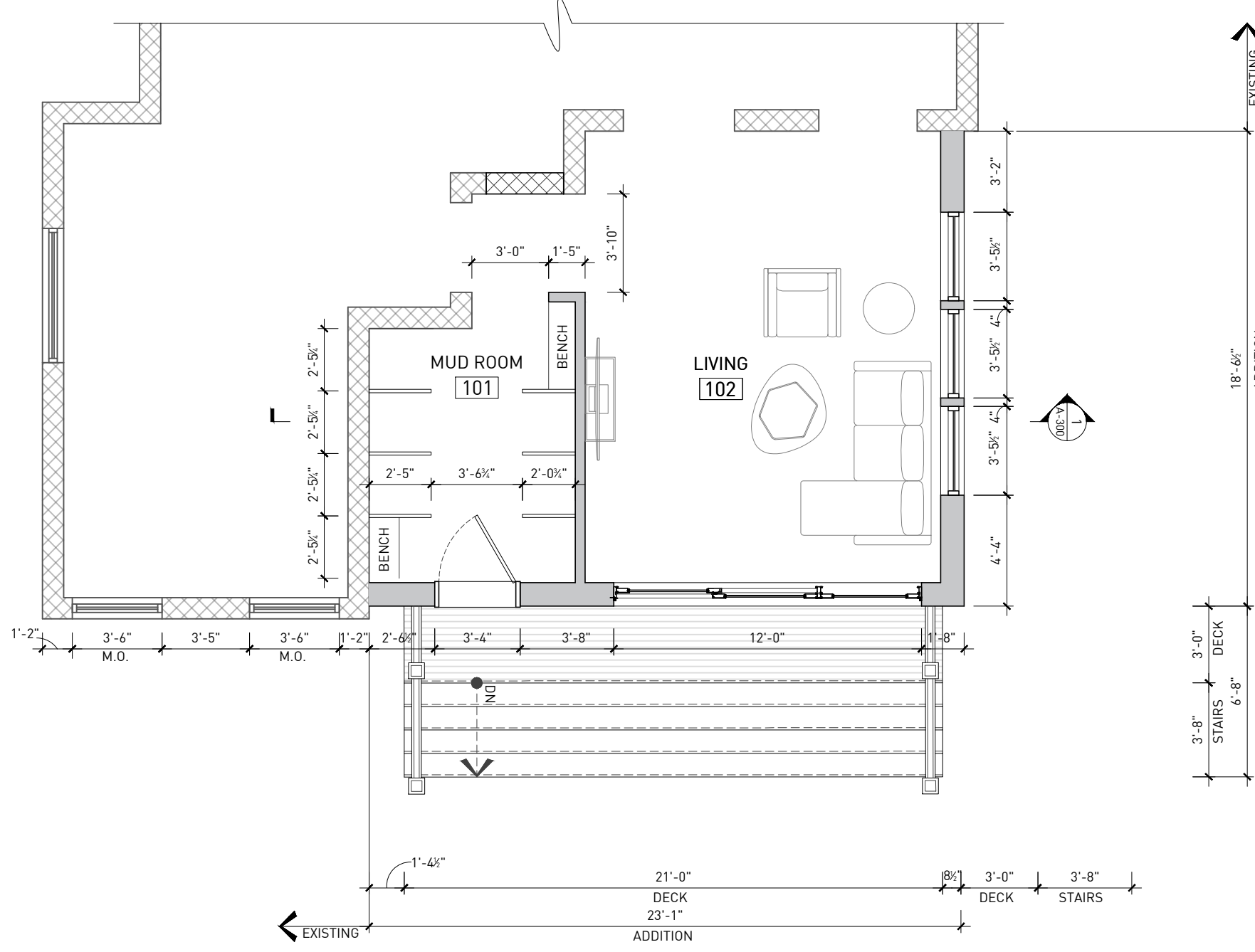
1 FOUNDATION PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



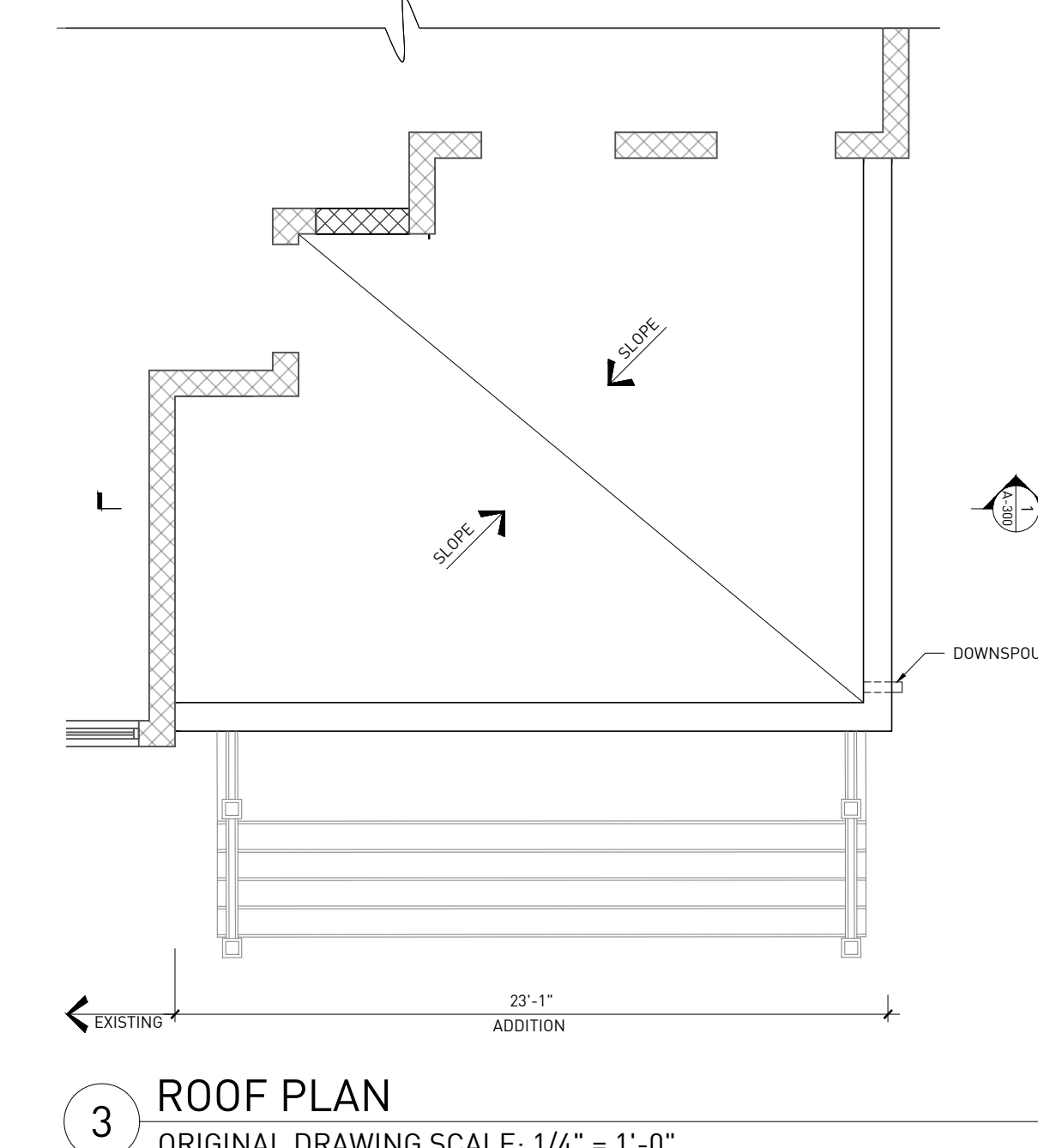
2 FLOOR FRAMING PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



3 ROOF FRAMING PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



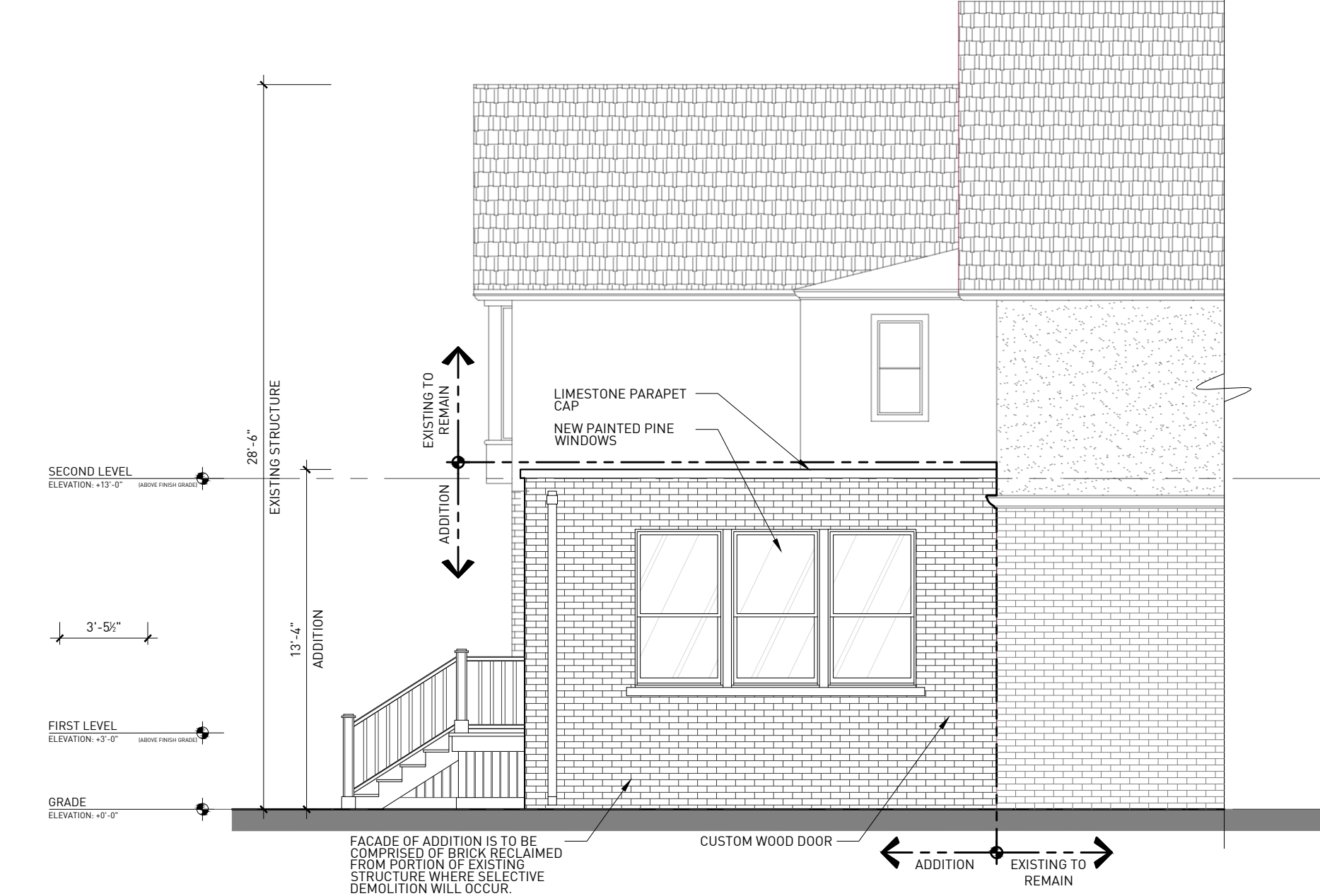
4 ARCHITECTURE PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



3 ROOF PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



5 ARCHITECTURE PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



6 ARCHITECTURE PLAN
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

MECHANICAL ENGINEER
 STRUCTURAL ENGINEER

COOLEY RESIDENCE
 1052 SEMINOLE, DETROIT, MI 48214
 HISTORIC DISTRICT COMMISSION REVIEW

REVISIONS	DATE	DESCRIPTION
1.	20220110	HDC REVIEW
2.	20220218	HDC COMMENTS



ARCHITECTURAL PLANS

DRAWING NO. A-100

CONTRACTOR NOTE
 ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



MECHANICAL ENGINEER
 STRUCTURAL ENGINEER

COOLEY RESIDENCE

1052 SEMINOLE, DETROIT, MI 48214

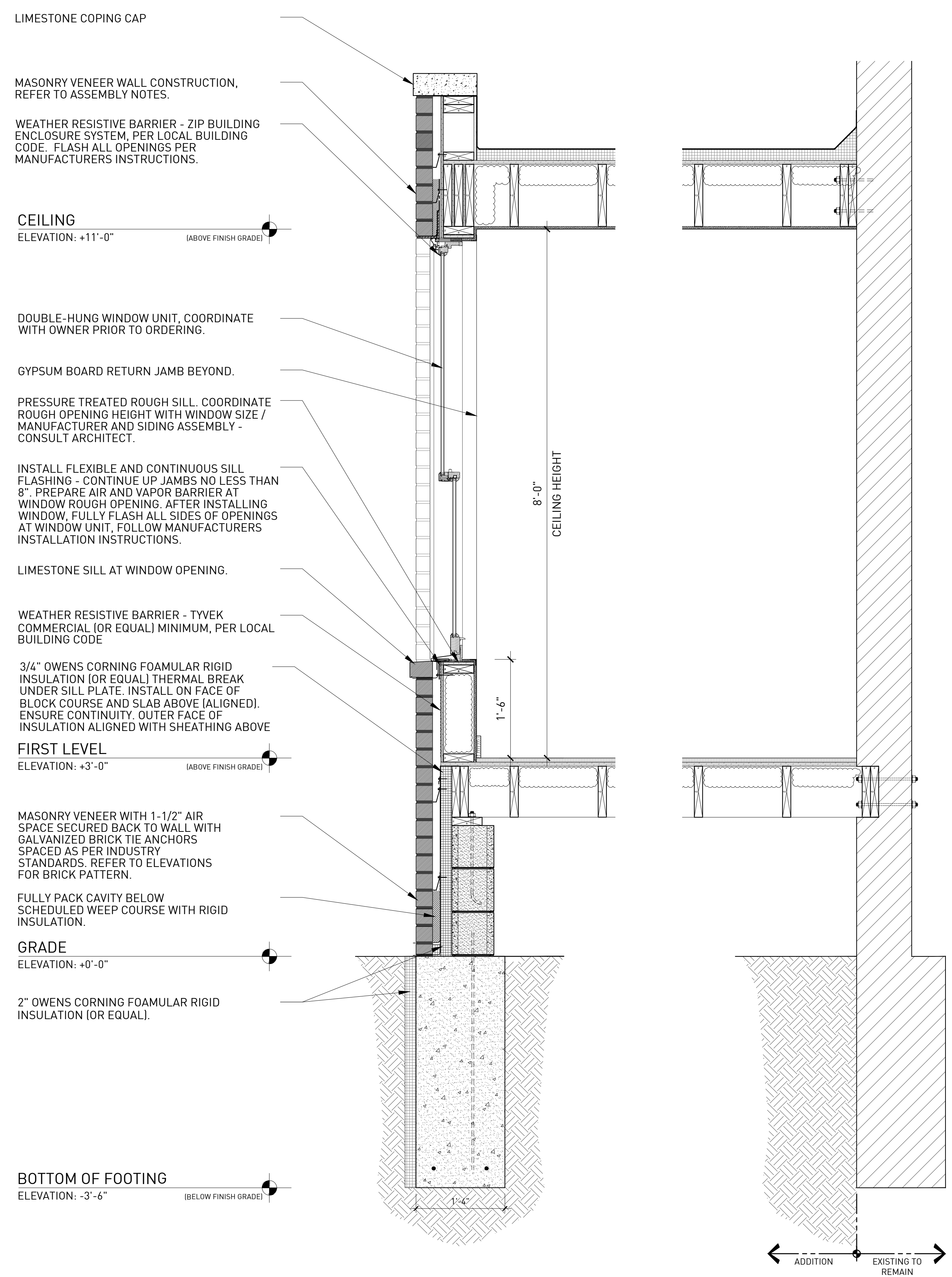
HISTORIC DISTRICT COMMISSION REVIEW

REVISIONS	DATE	DESCRIPTION
1.	20220110	HDC REVIEW
2.	20220218	HDC COMMENTS



WALL SECTIONS

DRAWING NO. **A-300**



1 WALL SECTIONS
 ORIGINAL DRAWING SCALE: 1 1/2" = 1'-0"

From: [Phillip Cooley](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL]Re: [EXTERNAL]Re: HDC MEETING UPDATE: 1052 Seminole
Date: Wednesday, February 9, 2022 6:35:02 PM
Attachments: [tpo spec.pdf](#)
[HKYP297166_specsheet.pdf](#)

Hey Dan!

I got mixed up. I scrolled between your email and Brendan's and responded to two different emails. I will copy paste this time.

1. In your application, I see 3 versions of construction documents. I want to confirm with you that the set dated "2022-01-10" is the correct set, the others appear to be dated in December. Please confirm that I can drop the earlier versions and only have the January 10 set in your application.
2. I see in your window order that the configuration has "no grill" in the Pella order. Is this correct? There are photos showing a sample set that show a 6 over 6 configuration. If there is a grill, I would like to receive confirmation the configuration and whether or not this is applied outside and inside the glass, between the glass, or a true divided light configuration.
3. Please provide rear side photos that show the entire backside of the house. The photos we have are focused on the first floor, but we do need to see back rear and back side angles of the whole house.
4. Do you have any site plans for what happens outside? This is not required for the scope is just the addition, but please briefly describe what is going to happen once you exist the new addition and take the stairs down. Will this be lawn, sidewalk or patio? Do you want to include any ground surface treatment to your application at this time?
5. I understand that the material is reused brick and limestone cap for the exterior wall, correct? Do you have a cutsheet for the limestone cap? Do you anticipate supplemental brick being added to your re-used brick? If so, please provide a cutsheet for this.

1 and 2 were answered. 3 is attached

4. The footprint of the addition is the same as the footprint of the existing porch. We will walk out to the existing yard to the north and the existing exposed aggregate driveway to the east.

5. We believe there is enough brick and will match the existing pattern as well. I'm having a difficult time getting a cut sheet for limestone. The masons I work with and both suppliers I work with have never heard of a cut sheet for limestone. One supplier is contacting their quarry and seeing if they have anything.

I included the roofing membrane spec sheet.

I also included the lighting spec sheet. We will be choosing the bronze finish and the medium size. We plan on putting two on each side of the rear(east) door and one to the left(east) of the side(north) door.



On Wed, Feb 9, 2022 at 1:29 PM Dan Rieden <riedenda@detroitmi.gov> wrote:

Mr. Cooley,

Thanks for your prompt response on items 1 and 2. As noted, I look forward to your complete response to my questions 4 & 5, including the light spec. For the photos (#3 in my original list), please note that I am asked for FULL house photos of the rear (house rooftop to ground), we cannot see the upper floors of the house in the photos you've provided.

Thank you!

Daniel Rieden PLA/ASLA

Lead Landscape Architect | Historic Preservation Team

Planning & Development Department | City of Detroit

Coleman A. Young Municipal Center, 2 Woodward Avenue, Suite 808, Detroit, MI 48226

Phone: 313.224.1357

Email: riedenda@detroitmi.gov

Website: Detroitmi.gov/pdd

From: [Phillip Cooley](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL]Re: [EXTERNAL]Re: [EXTERNAL]Re: HDC MEETING UPDATE: 1052 Seminole
Date: Monday, February 14, 2022 4:38:17 PM

The windows are made by Pella and they are a prefabricated unit. They are wood windows and are aluminum clad. They will be the same dark brown to match the windows we've installed already made by Pella. When there is trim needed, such as a mullion, we will be using Mahogany and painting it that Sherwin Williams seal skin color that matches the windows and the rest of the trim on the house. Each window unit will be installed onsite and trimmed onsite afterward.

On Mon, Feb 14, 2022 at 4:19 PM Dan Rieden <riedenda@detroitmi.gov> wrote:

Good afternoon Phil,

Thank you for the response to the questions I sent last week. I think we are good regarding the limestone cap, you have provided enough information for me to go on.

I have a few new questions regarding the windows of the addition:

1. What is the materiality of the mullions between the windows? I see that they're 4" wide, but I don't see a description of what they will be.
2. Can you describe it the mullions will be fabricated on site or pre-fabricated and the whole opening of all the windows are installed as a unit?
3. What is the finish and color of the mullions?

Would you be able to respond by end of day tomorrow?

Thank you!

Daniel Rieden PLA/ASLA

Lead Landscape Architect | Historic Preservation Team
Planning & Development Department | City of Detroit
Coleman A. Young Municipal Center, 2 Woodward Avenue, Suite 808, Detroit, MI 48226
Phone: 313.224.1357
Email: riedenda@detroitmi.gov
Website: Detroitmi.gov/pdd

Michael E. Duggan, Mayor

In order to ensure your safety and ours during the COV-ID 19 pandemic, the Historic Preservation Team will be working

Dan Rieden

From: Phillip Cooley <phillipgcooley@gmail.com>
Sent: Friday, February 18, 2022 4:55 PM
To: Dan Rieden
Subject: [EXTERNAL]Fwd:
Attachments: IMG-6802.jpg; IMG-6801.jpg

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: HD Applications

Here are two examples of bricks that are the same size that I could mix in with what we have so they don't stick out. Antique Brick and Architectural Warehouse Detroit are also looking out for me and Antique Brick hopes to have the exact brick in a couple of weeks.

----- Forwarded message -----

From: Phillip Cooley <phillipgcooley@gmail.com>
Date: Fri, Feb 18, 2022 at 4:49 PM
Subject:
To: <phillipgcooley@gmail.com>

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.





Dan Rieden

From: Phillip Cooley <phillipgcooley@gmail.com>
Sent: Monday, February 21, 2022 12:15 PM
To: Dan Rieden
Subject: [EXTERNAL]Re: [EXTERNAL]Fwd: Revised Drawing

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: HD Applications

1. No side door. Just one light to the right of the single door.
2. Cedar deck. Clear coat.
3. Working on this.

On Mon, Feb 21, 2022 at 11:42 AM Dan Rieden <riedenda@detroitmi.gov> wrote:

Good morning Phill,

We have a few questions:

1. Now that there is no longer a side door, please confirm the count and locations for the exterior lights.
2. What is the color and finish of the deck and its steps?
3. Please provide cut sheet on the sliding glass doors that show the material, dimensions, operation, color and finish. Are there muntins as shown in the drawings? Please provide details on the muntins (or are these between the glass grills?).

Appreciate your response as soon as you are able.

Thank you!

Daniel Rieden PLA/ASLA

Lead Landscape Architect | Historic Preservation Team

Planning & Development Department | City of Detroit

Coleman A. Young Municipal Center, [2 Woodward Avenue, Suite 808, Detroit, MI 48226](#)

Phone: 313.224.1357

Email: riedenda@detroitmi.gov

Website: Detroitmi.gov/pdd

Michael E. Duggan, Mayor

In order to ensure your safety and ours during the COV-ID 19 pandemic, the Historic Preservation Team will be working remotely.

Max Outdoor Wall Sconce

By Hinkley



Call Us 866.428.9289

Product Options

Finish: Black , Burnished Bronze

Size: Small , Medium , Large

Light Option: Incandescent , LED

Details

- Material: Aluminum
- Shade Material: Clear Glass
- Dimmable when used with a Standard Dimmer (Not Included)
- UL Listed Wet
- Warranty: Limited 2 Year
- Made In China

Dimensions

Small Option Backplate: Width 4.5", Height 6"

Small Option Fixture: Width 6", Height 13.25", Depth 9", Weight 4.11Lbs

Medium Option Backplate: Width 4.5", Height 6"

Medium Option Fixture: Width 6", Height 18.25", Depth 9", Weight 5.39Lbs

Large Option Backplate: Width 4.5", Height 6"

Large Option Fixture: Width 7", Height 25", Depth 10.5", Weight 8.18Lbs

Lighting

- One 60 Watt (500 Lumens) 120 Volt E26 Medium Base Incandescent Lamp(s) (Not Included)

Additional Details

Product URL:

<https://www.ylighting.com/max-outdoor-wall-light-by-hinkley-HKYP297166.html>

Rating: UL Listed Wet

Product ID: HKYP297166

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

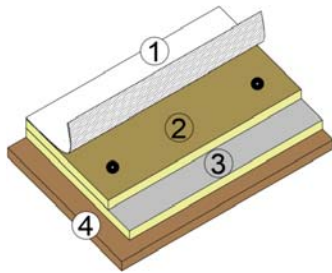


Notes:



**UltraPly™ TPO SA or Flex SA
Membrane Self Adhered
Wood Deck**

Maximum 20 Year
Red Shield™ Warranty



1. Firestone UltraPly TPO SA or Flex SA Membrane with Secure Bond™ Technology
2. Mechanically Attached or Adhered Cover Board (Optional)
3. Mechanically Attached or Adhered Insulation
4. Wood Deck

Consult Firestone Technical Specifications, Guides and Details at www.firestonebpco.com

Slope Requirements

Positive slope required for warranty.

Construction Type

New construction, complete tear-off, or recover with any wet or damaged materials removed prior to installation.

Building Height Limitation

Firestone UltraPly TPO SA Systems are limited to buildings at 250' (76.2 m) or less.

Use of Air Barrier

An air barrier is recommended for projects with large wall openings greater than 10% of the total wall area.

Base Tie-Ins

Must be attached to substrates which provided a minimum of 200 lbf (1 kN) in any direction.

Increased Wind Speed and Codes

Any wind speed coverage exceeding 55 mph (88 km/h) or projects with code requirements must be reviewed by a Firestone Roof System Advisor.

Deck Requirement

- Minimum ½" Plywood
- Minimum 7/16" OSB

Fasteners Type

- Firestone All Purpose Fastener
- Firestone Heavy Duty Fastener
- Firestone HailGard Fastener (with HailGard or OSB Board only)

Insulation Adhesive*

- Firestone I.S.O. Twin Pack™
 - Firestone I.S.O. Spray™ R
 - Firestone I.S.O. Fix™ II
 - Firestone I.S.O. Stick™
 - Firestone Twin Jet
- *Max. 4' x 4' boards must be used when attaching insulation with adhesives.

Adhesive Attachment

Max. 15-Year Warranty:

- Bead Spacing: F: 12", P: 12", C: 12"

20-Year Warranty:

- Bead Spacing: F: 12", P: 6", C: 6"
- Full Application (I.S.O. Spray R)

Membrane Requirement

- UltraPly TPO SA or Flex SA Membrane with Secure Bond Technology

Seam Requirement

Firestone Single Weld system (use robot welder). Joint covers are required at all t-joints and at angle changes 1:12 or greater.

Firestone Membrane Adhesive

- UltraPly TPO SA or Flex SA Membrane with Secure Bond Technology
- Vertical flashing surfaces require priming with Single Ply or Single Ply LVOC Primer

Edge Metal System

- Firestone EdgeGard™ System
- Firestone AnchorGard™ System
- Firestone Coping System
- Firestone Termination Bar
- Firestone Aluminum Drain Bar

Insulation Mechanical Attachment Rates for Standard 55 mph Wind Speed

Insulation (Top Layer) and Optional Cover Board 4' x 8' Board Size

Insulation (Top Layer)	Attachment Rate	Optional Cover Board	Attachment Rate
1.0" to 1.4" ISOGARD™ GL / ISO 95+ GL or ISOGARD CG / Resista	16	¼" SECUROCK® Gypsum Fiber Board	10
1.5" to 1.9" ISOGARD™ GL / ISO 95+ GL or ISOGARD CG / Resista	12	½" SECUROCK Gypsum Fiber Board	8
2.0" or greater ISOGARD™ GL / ISO 95+ GL or ISOGARD CG / Resista	8	¾" SECUROCK Gypsum Fiber Board	8
1.5" to 1.9" Firestone ISOGARD HG / HailGard Composite	12	¼" DensDeck® Prime Roof Board	16 / 12
2.0" to 4.0" Firestone ISOGARD HG / HailGard Composite	8	½" DensDeck Prime Roof Board	12 / 8
Firestone ISOGARD HD Composite Board	8	¾" DensDeck Prime / DensDeck StormX™ Roof Board	8
Firestone ISOGARD HD Cover Board	12	½" Structodek® High Density Wood Fiber Board (max. 15-year warranty)	16

Detail Description

Wall Termination:	Firestone Termination Bar with optional surface mounted or reglet inserted counterflashing may also be used in accordance with current Firestone details.
Curb & Wall Flashings:	Curbs, walls and expansion joints must be anchored with appropriate base tie-in detail, using UltraPly QuickSeam Reinforced Perimeter Fastening (RPF) strip or TPO Seam Plates (see current details for alternate base tie-in options). Curbs and walls must be flashed using minimum 0.045" UltraPly TPO Membrane, UltraPly TPO Flex Adhered or UltraPly TPO 18" Curb Flashing. Flashings may be sealed with welded details or QuickSeam products where acceptable and may include UltraPly TPO Coated Metal.
Corners:	UltraPly TPO Inside/Outside Corners or QuickSeam products (see UltraBlend details).
Roof Edges / Parapets:	Firestone AnchorGard or EdgeGard Fascia, Drain Bar systems, Firestone Coping System, UnaEdge System or UltraPly TPO Coated Metal.
Penetrations:	Flash with weldable UltraPly Pipe Flashing or UltraPly TPO Penetration Pocket, field fabricate with UltraPly TPO Unsupported Flashing, use QuickSeam products (see UltraBlend details) or use liquid flashing details.

Notes:

1. Only Firestone brand products are covered in a Red Shield Warranty.
2. Refer to the Firestone Technical Database at www.firestonebpco.com for additional information regarding UltraPly TPO Systems.
3. DensDeck and StormX are registered trademarks of Georgia-Pacific Gypsum LLC.
4. SECUROCK is a registered trademark of USG Corporation
5. Structodek is a registered trademark of Blue Ridge Fiberboard Inc.
6. It is the installing contractor's responsibility to follow applicable building codes.



Proposal - Detailed

Sales Rep Name: Grant, William
Sales Rep Phone: 734-740-6813
Sales Rep E-Mail: GrantWJ@pella.com
Sales Rep Fax: 248-292-5014

Customer Information	Project/Delivery Address	Order Information
Phillip Cooley 1052 Seminole St DETROIT, MI 48214-2707 Primary Phone: (313) 4785735 Mobile Phone: Fax Number: E-Mail: phillipgcooley@gmail.com Contact Name: Great Plains #: COOLE1052S Customer Number: 1009168944 Customer Account: 1005239872	Cooley, Phillip, 2308741 1052 Seminole St Lot # Detroit, MI 48214-2707 County: Owner Name: Phillip Cooley Owner Phone: (313) 4785735	Quote Name: Addition Order Number: 742 Quote Number: 14905308 Order Type: Installed Sales Wall Depth: Payment Terms: Deposit/Paid on Completion Tax Code: MISALESTAX Cust Delivery Date: None Quoted Date: 12/6/2021 Contracted Date: Booked Date: Customer PO #:

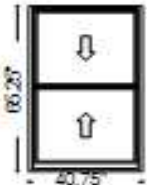
Line #	Location:	Attributes	Qty
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10 ~~DETROIT~~ 1

Architect, Traditional, Double Hung, 40.75 X 65.25, Brown

Qty

1



PK #
2105

Viewed From Exterior

Rough Opening: 41 - 1/2" X 66"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

Frame Size: 40 3/4 X 65 1/4

General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Painted, Standard Enduraclad, Brown

Interior Color / Finish: Unfinished Interior

Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs

Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

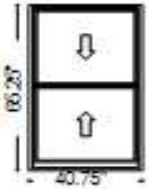
Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

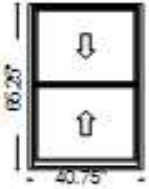
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™

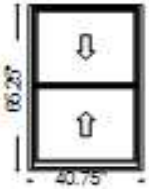
Grille: No Grille,

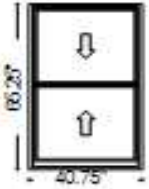
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

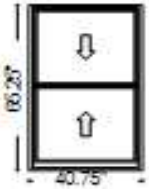
For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com


Line #	Location:	Attributes	
15	UPSTAIRS 2 XXXXX	Architect, Traditional, Double Hung, 40.75 X 65.25, Brown	<u>Qty</u> 1
	 <p>PK # 2105</p> <p>Viewed From Exterior Rough Opening: 41 - 1/2" X 66"</p>	<p>1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal Frame Size: 40 3/4 X 65 1/4 General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16" Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".</p>	

Line #	Location:	Attributes	
20	UPSTAIRS 3 XXXXX	Architect, Traditional, Double Hung, 40.75 X 65.25, Brown	<u>Qty</u> 1
	 <p>PK # 2105</p> <p>Viewed From Exterior Rough Opening: 41 - 1/2" X 66"</p>	<p>1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal Frame Size: 40 3/4 X 65 1/4 General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16" Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".</p>	

Line #	Location:	Attributes	
25	UPSTAIRS XXXXXX 4	Architect, Traditional, Double Hung, 40.75 X 65.25, Brown	<u>Qty</u> 1
	 <p>PK # 2105</p> <p>Viewed From Exterior Rough Opening: 41 - 1/2" X 66"</p>	<p>1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal Frame Size: 40 3/4 X 65 1/4 General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16" Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".</p>	

Line #	Location:	Attributes	
30	UPSTAIRS XXXXXX 5	Architect, Traditional, Double Hung, 40.75 X 65.25, Brown	<u>Qty</u> 1
	 <p>PK # 2105</p> <p>Viewed From Exterior Rough Opening: 41 - 1/2" X 66"</p>	<p>1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal Frame Size: 40 3/4 X 65 1/4 General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16" Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".</p>	

Line #	Location:	Attributes	
35	UPSTAIRS XXXXX 6	Architect, Traditional, Double Hung, 40.75 X 65.25, Brown	<u>Qty</u> 1
	 <p>Viewed From Exterior Rough Opening: 41 - 1/2" X 66"</p>	<p>PK # 2105</p> <p>1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal Frame Size: 40 3/4 X 65 1/4 General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16" Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".</p>	

Line #	Location:	Attributes	
40	UPSTAIRS door 1	Pella® Reserve, Traditional, Inswing Door, Right, 36 X 79.5, Brown	<u>Qty</u> 1
	 <p>Viewed From Exterior Rough Opening: 36 - 3/4" X 80"</p>	<p>PK # 2105</p> <p>1: Traditional, 3680 Right Inswing Door Frame Size: 36 X 79 1/2 General Information: Standard, Clad, Pine, 6 1/2", 5 3/16", Standard Sill, Bronze Finish Sill, Black Composite Threshold Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Standard, White, Order Handle Set, Multipoint Lock, No Integrated Sensor Screen: Hinge Screen, Brown, Oil Rubbed Bronze, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Factory Applied, Pella Recommended Clearance, Perimeter Length = 231".</p>	

Line #	Location:	Attributes	
45	URSTAIRS XXXXXX door 2	Pella® Reserve, Traditional, Inswing Door, Right, 36 X 79.5, Brown	<u>Qty</u> 1
	 <p>Viewed From Exterior</p> <p>Rough Opening: 36 - 3/4" X 80"</p> <p>PK # 2105</p>	<p>1: Traditional, 3680 Right Inswing Door Frame Size: 36 X 79 1/2 General Information: Standard, Clad, Pine, 6 1/2", 5 3/16", Standard Sill, Bronze Finish Sill, Black Composite Threshold Exterior Color / Finish: Painted, Standard Enduraclad, Brown Interior Color / Finish: Unfinished Interior Sash / Panel: Ogee, Ogee, Standard Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude Hardware Options: Standard, White, Order Handle Set, Multipoint Lock, No Integrated Sensor Screen: Hinge Screen, Brown, Oil Rubbed Bronze, InView™ Grille: No Grille, Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 5 3/16", 6 1/2", Factory Applied, Pella Recommended Clearance, Perimeter Length = 231".</p>	

Line #	Location:	Attributes	
50	ADMIN	ADDP RRDETR010010 - Administration & Processing Fee	<u>Qty</u> 1

Line #	Location:	Attributes	
55	None Assigned	PROMOTDETR010004 - Branch Promotion ALL PROMOS	<u>Qty</u> 1

Thank You For Your Interest In Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](https://www.pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor **AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS.** You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE [PELLA.COM/ARBITRATION](https://www.pella.com/arbitration). DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER [PELLA.COM/ARBITRATION](https://www.pella.com/arbitration).

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC).

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

BRANCH WARRANTY:

Pella General Installation Review

Pella Will:

- Deliver and unload products purchased per contract
- Place drop cloths on work area flooring
- Remove interior and exterior trim
- Provide all equipment and materials necessary to install new products
- Inspect all products purchased per contract
- Install all products per contract
- Insulate and caulk around products
- Verify that all products installed are in good working order
- Remove drop clothes, vacuum, and remove all debris
- Remove all old products from premises upon completion
- All work to be performed during normal working hours of 8:00 a.m. to 5:00 pm Monday-Friday, unless other arrangements are made.
- Installation and prefinish is warranted for the period of two years on materials and workmanship. Warranty time frame begins at date of completion.

Homeowner Will:

- Secure building permit if needed
- Remove existing shutters and awnings
- Reinstall shutters and awnings
- Cut back or tie trees, bushes and shrubs two feet from exterior wall
- Arrange to have alarm system disconnected and reinstalled
- Arrange to have any plumbing and/or electrical repairs or changes made by appropriate licensed contractor prior to install date
- Provide site electricity for power tools

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

- All blinds and interior window treatments need to be removed prior to your installation date.
- All furniture needs to be moved at least 6 feet away from any window or door begin replaced.
- All personal items, wall hangings and collectibles must be removed prior to you installation date.
- Any non-movable furniture (example: pianos, built in cabinets, etc.) must be cleared of items and be surface dusted prior to installation.
- Have pets controlled so they do not get loose
- Remove all stickers from products installed
- Wash all interior and exterior glass surfaces

TERMS & CONDITIONS:

Quotes is valid for 30 days.

Order Totals	
Taxable Subtotal	\$17,229.50
Sales Tax @ 6%	\$1,033.77
Non-taxable Subtotal	\$736.73
Total	\$19,000.00
Deposit Received	\$0.00
Amount Due	\$19,000.00