

11/16/2021

NOTICE OF DENIAL

Ed Fish
Peerless Realty, LLC
410 S. Maple Ave., Apt. 343
Falls Church, VA 22046

**RE: Application Number 21-7522/88, 603-609 E. Milwaukee, Jam Handy/North End- East Grand Boulevard Historic District
Project Scope: Demolish addition at 609 E. Milwaukee; Rehabilitate building at 603 E. Milwaukee, including window replacement**

Dear Applicant,

At the Regular Meeting that was held on November 10, 2021, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on November 16, 2021, as it will be inappropriate according to the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

Replacement of steel sash windows per the submitted documents and drawings.

Excepting the following items from denial:

- ***All remaining work items, including the demolition of the block addition at 609 E. Milwaukee***

The reasons for the denial are a failure to meet the following specific Standards or Elements:

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial. The Commission suggests that a detailed report on every historic steel sash window be prepared and submitted.

Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street
P.O. Box 30754
Lansing, MI 48909

Phone: 517-335-0665
E-mail: stuckeyj@michigan.gov

If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Garrick Landsberg, Director/Staff
Detroit Historic District Commission

DHDC 21-7522

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

11/16/2021

CERTIFICATE OF APPROPRIATENESS

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Peerless Realty, LLC
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Falls Church, VA 22046

**RE: Application Number 21-7522/88, 603-609 E. Milwaukee, Jam Handy/North End- East Grand Boulevard Historic District
Project Scope: Demolish addition at 609 E. Milwaukee; Rehabilitate building at 603 E. Milwaukee, including window replacement**

Dear Applicant,

At the Regular Meeting that was held on November 10, 2021, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on November 16, 2021, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

Exterior rehabilitation and alterations, including rehabilitation of existing wood windows and demolition of the block addition at 609 E. Milwaukee, per submitted drawings, narrative, and documents, EXCEPTING the replacement of steel sash windows, as described in the accompanying Notice of Denial.

With the condition that:

- ***The applicant repair the existing wood windows and maintain the glass with the existing signage***

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or landsbergg@detroitmi.gov.

For the Commission:



Garrick Landsberg, Director/Staff
Detroit Historic District Commission



EXTERIOR RENOVATION FOR PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI. 48202

DETROIT HISTORIC DISTRICT COMMISSION



NARRATIVE

This project is a former factory building. It is an existing 2-story vacant building with brick exterior. The building is constructed with large divided light metal windows, a flat roof and the interior is steel and wood floor framing construction. There is a CMU block structure on 609 E. Milwaukee that does not fit the time of the building and will be removed and demolished off the east side of the original building.



TABLE OF CONTENTS

Request 1	Window Replacement (Historic Windows) Replace existing windows Add windows on east side Infill 2 nd Floor window Infill 2 overhead doors on 1 st Floor
Request 2	Roof Replacement (Historic Roofing Material) Roof Replacement New metal coping
Request 3	Paint Door paint
Request 4	Light Fixtures South side East side West side
Request 5	New Construction / Additions North stairway
Request 6	New / Replacement Doors Replace south door Add 5 doors on east side
Request 7	Sign Installation / Replacement New building sign on south side Apartment unit numbers on east side 1 awning on south side 5 awnings on east side
Request 8	Mechanical Vents New mechanical vents on east / west sides
Request 9	Demolition Remove existing CMU building on east side
Request 10	Fence and Gate New fence and gates



PROJECT PEERLESS

REQUEST 1 – WINDOW REPLACEMENT (HISTORIC WINDOWS)

EXISTING EXTERIOR ELEVATIONS

SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION 1



EAST ELEVATION 2



EXISTING WINDOWS (INTERIOR)

FIRST FLOOR





SECOND FLOOR



EXTERIOR WINDOWS (ENLARGED)





WINDOW INFORMATION

METAL WINDOWS

On Tuesday September 28, 2021, D.S. Architects conducted an onsite exterior observation of first and second floor windows. A majority these windows have metal frames, many that are rusting and deteriorating. The windows have a black painted finish. We observed some of the frames to have holes that expose the inside to the outside weather conditions. Some of these holes have been temporarily filled with foam insulation. The glass panes are made of different materials; fiberglass, frosted, clear and textured glass panes. A few of the windows have broken glass panes and are temporarily sealed with plywood.

1. These windows are not thermally broken and not energy efficient.
2. These windows will not accept new energy efficient double pane glass.
3. In our proposed configuration, we do not want operable windows on the street level for safety and security.
4. On the second floor the current operable mechanism on the window is out of the ADA reach range.

WOOD WINDOWS

The two south windows on the St. Antoine side and first floor windows on the E. Milwaukee Ave. side are wood framed double hung windows with a black painted finish. We observed some broken and rotting wood. The caulk around the edges have peeled away and there is no seal provided between the window and the brick walls compromising the wood stiles. All the windows are single pane and not energy efficient. Windows appear to be inoperable.

1. These windows are not thermally broken and not energy efficient.
2. These windows will not accept new energy efficient double pane glass.
3. In our proposed configuration, we do not want operable windows on the street level for safety and security.
4. Replacing the rotted wood members would be a challenge because it would require custom profile tools to be manufactured.

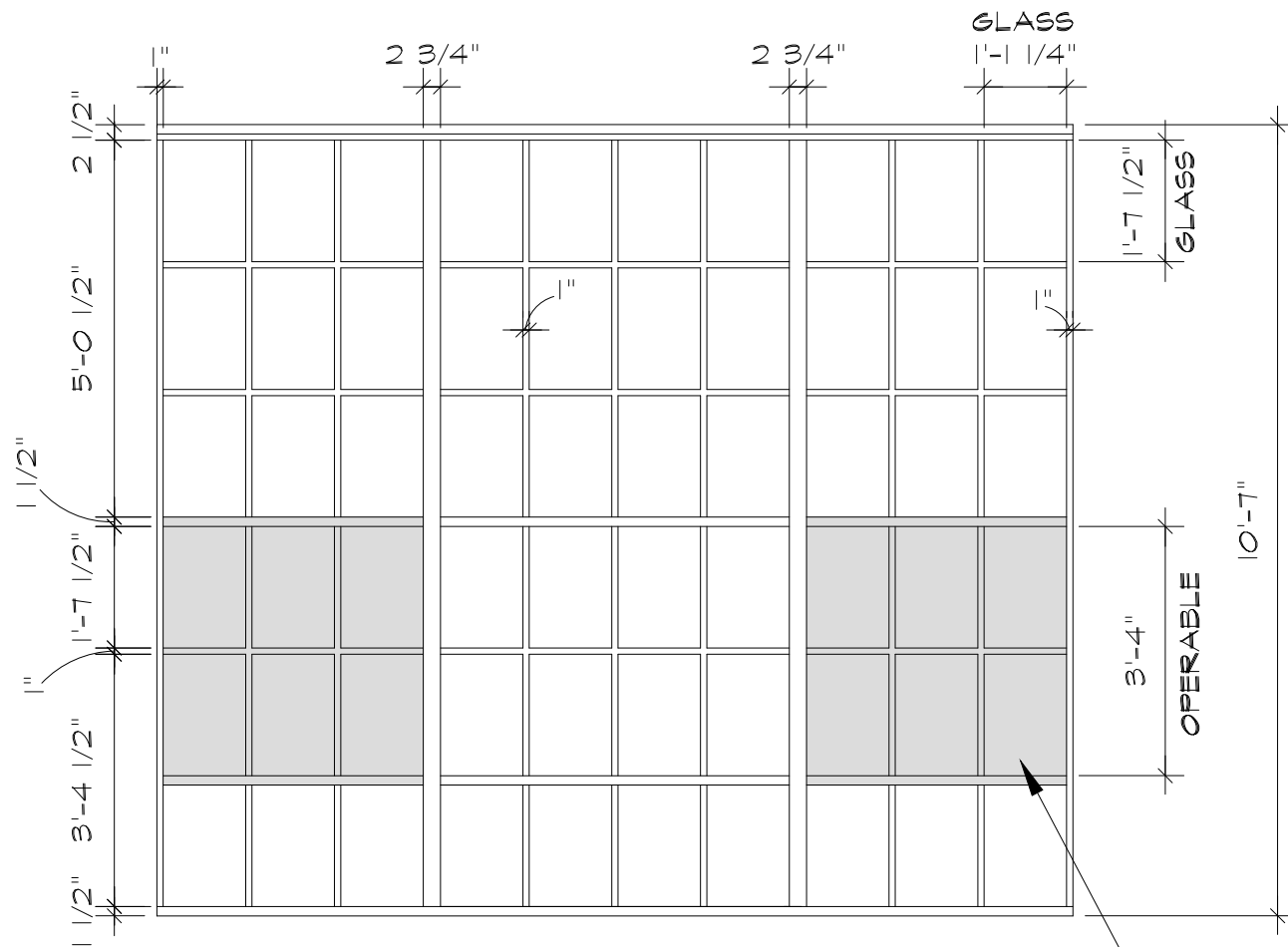
EXISTING WINDOWS

METAL WINDOWS



WOOD WINDOWS





METAL FRAMED WINDOWS

SHADED AREA INDICATES
OLD OPERABLE PART
OF WINDOW

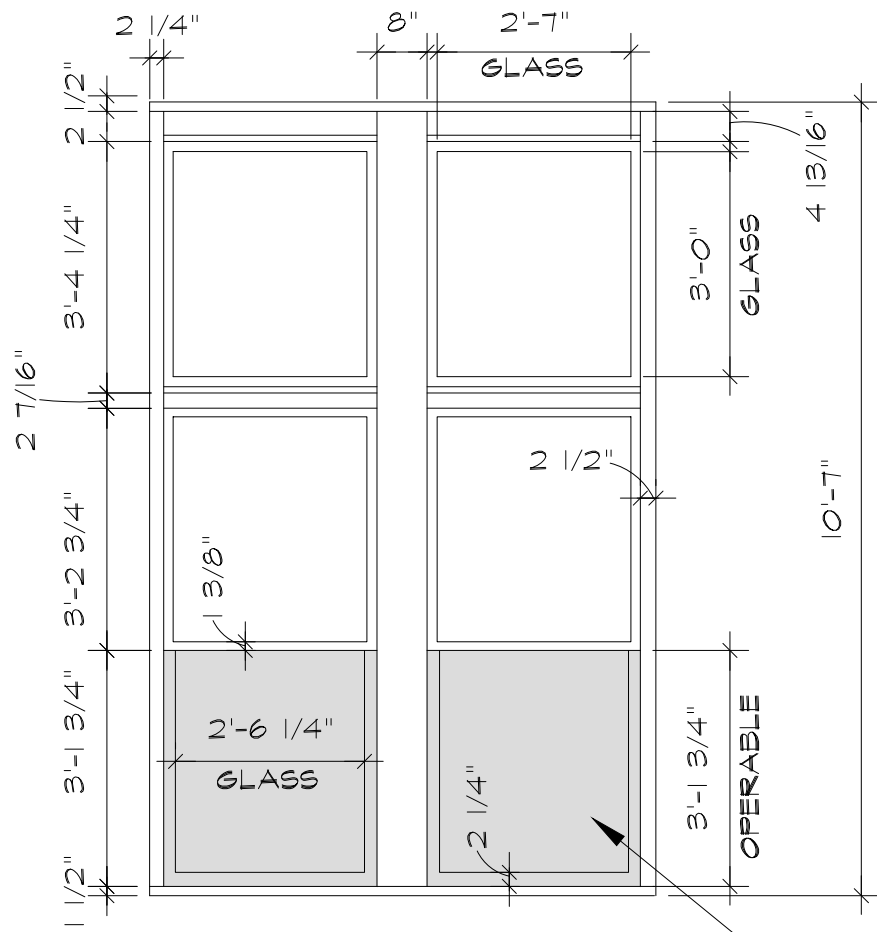
360 E. MILWAUKEE AVE.

PEERLESS BUILDING
DETROIT, MI 48202

$\frac{3}{8}" = 1'-0"$

10-18-21





WOOD FRAMED WINDOWS

SHADED AREA INDICATES
OLD OPERABLE PART
OF WINDOW

360 E. MILWAUKEE AVE.

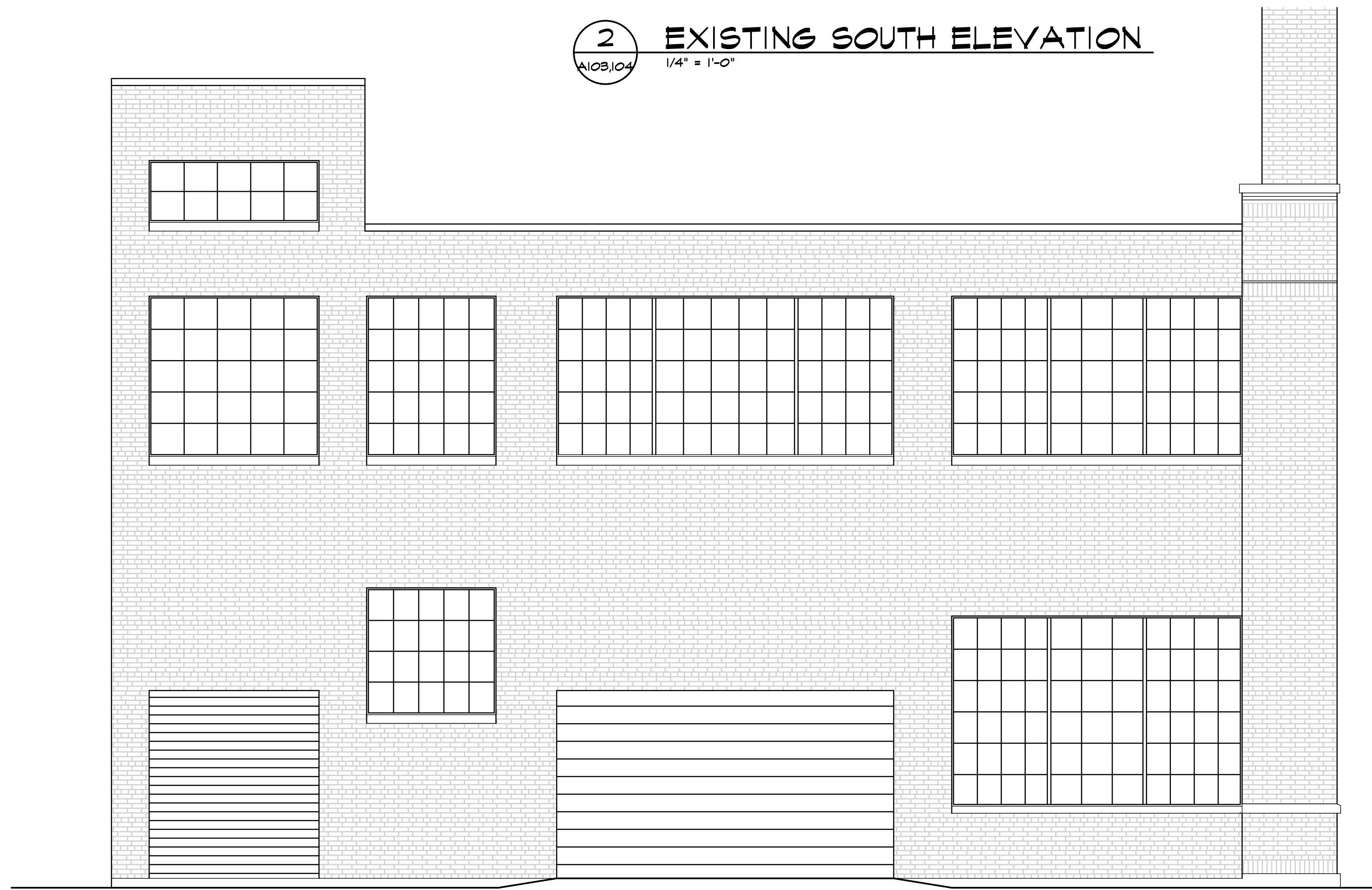
PEERLESS BUILDING
DETROIT, MI 48202
3/8" = 1'-0"
10-18-21



EXISTING EXTERIOR WINDOW ELEVATIONS



2 EXISTING SOUTH ELEVATION
A103,104 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
A103,104 1/4" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM



Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

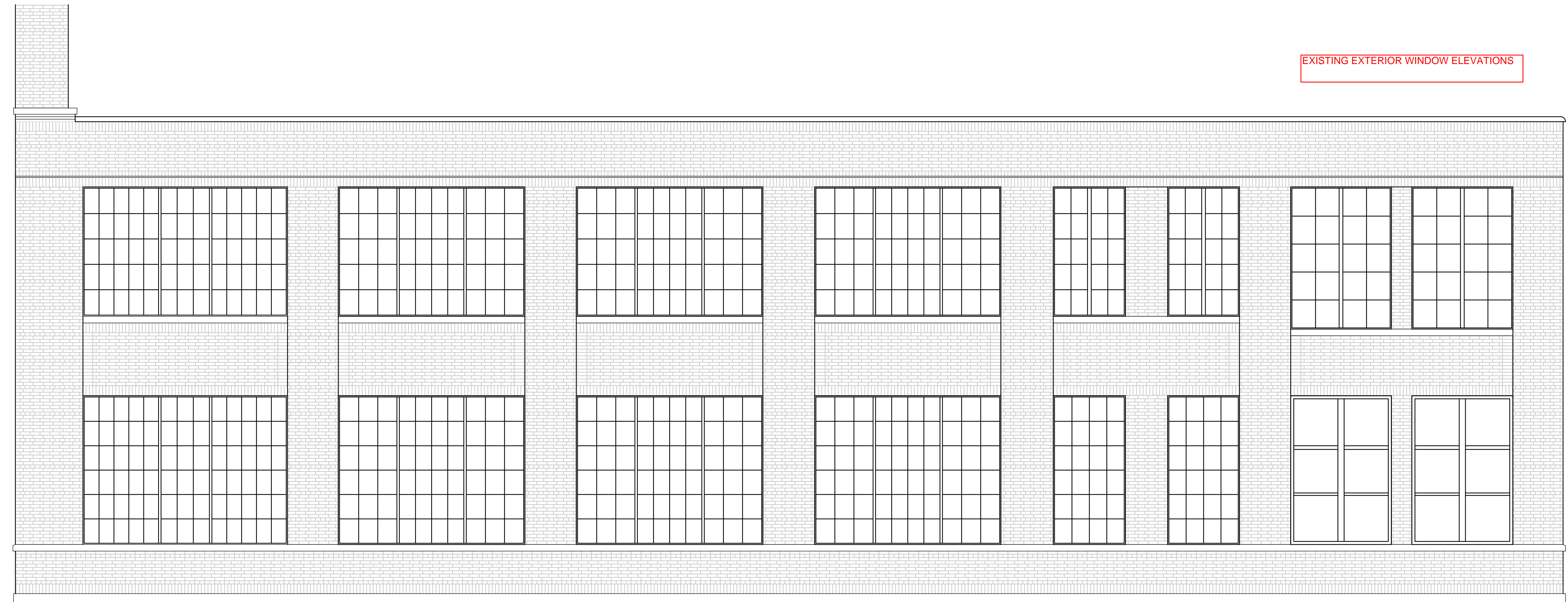
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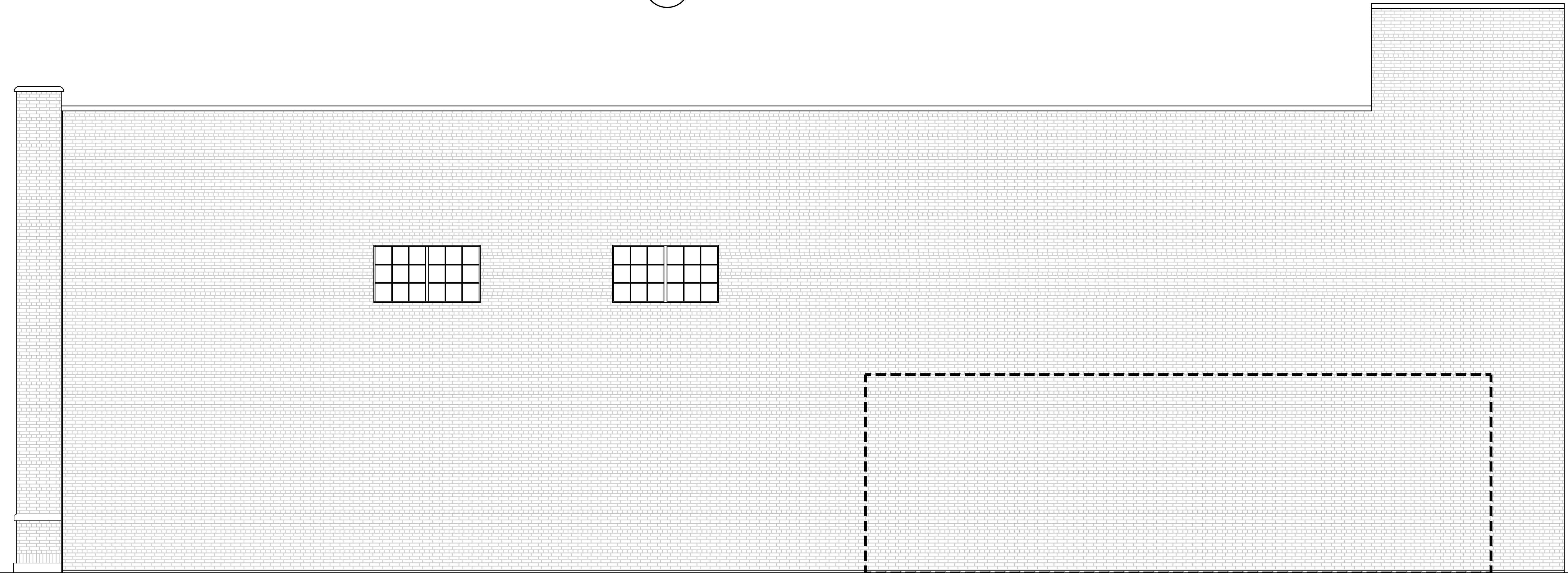
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PERMIT	10-13-21	DJS

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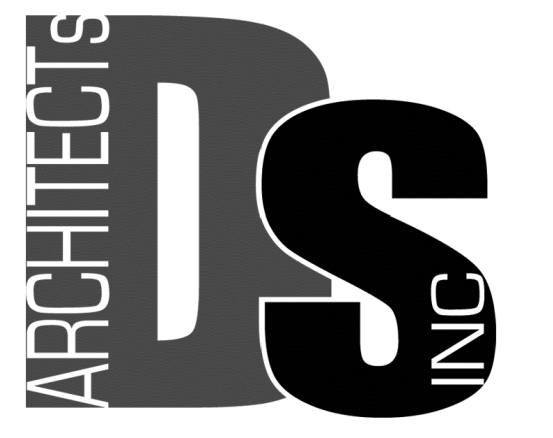
EXISTING EXTERIOR WINDOW ELEVATIONS



2 EXISTING WEST ELEVATION
A103,104 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
A103,104 1/4" = 1'-0"



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PROJECT PEERLESS

603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title		
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Scale	1/4"=1'-0"	
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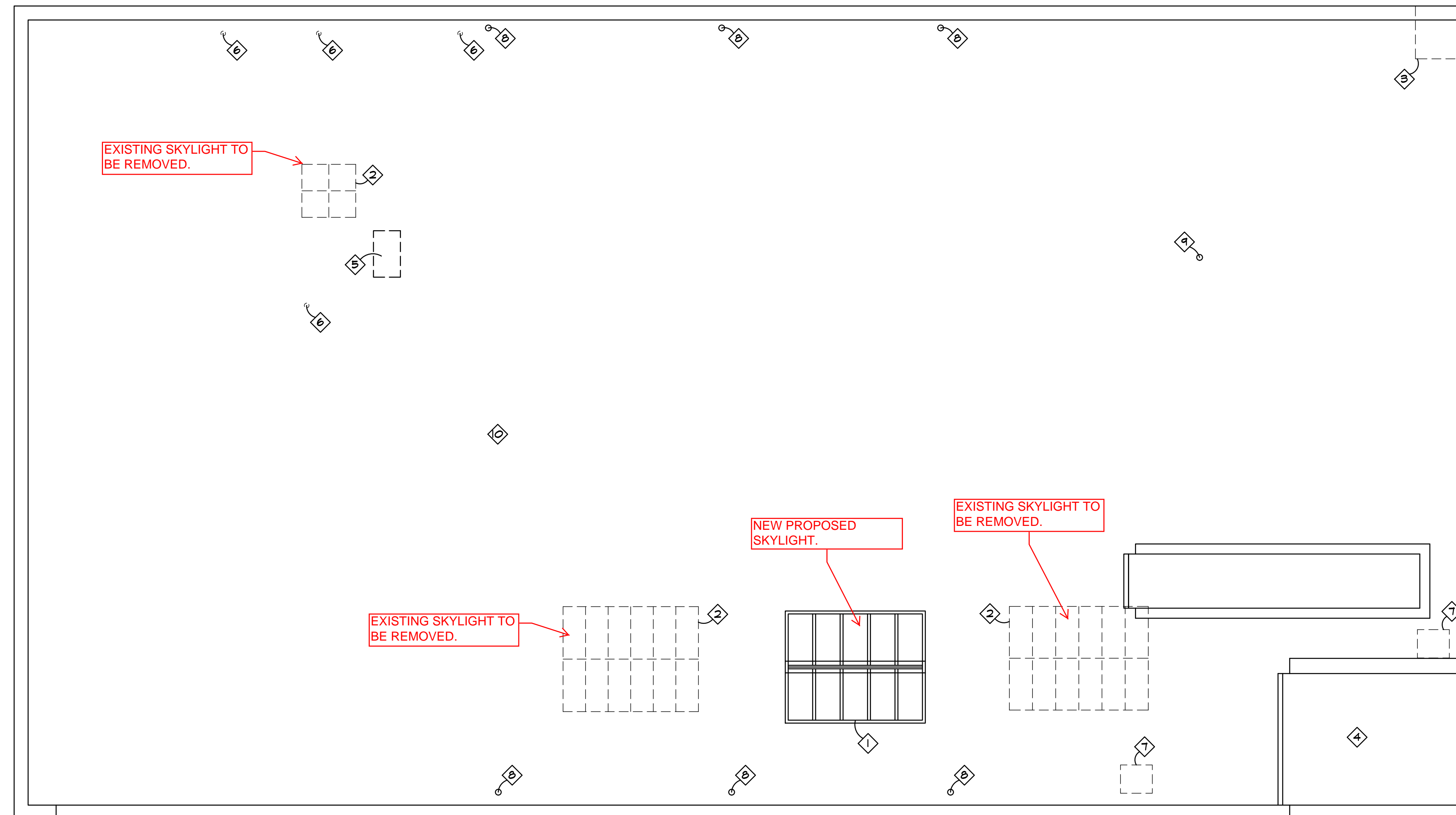
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SECOND FLOOR SKYLIGHT



ROOF NOTES

- ① PROVIDE NEW 8' X 10' PREMANUFACTURED ALUMINUM SKYLIGHT ASSEMBLY WITH INSULATED GLASS BY MASCOVELUX MODEL C8D6 950 SERIES LT DOUBLE PITCH WITH GLASS ALONG SILL. PROVIDE NEW ROOF CURB PER MANUFACTURERS INSTRUCTIONS. PROVIDE AND INSTALL BEAM (SIZE, STYLE AND TYPE TO BE DETERMINED BY DESIGNER), RUNNING NORTH AND SOUTH, ALONG AT BASE OF SKYLIGHTS TO SUPPORT TWO (2) HANGING LIGHT FIXTURES.
- ② REMOVE AND DISPOSE OF EXISTING SKYLIGHTS.
- ③ REMOVE AND DISPOSE OF EXISTING BRICK MASONRY CHIMNEY. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ④ EXISTING ROOFTOP ELEVATOR MACHINE ROOM.
- ⑤ REMOVE AND DISPOSE OF INDICATED ROOFTOP CONDENSING UNIT.
- ⑥ REMOVE AND DISPOSE OF EXISTING ROOFTOP PLUMBING STACK.
- ⑦ REMOVE AND DISPOSE OF EXISTING ROOFTOP ACCESS LADDER HATCH. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑧ REMOVE EXISTING ROOF DRAIN AND PROVIDE NEW 4" ROOF DRAIN AS REQUIRED.
- ⑨ APPROXIMATE LOCATION OF EXISTING FURNACE FLUE TO BE REMOVED AND DISPOSED OF. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑩ PROVIDE NEW 2" LAYER OF POLYISO OVER ENTIRE EXISTING TO REMAIN ROOFTOP MEMBRANE AND PROVIDE NEW THERMOPLASTIC POLYOLEFIN (TPO), COLOR GRAY. PROVIDE NEW METAL COPING WITH KYNAR FINISH, COLOR T.B.D., AS REQUIRED.



ROOF PLAN
3/16" = 1'-0"



7300 DIXIE HWY. #600
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Seal
PRELIMINARY
NOT FOR CONSTRUCTION

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
ROOF PLAN

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale 3/16" = 1'-0"

Dwg. PEERLESS - CDS

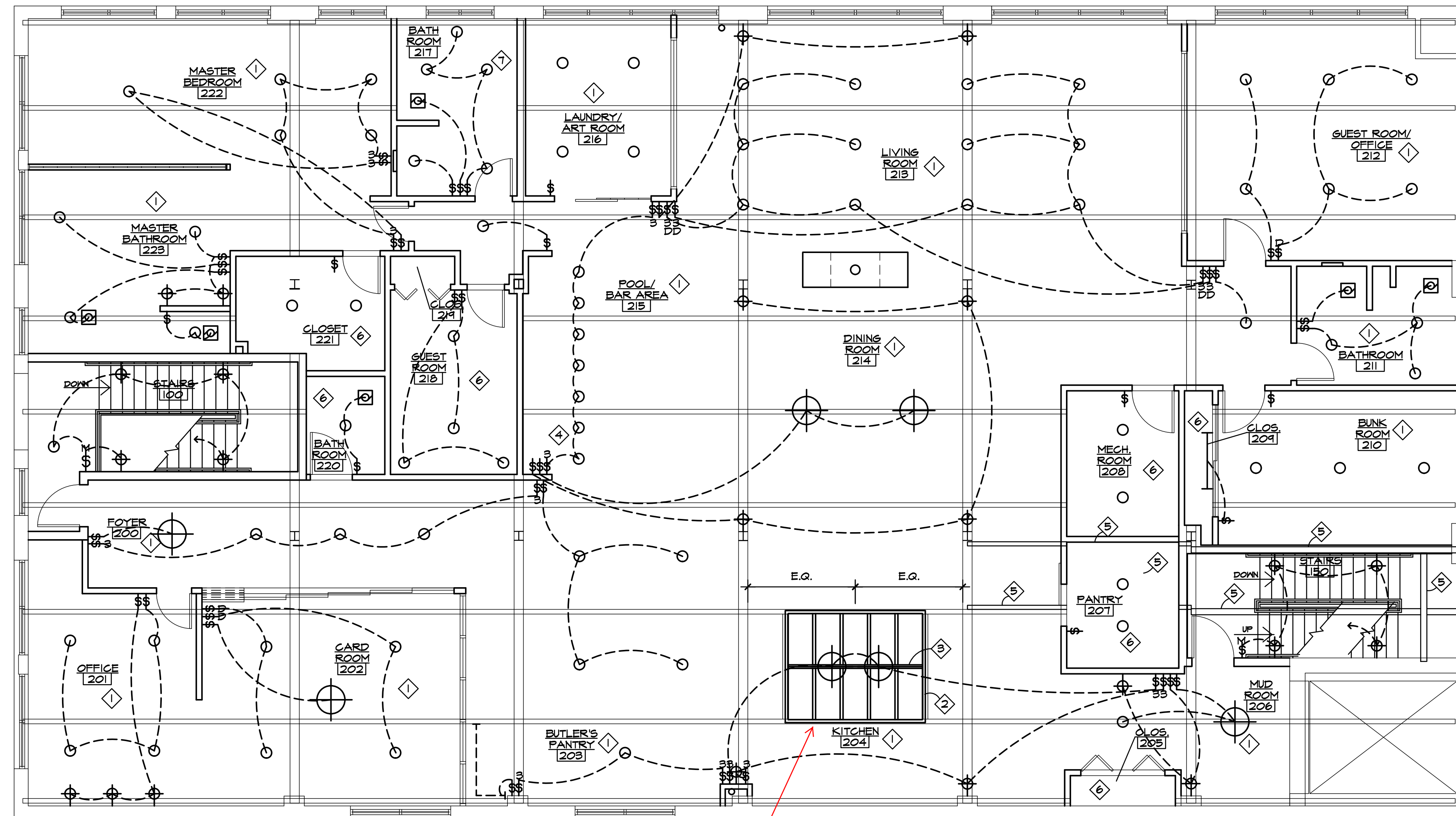
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NOT FOR CONSTRUCTION
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CEILING NOTES

- 1 INDICATED ROOM TO HAVE OPEN AND EXPOSED EXISTING DECK AT 15'-7 7/8" +/- A.F.F.
- 2 NEW SKYLIGHTS. SEE ROOF PLAN ON SHEET A110, NOTE NO. 1.
- 3 PROVIDE NEW HOOD BEAM TO MATCH EXISTING HOOD BEAMS. PROVIDE NEW METAL BEAM HANGING BY 'SIMPSON STRONG-TIE' OR EQUAL. EXACT BEAM LOCATION SHALL BE DETERMINED BY SKYLIGHT MANUFACTURER'S SHOP DRAWINGS.
- 4 EXACT LIGHT PLACEMENT FOR SEVEN (7) BAR LIGHT FIXTURES TO BE DETERMINED UPON OVERALL SIZE OF OWNER PROVIDED BAR MILLWORK.
- 5 NEW FRAMING MEMBERS. SEE DETAIL NO. 10 ON SHEET A301.
- 6 INDICATED ENTIRE ROOM TO HAVE GYPSUM BOARD CEILING AT 9'-0" A.F.F.
- 7 INDICATED ENTIRE ROOM TO HAVE GYPSUM BOARD CEILING AT 13'-0" A.F.F.

2ND FLOOR REFLECTED CEILING PLAN FOR SKYLIGHT LOCALITONS.



NEW PROPOSED SKYLIGHT.

SECOND FLOOR
REFLECTED CEILING PLAN

3/16" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
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Seal

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Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
**SECOND FLOOR
REFLECTED CEILING PLAN**

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale 3/16" = 1'-0"

Dwg. PEERLESS - CDS

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NOT FOR CONSTRUCTION
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PROPOSAL

ABBOTT K. SCHLAIN COMPANY

734-414-0451

P.O. Box 6029 PLYMOUTH, MI. 48170

FAX 734-414-0453

TO: Kermit Ball

DATE: 4/22/2021 (4/28/2021 corrected price)

PROJECT: 603 Milwaukee Detroit

ARCHITECT:

We propose to furnish and install:

TWO (2) WASCO/VELUX MODEL C3DG 350 SERIES LT DOUBLE PITCH W/GLASS
LENGTH ALONG SILL: 10'-0"
WIDTH: 8'-0"
BAYS UPSLOPE: 1
PITCH: 7:12
BAYS ALONG LENGTH: 3
ENDS: VERTICAL
GLAZING: 1-1/16" I.G. 1/4" CLEAR TEMP W/SOLARBAN 60 (2) OVER 5/16" CLEAR H.S. LAMI
FINISH: ST'D 2-COAT KYNAR 500 (BLACK)
APPROX. WEIGHT - TOTAL SYSTEM INCLUDING IGU: 1020 LBS.
ASSEMBLY METHOD: SHIPS KNOCKED DOWN/UNGLAZED
GLAZING METHOD: GLAZING SHIPS DIRECT TO AKS

Total erected price..... TAX INCLUDED..... **\$34,150.00**

ABBOTT K. SCHLAIN COMPANY
Randy W. Sitzler
Randy@ak-schlain.com

NOTES, INCLUSIONS, EXCLUSIONS

INCLUDES THE FOLLOWING:

- * ALUMINUM FLASHING ASSOCIATED WITH THE SKYLIGHT, WASCO STANDARD ALLOY, TEMPER AND GAUGE.
- * MANUFACTURERS 5 YEAR WARRANTY (U.N.O.)
- * FOB DESTINATION

EXCLUDES THE FOLLOWING:

- * STRUCTURAL CURBS (INSTALLED CURBS MUST RESIST FORCES GENERATED BY THE SKYLIGHT)
- * DEMO OF EXISTING UNITS, SUBSTRUCTURE, STEEL ANGLES, CLIPS, STANDOFFS (U.N.O.)
- * COUNTER FLASHING
- * ADDITIONAL TESTING (OTHER THAN WHAT IS AVAILABLE)
- * ATTIC MAINTENANCE STOCK, CURB INSULATION, FIELD MEASUREMENTS, FIELD TESTING
- * MOCK-UPS, SHIMS BLOCKING AND FINAL CLEANING
- * GUTTERS AND/OR DOWNSPOUTS
- * ITEMS NOT SPECIFICALLY INCLUDED

GENERAL COMMENTS

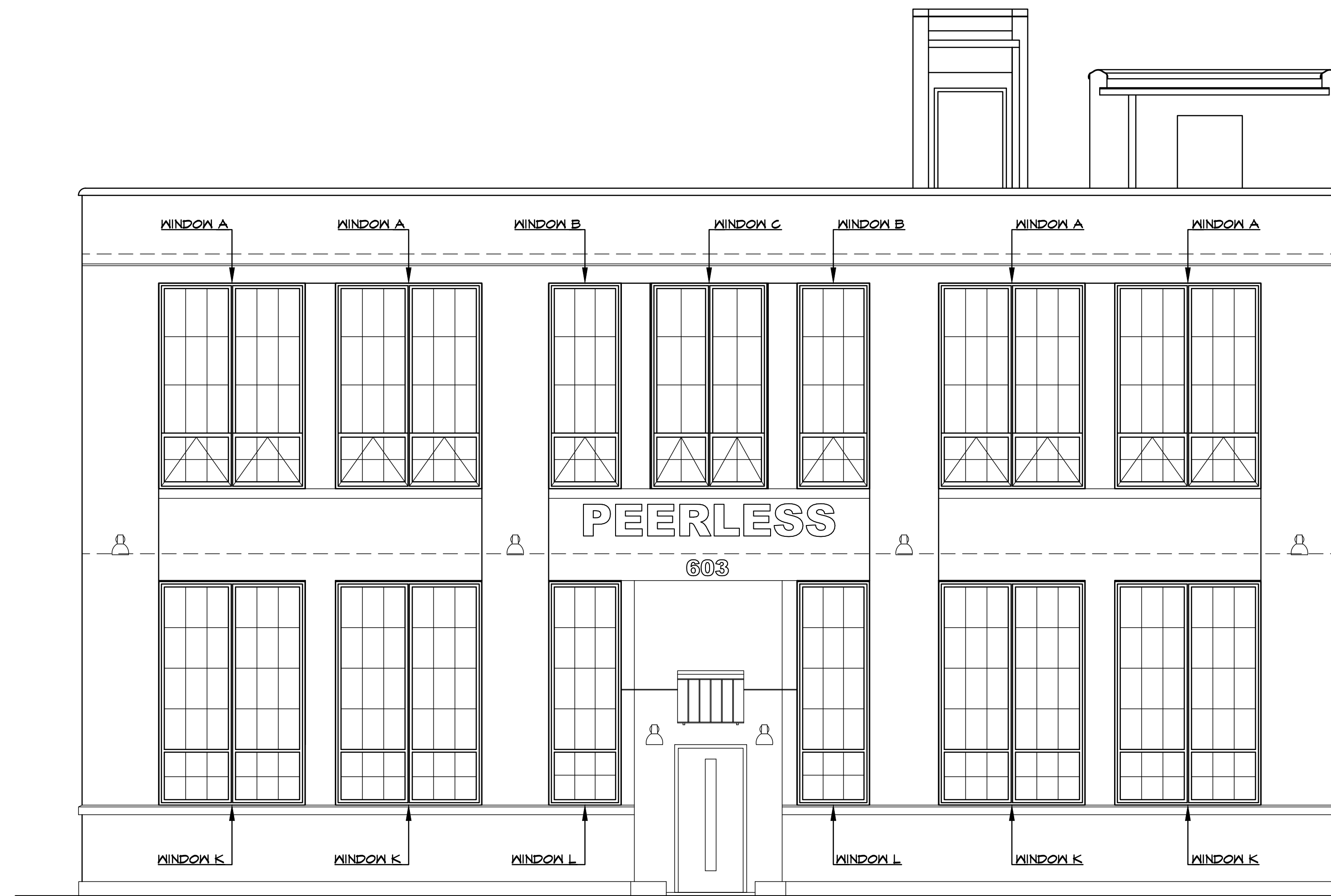
- * UNITS ARE DESIGNED TO MEET 40psf POSITIVE AND NEGATIVE LOADS (U.N.O.)
- * QUOTES ARE BASED SOLEY ON WASCO STANDARD DETAILS AND FABRICATIONS
- * SKYLIGHT SYSTEMS ARE NOT ZERO THRUST SYSTEMS (U.N.O.)
- * UPON SUBMISSION OF FINAL APPROVALS, ANY CHANGES AFFECTING COST SHALL REQUIRE A NEW PRICE TO THE BUYER
- * QUOTE IS VALID FOR 60 DAYS
- * CANCELLATION CHARGE AFTER SHOP DRAWINGS, PRIOR TO RELEASE: \$750.00, CANCELLATION CHARGE AFTER RELEASE, CONTACT PM. CANCELLATION CHARGE AFTER STAMPED DRAWINGS/CALCULATIONS: \$2,500.00
- *CLASSIC, LOW PROFILE, BARREL VAULTS & TANDEMS INCLUDE APPROVAL SHEETS ONLY, ADD \$750.00 FOR BASIC SHOP DRAWINGS.**
- * STANDARD SUBMITTAL PACKAGE ON CUSTOM PRODUCTS INCLUDES BASIC SHOP DRAWINGS.**
- * IF STAMPED DRAWINGS AND CALCULATIONS ARE REQUIRED ADD \$2,500.00**

BUYER SIGNATURE

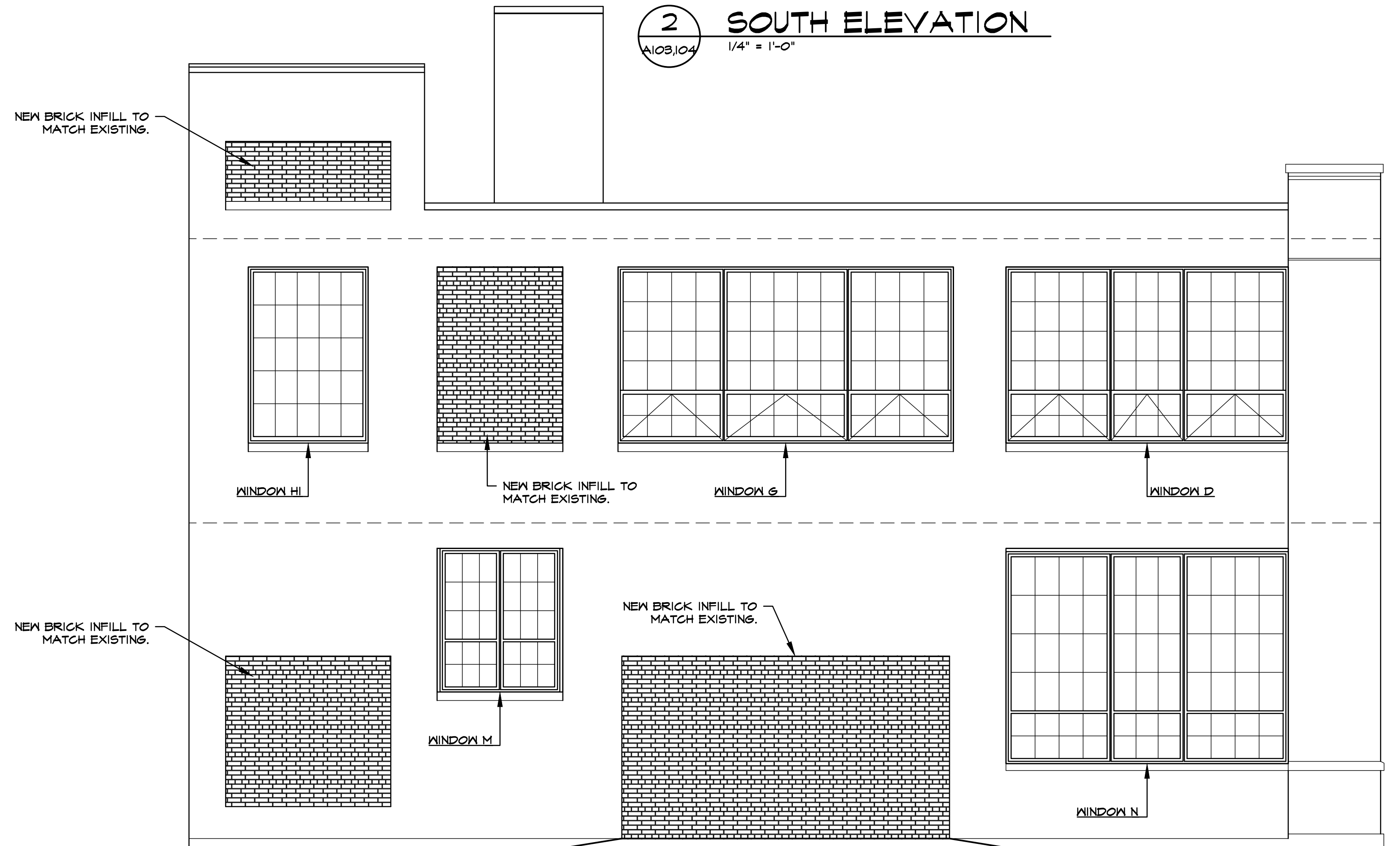
TITLE

DATE

NEW WINDOW LOCATIONS



2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



1 NORTH ELEVATION
A103,104 1/4" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM



Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
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Drawn ALM

Checked DJS

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Dwg. PEERLESS - CDS

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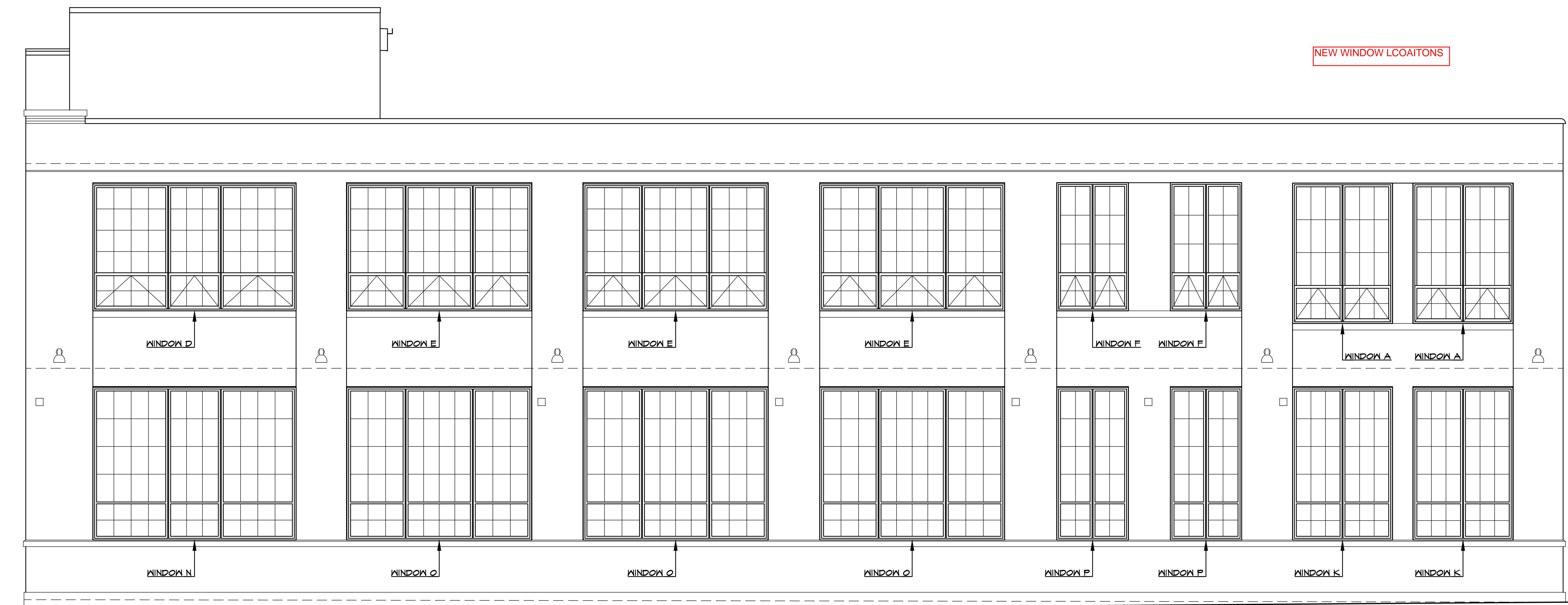
NEW WINDOW LOCATIONS



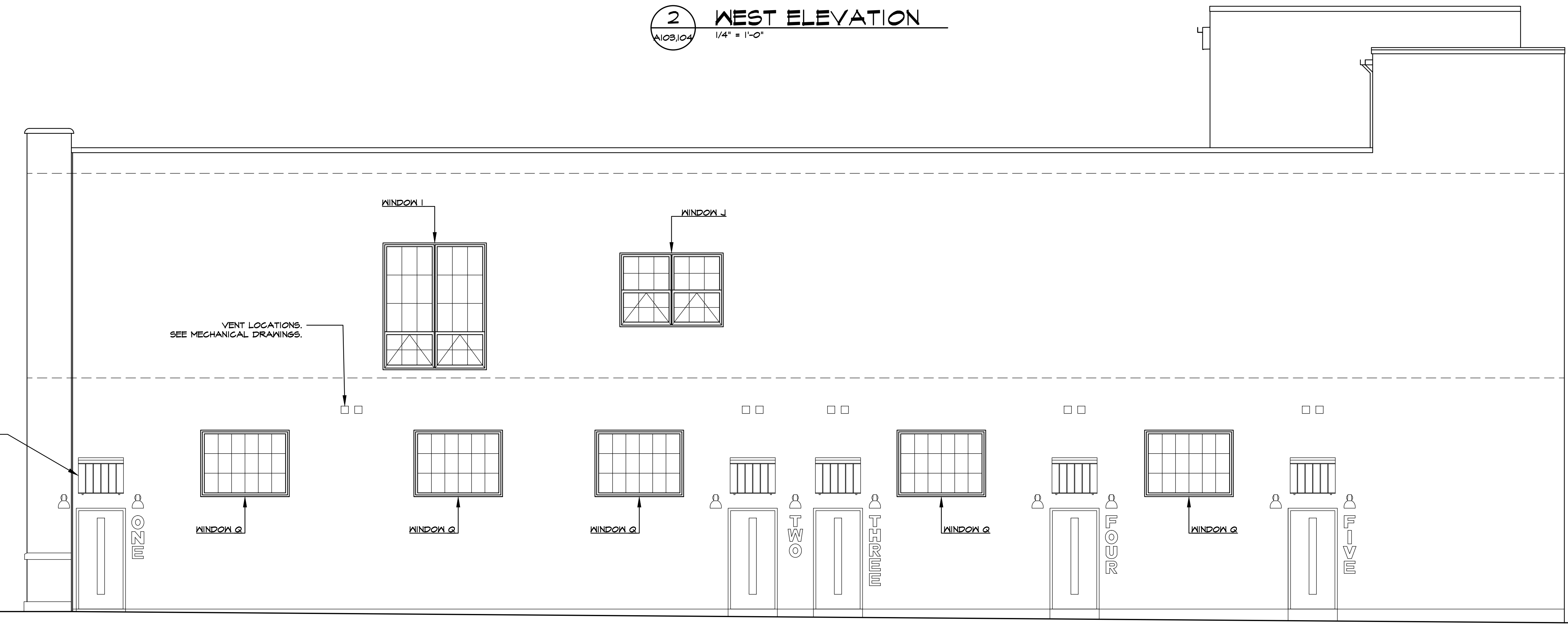
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David S. Shaw



2 WEST ELEVATION
 A103,104 1/4" = 1'-0"



1 EAST ELEVATION
 A103,104 1/4" = 1'-0"

NEW 'AMTECH' AWNING
 3'-0" 11/16" W X 2'-0" H X 3'-0" D
 BY 'GLOBAL INDUSTRIAL'
 OR EQUAL. FINISH BLACK,
 TYPICAL.

VENT LOCATIONS.
 SEE MECHANICAL DRAWINGS.

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
 DETROIT, MI 48202

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EXTERIOR ELEVATIONS

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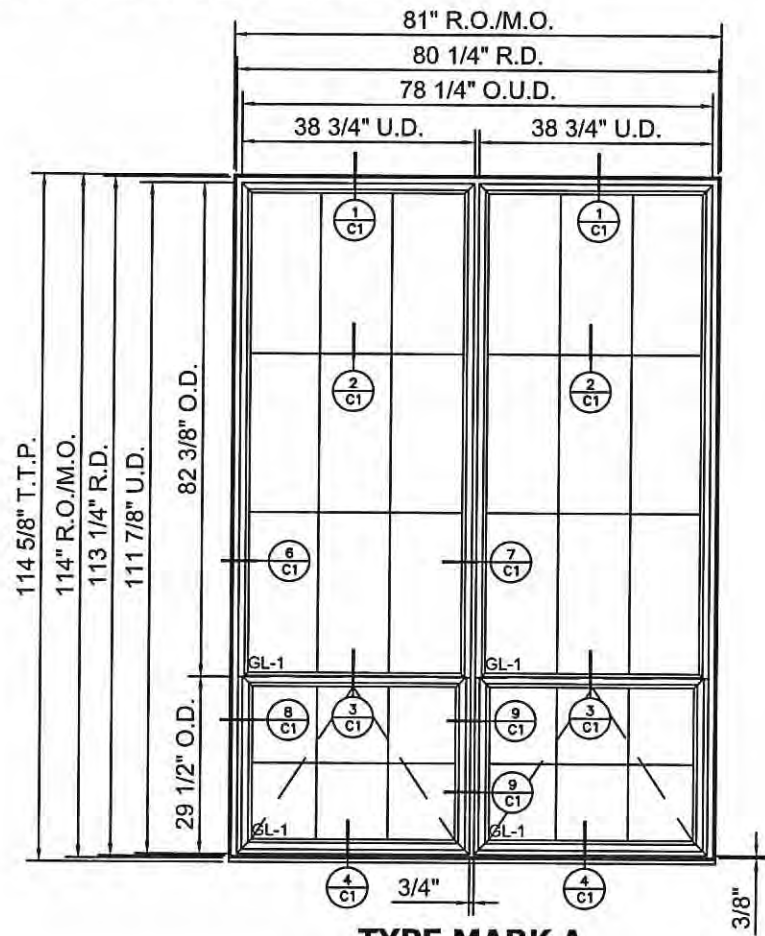
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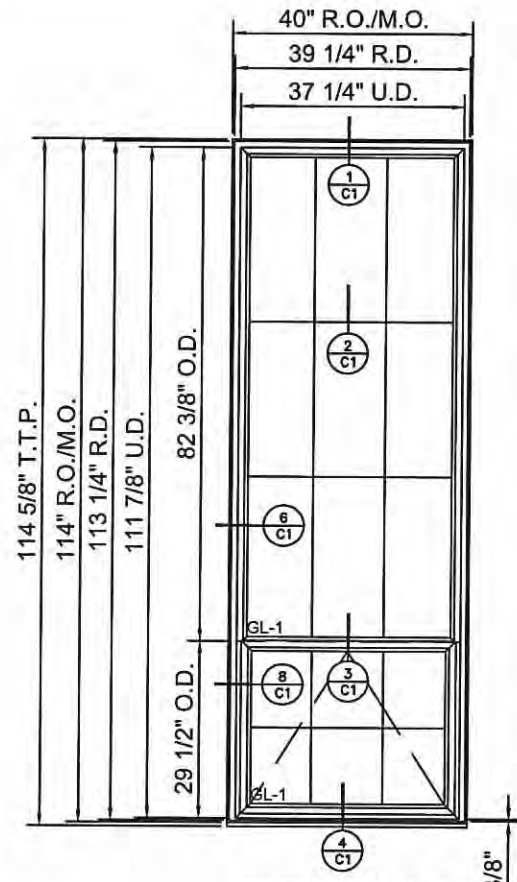
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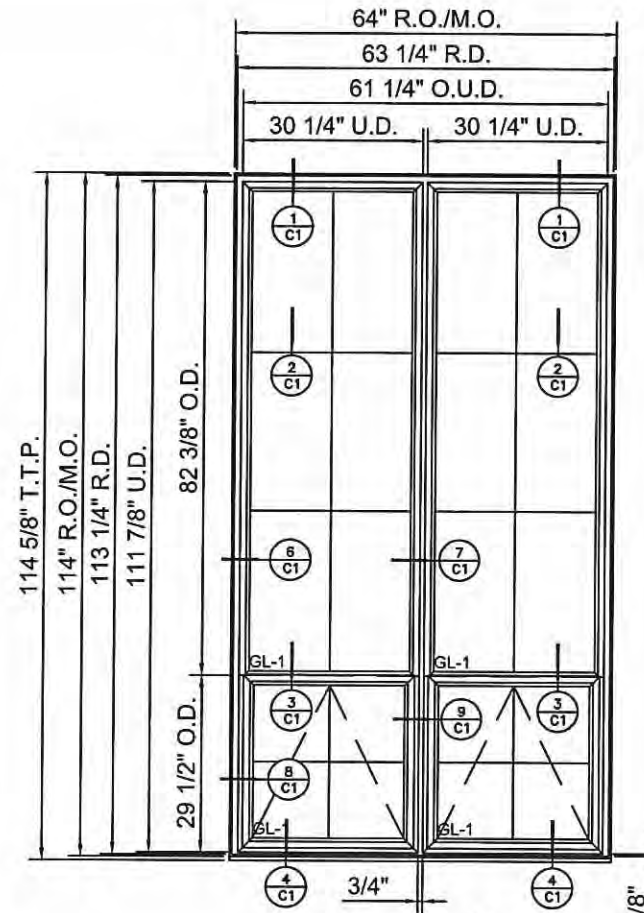
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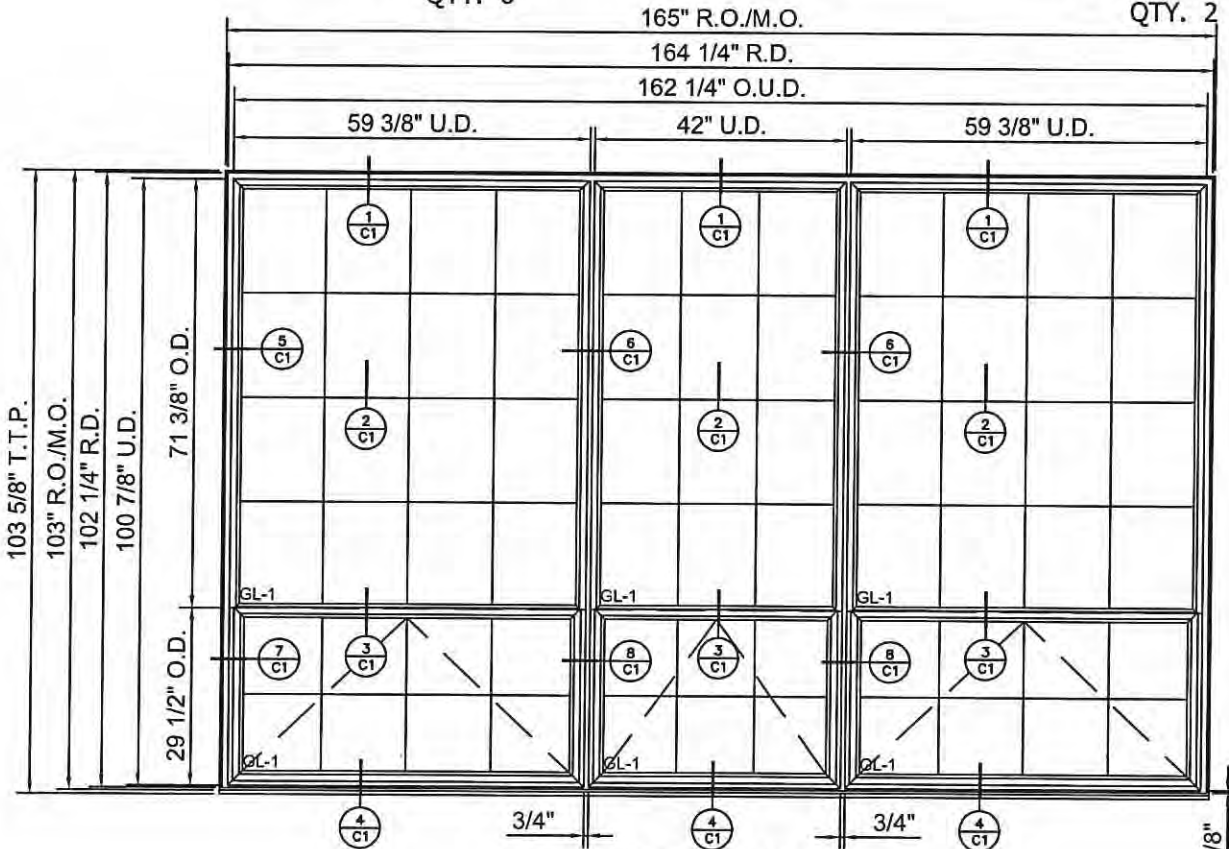
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QTY. 6



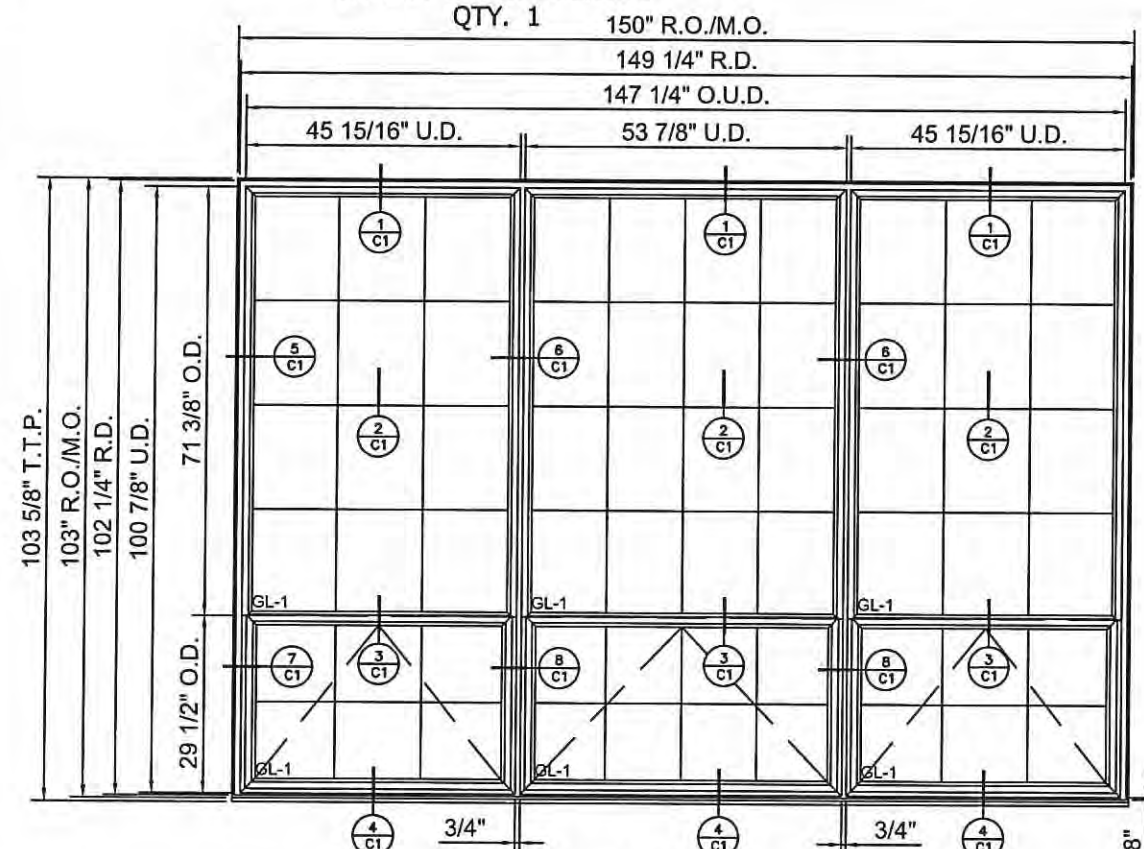
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TYPE MARK C
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QTY. 1



TYPE MARK D
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QTY. 2



TYPE E
H450 CF DS/AWN-CF DS/AWN-CF DS/AWN
QTY. 3

Project Name: **PROJECT PEERLESS**

ELEVATIONS

Description:

QUAKER WINDOW PRODUCTS
WILL NOT BE RESPONSIBLE
FOR FIELD MEASUREMENT
QUANTITIES, & INSTALLATION
DESIGN. CONTRACTOR MUST
VERIFY ALL DIMENSIONS.

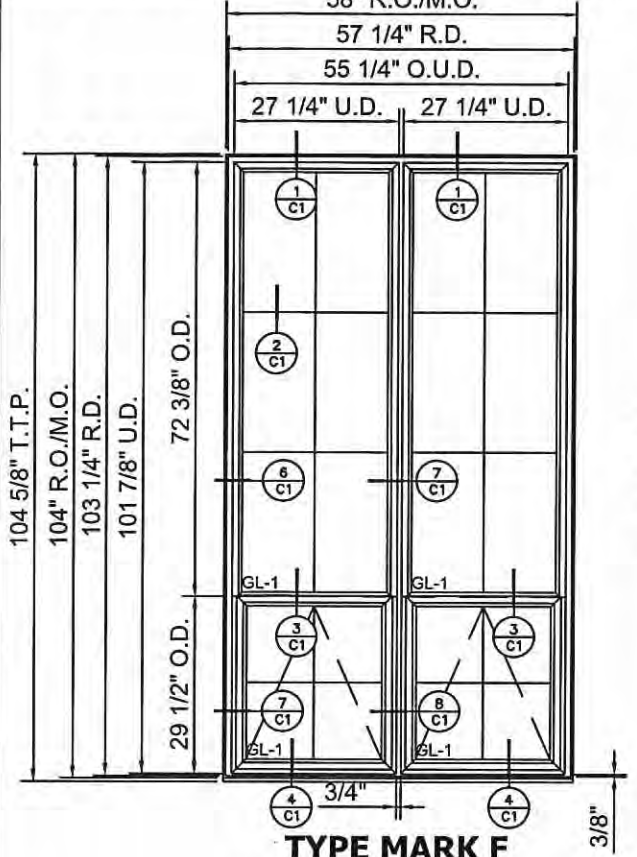
PHONE (573)-744-5211
FAX (573)-744-5586



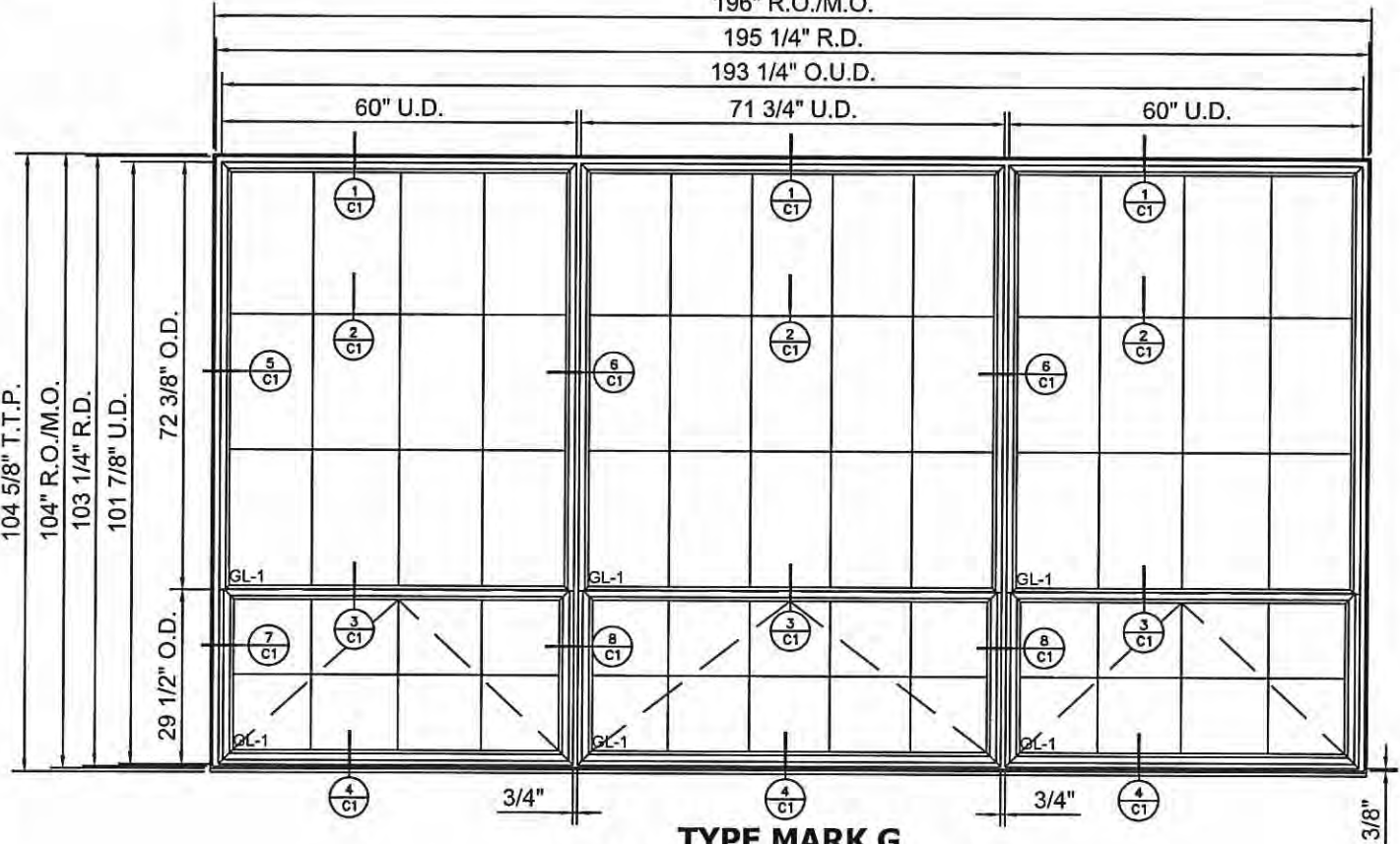
COMMERCIAL
FAX (573)-744-5822
ancuener@quakerwindows.com

Drawn By: **AMS**
Checked By: **JS**
504 Highway 63 South
Freeburg, MO 65035

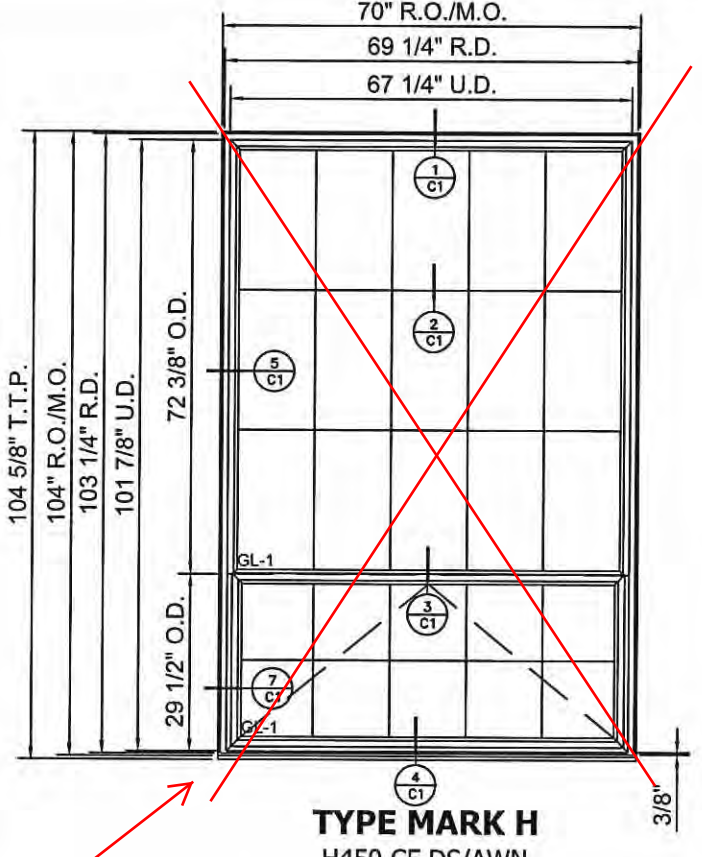
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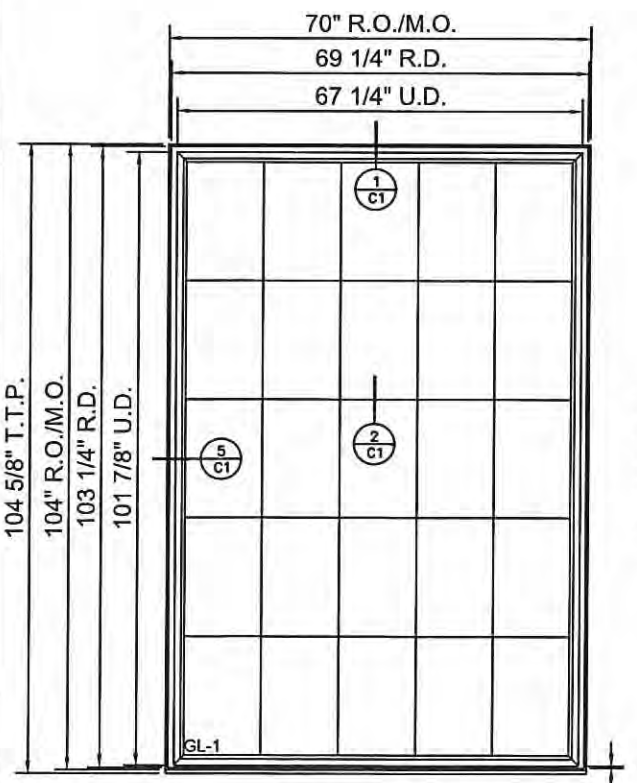


TYPE MARK G
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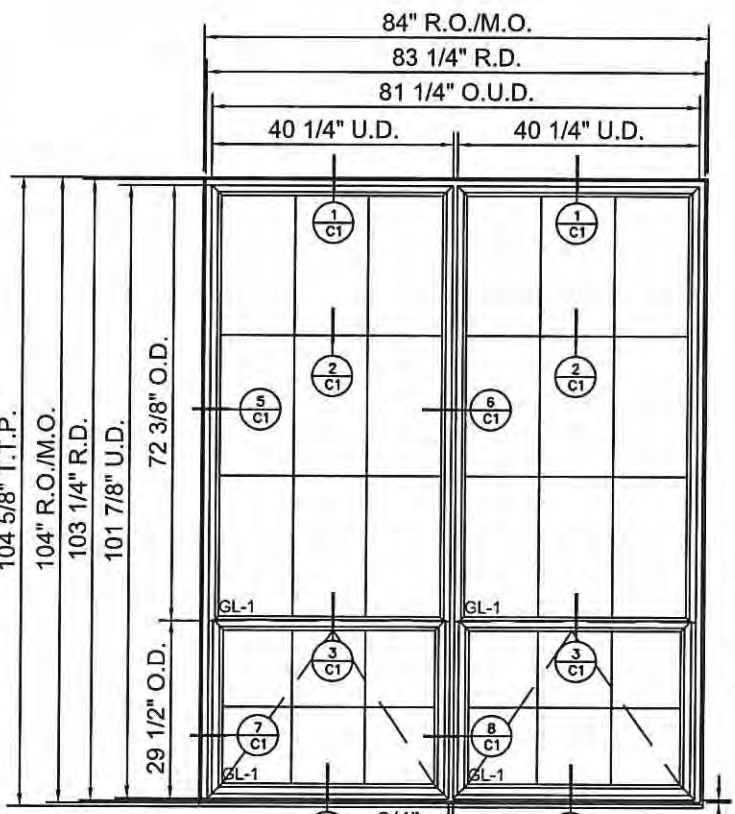


TYPE MARK H
H450 CF DS/AWN
QTY. 1

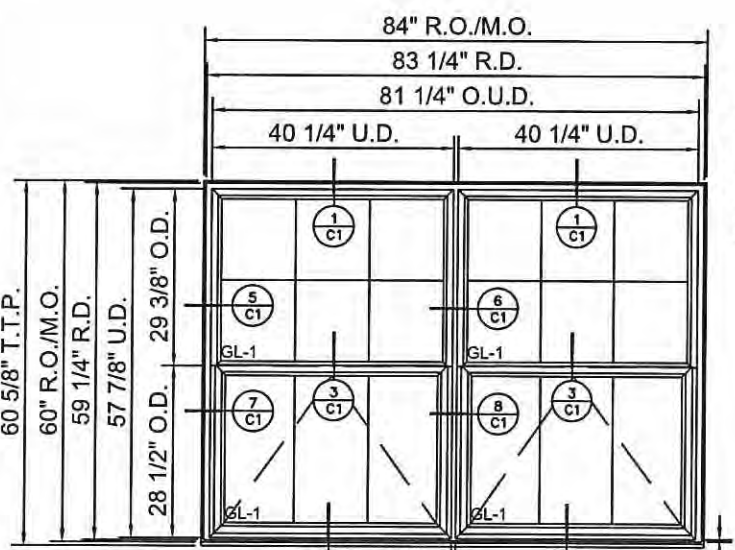
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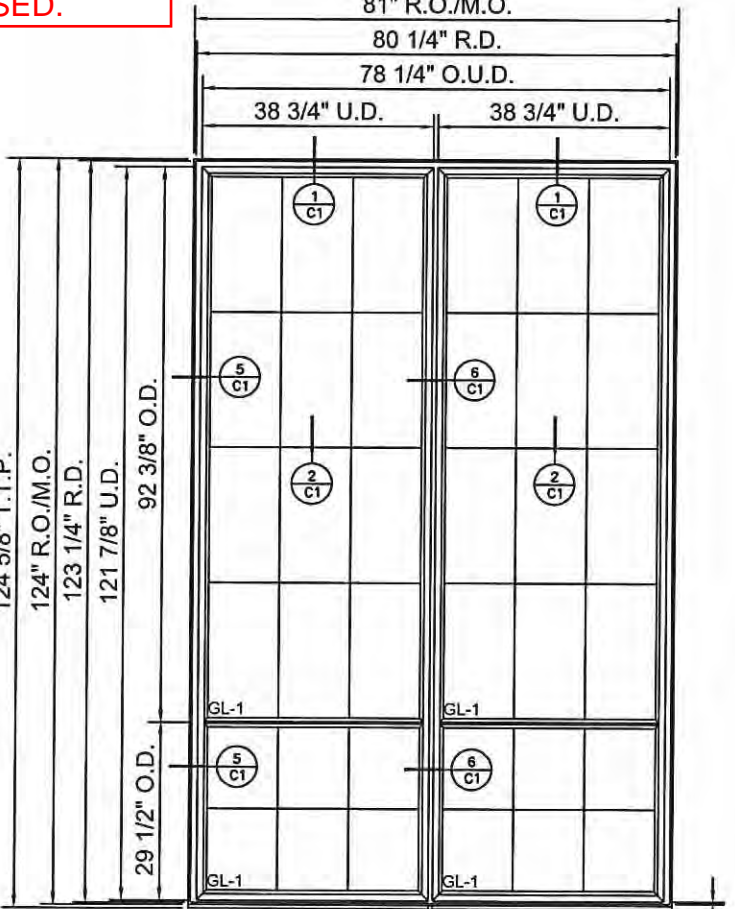
TYPE H1
H450 DS
QTY. 1



TYPE MARK I
H450 CF DS/AWN-DS/AWN
QTY. 1



TYPE MARK J
H450 CF DS/AWN-DS/AWN
QTY. 1



TYPE MARK K
H450 CF DS/DS-CF DS/DS
QTY. 6

Project Name: **PROJECT PEERLESS**

ELEVATIONS

Description:
QUAKER WINDOW PRODUCTS
WILL NOT BE RESPONSIBLE
FOR FIELD MEASUREMENT,
QUANTITIES, & INSTALLATION
DESIGN. CONTRACTOR MUST
VERIFY ALL DIMENSIONS.

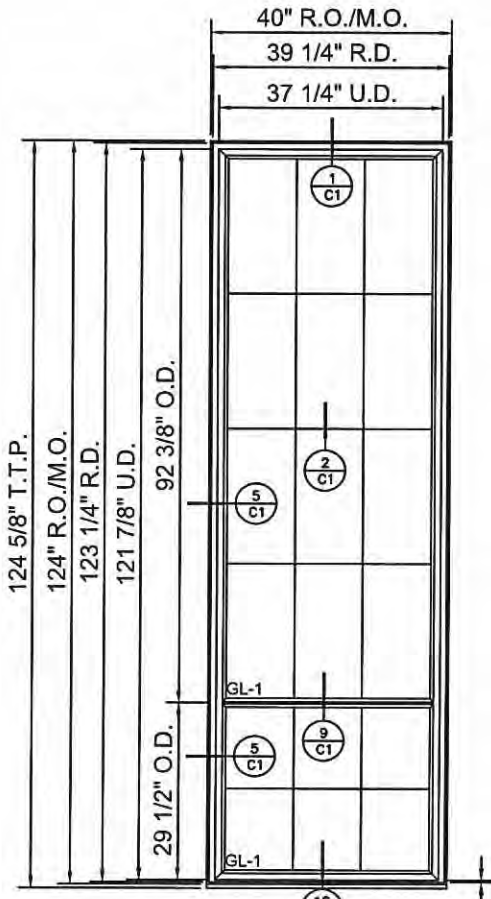
PHONE (573)-744-5211
FAX (573)-744-5586

QUAKER
COMMERCIAL
WINDOW AND DOOR

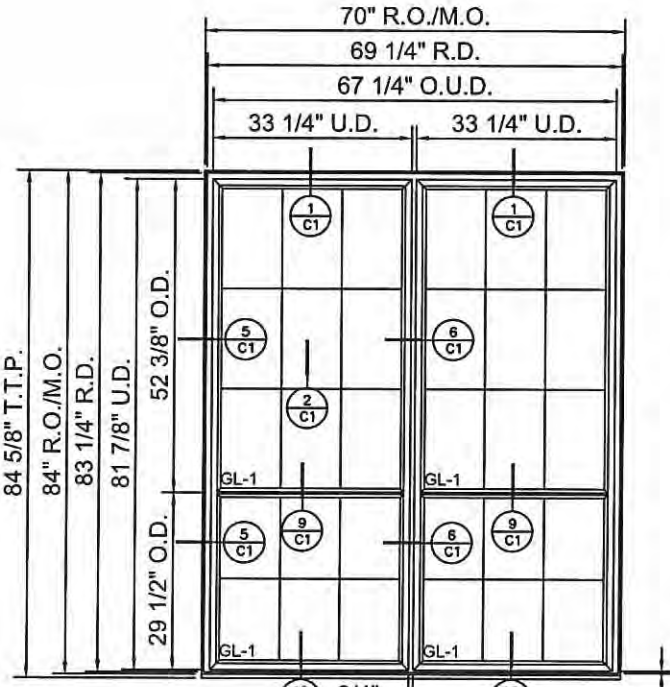
Drawn By: **AMS**
Checked By: **JS**
504 Highway 63 South
Freeburg, MO 65035

Drawing Created
8/16/21

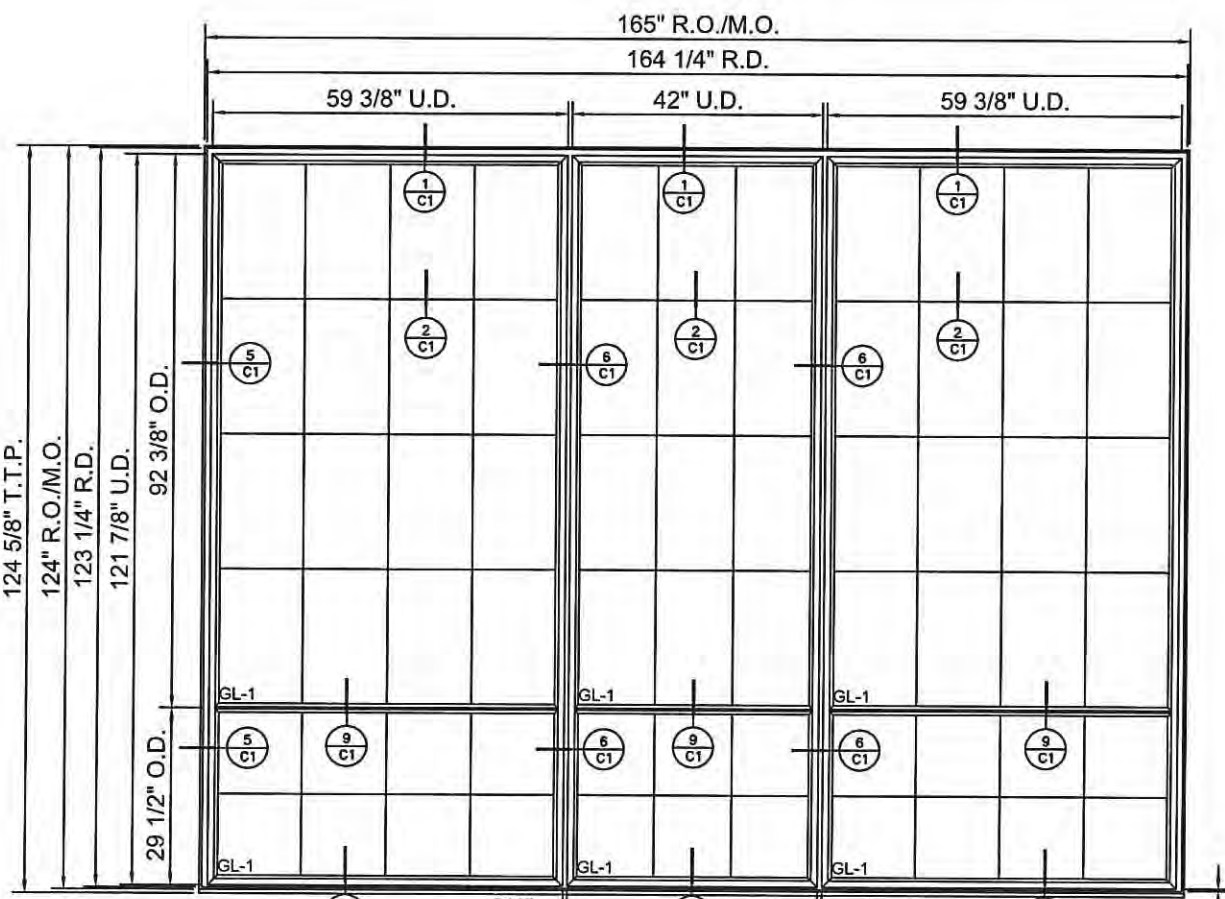
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Sheet #: **A4**



TYPE MARK L
H450 CF DS/DS
QTY. 2



TYPE MARK M
H450 CF DS/DS-CF DS/DS
QTY. 1



TYPE MARK N
H450 CF DS/DS- CF DS/DS - CF DS/DS
QTY. 2

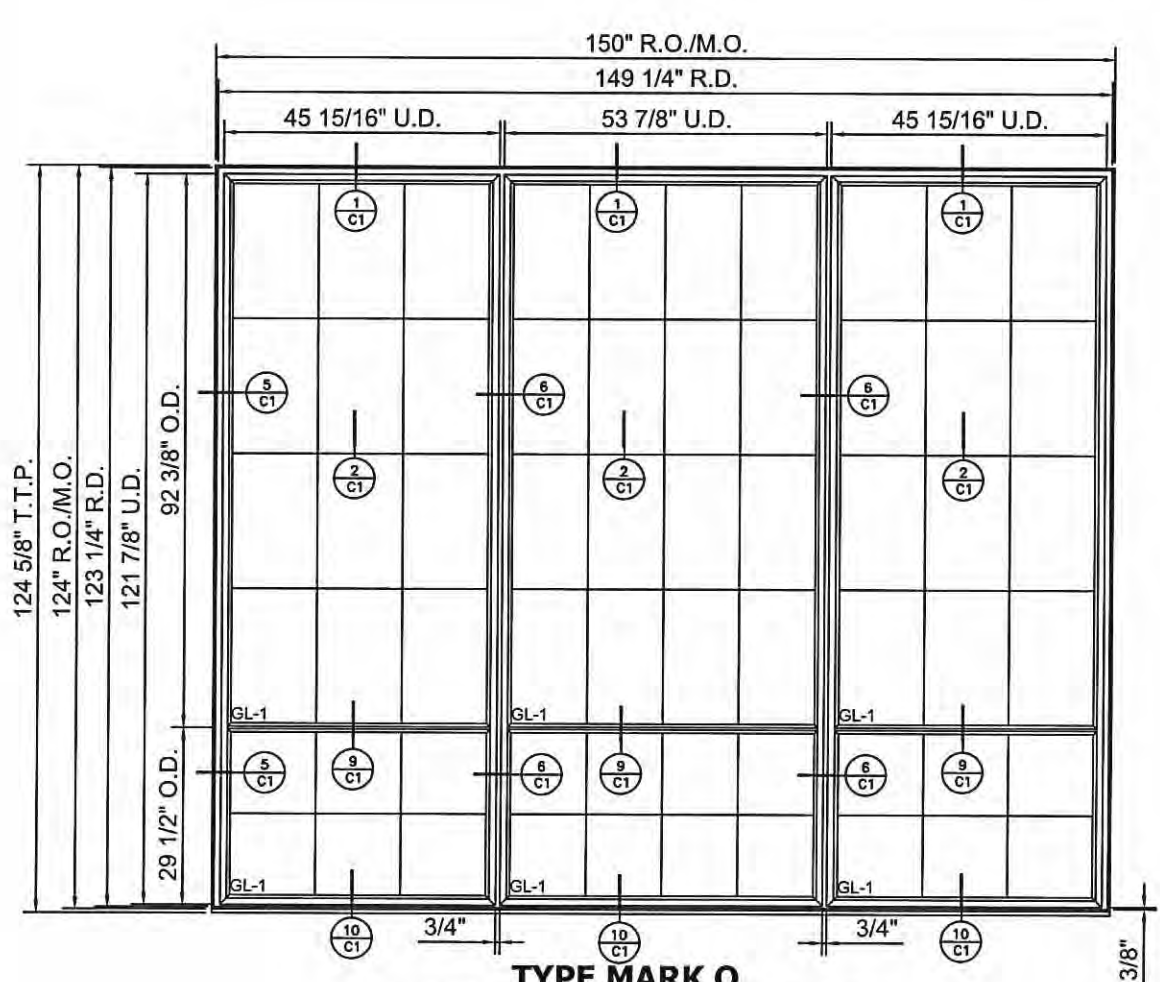
Project Name: **PROJECT PEERLESS**

ELEVATIONS

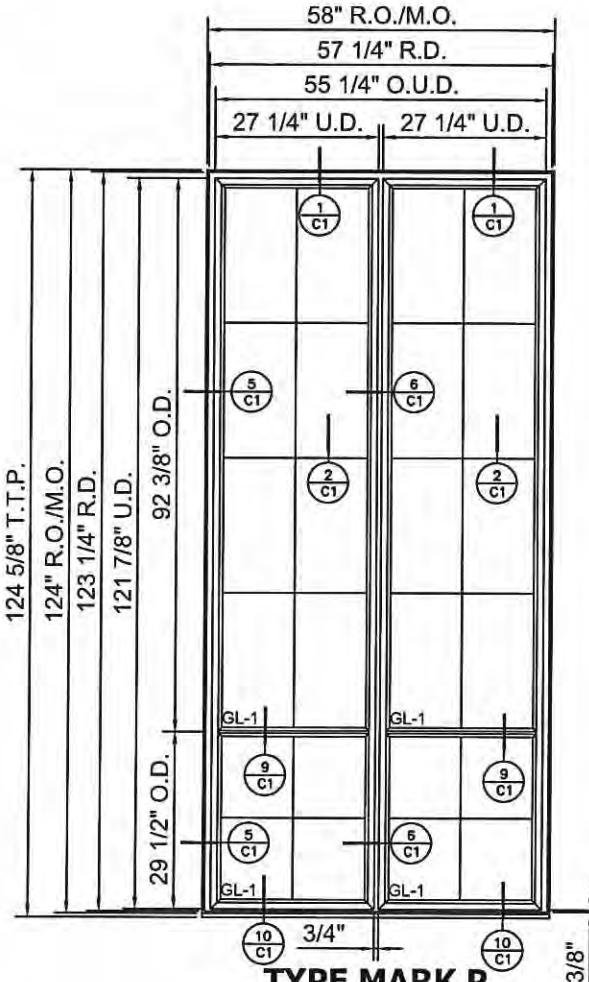
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QUAKER WINDOW PRODUCTS
WILL NOT BE RESPONSIBLE
FOR FIELD MEASUREMENT,
QUANTITIES, & INSTALLATION
DESIGN. CONTRACTOR MUST
VERIFY ALL DIMENSIONS.

PHONE (573)-744-5211
FAX (573)-744-5586
QUAKER
COMMERCIAL WINDOW AND DOOR
anuncner@quakerwindows.com
504 Highway 63 South
Freeburg, MO 65035

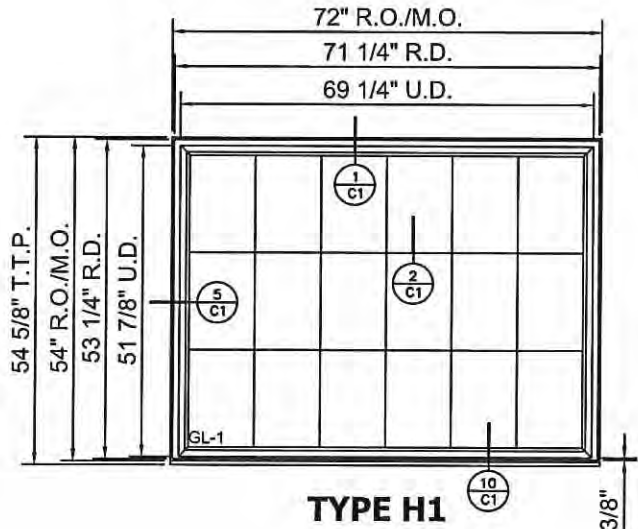
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Checked By: **JS**
Scale: **3/8" = 1'**
Sheet #: **A5**



TYPE MARK Q
 H450 CF DS/DS- CF DS/DS - CF DS/DS
 QTY. 3



TYPE MARK P
 H450 CF DS/DS-CF DS/DS
 QTY. 2



TYPE H1
 H450 DS
 QTY. 5

Project Name: **PROJECT PEERLESS**

ELEVATIONS

Description:
 QUAKER WINDOW PRODUCTS
 WILL NOT BE RESPONSIBLE
 FOR FIELD MEASUREMENT,
 QUANTITIES, & INSTALLATION
 DESIGN. CONTRACTOR MUST
 VERIFY ALL DIMENSIONS.

PHONE (573)-744-5211
 FAX (573)-744-5586
QUAKER
 COMMERCIAL WINDOW AND DOOR
 FAX (573)-744-5822
 announcer@quakerwindows.com
 504 Highway 63 South
 Freeburg, MO 65035
 Drawn By: **AMS**
 Checked By: **JS**
 Scale: **3/8" = 1'**
 Sheet #: **A6**

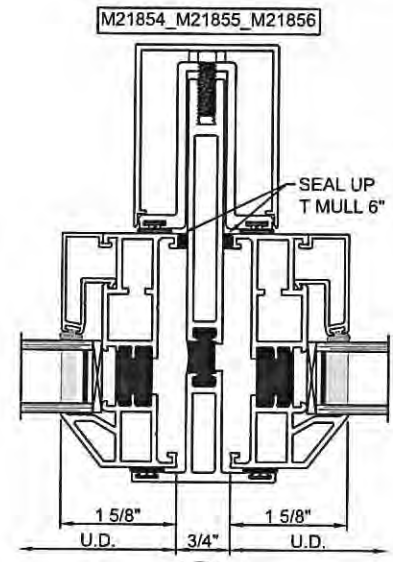
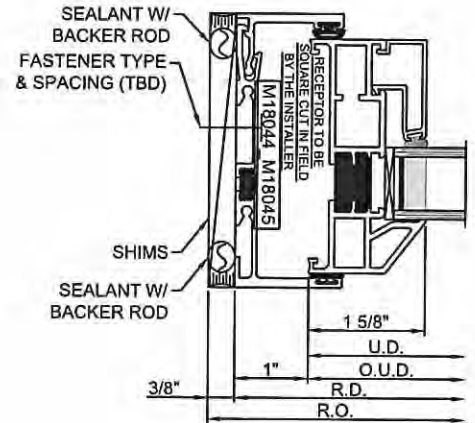
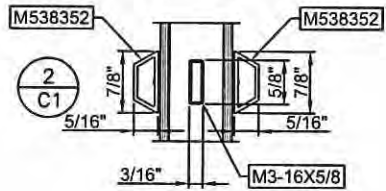
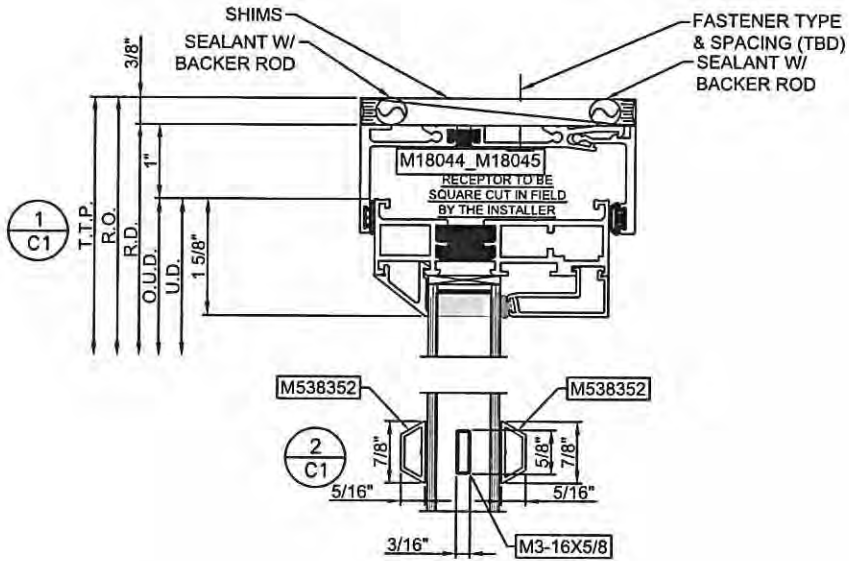
NAILING FLANGES AND DRIP CAPS (INTEGRAL OR APPLIED)
 DO NOT TAKE THE PLACE OF WINDOW FLASHING. ALL WINDOWS AND DOORS MUST BE PROPERLY FLASHED AND SEALED WITH MATERIAL COMPATIBLE SEALANT FOR PROTECTION AGAINST WATER AND INFILTRATION AROUND THE ENTIRE PERIMETER. FAILURE TO DO SO COULD RESULT IN PRODUCT OR PROPERTY DAMAGE.

NOTICE:
 QUAKER DOES NOT SUPPLY ANY FASTENERS, SHIMS, BACKER ROD, OR SEALANTS, UNLESS OTHERWISE NOTED.

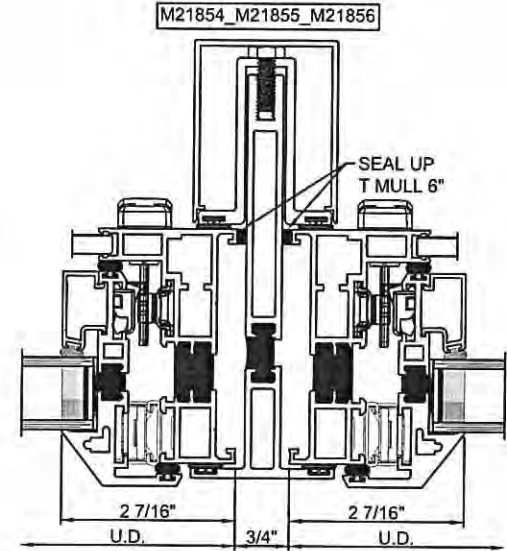
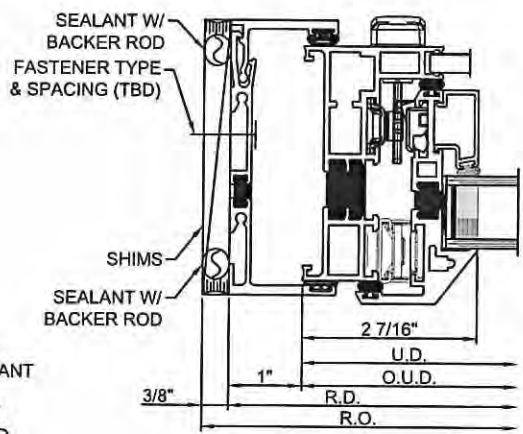
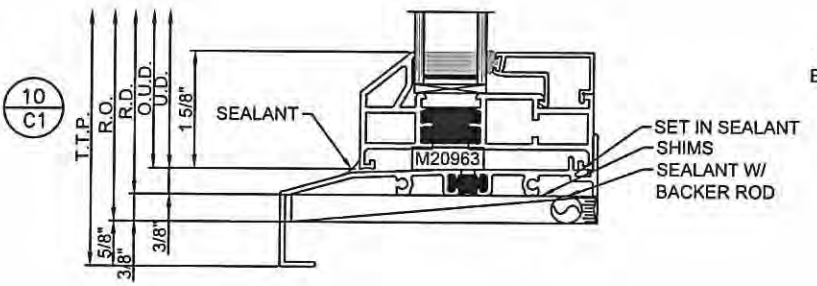
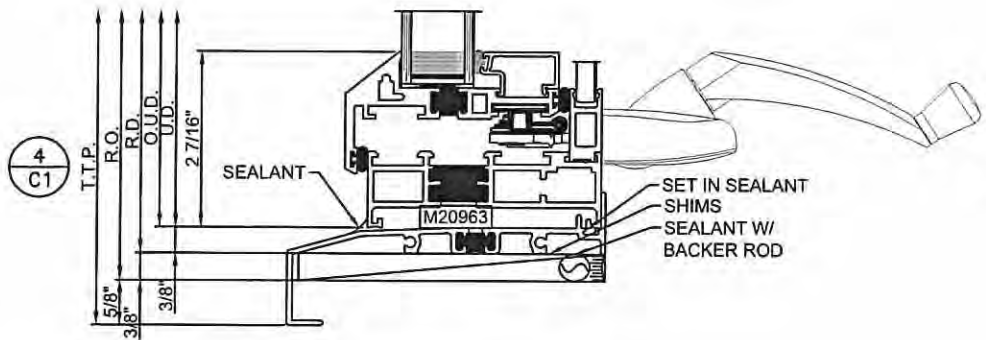
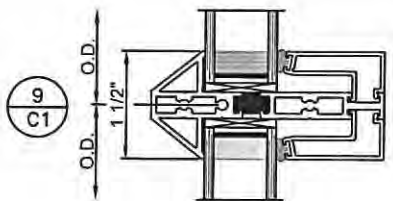
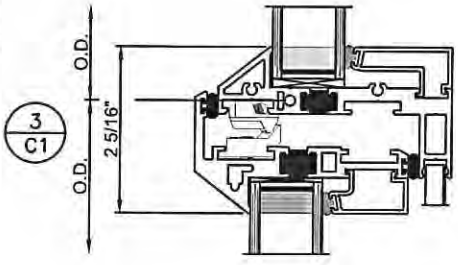
VERIFY INSTALLATION
 VERIFY WALL DETAILS

SEALANT MUST MEET OR EXCEED
 ASTM C920-11 SPECIFICATION

PROVIDE ADEQUATE BLOCKING TO
 SUPPORT THE SILL OF THE WINDOW



EXTERIOR



EXTERIOR

Project Name: **PROJECT PEERLESS**

Description: **CUT DETAILS**

QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.

PHONE (573)-744-5211
 FAX (573)-744-5586
 COMMERCIAL
 aneuner@quakerwindows.com
 Scale: 3/8"=1"
 Sheet #: C1

QUAKER
 COMMERCIAL WINDOW AND DOOR
 504 Highway 63 South
 Freeburg, MO 65035

Drawn By: **AMS**
 Checked By: **JS**
 Drawing Created 8/16/21

8/23/2021

K Custom LLC
Attn: Kermit Ball
1509 Sunset Blvd.
Royal Oak, MI
PH: 248-688-7194
Email: kermitball@icloud.com

Job Name: Project Peerless
Job Location: Detroit, MI

COMMERCIAL SALES PROPOSAL: Revised 8.23.2021

- I. BlackBerry is providing pricing for the supply and installation of new historic thermally broken replacement windows; Quaker H450 Series. There are (42) Openings, per the submitted shop drawings dated 8/16/2021. No window details, specifications, scope of work, or bid documents were provided. The base pricing allows for all windows, receptor, subsill, mullions, 3 Part Simulated Divided Lite muntins, wood sill blocking, jamb insulation, and exterior perimeter caulking. Pricing includes all material, tax on material, labor (non-union), employment costs, sky lift, staging, shop drawings, and supervision. **Note: Includes spandrel film applied on the interior of 1st floor windows bottom light; windows on this level are all Fixed.**

Note: the following has not been included:

1. Interior perimeter caulking.
2. No interior jamb, casework, or wall finish is included.
3. On site storage of material is assumed inside the building. No trailers are included.
4. No street or sidewalk permits are included, nor fencing.
5. **Abatement has not been included in the Alternate for Demo and Disposal. Environmental Report must be provided showing ACM or Lead material presence.**

Total Price \$253,565.00

Pricing is good until 9/4/2021

Lead Times:

3 -4 weeks for shop drawings.

12 to 14 weeks from date of approved shop drawings.

Alternates:

- 1. Add for Demo and Disposal of existing windows. Add To be provided once Environmental Report is provided and reviewed.**

BlackBerry Systems proposes hereby to furnish product and services in accordance with the description for the sum of: See above Pricing. Terms are net 45 days from the date of delivery. Late payment 1.5% finance charge per month after 30 days. This contract may be withdrawn if not accepted within 12 days.

ACCEPTANCE OF PROPOSAL: By signing, you hereby accept the above prices, quantities, specifications, and conditions as satisfactory and authorize BlackBerry Systems, Inc. to provide as specified. You accept responsibility for checking and approving all quantities and specifications; and will provide full payment as outlined. Work will not proceed, nor will material be ordered without a signed contract and down payment, if required.

_____MKS
 Michael K. Shields
 President
 BlackBerry Systems, Inc.

___8/23/2021_____
 Date

 Accepted By

 Date

ADJACENT BUILDING EXAMPLES



Windows supplied by 'Blackberry', the same supplier for Peerless Building, and 40 Hague lofts and other buildings in Detroit Historical Areas.

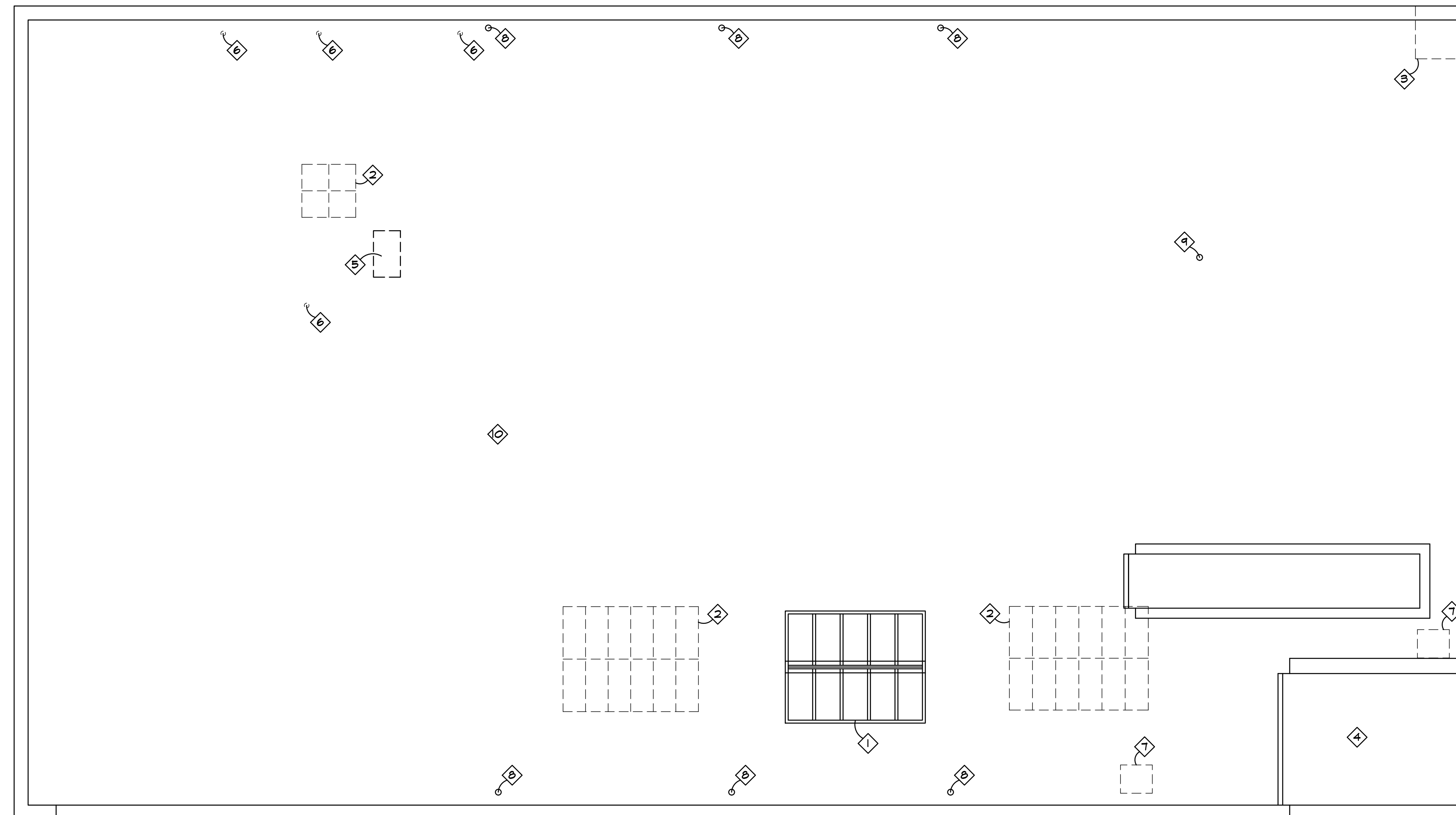


PROJECT PEERLESS

**REQUEST 2 – ROOF REPLACEMENT
(HISTORIC ROOFING MATERIAL)**

ROOF NOTES

- ① PROVIDE NEW 8' X 10' PREMANUFACTURED ALUMINUM SKYLIGHT ASSEMBLY WITH INSULATED GLASS BY MASCOVELUX MODEL C8D6 950 SERIES LT DOUBLE PITCH WITH GLASS ALONG SILL. PROVIDE NEW ROOF CURB PER MANUFACTURERS INSTRUCTIONS. PROVIDE AND INSTALL BEAM (SIZE, STYLE AND TYPE TO BE DETERMINED BY DESIGNER), RUNNING NORTH AND SOUTH, ALONG AT BASE OF SKYLIGHTS TO SUPPORT TWO (2) HANGING LIGHT FIXTURES.
- ② REMOVE AND DISPOSE OF EXISTING SKYLIGHTS.
- ③ REMOVE AND DISPOSE OF EXISTING BRICK MASONRY CHIMNEY. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ④ EXISTING ROOFTOP ELEVATOR MACHINE ROOM.
- ⑤ REMOVE AND DISPOSE OF INDICATED ROOFTOP CONDENSING UNIT.
- ⑥ REMOVE AND DISPOSE OF EXISTING ROOFTOP PLUMBING STACK.
- ⑦ REMOVE AND DISPOSE OF EXISTING ROOFTOP ACCESS LADDER HATCH. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑧ REMOVE EXISTING ROOF DRAIN AND PROVIDE NEW 4" ROOF DRAIN AS REQUIRED.
- ⑨ APPROXIMATE LOCATION OF EXISTING FURNACE FLUE TO BE REMOVED AND DISPOSED OF. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑩ PROVIDE NEW 2" LAYER OF POLYISO OVER ENTIRE EXISTING TO REMAIN ROOFTOP MEMBRANE AND PROVIDE NEW THERMOPLASTIC POLYOLEFIN (TPO), COLOR GRAY. PROVIDE NEW METAL COPING WITH KYNAR FINISH, COLOR T.B.D., AS REQUIRED.



ROOF PLAN
3/16" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM

Seal
PRELIMINARY
NOT FOR CONSTRUCTION

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
ROOF PLAN

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale 3/16" = 1'-0"

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

PRELIMINARY
NOT FOR CONSTRUCTION
A110
of
28

EXISTING ROOF COPING

BIRDS EYE VIEW

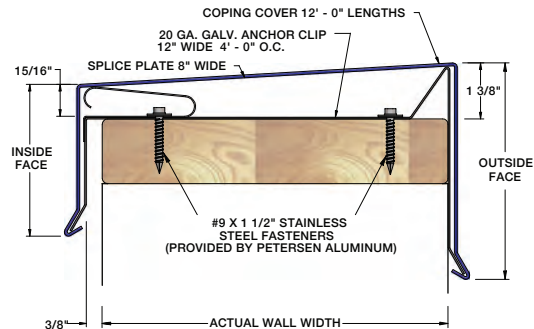


STREET VIEW



PAC-TITE COPING

TAPERED VERSION



PRODUCT FEATURES

- ▶ Superior, efficient design for ease of installation
- ▶ Accommodates wall widths up to 34"
- ▶ Extensively tested for reliable long-term performance
- ▶ Snap-on design eliminates field-crimping
- ▶ Concealed splice plates provide watertight installation
- ▶ Pre-fabricated miters and accessories for proper system fit
- ▶ Custom fabrication available for job-specific details
- ▶ Stainless steel springs factory attached to 12" wide, pre-punched anchor clips
- ▶ Wide variety of colors, finishes and gauges
- ▶ Convenient 12' lengths
- ▶ Recyclable material
- ▶ Custom and radius capabilities available
- ▶ All fasteners, splice plates and anchor clips are included

MATERIALS

- ▶ 15 Stocked PAC-CLAD Finishes (22 gauge steel)
- ▶ 43 Stocked PAC-CLAD Finishes (24 gauge steel)
- ▶ 22 Stocked PAC-CLAD Finishes (.040 aluminum)
- ▶ 29 Stocked PAC-CLAD Finishes (.050 aluminum)
- ▶ 6 Stocked PAC-CLAD Finishes (.063 aluminum)
- ▶ Mill Finish Aluminum (.040, .050 & .063 aluminum)
- ▶ Clear and Colored Anodized (.040, .050 & .063 aluminum)

ACCESSORIES

- ▶ Miters (90 Degrees and Non-90 Degrees, Welded or Quicklocked)
- ▶ Transitions
- ▶ Endcaps
- ▶ Endwall Flashing

TESTING

- ▶ ANSI/SPRI/FM ES-1 Standard to comply with the International Building Code
- ▶ Factory Mutual approved
- ▶ Miami-Dade Approved to comply with the High Velocity Hurricane Zone of the Florida Building Code.

WARRANTY

A 20-Year, 120 mph Wind Warranty is available on orders to meet a project's specification. It provides a maximum of 20 years, 120 mph coverage for the repair or replacement of any portion of the roof edge system that has failed due to a defect in the supplied materials.

Bruttell Roofing, Inc.

10821 CAPITAL • OAK PARK, MI 48237
(248) 543-3040 • fax (248) 543-5810

Roofing That Works!

Contract / Specifications

PROPOSAL SUBMITTED TO K Custom LLC	PHONE 248-688-7194	DATE June 30, 2021
STREET 603 E. Milwaukee	JOB NAME Same	
CITY, STATE, ZIP Detroit, MI 48202	JOB ADDRESS Same	

FIRESTONE® EPDM ROOF SYSTEM – 15 Year Warranty
Roofs A & B – Approx. 6,200 S.F.
(See Attached Roof Plan)

As requested, please find a proposal that outlines the installation of a new Firestone® EPDM roof system for Roofs A & B at the above referenced building. A Roof Plan is attached for your reference.

Our proposal includes the installation of 2 layers of 2.6" polyisocyanurate insulation board followed by a new Firestone® 60 mil (.060") EPDM roof membrane that will be fully adhered into place. This will exceed current energy code requirements.

We have included replacing the clay tile coping with new wood blocking, EPDM membrane, and metal edging. This will completely encapsulate the walls and be covered under the new roof warranty. Also included is replacing the existing drains with all new J/R Smith 4" cast iron drains and removing one existing skylight and installing new wood decking at the one skylight noted on the attached roof plan.

The existing chimney is to be removed by others before the roofing work is to begin. The cost is not included in the price noted below.

Thank you for the opportunity to be of service.

We will furnish Material and Labor in accordance with the attached Specifications for the sum of:

Eighty-Four Thousand Nine Hundred Ninety-Seven Dollars..... \$84,997.00

Payment to be made as follows:

Terms – 1/3 Initial payment – Balance net 10 days

Darren Kania

Signature _____
DARREN KANIA

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from attached specifications involving extra costs will be executed upon Owners' approval and will become an extra charge over and above the contract amount. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Note: This contract may be withdrawn 15 days by us if not accepted within _____ days.

ACCEPTANCE: The above prices are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above. This page becomes part of and in conformance with the attached specifications.

Signature _____ Date _____
Signature _____ Date _____

Bruttell Roofing, Inc.

10821 CAPITAL • OAK PARK, MI 48237
(248) 543-3040 • fax (248) 543-5810

Roofing That Works!

Specifications

JOB NAME:

K Custom LLC

DATE

June 30, 2021

ROOF TYPE: Firestone® Fully Adhered EPDM with 15-year warranty

PREPARATION:

Conduct a pre-construction meeting with all parties present to verify staging locations and work sequencing. Load materials using a truck-mounted crane and/or scissor lift truck. We will need access in the parking lot. We will most likely stage our equipment and dumpsters here. On a daily basis, notify building management what areas we will be working and the sequence of our work. Please note: Despite our considerable efforts, there will be some noise, dust, and inconvenience while the work is in progress. Owner/occupants will need to protect any vulnerable equipment below.

CLAY TILE COPING REMOVAL:

Remove and dispose of the existing clay tile coping followed by the installation of new wood blocking.

DRAINS:

Remove and replace the existing drains with new J/R Smith 4" cast iron drain with strainers at all the existing locations.

INSULATION:

Furnish and install 2 layers of 2.6" (5.2" total) isocyanurate roof insulation boards. The insulation will be secured to the existing wood deck using 3" wind uplift plates and screws, per the manufacturer's requirements.

FIRESTONE EPDM ROOF MEMBRANE:

The new roof membrane will be a **fully adhered .060" (60 mil) EPDM Firestone® roof system**, which will be fully adhered over the new underlayment according to the manufacturer's specifications. RPFS strips will be installed at the base of all walls and the EPDM terminated there as required.

BASE FLASHINGS:

We will install EPDM base flashings. Termination bars will be fastened to the tops of the flashings at walls where required.

PENETRATION FLASHINGS:

New penetration pockets will be installed at all necessary penetrations, filled with pourable sealant for a low maintenance finish. The existing stacks will be flashed with prefabricated boots or double wrapped with FormFlash™ per manufacturers' requirements.

EDGING METAL:

Fabricate and install new 24-gauge prefinished steel edging metal around the outside perimeter. This will be then sealed to the new membrane per manufacturer's requirements. Color of the metal to be chosen by owner from the standard color options.

CLEAN-UP:

All debris from our work will be cleaned up on a daily basis and hauled to a legal landfill.

WARRANTY:

15-year manufacturer's Red Shield® labor and materials warranty and Bruttell Roofing, Inc. contractor's 2-year warranty are included.

ACCEPTANCE: Specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. This page becomes part of and in conformance with the attached Contract.

Signature _____ Date _____

Signature _____ Date _____

Bruttell Roofing, Inc.

10821 CAPITAL • OAK PARK, MI 48237
(248) 543-3040 • fax (248) 543-5810

Roofing That Works!

Specifications

Page 3 of 4

JOB NAME:

K Custom LLC

DATE

June 30, 2021

ROOF INSPECTIONS AND MAINTENANCE:

Roof maintenance and twice-yearly inspections are critical to the long-term performance of your roof. The roofing system manufacturer and NRCA recommend twice yearly maintenance inspections to make sure that drains are clear, remove vegetation and debris, check for problems caused by building movement, and to inspect for inadvertent damage done to the roof by mechanics or others—in short, to make sure that your roof can perform for the long term in the way it was designed. Bruttell Roofing will make the required spring and fall roof inspections. Bruttell Roofing, Inc. believes so strongly in the institution of a preventive maintenance program that there is no charge for the first inspection after installation. Subsequent inspections through year five will be \$525.00 each. For this fee we will inspect for damage, clear debris from around the drains, check and repair the sealant at all terminations and penetrations and provide a report to the owner documenting the inspection of the roof. The inspections and maintenance are part of this contract. The fees for the inspections and maintenance are in addition to the contract amount and will be billed at time of service.

Over thirty (30) years of field experience has proven to us without any doubt that roofs that are maintained last longer thus providing a much higher pay back to the owner for the dollars invested in a new roof. There are many small problems that can eventually cause big headaches. Bruttell Roofing will help you eliminate the unpleasant surprises that are avoidable.

_____ I ACCEPT the Roof Inspection & Maintenance Agreement

_____ I DO NOT accept the Roof Inspection & Maintenance Agreement

ACCEPTANCE: Specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. This page becomes part of and in conformance with the attached Contract.

Signature _____ Date _____

Signature _____ Date _____

Bruttell Roofing, Inc.

10821 CAPITAL • OAK PARK, MI 48237
(248) 543-3040 • fax (248) 543-5810

Roofing That Works!

Specifications

JOB NAME:

K Custom LLC

DATE

June 30, 2021

NOTES and UNIT PRICES

1. **All carpentry is by others except as noted.**
2. Cost to clean up small debris and dirt as well as Interior protection of the building contents are not included in the costs above.
3. **The cost of a building permit** is not included in the contract price. If a permit is requested or required, the cost will be added to the contract.
4. **Work to improve drainage** is not included in the contract price except as specified.
5. **Deteriorated deck or structure, if encountered, should be repaired or replaced. This work if necessary will be performed at an additional cost based on Time and materials or at a negotiated unit price.**
6. **Plumbing work on drains** is not included in the contract price.
7. **Moving or disconnecting the rooftop HVAC equipment** is not included in the contract price unless specifically stated. We will make every effort to carefully work around the HVAC equipment, gas piping, controls and conduit. However, if the equipment has to be lifted up and/or moved in order to do the specified work, this work is extra. Please note that roofing is heavy work involving cumbersome machinery and bulky materials. Our work requires that we get over and under existing gas piping and electrical conduit. Consequently, piping—especially old pipe or conduit—may not hold together when we move it or go over it. You can trust that we will do our work in a responsible manner, but there may still be some damage to the piping, wiring or conduit. Repairs, if required, will be at additional cost.
8. **Hidden wiring or conduit**, such as low voltage wiring or line voltage conduit which is buried under the roofing or hidden under the deck, cannot be seen and therefore it is very difficult to avoid coming in contact with it and damaging it. If the owner is aware of such wiring or conduit, it is imperative that the owner provides a scale schematic drawing so that we can locate this wiring prior to starting work. The cost of repairs to damaged conduit, piping or wiring which was hidden, will be extra. All wiring should be in rigid conduit and mechanically protected to minimize the danger to our workers and the potential for damaging it.
9. **Consequential Damages:** Bruttell Roofing, Inc. does not warrant any water damage to the building or interior that may occur while the work specified in this contract is in progress. Considerable effort will be made to avoid conditions that might cause a roof leak, however, our work may require us to tie into or do staging on an old, deteriorated roof. A deteriorated roof is easily damaged by traffic and heavy equipment. It is very difficult to make a watertight temporary seal because this seal depends on the integrity of the old roofing in order to work. Also, at certain times of the year, weather can be extremely unpredictable and weather prediction at best is not as dependable as may be desired. Bruttell Roofing, Inc. will make a good faith attempt to provide adequate temporary seals as required and will schedule the work to be done when the weather and predicted weather is conducive to the proper execution of the work in order to minimize any risk. **Bruttell Roofing, Inc. expressly limits its liability for consequential damage to a) repairs to the roof in order to make it watertight; b) replacement of any water-damaged new roofing; and c) mitigation of any further damage to the building or contents. A written warranty will cover the completed work.**
10. For roof work in general and especially if a tear-off of existing roofing is required, please note the following: roof work and roof tear-offs disturb the deck. At a minimum dust or dirt attached to the underside of the deck will be dislodged. In addition, where fasteners are removed and around other penetrations, dirt will be able to filter into the building. Where the building has no intermediary ceiling, dust from the roof may cause a concern for the occupants below. No clean up of the interior is included unless specified in writing.
11. Insulation availability and costs are volatile. World chemical shortages have caused materials to be in short supply and prices to change without notice. This fact may result in delays to the project and or price increases to this contract. If either or both of these conditions should occur we will notify the owner. The additional cost of the insulation will be passed on to the owner as an increase to the contract amount.
12. Winter Work: This contract does not include extra work to remove ice and snow. Consequently, work done between November 15th and April 15th can be problematic if normal climatic conditions for late Fall and Winter prevail. If it is necessary to do the specified work when snow and ice are present, we will remove the ice and snow on a labor plus materials basis. (Labor rate will be \$45.00/hr.)
13. Ventilation, Condensation, Water Vapor & Mold: Bruttell Roofing, Inc does not represent itself as an expert in mechanical ventilation vapor transmission. Problems such as excessive heat loss or vapor transmission that may cause the formation of condensation within or on the structure or the roofing system as well as mold formation and related concerns are not addressed in this contract. The owner may wish to contact a ventilation or insulation expert to verify that adequate insulation or ventilation is in place.

ACCEPTANCE: Specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. This page becomes part of and in conformance with the attached Contract.

Signature _____ Date _____

Signature _____ Date _____

ROOF COST ESTIMATE 2



August 2, 2021

603 E Milwaukee
Detroit, MI

ROOF AREA:

6,500 sq ft

PROPOSED ROOF:

Mechanically Attached 60 mil reinforced TPO Roof System

SPECIFICATION:

1. Roof prep:
 - a. Remove loose wall flashings
 - b. Remove perimeter terra cotta coping
 - a. Install new wall nailer
 - c. Install new tapered saddles between drains.
 - d. Lay 4 mil reinforced visqueen
2. Mechanically attach 60 mil reinforced TPO 10' on center
 - a. Seams overlapped 6" and heat welded
 - b. All cut edges will be sealed per manufacture specs
 - c. Install T-Joint covers at all seam junctions and vertical laps.
3. Install prefabricated boots and / or uncured TPO onto small stack and large stack.
4. Curbs and walls –
 - a. Mechanically attach field membrane at base of wall
 - b. Fully adhere new wall membrane, overlap base attachment and weld
 - c. Wrap up over wall
 - d. Install new meatl coping or metal edge/cover strip
5. Drains - Install new inserts with flange
6. Penthouse - Install new nailer, gutter, cover strip, downspout

OPTION: Add 800 sq ft ½" x 4' x 8' dens deck gypsum to new roof system to protect roof layers from weight of any new patio/pavers



OPTION: 20' x 40' Pedestal / Paver System

- a. Install sacrificial membrane sheet under jacks.
- b. Install and adjust 400 Jackscrew jacks
- c. Install 100 shims
- d. Install couplers as needed
- e. Install 200 – 2' x 2' Westile pavers
- f. NOT included - Furnish /Install outer perimeter aluminum railing
- g. Included - Extra membrane available for rail installer to lay on top of our metal edge
- h. NOT included – prefabricated boots or pockets or flashing of rail posts tie into into roof

STANDARD OPERATING PROCEDURES:

- All Work shall be performed in a safe, professional manner in compliance with all industries, recognized regulations.
- There is a possibility of dust and dirt filtering down from work being done on roof. Customer responsible for covering up objects or cleaning interior.
- MQ shall not be responsible to determine structural soundness and shall have no liability whatsoever to the owner or others for failure of supporting structure.

Clean Up

- All work premises will be cleaned daily during the construction process and at the completion of the project. All debris will be removed from job site and properly disposed of.

Job Acceptance and Punch List

- There will be a full time working foreman at all times on the job site while roofing work is in progress.

WARRANTY:

- 10 Year Warranty.

PRICING, Labor and Material

60 mil reinforced TPO, fastened 4 mil visqueen \$ 37,160.00

Accepted by _____ Date _____

Add 800 sq ft dens deck on top of insulation layer for future patio/paver system) \$ 3,260.00

Accepted by _____ Date _____



~~ADD new Patio / Pedestal / Paver System \$ 23,000.00 Request revised bid~~

Accepted by _____ Date _____

- Due to the extreme price volatility regarding petroleum related products, the price quoted in this proposal is valid only for orders placed within the next **30 days**. Thereafter, if there is an increase in the price to the materials, the amount of the proposal shall be similarly increased.

ADDITIONAL:

- Permit cost added to Final Invoice
- Any other details mandated by City
- Fence system by qualified licensed/insured trade
- Fence tie into roof. Roofer can work with Fence trade

TERMS:

- 50% down
- 50% upon completion

Thank you for this opportunity! If you have any questions or concerns, please feel free to call me at (734)604-5990

Respectfully Submitted,

Pat Norval, Project Manager



Product Data Sheet

TPO-c MEMBRANE (Standard, FR and CLEAN Film)

PRODUCT DESCRIPTION

Revision Date: Oct 2020

Mule-Hide TPO-c Membrane is a polyester reinforced, .045" or .060 thick, polyolefin based, thermoplastic, heat-weldable membrane. High breaking strength, tearing strength, and puncture resistance is achieved by encapsulating a strong polyester fabric between the top and bottom plies. Mule-Hide TPO-c FR membrane is formulated with additional flame retardant (compared to Standard) for higher slope fire code approvals. The TPO-c membrane is also available in a 0.80" thickness (see Product Data Sheet for TPO-c EXTRA). The membrane is environmentally friendly and safe to install. All Mule-Hide TPO membranes include MHP Weathering Package, an industry leading, state of the art weather package that enables Mule-Hide TPO membranes to withstand the extreme weatherability testing which simulates exposure to severe climates.



BASIC USES

The TPO-c membrane is used in mechanically attached and fully adhered roofing systems in new construction, reroofing and recover (retrofit) applications. It may also be used as flexible membrane flashings for walls, curbs, etc, when installing TPO-c membrane roofing systems. The system must be installed over acceptable roof insulation or other suitable substrate. See the Mule-Hide TPO Specifications Manual for complete specifications and details.

Optional CLEAN Film

The TPO-c membrane is available with an optional CLEAN Film (Standard colors only), a temporary protective film factory applied to the top surface of the membrane. By protecting the membrane surface from scuffs and dirt accumulation during installation, this protective film can save labor and time by helping to eliminate the need for roof cleaning upon project completion. CLEAN Film can be left in place for up to 90 days. Durable and easy to remove, CLEAN Film helps to improve the aesthetics and long-term reflectivity and is ideal for use on re-roofing, re-cover and new construction projects. CLEAN Film is available on TPO-c 60 mil membranes supplied in 6' x 100' and 10' x 100' rolls.

BENEFITS & SUPPLEMENTAL STATEMENTS

- Wide window of weldability
- Outstanding puncture resistance
- Chlorine-free with no halogenated flame retardants
- UL 2218 Class 4 hail rating available on select systems
- Excellent low temperature impact resistance
- Excellent chemical resistance to acids, bases, restaurant oils and greases
- Plasticizer-free, does not contain liquid or polymeric plasticizer
- Exceptional resistance to solar UV, ozone and oxidation
- Low water vapor permeance and water absorption
- Hot melt extrusion processed for complete scrim encapsulation
- Non woven reinforcement fabric for smooth surface and greater thickness-over-scrim
- Polyester reinforcing fabric which is resistant to degradation by bacteria, mildew and fungi
- TPO-c is 100% recyclable
- Meets and exceeds requirements of ASTM D6878 Standard Specification for Thermal Plastic Polyolefin Based Sheet Roofing
- CLEAN Film guards the TPO membrane surface from scuffs and dirt accumulation during installation, helping to improve the roof systems appearance and maintain long-term reflectivity.
- CLEAN Film can be left in place for up to 90 days due to its excellent heat and UV resistance.
- Mule-Hide's tan and white TPO membranes are ENERGY STAR®* - qualified and California Title 24 compliant and can contribute toward LEED® (Leadership in Energy and Environmental Design) credits.

TPO-c Membrane (Standard, FR & CLEAN Film)

SPECIFICATIONS

Standard Colors: White, Gray and Tan

Colorway Colors: Medium Bronze, Patina Green, Rock Brown, Slate Gray & Terra Cotta.

Material: .045-inch (Standard Colors only) and .060-inch (nominal) thick polyester reinforced thermoplastic

Sizes: Standard Colors as 4', 6', 8', 10' and 12' sheet widths by 100'

Colorway Colors as 5' and 10' sheet widths by 100'

Weights: 45 Mil - 0.23 lb/ft² (1.1 kg/m²) typical, 60 Mil - 0.29 lb/ft² (1.4 kg/m²) typical

Physical Properties*	Test Method	Requirement	45-mil	60-mil
Thickness Tolerance on nominal, %	ASTM D-751	+15, -10	±10	±10
Thickness over scrim, in. (mm) (avg. of 3 areas)	ASTM D-6878 Optical Method	0.015 min. (0.380)	0.018 typical (0.457)	0.024 typical (0.610)
Breaking Strength, lbf (kN)	ASTM D-751 (Grab Method)	220 (976 N) minimum	225 (1.0) min. 320 (1.4) typical	250 (1.1) min. 360 (1.6) typical
Elongation at break of fabric, %	ASTM D-751 (Grab Method)	15 minimum	15 minimum 25 typical	15 minimum 25 typical
Tear Strength, lbf (N) 8 by 8 in. specimen	ASTM D-751 (B Tongue Tear)	55 (245) minimum	55 (245) min. 130 (578) typical	55 (245) min. 130 (578) typical
Brittleness point, °F (°C)	ASTM D-2137	-40 (-40) maximum	-40 °F (-40 °C) max. -50 °F (-46 °C) typical	-40 °F (-40 °C) max. -50 °F (-46 °C) typical
Linear Dimensional Change (shrinkage) % change	ASTM D-1204 6 hours @ 158° F (70° C)	±1 maximum	+/-1 max - 0.2 typical	+/-1 max - 0.2 typical
Ozone resistance, 100 pphm, 168 hrs.	ASTM D-1149	PASS	PASS	PASS
Factory seam strength, lbf/in (kN/m)	ASTM D-751	66 (290) min	66 (290) minimum	66 (290) minimum
Field seam strength, lbf/in. (kN/m) Seams tested in peel	ASTM D-1876	No requirement	25 (4.4) min. 50 (8.8) typical	25 (4.4) min. 60 (10.5) typical
Water vapor permeance, Perms	ASTM E-96 proc. B	No requirement	0.10 max. 0.05 typical	0.10 max. 0.05 typical
Water Absorption Resistance, mass % Top surface only	ASTM D-471 @ 158°F, 166 hours	No requirement	3.0 max. 0.90 typical	3.0 max. 0.90 typical
Puncture resistance, lbf (N)	FTM 101C Method 2031	No requirement	250 (1.1) min. 325 (1.4) typical	300 (1.3) min. 350 (1.6) typical
Properties after heat aging - ASTM D573, 32 weeks at 240°F or 8 weeks at 275 °F No cracking when bent around 3" dia. mandrel Weight change, %	PASS No Cracking ±1.5 max	PASS No Cracking ±1.0 max	PASS No Cracking ±1.0 max	PASS No Cracking ±1.0 max

*Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.

INSTALLATION INSTRUCTIONS

- 1) Approved insulation shall be attached to the roof deck with an approved insulation adhesive or approved fasteners and plates. Install insulation with its largest dimension perpendicular to the direction of the membrane seams where possible.
- 2) Mechanically Attached Roofing System
 - a) Perimeter sheets to be installed in an approved pattern along all exterior roof edges.
 - b) Mechanical fasteners and plates are installed in the seams of both the perimeter sheets and field sheets and into the roof deck. Use approved fasteners and maintain proper penetration for specific roof decks.
- 3) Fully Adhered Roofing System
 - a) Perimeter sheets are not required.
 - b) The membrane is required to be mechanically attached at the base of all vertical surfaces, roof edges, and angle changes.
 - c) The field of the roof is fully adhered to the substrate with Mule-Hide TPO Bonding Adhesive.
- 4) Remove CLEAN Film from areas that are to be heat-welded together. In areas not requiring heat-welding, CLEAN Film can be left in place for up to 90 days. Upon completion of the TPO roofing system, remove the CLEAN film and discard.
- 4) All seams are hot air welded and checked by probing.
- 5) All details will be done in accordance with Mule-Hide details.
- 6) On projects where a Mule-Hide System Warranty is requested, an authorized Mule-Hide representative shall inspect all completed work. This is only a brief summary and not the complete specification. The Mule-Hide Specifications, Details, Technical Bulletins, and associated documents should be thoroughly reviewed prior to starting any project. Contact the Mule-Hide Technical Department for additional information.

TPO-c Membrane (Standard, FR & CLEAN Film)

PRECAUTIONS

- Maximum sustained temperature not to exceed 160°F (71°C) for TPO membrane.
- Use proper stacking procedures to ensure roll stability. Avoid creasing the membrane.
- Surfaces may be slippery when wet, or due to frost and ice build-up. Exercise caution to prevent falls.
- Mule-Hide TPO membranes are highly reflective to sunlight. Workers should dress appropriately, wear sunscreen, and wear sunglasses that filter out UV light.
- Exercise care when working near roof edge as edges may not be visible when surrounding area is covered with snow.
- Store Mule-Hide membrane in original wrappings in a cool, shaded area. Cover with light-colored, breathable, waterproof tarpaulins. Mule-Hide membrane that has been exposed to the weather must be prepared with Weathered Membrane Cleaner prior to hot air welding.
- Use proper stacking procedures to ensure sufficient stability of the rolls.
- Take care not to stand or place heavy objects on the edge of folded-over membrane, as this could cause a hard crease in the membrane.
- Do not use razor blades or other sharp tools to cut the CLEAN Film while it is still adhered to the TPO membrane as damage to the underlying membrane may occur. Pull the protective film away from the membrane prior to cutting.
- Remove CLEAN Film by pulling towards the center of the roof. Do not remove the film by pulling towards the roof edge.
- A static electricity charge may develop when removing the CLEAN Film from the surface of the membrane sheet. To avoid the possibility of ignition, lids must be closed on any flammable products and fire extinguishers should be readily available.
- Color membranes will ‘fade’ over time mainly due to the ultraviolet portion of sunlight. Since most roof surfaces are exposed to variable sunlight, some areas will be more susceptible to color changes caused by UV fading. Warranties for color membranes do not cover fading of colors.

EXTREME TESTING FOR SEVERE CLIMATES

ASTM Standard D6878 is the material specification for Thermoplastic Polyolefin-Based Sheet Roofing. It covers material property requirements for TPO roof sheeting and includes initial and aged properties after heat and xenon-arc exposure. As stated in the standard, “the tests and property limits used to characterize the sheet are values intended to ensure minimum quality for the intended purpose.” Mule-Hide’s goal is to provide TPO that delivers maximum performance for the intended purpose of roofing membranes. Maximum performance requires the membrane to far exceed the requirements of ASTM Standard D6878.

Heat Aging accelerates the oxidation rate the roughly doubles for each 18°F (10°C) increase in roof membrane temperature. Oxidation (reaction with oxygen) is one of the primary chemical degradation mechanisms of roofing materials.

HEAT AGING		
Test Method	ASTM Requirement	Typical Results
ASTM Test - 240° F (116° C), No Visible Cracks	32 Weeks**	>128 Weeks
**Heat exposure comparable to 3,120 weeks (60 years) at 185°F for 8 hours per day.		
Test specimen is 2" by 6" piece of 45-mil membrane un-backed, placed in circulating hot-air oven		
Criterion-no visible cracks after bending aged test sample around 3" diameter mandrel.		
Heat Aging accelerates the oxidation rate that roughly doubles for each 10° C (18° F) increase in roof membrane temperature.		
Oxidation (reaction with oxygen) is one of the primary chemical degradation mechanisms of roofing materials.		

Q-Trac testing combines accelerated weathering with real-world conditions using an array of ten mirrors to reflect and concentrate full spectrum sunlight onto membrane test specimens. The Q-Trac device automatically tracks the sun’s path from morning to night. Also, it adjusts to compensate for seasonal changes in the sun’s altitude. Eight years in Q-Trac testing is equal to 40 years of real-world exposure. Mule-Hide requires its TPO membranes to pass the equivalent of 40 year exposure in the Q-Trac.

Q-Trac Testing		
Test Method	ASTM Requirement	Mule-Hide Requirement
ASTM Test N/A	N/A	Equivalent of 40 years exposure
Environmental Cycling subjects the membrane to repeated cycles of heat aging, hot-water immersion and xenon-arc exposure.		
Test specimen is 2.75" by 5.5" piece of membrane with edges sealed.		
<ul style="list-style-type: none"> - 10 days heat aging at 240° F (116° C) followed by - 5 days water immersion at 158° F (70° C) followed by - 5,040 kJ/m² (2000 hours at 0.70 W/m² irradiance) xenon-arc exposure 		
Criterion – after 3 completed cycles, test specimens shall remain flexible and not have any cracking under 10x magnifications while wrapped around a 3" diameter mandrel.		

TPO-c Membrane (Standard, FR & CLEAN Film)

SUPPLEMENTAL APPROVALS, STATEMENTS AND CHARACTERISTICS

- 1) TPO-c meets and exceeds the requirements of **ASTM D6878** Standard Specification for Thermoplastic Polyolefin Based Sheet Roofing.
- 2) Radiative Properties for ENERGY STAR, Cool Roof Rating Council (CRRC) and LEED.
- 3) Mule-Hide TPO-c membranes conform to requirements of the U.S.E.P.A. Toxic Leachate Test (40 CFR part 136) performed by an independent analytical laboratory.
- 4) TPO-c was tested for dynamic puncture resistance per ASTM D5635-04 using the most recently modified impact head. 45-mil was watertight after an impact energy of 12.5 J (9.2 ft-lbf) and 60-mil was watertight after an impact energy of 22.5 J (16.6 ft-lbf)
- 5) NSF-P151 Certification for rainwater catchment systems components. (Plant 91/White Only)

RADIATIVE PROPERTIES for ENERGY STAR*, CRRC and LEED				
DESCRIPTION	TEST METHOD	WHITE TPO-c	TAN TPO-c	GRAY TPO-c
ENERGY STAR® initial solar reflectance	Solar Spectrum Reflectometer	0.79	0.71	N/A
ENERGY STAR® initial solar reflectance after 3 years (un-cleaned)		0.70	0.64	N/A
CRRC initial solar reflectance	ASTM C1549	0.79	0.71	0.46
CRRC solar reflectance after 3 years	ASTM C1549 (un-cleaned)	0.70	0.64	0.43
CRRC initial thermal emittance	ASTM C1371	0.90	0.86	0.89
CRRC thermal emittance after 3 years	ASTM C1371 (un-cleaned)	0.86	0.87	0.88
CRRC SRI (Solar Reflectance Index)	ASTM E1980	99	86	53
CRRC SRI (Solar Reflectance Index after 3 yrs)	ASTM E1980	85	77	48

RADIATIVE PROPERTIES (Initial) FOR COLORWAY COLORS			
Color	Reflectance	Emittance	SRI
Medium Bronze	0.28	0.86	29
Rock Brown	0.25	0.87	26
Slate Gray	0.38	0.87	42
Terra Cotta	0.25	0.86	25
Patina Green	0.25	0.88	25

Solar Reflectance Index (SRI) is calculated per ASTM E 1980. The SRI is a measure of the roof's ability to reject solar heat, as shown by a small temperature rise. It is defined so that a standard black (reflectance 0.05, emittance 0.90) is 0 and a standard white (reflectance 0.80, emittance 0.90) is 100. Materials with the highest SRI values are the coolest choices for roofing. Due to the way SRI is defined, particularly hot materials can even take slightly negative values, and particularly cool materials can even exceed 100.

*ENERGY STAR® recommends that using the Roof Savings Calculator (rsn.ornl.gov), which factors in both heating and cooling costs, to determine whether a cool roof will be an energy efficient choice for your geographical climate and building type.

LEED Information	
Pre-consumer Recycled Content	10%
Post-consumer Recycled Content	0%
Manufacturing Location	Senatobia, MS Tooele, UT Carlisle, PA
Solar Reflectance Index (SRI)	99 (white) 86 (tan)

PROTECTION & SAFETY

Mule-Hide maintains Safety Data Sheets on all of its non-exempt products. Safety Data Sheets contain health and safety information for your development of appropriate product handling procedures to protect your employees and customers. Mule-Hide's Safety Data Sheets should be read and understood by all of your supervisory personnel and employees before using Mule-Hide products in your facilities.

TPO-c Membrane (Standard, FR & CLEAN Film)

ADDITIONAL INFORMATION

The information given on this PDS is subject to change without notice. Always check the Mule-Hide website at www.mulehide.com for the latest information, changes and updates or contact Mule-Hide Products Company at 800-786-1492.

DISCLAIMER

The statements provided concerning the material shown are intended as a guide for material usage and are believed to be true and accurate at the time of printing. No statement made by anyone may supersede this information, except when done in writing by Mule-Hide Products Co., Inc. Since the manner of use is beyond our control, Mule-Hide does not authorize anyone to make any warranty of merchantability or fitness for any particular purpose or any other warranty, guarantee or representation, expressed or implied, concerning this material. This product may be eligible for a Mule-Hide warranty, please check the Mule-Hide website at www.mulehide.com or contact Mule-Hide directly at 800-786-1492 for details. Buyer and user accept the product under these conditions and assume the risk of any failure, any injury person or property (including that of the user), loss or liability resulting from the handling, storage or use of the product whether or not it is handled, stored or used in accordance with the directions or specifications. Mule-Hide must be notified in writing of any claims and be given the opportunity to inspect the alleged failure before repairs are made.



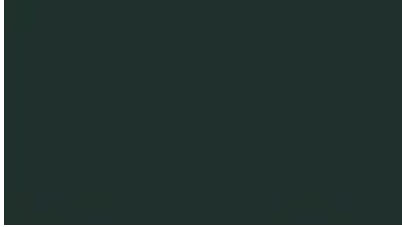
PROJECT PEERLESS

REQUEST 3 – PAINT



PAINT SPECIFICATIONS

SOUTH ELEVATION



A:8 Blackish Green
MS: 2.5BG2/2

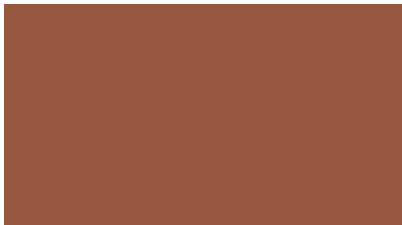
EAST ELEVATION



B:12 Grayish Green
MS: 10G 4/2



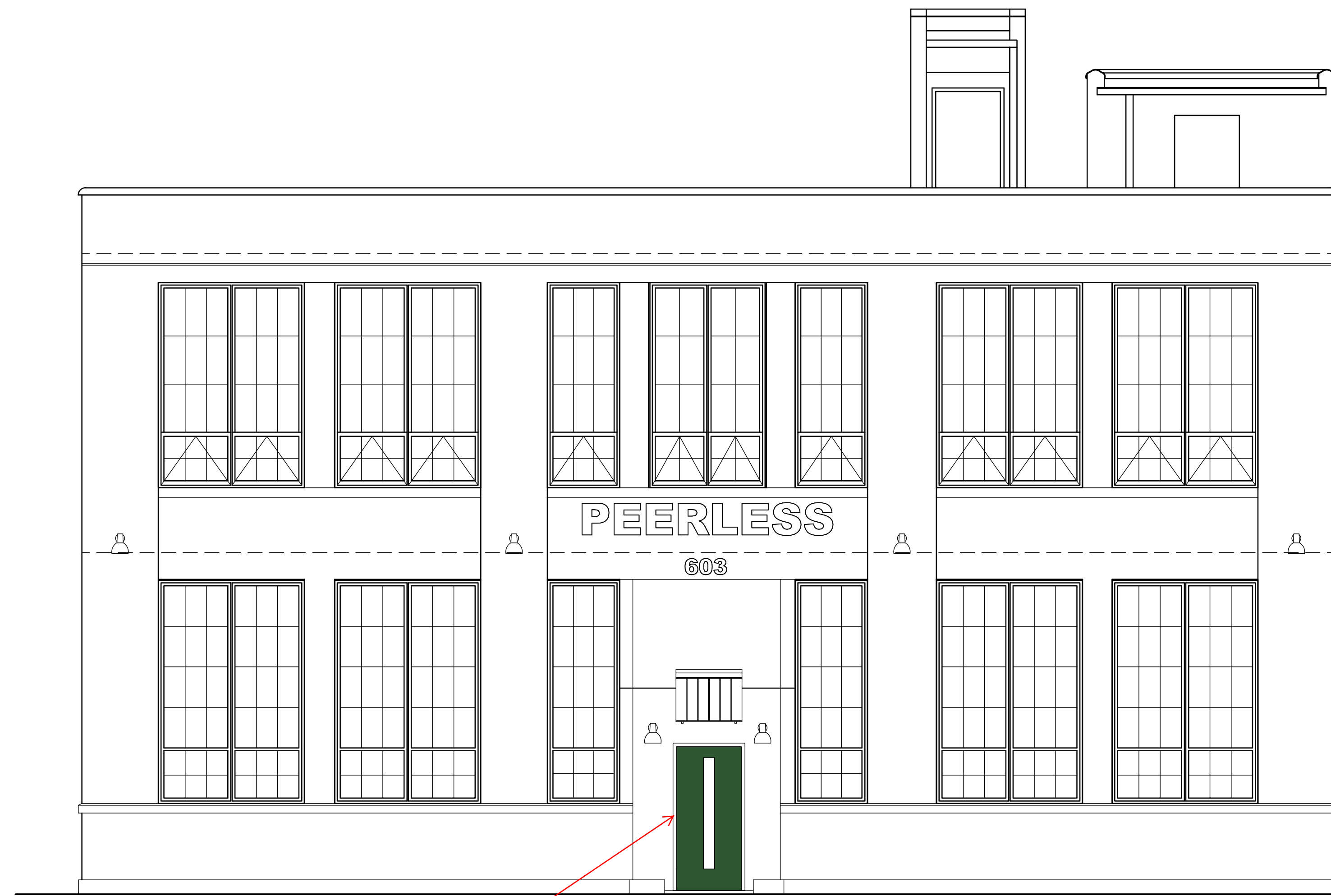
B:17 Light Olive
MS: 10Y 5/4



E:3 Grayish Reddish Orange
MS: 2.5YR 5/6



E:2 Strong Yellowish Brown
MS: 7.5YR 6/8



BLACKISH GREEN PAINT

2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



GRAYISH REDDISH ORANGE

GRAYISH GREEN

STRONG YELLOWISH BROWN

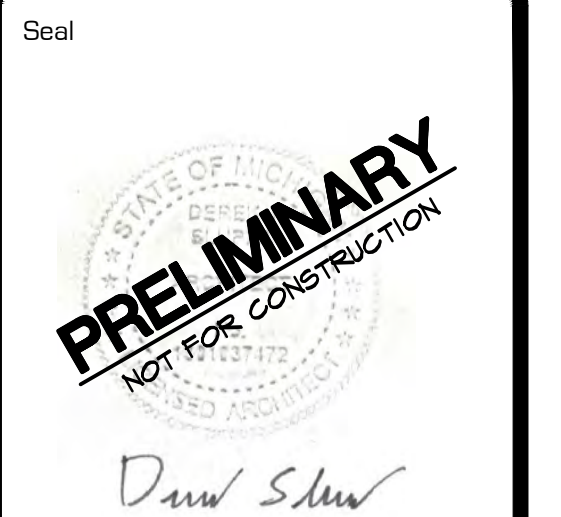
LIGHT OLIVE

GRAYISH REDDISH ORANGE

1 EAST ELEVATION
A103,104 1/4" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM



Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale 1/4" = 1'-0"

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

PRELIMINARY
NOT FOR CONSTRUCTION
A201
of
28



PROJECT PEERLESS

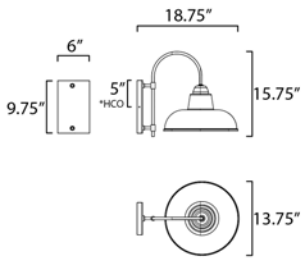
REQUEST 4 – LIGHT FIXTURES

**EXTERIOR LIGHT
FIXTURES**



PRODUCT DESCRIPTION

A powder coat aluminum frame support a durable polycarbonate shade in classic RLM styles. This an excellent choice for extreme environments like coastal areas. The combination Black frame and White shade create a dramatic look.



MEASUREMENTS

DIMENSION : 13.75" W x 15.75" H x 18.75" Ext
 BACK PLATE : 6" W x 9.75" H x 5" HCO
 HANGING WEIGHT : 2.87 lb

LAMPING

INPUT VOLTAGE : 120V
 BULB : 1 x 60W Incandescent E26 Medium , 60W Total
 BULB INCLUDED : (Not Included)
 DIMMABLE : Yes
 LIGHTING_DIRECTION : Down

*height from center of outlet to the top of the fixture

FINISHES OPTION



MATERIAL

Polycarbonate, Aluminum

RATINGS

cETLus
 Wet Location



ADDITIONAL

INSTALL UP/DOWN: Down
 OPERATING TEMPERATURE:
 -20°C (-4°F), 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.



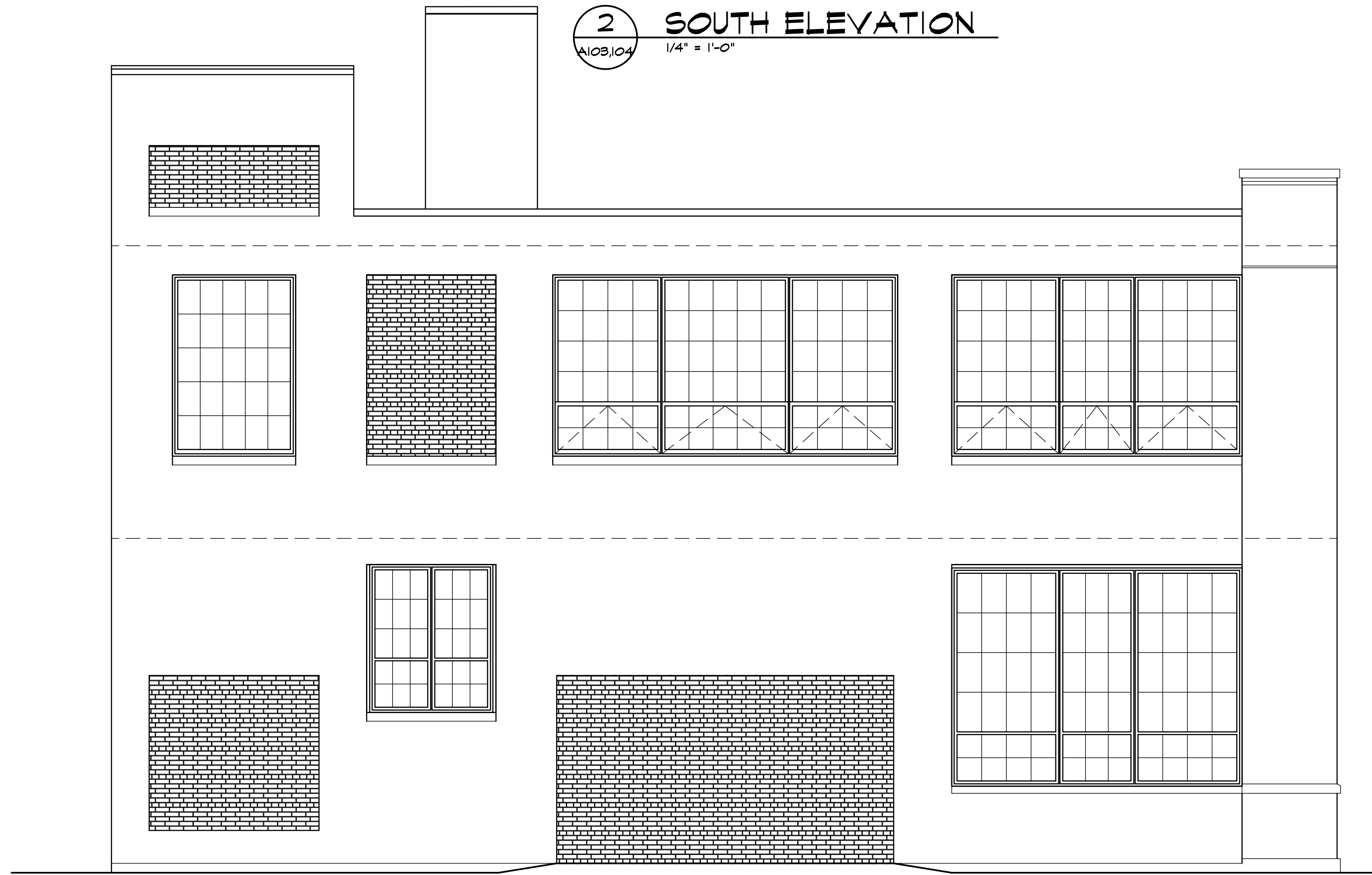
WESTERN DISTRIBUTION CENTER (HEADQUARTER)
 253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91746

EASTERN DISTRIBUTION CENTER
 4200 SHIRLEY DR. | ATLANTA, GA 30336

P. 626.956.4200 | F. 626.956.4225 | maximlighting.com



2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



1 NORTH ELEVATION
A103,104 1/4" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM

Seal



Derek Blupica

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title

EXTERIOR ELEVATIONS

Project Number

20-40-159

Drawn

ALM

Checked

DJS

Scale

1/4" = 1'-0"

Dwg.

PEERLESS - CDS

Issued for

Date

By

DESIGN DEVELOPMT.

5-28-21

DJS

OWNER REVIEW

8-20-21

DJS

PERMIT

10-13-21

DJS

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Project **PROJECT PEERLESS**
603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

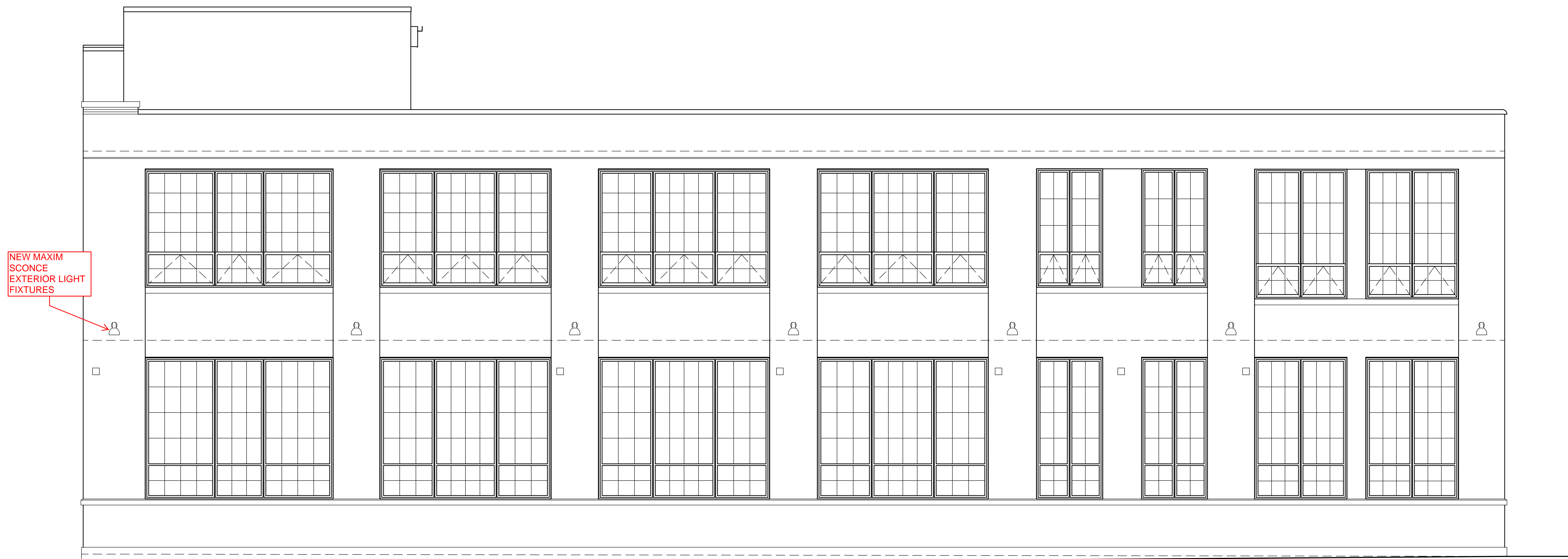
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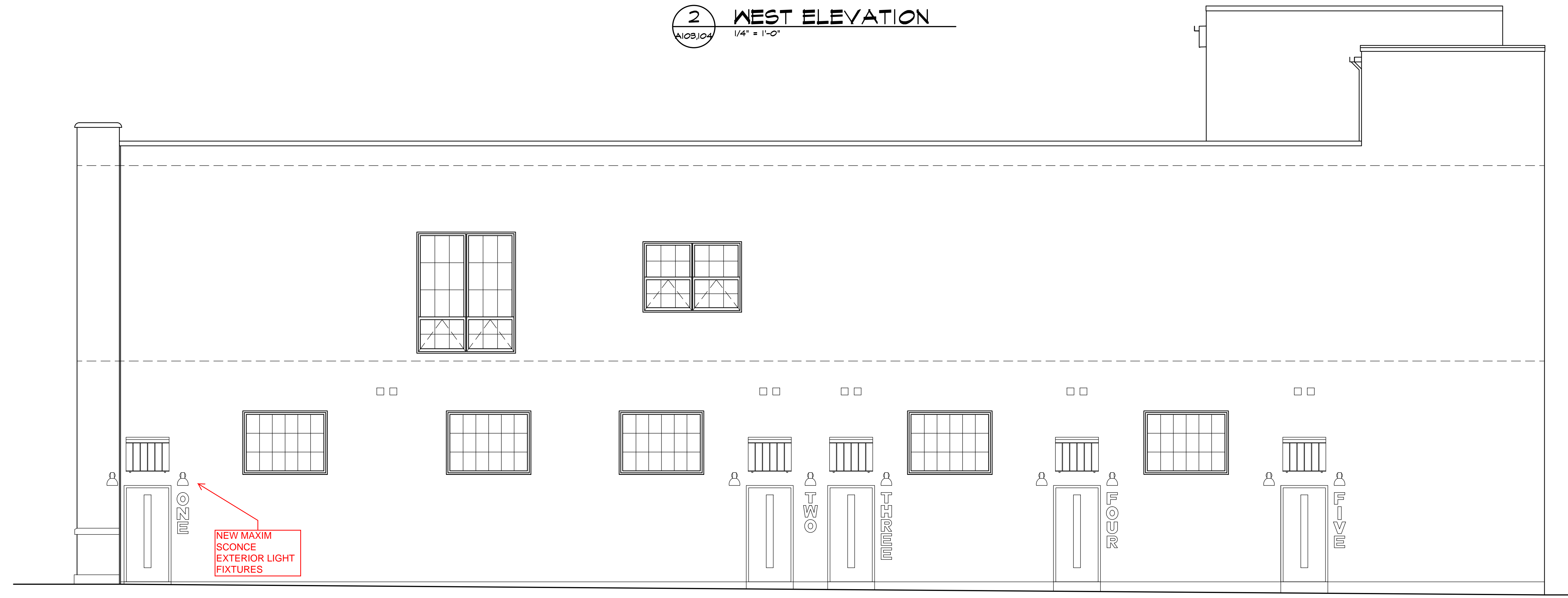
Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

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2 WEST ELEVATION
A103,104 1/4" = 1'-0"



1 EAST ELEVATION
A103,104 1/4" = 1'-0"

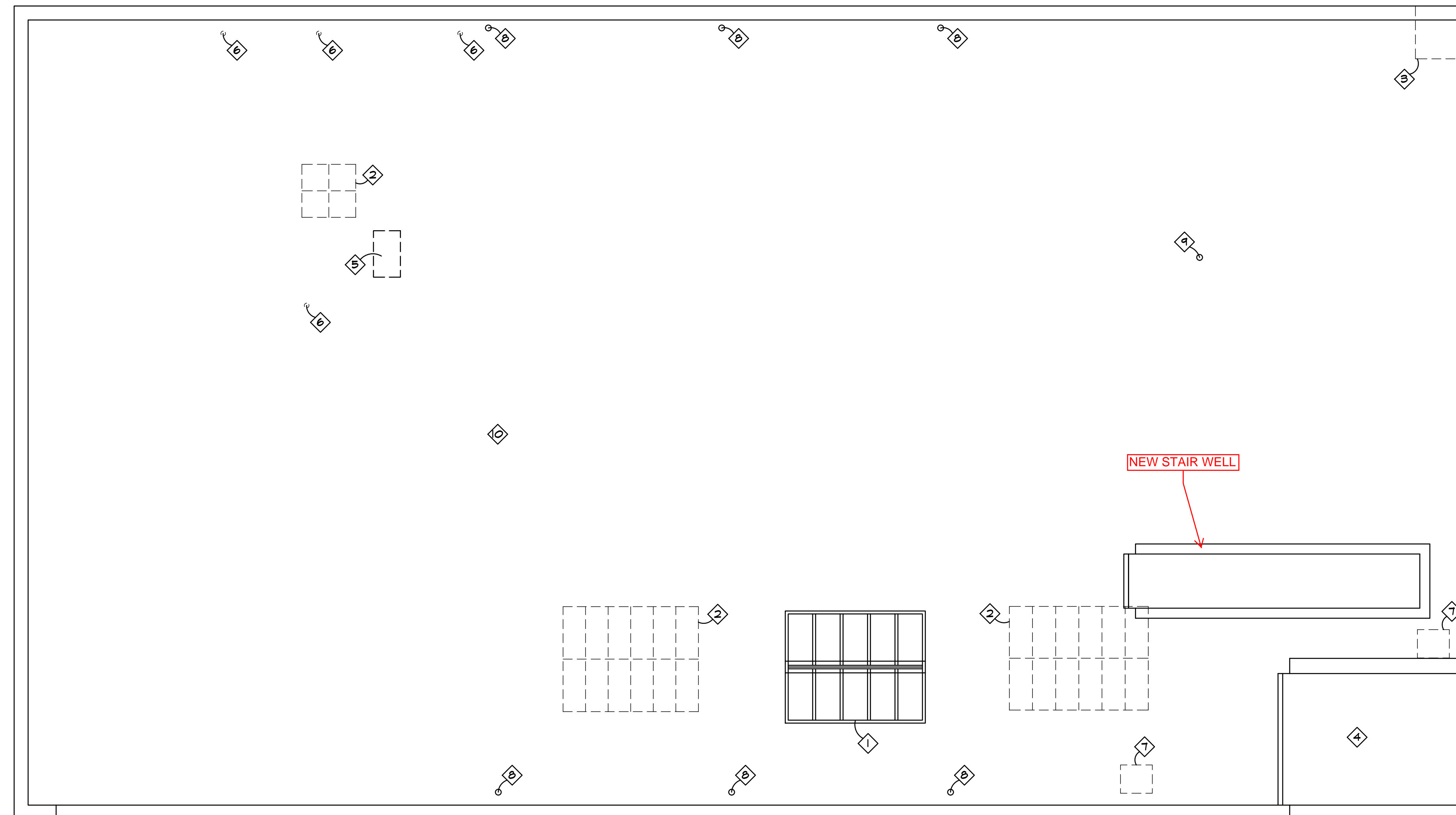


PROJECT PEERLESS

**REQUEST 5 – NEW CONSTRUCTION /
ADDITIONS**

ROOF NOTES

- ① PROVIDE NEW 8' X 10' PREMANUFACTURED ALUMINUM SKYLIGHT ASSEMBLY WITH INSULATED GLASS BY MASCOVELUX MODEL C8D6 950 SERIES LT DOUBLE PITCH WITH GLASS ALONG SILL. PROVIDE NEW ROOF CURB PER MANUFACTURERS INSTRUCTIONS. PROVIDE AND INSTALL BEAM (SIZE, STYLE AND TYPE TO BE DETERMINED BY DESIGNER), RUNNING NORTH AND SOUTH, ALONG AT BASE OF SKYLIGHTS TO SUPPORT TWO (2) HANGING LIGHT FIXTURES.
- ② REMOVE AND DISPOSE OF EXISTING SKYLIGHTS.
- ③ REMOVE AND DISPOSE OF EXISTING BRICK MASONRY CHIMNEY. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ④ EXISTING ROOFTOP ELEVATOR MACHINE ROOM.
- ⑤ REMOVE AND DISPOSE OF INDICATED ROOFTOP CONDENSING UNIT.
- ⑥ REMOVE AND DISPOSE OF EXISTING ROOFTOP PLUMBING STACK.
- ⑦ REMOVE AND DISPOSE OF EXISTING ROOFTOP ACCESS LADDER HATCH. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑧ REMOVE EXISTING ROOF DRAIN AND PROVIDE NEW 4" ROOF DRAIN AS REQUIRED.
- ⑨ APPROXIMATE LOCATION OF EXISTING FURNACE FLUE TO BE REMOVED AND DISPOSED OF. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑩ PROVIDE NEW 2" LAYER OF POLYISO OVER ENTIRE EXISTING TO REMAIN ROOFTOP MEMBRANE AND PROVIDE NEW THERMOPLASTIC POLYOLEFIN (TPO), COLOR GRAY. PROVIDE NEW METAL COPING WITH KYNAR FINISH, COLOR T.B.D., AS REQUIRED.



ROOF PLAN
3/16" = 1'-0"



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Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
ROOF PLAN

Project Number
20-40-159

Drawn ALM

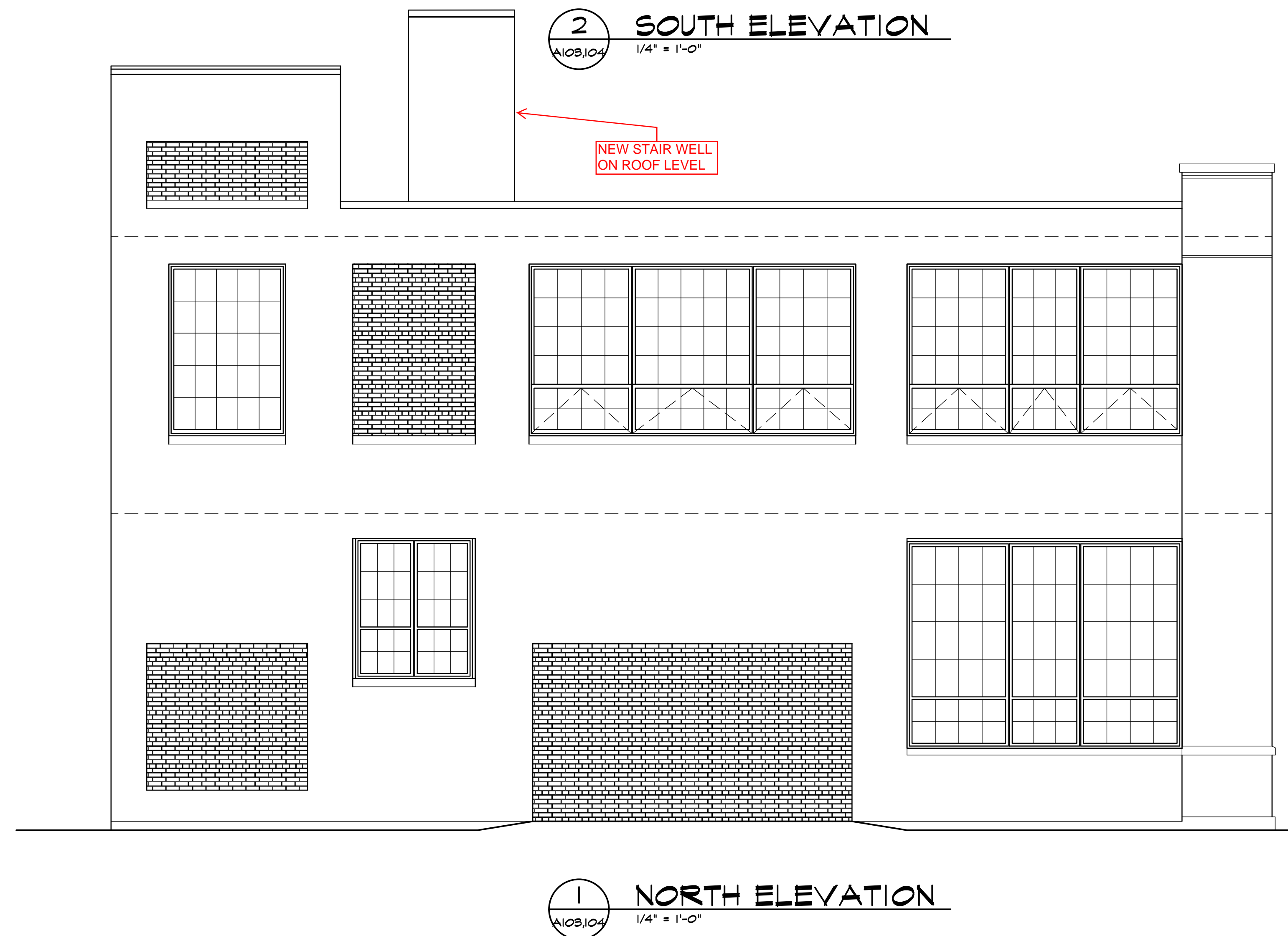
Checked DJS

Scale 3/16" = 1'-0"

Dwg. PEERLESS - CDS

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OWNER REVIEW	8-20-21	DJS

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Project
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603 E. MILWAUKEE ST.
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Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

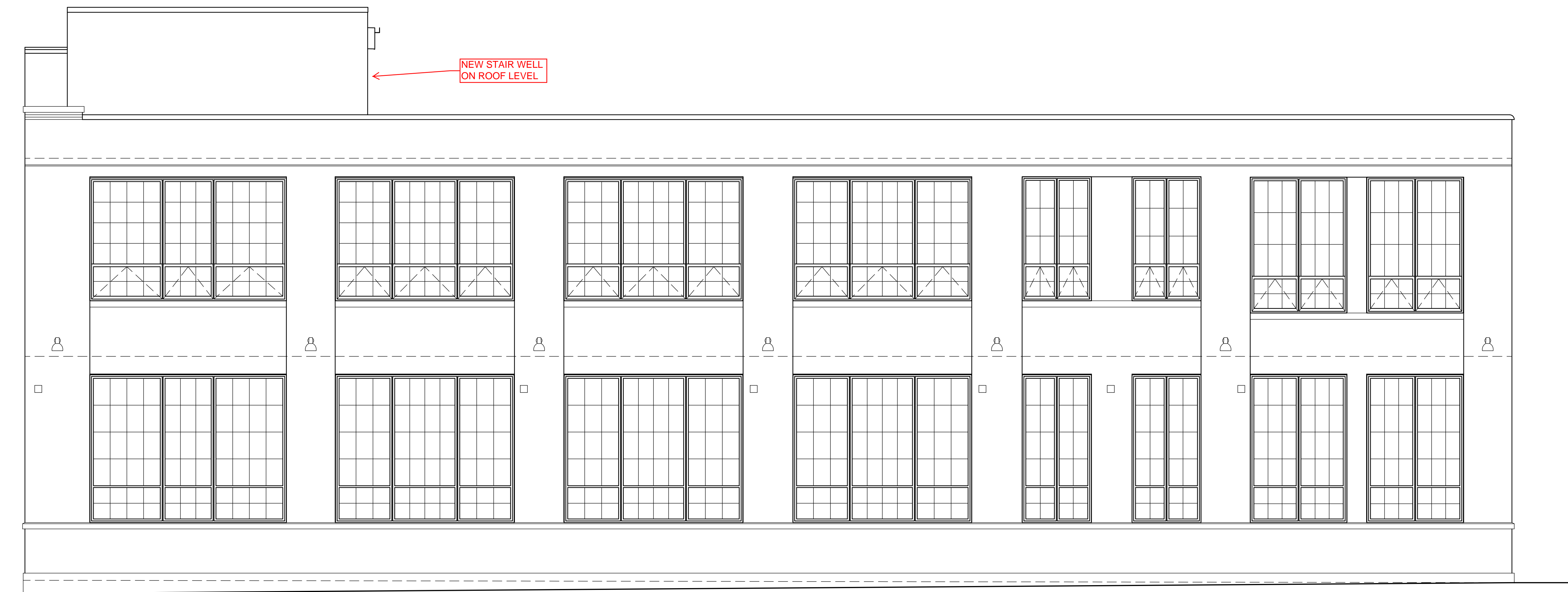
Checked DJS

Scale 1/4"=1'-0"

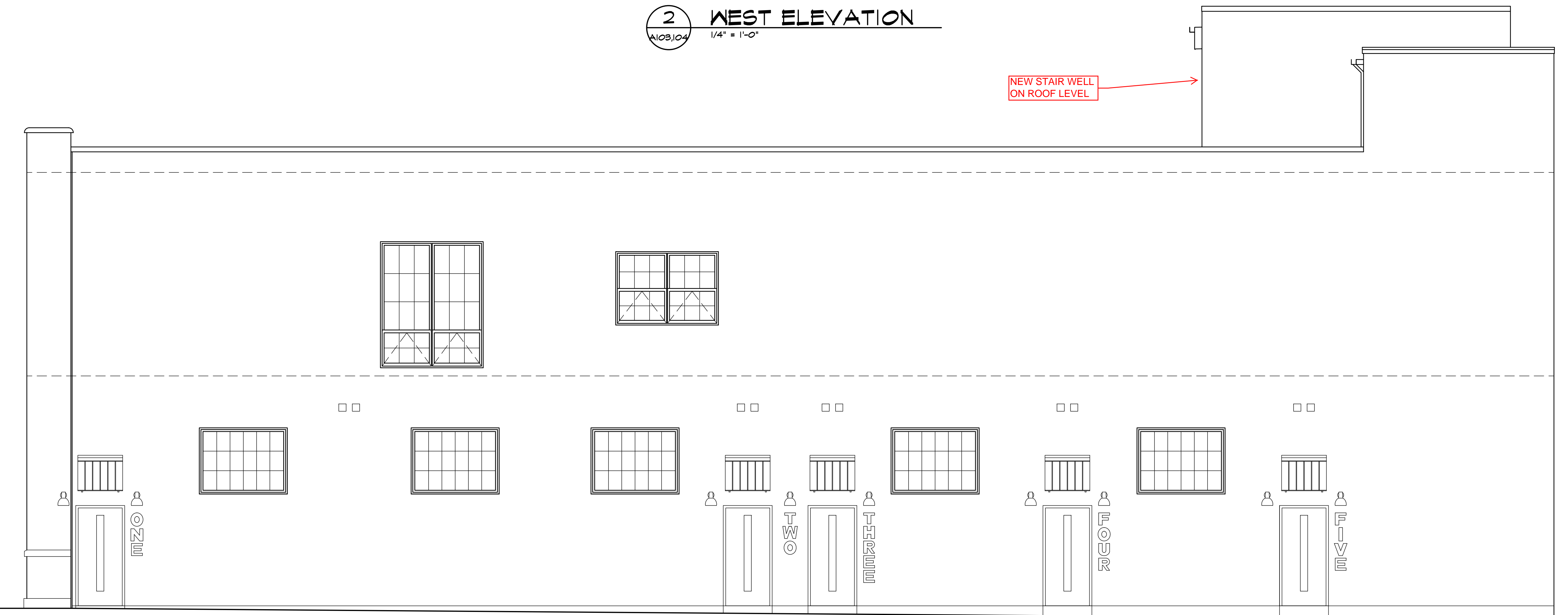
Dwg. PEERLESS - CDS

Issued for	Date	By
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2 WEST ELEVATION
A103,104 1/4" = 1'-0"



1 EAST ELEVATION
A103,104 1/4" = 1'-0"



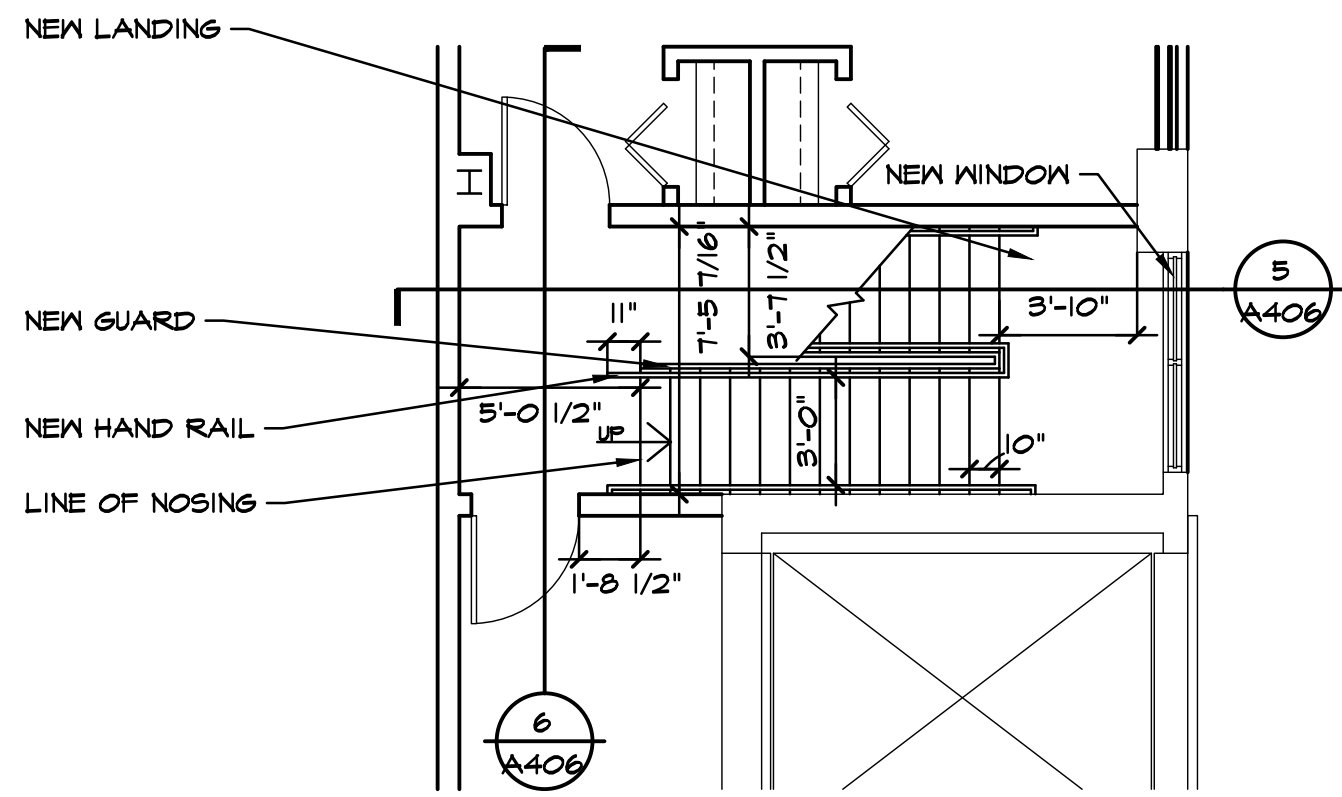
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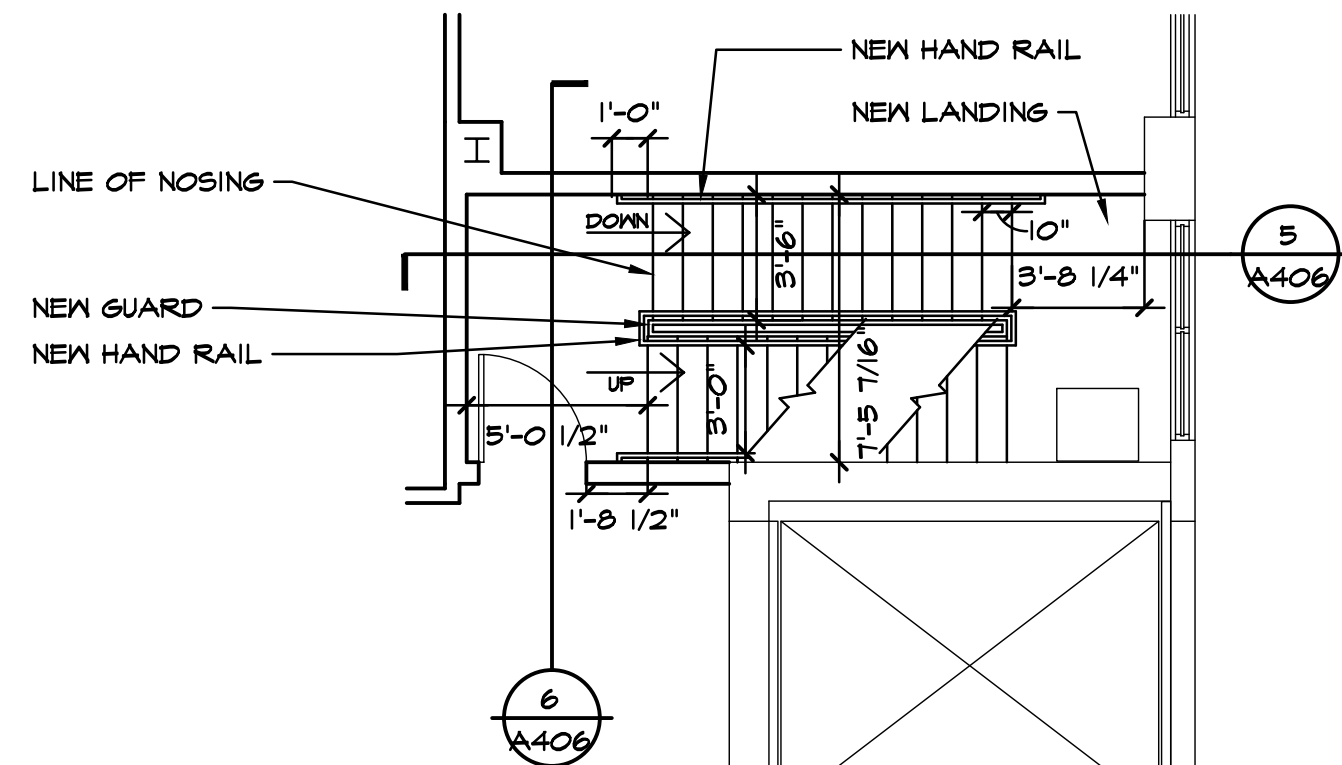
Project **PROJECT PEERLESS**
603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title	EXTERIOR ELEVATIONS	
Project Number	20-40-159	
Drawn	ALM	
Checked	DJS	
Scale	1/4" = 1'-0"	
Dwg.	PEERLESS - CDS	
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

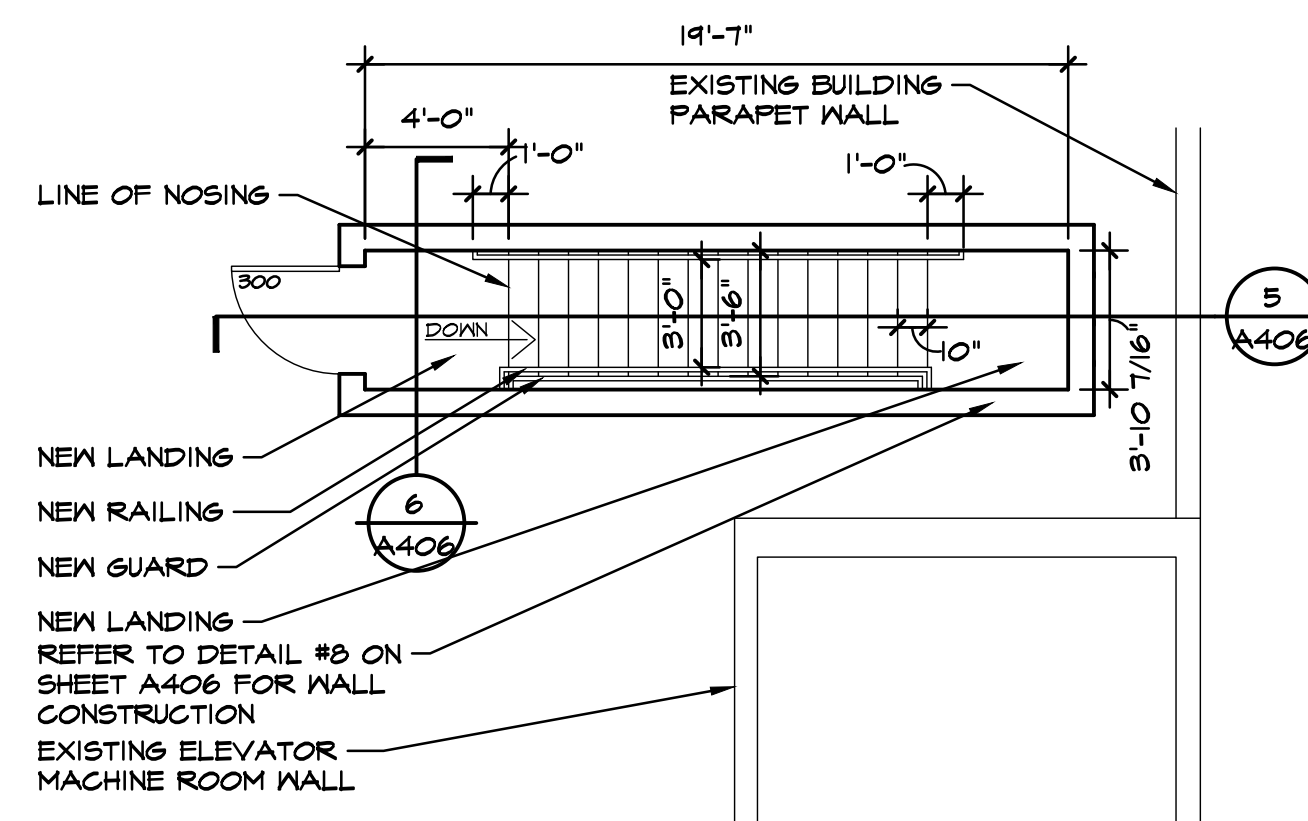
Sheet Number
A202
of
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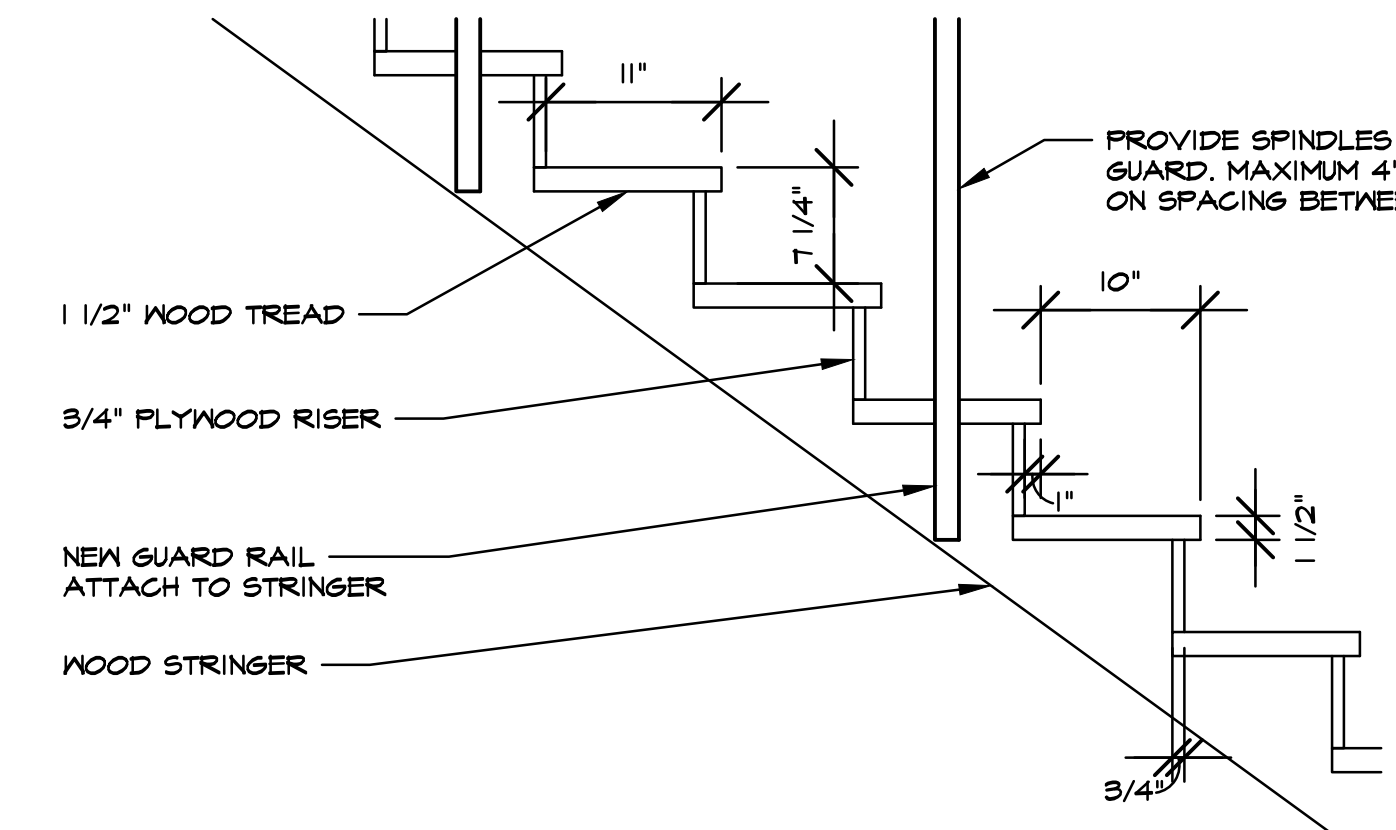
1 STAIRS #150 PLAN 1ST FLOOR
A103 3/16" = 1'-0"



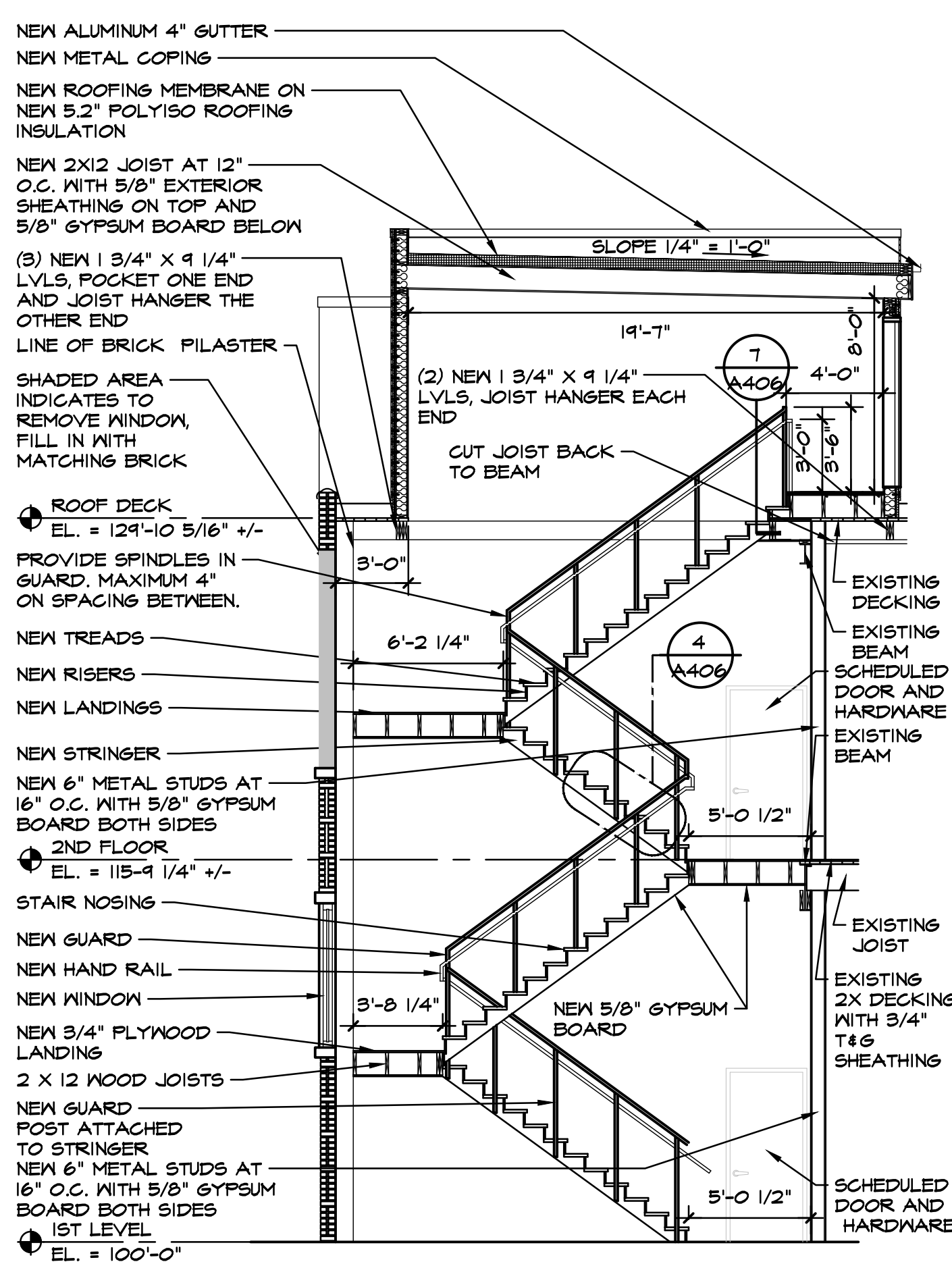
2 STAIRS #150 PLAN 2ND FLOOR
A104 3/16" = 1'-0"



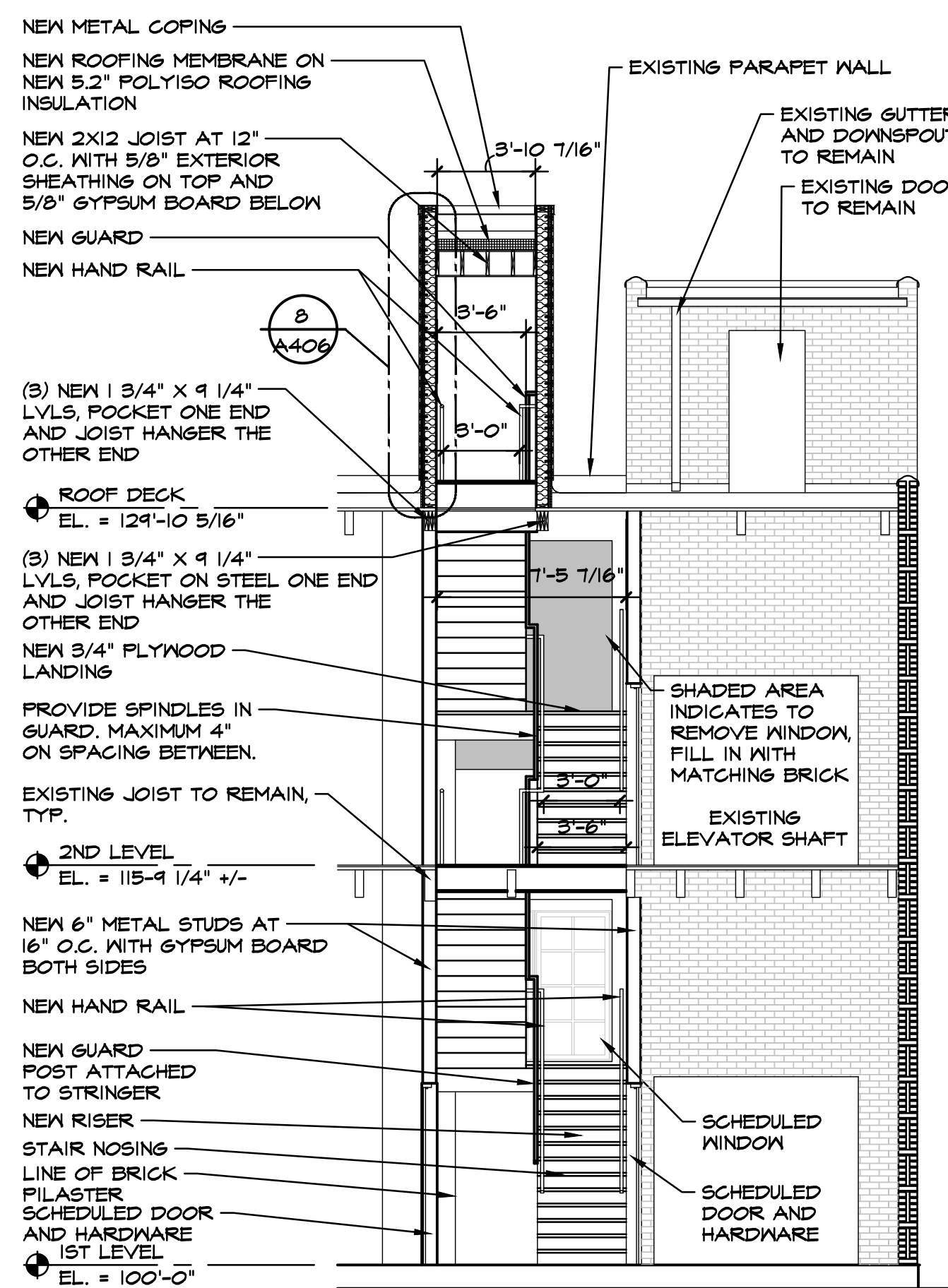
3 STAIRS #150 PLAN ROOF LEVEL
A104 3/16" = 1'-0"



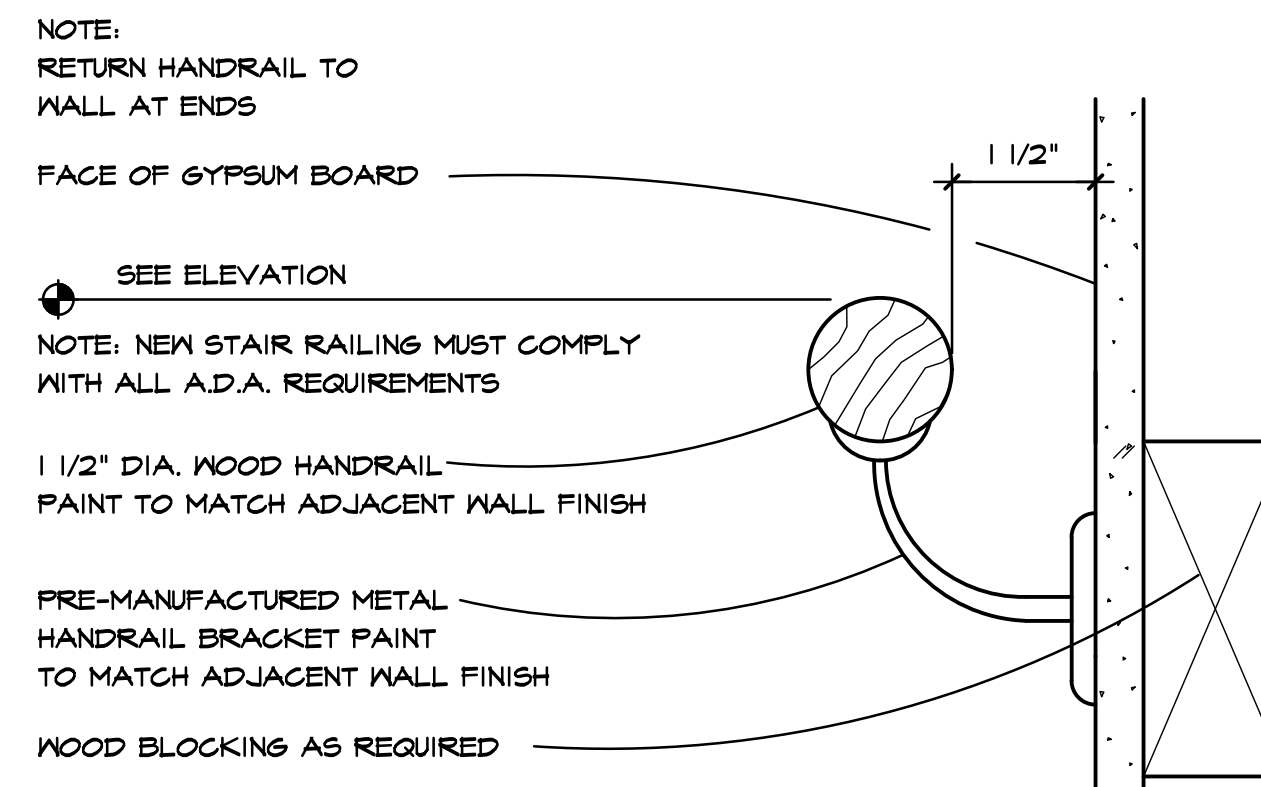
4 TREAD DETAIL- STAIRS #150 1ST FLIGHT
A406 1" = 1'-0"



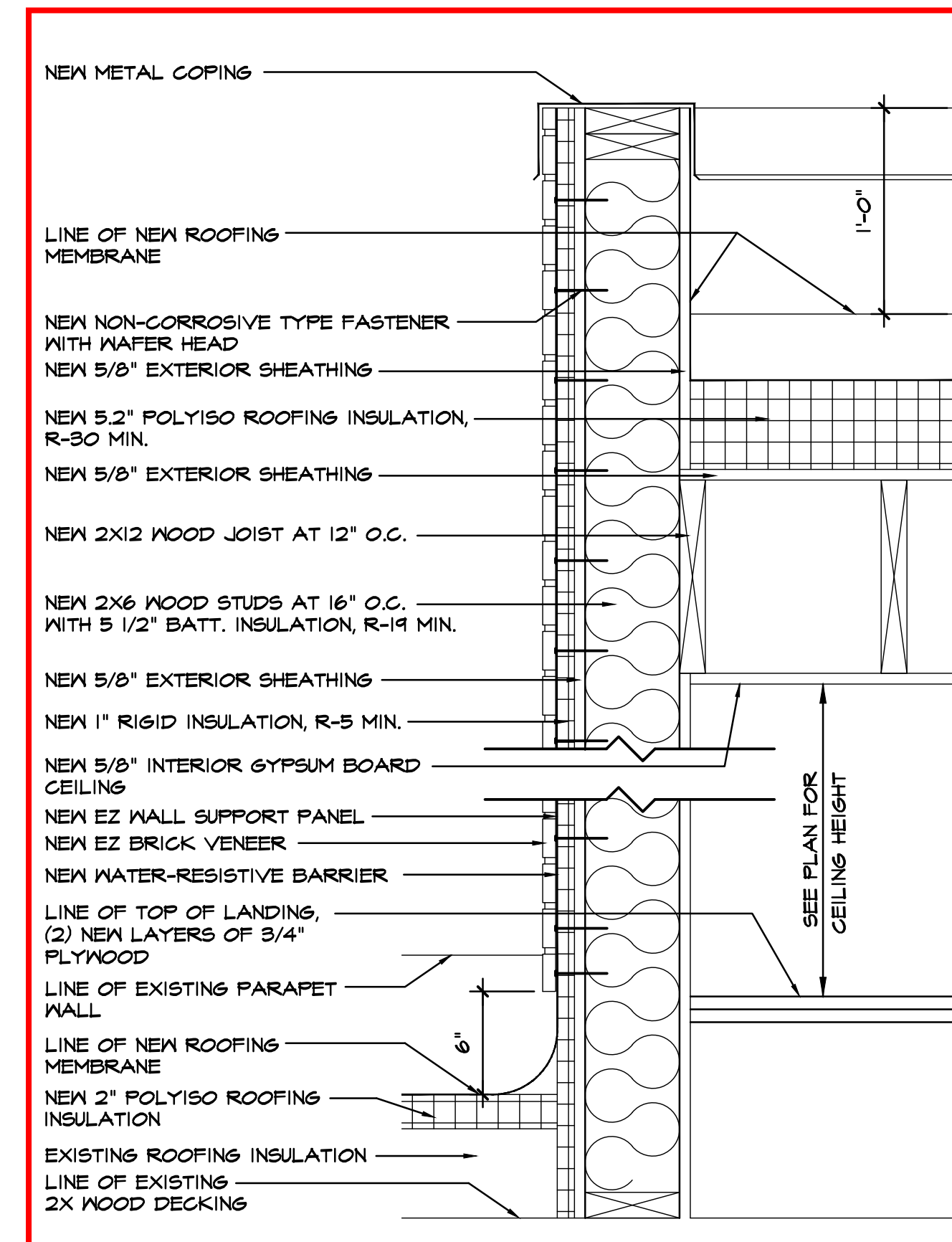
5 STAIRS #150 SECTION
A406 3/16" = 1'-0"



6 STAIRS #150 SECTION
A406 3/16" = 1'-0"



7 HANDRAIL SECTION
A406 6" = 1'-0"



8 ENLARGED PENTHOUSE WALL SECTION
A406 1 1/2" = 1'-0"



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Drawing Title
STAIR SECTIONS / STAIR PLANS

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale AS NOTED

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DESIGN DEVELOPMT.	5-28-21	DJS
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PROJECT PEERLESS

**REQUEST 6 – NEW / REPLACEMENT
DOORS**



RED BOXES INDICATE LOCATIONS FOR NEW / REPLACES DOORS.

LOCATION FOR REPLACEMENT EXTERIOR DOOR.

2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



1 EAST ELEVATION
A103,104 1/4" = 1'-0"



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
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Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale 1/4" = 1'-0"

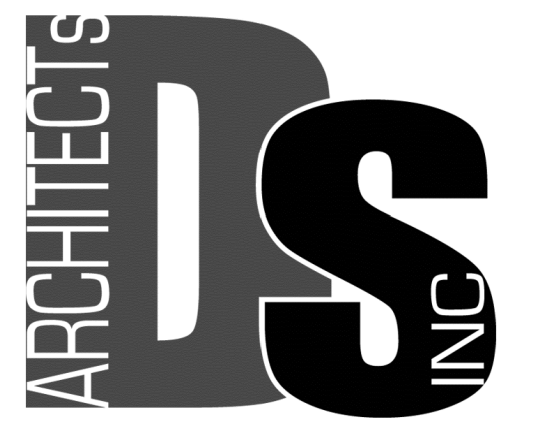
Dwg. PEERLESS - CDS

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DESIGN DEVELOPMT.	5-28-21	DJS
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CONSTRUCTION NOTES

- 1 INDICATED NEW WALL TO ALIGN WITH INDICATED COLUMN AS SHOWN.
- 2 PROVIDE ONE (1) LAYER 5/8" TH. GYPSUM BOARD OVER NEW 3 5/8" METAL STUDS AROUND STRUCTURAL COLUMN TO RUN FROM FLOOR TO DECK ABOVE.
- 3 ALIGN SURFACES OF BOTH NEW INDICATED FINISHES.
- 4 ALIGN SURFACE OF NEW FINISH WITH SURFACE OF EXISTING INDICATED FINISH.
- 5 PREPARE ALL NEW WALLS FOR NEW FINISH (TYPICAL THROUGHOUT).
- 6 EXISTING TO REMAIN CHIMNEY.
- 7 CENTERLINE OF WALL TO ALIGN WITH CENTERLINE OF MILLION. SEE DETAIL NO. 4 ON SHEET A501.
- 8 WARPED/NOTCHED STRUCTURAL WOOD BEAM WAS REMOVED AND DISPOSED OF. PROVIDE NEW TO MATCH EXISTING AS REQUIRED.
- 9 VERIFY LOCATION OF ALL FIRE EXTINGUISHERS WITH OWNER PRIOR TO INSTALLATION TO AVOID FURNITURE CONFLICTS (TYPICAL THROUGHOUT).
- 10 ALL MILLWORK THROUGHOUT WILL BE PROVIDED BY G.C.'S MILLWORKER. REFER TO MILLWORKER'S DRAWINGS FOR DETAILS. ALL MILLWORK IS SHOWN FOR REFERENCE ONLY AND IS NOT EXACT.
- 11 FILL EXISTING PIT AS REQUIRED. SEE CIVIL DRAWINGS.
- 12 NEW ROOF DRAIN. REFER TO PLUMBING DRAWINGS.
- 13 PROVIDE WOOD BLOCKING IN WALL AS REQUIRED FOR UPPER CABINET INSTALLATION.
- 14 INDICATED (THICKER) WALL TO ACCEPT CLOTHES DRYER MECHANICAL VENT. SEE MECHANICAL DRAWINGS.
- 15 PROVIDE WOOD BLOCKING IN WALL AS REQUIRED IN PREPARATION FOR POSSIBLE FUTURE TOILET GRAB BARS AND/OR SHOWER BENCH AND GRAB BARS INSTALLATION.
- 16 PROVIDE 1/4" WATER LINE WITH BACKFLOW PREVENTER FOR REFRIGERATOR. SEE ELEVATION.
- 17 NEW CASEMENT FIXED WINDOW 6'-0" X 3'-11 1/8" TO BE INSTALLED AT 12'-0" TO TOP OF WINDOW.
- 18 PROVIDE 1 1/2" DIAMETER METAL HAND RAIL ON EACH SIDE OF STEPS. PAINT FINISH.
- 19 INDICATED 'X' AREA TO RECEIVE APPROXIMATELY 2 1/4" OF CONCRETE INFILL TO LEVEL CONCRETE FLOOR WITH ADJACENT CONCRETE FLOOR.
- 20 PROVIDE NEW STEEL LINTELS OVER NEW EXTERIOR DOORS AS REQUIRED. TYPICAL.
- 21 FILL WALL TO MATCH EXISTING BRICK. SEE WALL CONSTRUCTION LEGEND ON SHEET A1041.
- 22 INDICATED SHOWER DIMENSION SHALL BE 36" HOLD FROM FACE OF TILE TO FACE OF TILE. TYPICAL THROUGHOUT.



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Project
PROJECT PEERLESS
 603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title	FIRST FLOOR FLOOR PLAN
Project Number	20-40-159
Drawn	ALM
Checked	DJS
Scale	3/16" = 1'-0"
Dwg.	PEERLESS - CDS
Issued for	Design Developmt. 5-28-21 DJS
	Owner Review 8-20-21 DJS

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RED BOXES INDICATE LOCATIONS FOR NEW / REPLACES DOORS.

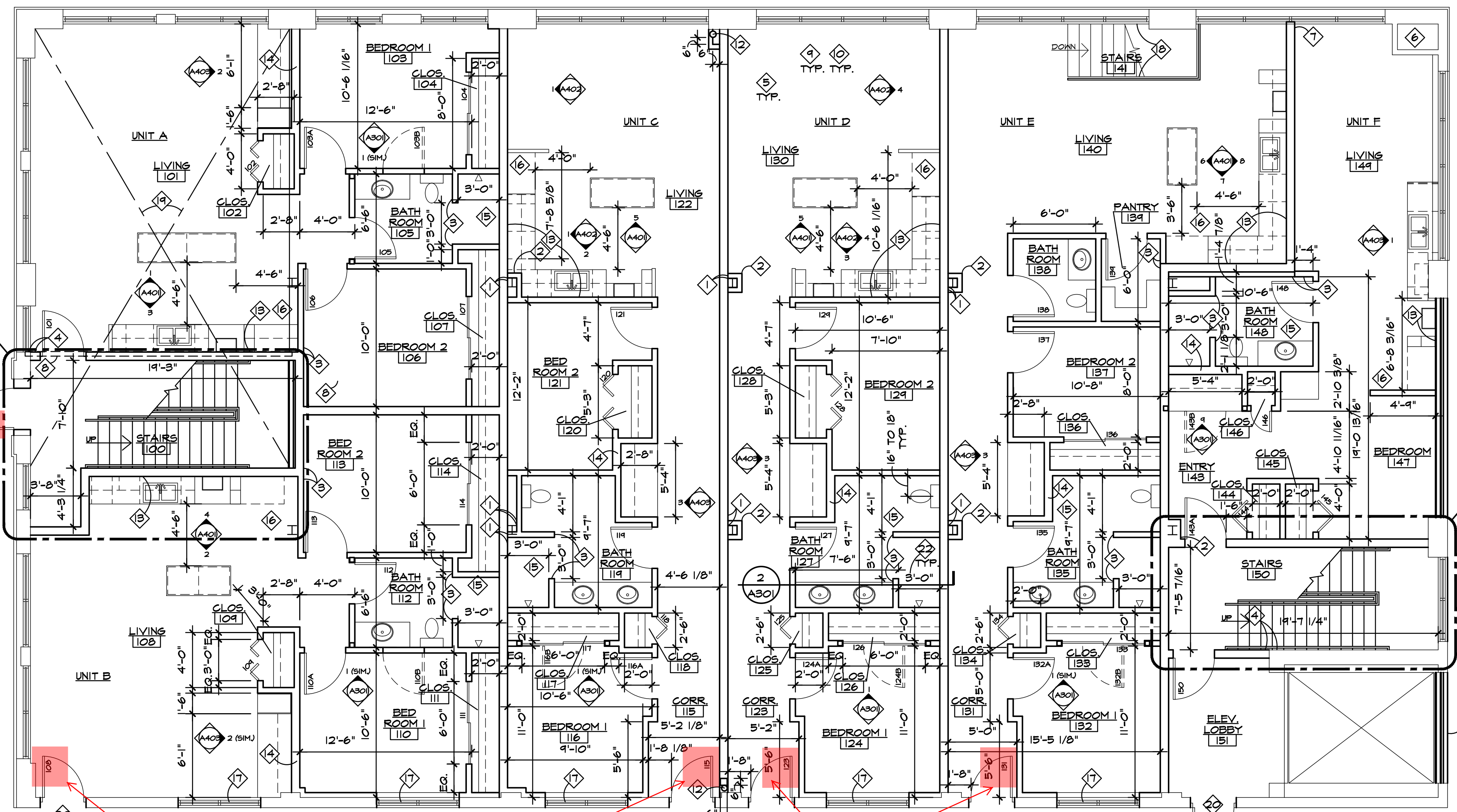
LOCATION FOR REPLACEMENT EXTERIOR DOOR.

LOCATION FOR NEW EXTERIOR DOOR.

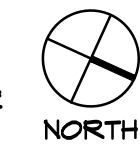
LOCATION FOR NEW EXTERIOR DOOR.

LOCATION FOR NEW EXTERIOR DOOR.

LOCATION FOR NEW EXTERIOR DOOR.



FIRST FLOOR
FLOOR PLAN
 3/16" = 1'-0"



DOOR SCHEDULE

DOOR NO.	OPEN. SIZE	DOOR TYPE / FINISH	FRAME TYPE / FINISH	DOOR	FRAME	LATCH	HINGES	CLOSER	DOOR STOP	NOTES
100	3'-0" X 7'-0" (VERIFY IN FIELD)	METAL	METAL	D1	F1	L1	H1	C1	-	N5
101	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
102	(2) 18" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
103A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
103B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
104	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
105	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
106	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
107	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
108	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
109	(2) 18" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
110	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
110B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
111	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
112	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
113	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
114	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
115	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
116	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
116B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
117	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
118	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
119	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
120	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
121	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
123	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
124A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
124B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
125	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
126	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
127	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
128	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
129	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
131	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
132A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
132B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
133	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
134	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
135	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
136	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
137	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
138	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
139	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
142	3'-0" X 7'-0" (VERIFY IN FIELD)	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
143A	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
143B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
144	(1) 36" BIFOLD	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
145	(1) 36" BIFOLD	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
146	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
148	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
150	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	-
151	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
200	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
201	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
202	GLASS SLIDING DOOR SYSTEM	WOOD	WOOD	D7	D7	D7	D7	-	D7	-
205	(2) 36" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
206	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
207	3'-0" X 7'-0" SLIDING BARN DOOR	WOOD	WOOD	D3	-	L2	H4	C1	SI	NT
208	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
209	(2) 4'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
210	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
211	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
212	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
216	3'-0" X 7'-0" (SLIDING)	GLASS	-	D8	-	L7	H4	-	-	-
217	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
218	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
219	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
220	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
221	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
222	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
300	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	-

RED BOXES INDICATES NEW / REPLACEMENT EXTERIOR DOOR.

DOOR LEGEND

- GENERAL NOTES**
- G1. ALL DOOR SIZE DIMENSIONS GIVEN ARE APPROXIMATE. DOOR SUPPLIER SHALL FIELD VERIFY EXACT REQUIREMENTS.
- EXISTING**
- E1. EXISTING TO REMAIN.
- DOORS**
- D1. NEW INSULATED STEEL DOOR WITH 6" X 62" FROSTED LITE WITH INSULATED GLASS BY 'STEELCRAFT' OR EQUAL.
- D2. NEW SOLID CORE WOOD BI-FOLD DOOR. PAINT P-1.
- D3. NEW SOLID CORE, 1 3/4" WOOD DOOR. PAINT P-1.
- D4. NEW SOLID CORE WOOD SLIDING DOOR. PAINT P-1.
- D5. NEW FLUSH STEEL DOOR BY 'STEELCRAFT' OR EQUAL. WITH PRIME FINISH AND 1-HOUR RATINGS. FINISH T.B.D.
- D6. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION. FINISH T.B.D.
- D7. NEW 'MARVIN' ULTIMATE MULTI SLIDE DOOR SYSTEM CONTAINING SIX (6) CUSTOM SIZED 1/4" CLEAR TEMPERED GLASS FRAMED DOORS, COLOR T.B.D. WITH PULLS AND NO LOCK.
- D8. NEW WOOD SLIDING GLASS DOOR WITH FULL LITE IN DOOR. FINISH T.B.D.
- FRAMES**
- F1. HOLLOW METAL FRAME WITH 2" FACE EDGE GROUTED SOLID WITH PRIME FINISH.
- F2. NEW WOOD FRAME AND WOOD CASING. PAINT P-2.
- F3. NEW HOLLOW METAL FRAME. PRIME FINISH. PROVIDE 1-HOUR RATINGS.
- F4. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.
- LATCHSET/LOCKSET**
- L1. NEW MORTISE LOCKSET WITH LEVER HANDLE, AND INTERCHANGEABLE CORE.
- L2. NEW 4" WIRE PULL. FINISH T.B.D.
- L3. NEW LEVER PRIVACY LOCK SET.
- L4. NEW METAL RECESSED FINGER DOOR PULL. FINISH T.B.D.
- L5. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.
- L6. NEW PASSAGE LEVER SET.
- L7. NEW DOOR PULL TO BE SELECTED BY OWNER.
- HINGES**
- H1. NEW 1/2" PAIR OF BALL BEARING HINGES WITH NON-REMOVABLE PINS. FINISH T.B.D.
- H2. MANUFACTURER'S RECOMMENDED HEAVY DUTY BI-FOLD HARDWARE.
- H3. NEW 1/2" PAIR BALL BEARING HINGES. FINISH T.B.D.
- H4. NEW MANUFACTURER'S RECOMMENDED HEAVY DUTY SLIDING DOOR HARDWARE.
- H5. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.
- CLOSERS**
- C1. NEW CLOSER BY 'LCN' OR EQUAL. FINISH T.B.D.
- DOOR STOPS**
- S1. NEW WALL STOP BY 'ROCKWOOD' OR EQUAL. FINISH T.B.D.
- S2. NEW FLOOR STOP BY 'ROCKWOOD' OR EQUAL. FINISH T.B.D.
- NOTES**
- N1. PAINT DOOR AND FRAME P-3 ON TENANT SIDE ONLY. STAIRWAY SIDE TO REMAIN.
- N2. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.
- N3. NEW 1/2" CLEAR TEMPERED BUTT GLASS SYSTEM IN 1" CHANNEL AT THE FLOOR AND HEAD. FINISH US26D.
- N4. PAINT DOOR AND FRAME ON BOTH SIDES P-3.
- N5. NEW DOOR PEEP AT 54" A.F.F. FINISH T.B.D.
- N6. NEW THRESHOLD AND WEATHER STRIPPING.
- N7. PAINT DOOR CHALKBOARD PAINT.



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Seal

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
DOOR SCHEDULE

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale N/A

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

PRELIMINARY
NOT FOR CONSTRUCTION

A601

of
28



PROJECT PEERLESS

**REQUEST 7 – SIGN INSTALLATION /
REPLACEMENT**

SIGNAGE

FONT TO MATCH EXISTING 'PEERLESS WEIGHING MACHINE COMPANY' FONT

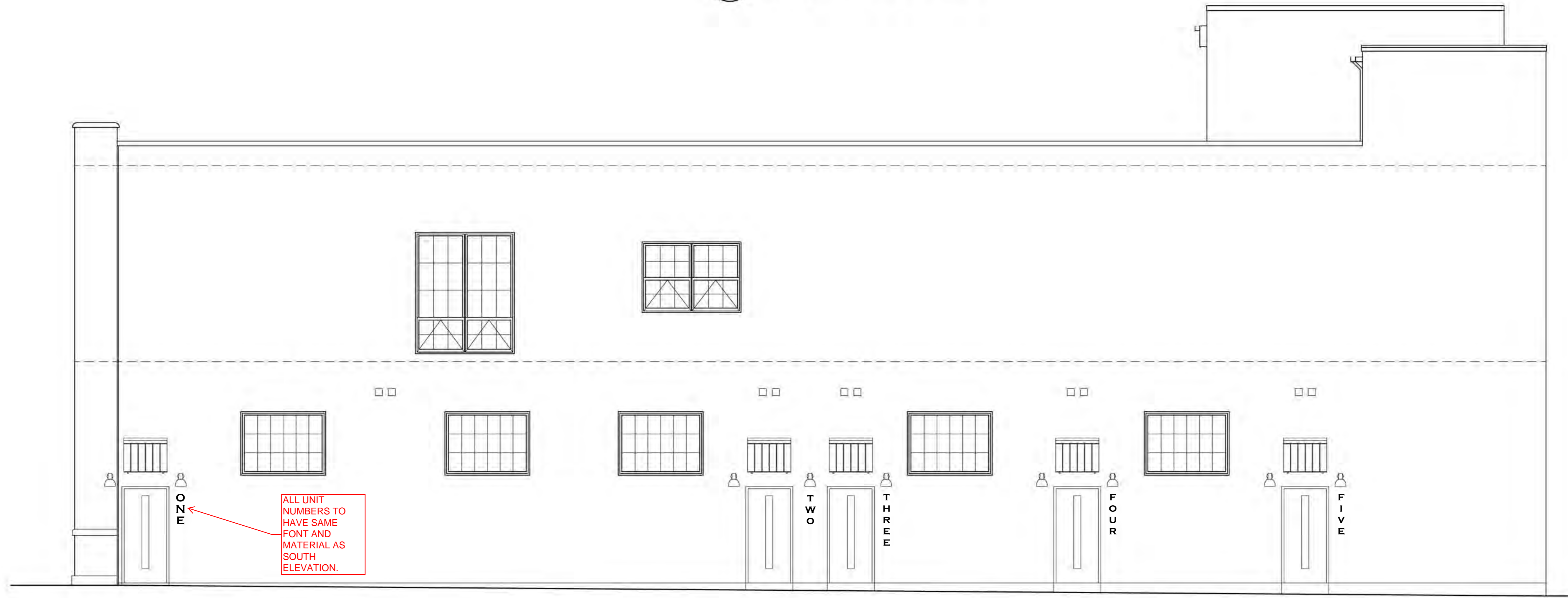


PEERLESS SCALE



ACCURATE
SIGNAGE AND
FONT. SIGN TO
BE METAL.

2 SOUTH ELEVATION
A103/04 1/4" = 1'-0"



ALL UNIT
NUMBERS TO
HAVE SAME
FONT AND
MATERIAL AS
SOUTH
ELEVATION.

1 EAST ELEVATION
A103/04 1/4" = 1'-0"



7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM



Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale: 1/4"=1'-0"

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

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A201
of
28



AWNING SPECIFICATION



Awntech H23-3K, Standing Seam 3-11/16"W x 2'H x 3'D Awning Black

Item #: T9FB1983793

Not Yet Rated

Enter zip code for delivery date estimate



[Product Information](#)
[Photo/Video Gallery](#)
[Customer Review](#)
[Product Q&A](#)
[Accessories](#)

Awntech H23-3K, Standing Seam 3-11/16"W x 2'H x 3'D Awning Black

The Houstonian metal standing seam awning is a Beauty-Mark Brand by Awntech. It is one of our most popular awnings. It adds loads of curb appeal. Although easy to assemble and install, the Houstonian has been engineered and tested to withstand serious wind and snow loads. Testing included extreme wind tunnel up/down draft, obstacle and weight positioning. All Beauty-Mark fixed awnings are easy to install. The frame is manufactured with powder coated structural aluminum and stainless steel hardware. Awnings have the ability to transform a drab exterior on any building. You will surely enjoy years of reliable service and energy savings from the Houstonian.

Features:

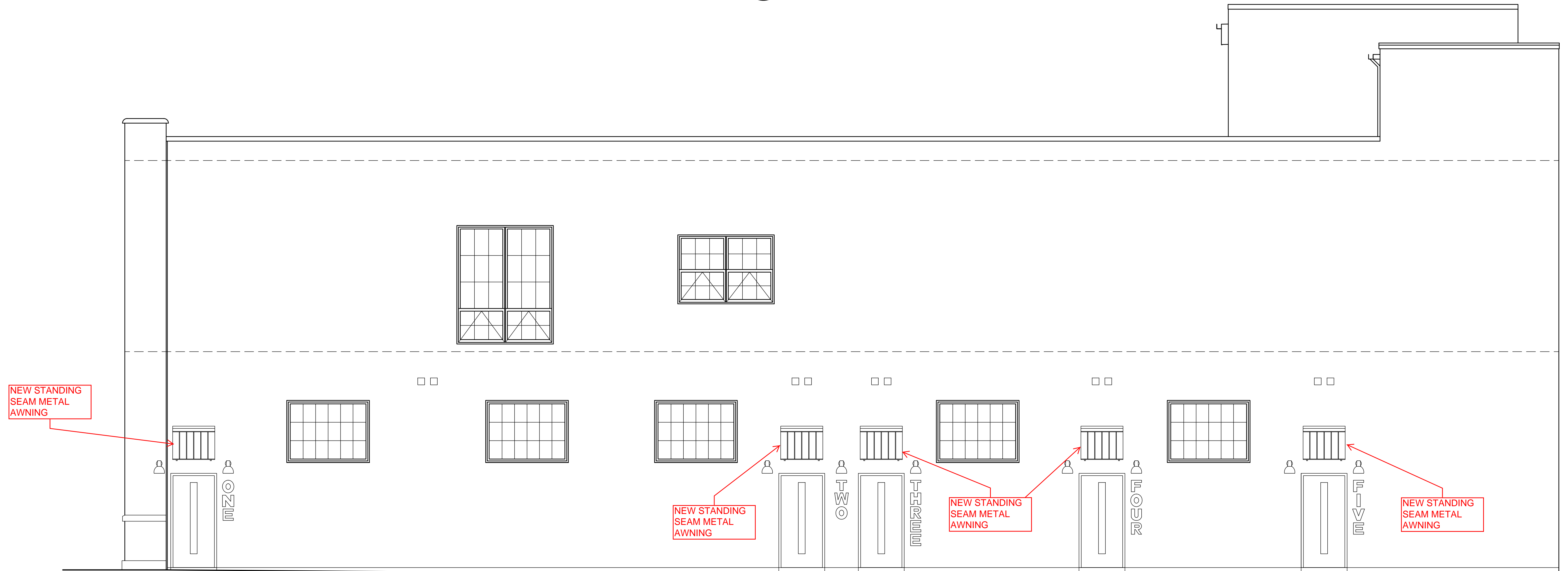
- Heavy duty modular metal standing seam awning
- Commercial application
- Steel and aluminum, powder coated, easy to assemble and install
- Rust, fade and mildew resistant
- 5 Year limited warranty

COLOR	Black
FRAME COLOR	Black
BRAND	Awntech
CONSTRUCTION	Aluminum/Steel
LIMITED WARRANTY	1-Year Limited
MANUFACTURER'S PART NUMBER	H23-3K
SERIES	Houstonian
TYPE	Window/Entry Fixed Metal Awning
WEIGHT LBS	50
ASSEMBLED WIDTH INCHES	44
ASSEMBLED HEIGHT INCHES	24
ASSEMBLED DEPTH INCHES	36
MINIMUM MOUNTING HEIGHT INCHES	84
MOUNTING SPACE REQUIRED INCHES	10
PROJECTION FROM WALL INCHES	38



NEW STANDING SEAM METAL AWNING

2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



NEW STANDING SEAM METAL AWNING

NEW STANDING SEAM METAL AWNING

NEW STANDING SEAM METAL AWNING

NEW STANDING SEAM METAL AWNING

1 EAST ELEVATION
A103,104 1/4" = 1'-0"



7300 DIXIE HWY. #600
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PHONE 248.605.2030
FAX 248.605.2030
WEB DSARCHITECTS.COM

Seal



Derek Blupka

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title

EXTERIOR ELEVATIONS

Project Number

20-40-159

Drawn

ALM

Checked

DJS

Scale

1/4" = 1'-0"

Dwg.

PEERLESS - CDS

Issued for

Date

By

DESIGN DEVELOPMT. 5-28-21 DJS

OWNER REVIEW 8-20-21 DJS

Sheet Number

A201

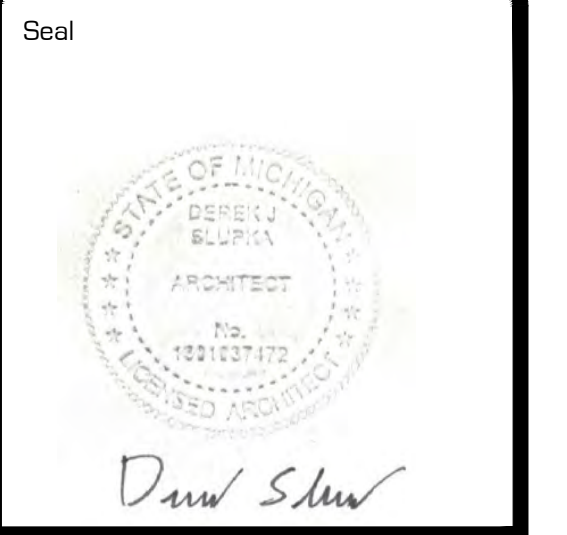
of

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PROJECT PEERLESS

REQUEST 8 – MECHANICAL VENTS



David S. Shaw

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

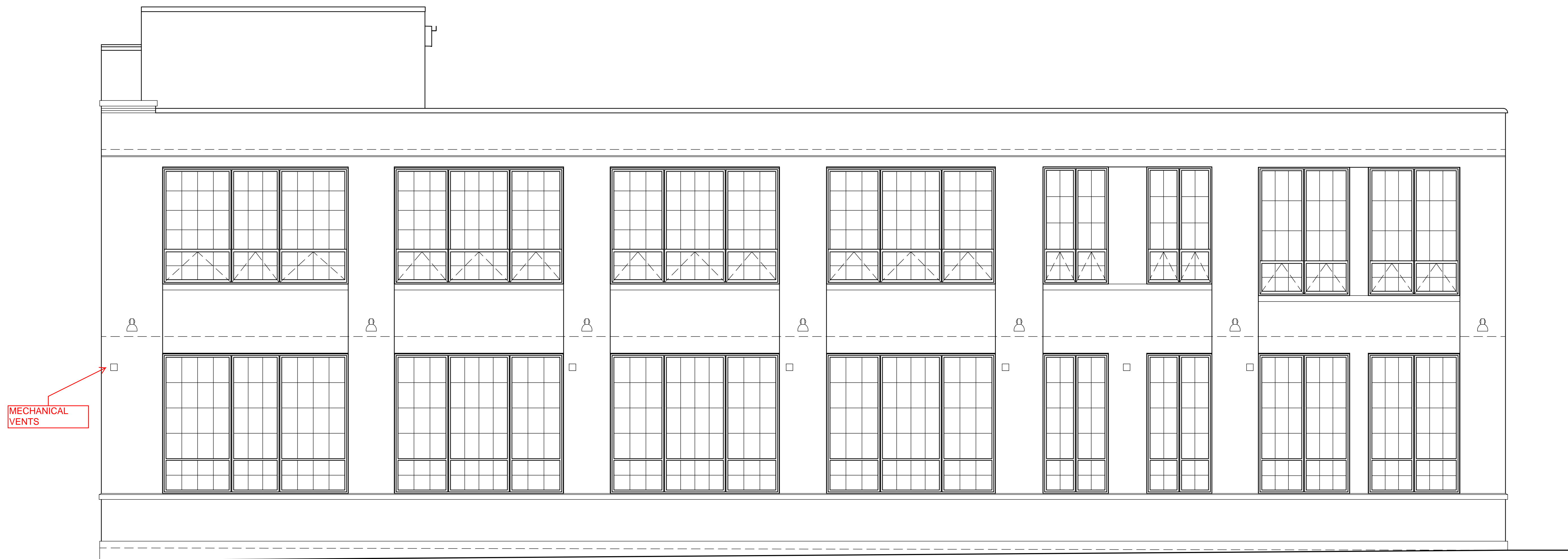
Checked DJS

Scale 1/4" = 1'-0"

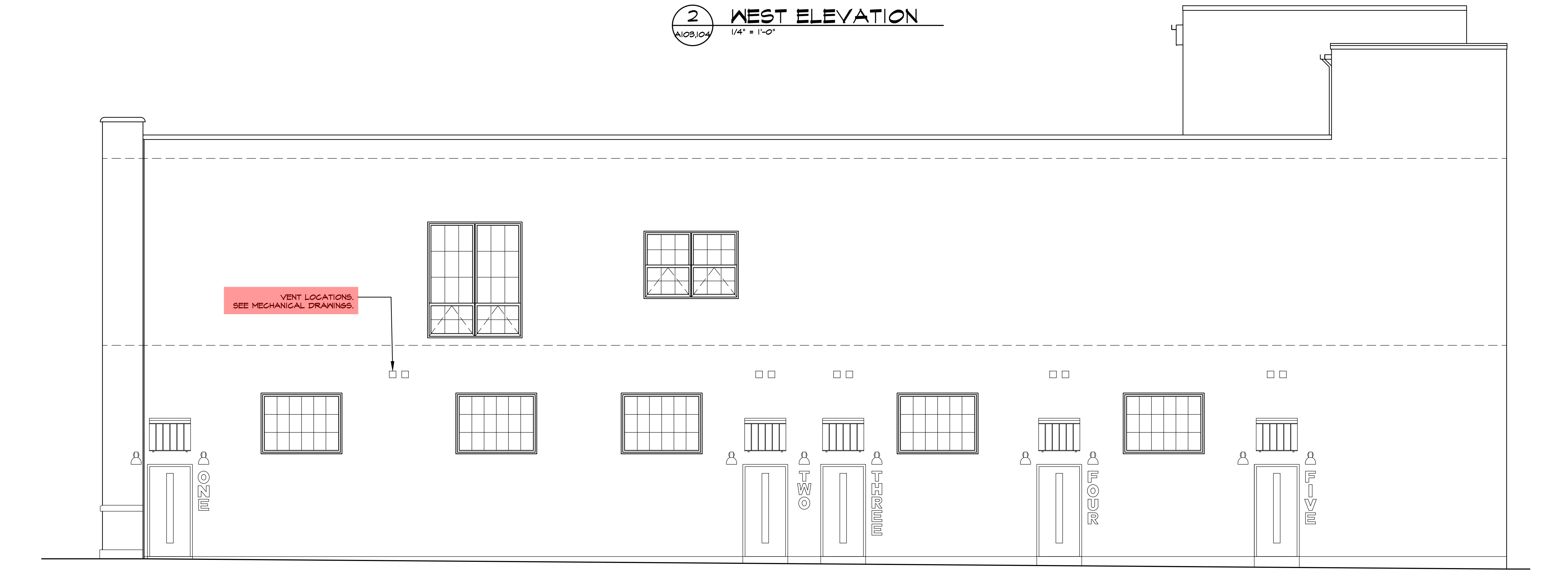
Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

Sheet Number
A202
of
28



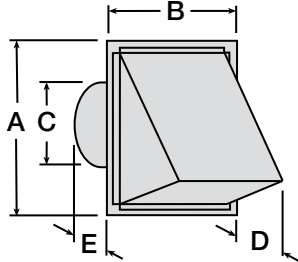
2 WEST ELEVATION
A103,104 1/4" = 1'-0"



1 EAST ELEVATION
A103,104 1/4" = 1'-0"

Model WC - Hooded Wall Cap (Round Connection)

- Aluminum construction - aluminum finish
- For outside wall applications
- Built-in birdscreen (not available on WC-4) and damper
- Powder coating color options selectable

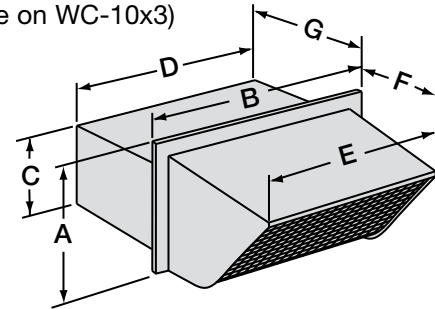


Model	Recommended Sizes	A	B	C	D	E
WC-4	C50, L50, L80	6½ (165)	6 (152)	4 (101)	4 (101)	5 (127)
WC-6	B50-B200, 80, 80L A50-A190, 110, 100L	8 (203)	8 (203)	6 (152)	4½ (105)	5 (127)
WC-8	A200-A510	11 (279)	11 (279)	8 (203)	5½ (130)	3½ (89)

All dimensions shown in inches (millimeters).

Model WC - Hooded Wall Cap (Square or Rectangular Connections)

- Steel construction with black enamel finish
- For outside wall applications
- Built-in birdscreen and damper
- Powder coating color options selectable (not available on WC-10x3)

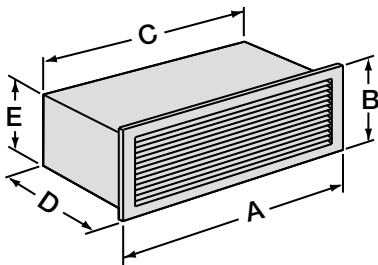


Model	Recommended Sizes	A	B	C	D	E	F	G
WC-10x3	50-290	5½ (140)	12¾ (324)	3½ (89)	10¼ (260)	11½ (283)	4¼ (108)	5 (127)
WC-8x8	200-510	10¼ (260)	10¼ (260)	8¼ (210)	8¼ (210)	8¼ (210)	6¼ (171)	5 (127)
WC-18x8	700-1550	10¼ (260)	20¼ (514)	8¼ (210)	18¼ (464)	18¼ (464)	6¼ (171)	5 (127)

All dimensions shown in inches (millimeters).

Model WL - Wall Louvered Discharge

- Anodized aluminum grille
- Built-in damper
- Not recommended for exterior applications exposed to severe weather conditions. An external wall louver is recommended for such applications.

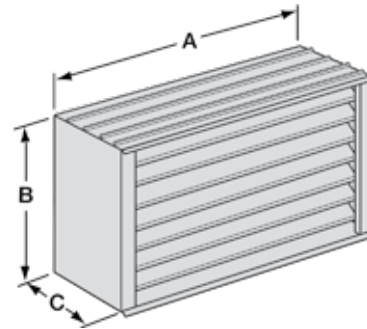


Model	Recommended Sizes	A	B	C	D	E
WL-10x3	50-290	12 (305)	5¼ (133)	10 (254)	7¾ (197)	3½ (89)
WL-18x6	390-1550	19¾ (502)	8 (203)	18 (457)	9 (229)	6 (152)

All dimensions shown in inches (millimeters).

Model BVE - Brick Vent

- Designed for installation in masonry walls
- Anodized aluminum construction
- Built-in aluminum mesh insect screen



Model	Recommended Sizes	A	B	C
BVE808	50-290	8½ (206)	7¾ (197)	4 (102)
BVE128	390-510	12 (305)	7¾ (197)	4 (102)
BVE157	700-1050	15½ (397)	7¾ (197)	4 (102)

All dimensions shown in inches (millimeters).



CONCENTRIC VENT TERMINAL KIT



KGAVT0701CVT
KGAVT0801CVT

CONCENTRIC VENT TERMINATION KITS

Installation Instructions



NOTE: Read the entire instruction manual before starting the installation. **Keep these instructions with the furnace.**

SPECIAL VENTING REQUIREMENTS FOR INSTALLATIONS IN CANADA

Installation in Canada must conform to the requirements of CSA B149 code. Vent systems **must** be composed of pipe, fittings, cements, and primers listed to ULC S636. The special vent fittings and accessory concentric vent termination kits and accessory external drain trap have been certified to ULC S636 for use with those Royal Pipe and IPEX PVC vent components which have been certified to this standard. In Canada, the primer and cement must be of the same manufacturer as the vent system – GVS-65 Primer (Purple) for Royal Pipe or IPEX System 636, PVC/CPVC Primer, Purple Violet for Flue Gas Venting and GVS-65 PVC Solvent Cement for Royal Pipe or IPEX System 636(1), PVC Cement for Flue Gas Venting, rated Class IIA, 65 deg C. must be used with this venting system - do not mix primers and cements from one manufacturer with a vent system from a different manufacturer. Follow the manufacturer's instructions in the use of primer and cement and never use primer or cement beyond its expiration date.

The safe operation, as defined by ULC S636, of the vent system is based on following these installation instructions, the vent system manufacturer's installation instructions, and proper use of primer and cement. All fire stop and roof flashing used with this system must be UL listed material. Acceptability under Canadian standard CSA B149 is dependent upon full compliance with all installation instructions. Under this standard, it is recommended that the vent system be checked once a year by qualified service personnel.

The authority having jurisdiction (gas inspection authority, municipal building department, fire department, etc) should be consulted before installation to determine the need to obtain a permit.

*IPEX System 636™ is a trademark of IPEX Inc.

CONSIGNES SPÉCIALES POUR L'IN- STALLATION DE VENTILLATION AU CANADA

L'installation faite au Canada doit se conformer aux exigences du code CSA B149. Ce système de ventilation **doit** se composer de tuyaux, raccords, ciments et apprêts conformes au ULC S636. La tuyauterie de ventilation des gaz, ses accessoires, le terminal concentrique mural ainsi que l'ensemble du drain de condensat extérieur ont été certifiés ULCS 636 pour l'application des composantes Royal Pipe, IPEX PVC qui sont certifiées à ce standard. Au Canada, l'apprêt et le ciment doivent être du même fabricant que le système d'évacuation. L'apprêt GVS-65 (Purple) et le ciment-solvant GVS-65 doivent être utilisé avec les Royal Pipe. Système IPEX 636, apprêt PVC/CPVC, Purple pour évacuation des gaz de combustion et système IPEX 636(1), ciment PVC pour évacuation des gaz de combustion, coté classe IIA, 65 deg C. doivent être utilisés avec le système d'évacuation IPEX 636 – Ne pas combiner l'apprêt et le ciment d'un fabricant avec un système d'évacuation d'un fabricant différent.

Bien suivre les indications du fabricant lors de l'utilisation de l'apprêt et du ciment et ne pas utiliser ceux-ci si la date d'expiration est atteinte.

L'opération sécuritaire, tel que définit par ULC S636, du système de ventilation est basé sur les instructions d'installation suivantes, ainsi que l'usage approprié de l'apprêt et ciment. Tout arrêt feu et solin de toit utilisés avec ce système doivent être des matériaux listés UL. L'acceptation du standard Canadien CSA B419 est directement relié à l'installation conforme aux instructions ci-haut mentionnées. Le standard Canadien recommande l'inspection par un personnel qualifié et ce, une fois par année.

Les autorités ayant juridiction (inspecteurs de gaz, inspecteurs en bâtiments, département des incendies, etc) devraient être consultées avant l'installation afin de déterminer si un permis est requis.


SAFETY CONSIDERATIONS

Installing and servicing heating equipment can be hazardous due to gas and electrical components. Only trained and qualified personnel should install, repair, or service heating equipment.

Untrained personnel can perform basic maintenance functions such as cleaning and replacing air filters. All other operations must be performed by trained service personnel. When working on heating equipment, observe precautions in the literature, on tags, and on labels attached to or shipped with the unit, and other safety precautions that may apply.

Follow all safety codes. In the United States, follow all safety codes including the National Fuel Gas Code (NFGC) NFPA 54/ANSI Z223.1-2006. In Canada, refer to the National Standard of Canada, Natural Gas and Propane Installation Codes (NSCPGIC), CAN/CGA-B149.1 and 2.

Wear safety glasses and work gloves. Have a fire extinguisher available during start-up, adjustment procedures, and service calls.

Recognize safety information. This is the safety-alert symbol . When you see this symbol on the furnace and in instructions or manuals, be alert to the potential for personal injury.

Understand the signal words DANGER, WARNING, CAUTION, and NOTE. The words DANGER, WARNING, and CAUTION are used with the safety-alert symbol. DANGER identifies the most serious hazards which will result in severe personal injury or death. WARNING signifies hazards which could result in personal injury or death. CAUTION is used to identify unsafe practices which would result in minor personal injury, or product and property damage. NOTE is used to highlight suggestions which will result in enhanced installation, reliability, or operation.

WARNING

ELECTRICAL SHOCK HAZARD

Failure to follow this warning could result in personal injury or death.

Before beginning any installation, be sure the main electrical disconnect switch is in the OFF position and a lockout tag is installed.

INTRODUCTION

This instruction covers installation of the concentric vent termination kits Part No. KGAVT0701CVT (2 in. / 51 mm) and KGAVT0801CVT (3 in. / 76 mm) on all gas-fired condensing furnaces. Use vent and termination kit combinations as stated in the furnace Installation and Start-Up Literature.

NOTE: If these instructions differ from those packaged with the furnace, follow these instructions.

DESCRIPTION AND USAGE

Two concentric combustion-air and vent pipe termination kits are available. The 2-in. (51 mm) kit Part No. KGAVT0701CVT can be used for 1-, 1-1/2, 2-, or 2-1/2 in. (25-, 38-, 51-, or 64 mm) diameter pipe systems. The 3-in. (76 mm) kit Part No. KGAVT0801CVT is for 2-1/2 or 3-in. (64 or 76 mm) diameter pipe systems. (See Fig. 3 and 6 for different applications.) Both combustion-air and vent pipes must attach to the termination kit. The termination kit must terminate outside the structure and must be installed as in one of the installations shown in Fig. 3, 6, 8, or 9. Roof termination is preferred since it is less susceptible to damage, reduces the chance of intaking contaminants, and has less visible vent vapors.

WARNING

UNIT DAMAGE AND PROPERTY DAMAGE HAZARD

Failure to follow this warning could result in unit damage, property damage, personal injury or death.

These kits are to be used only for terminating condensing Category IV vent furnaces. DO NOT use kits to terminate Category I, II, or III vent furnaces.

Field-supplied pipe and fittings are required to complete the installation.

In the USA, combustion-air and vent pipe fittings must conform to American National Standards Institute (ANSI) and American Society for Testing and Materials (ASTM) standards D1785 (schedule-40 PVC), D2665 (PVC-DWV), D2441 (SDR-21 and SDR-26 PVC), D2661 (ABS-DWV), or F628 (schedule-40 ABS). Pipe cement and primer must conform to ASTM standards D2564 (PVC) or D2235 (ABS). See section for Special Venting Requirements for Installations in Canada for pipe, fittings, cement, and primer material requirements for Canadian installations.

INSTALLATION

Step 1 — ROOF TERMINATION

1. Determine pipe diameter from tables in furnace Installation and Start-Up Instructions.
2. Determine appropriate concentric vent termination kit for pipe diameter selected. See Description and Usage section.
3. Determine best location for termination kit.

NOTE: Roof termination is preferred since it is less susceptible to damage, reduces the chance of intaking contaminants, and has less visible vent vapors.

4. Cut 1 hole (4-in. / 102 mm dia.) for KGAVT0701CVT (2-in. / 51 mm) kit, or 1 hole (5-in. / 127 mm dia.) for KGAVT0801CVT (3-in. / 76 mm) kit.
 - a. Plastic venting systems shall not pass through rated fire separations.
5. Partially assemble concentric vent termination kit. Clean and cement using procedures found in furnace Installation and Start-Up Instructions.
 - b. Cement Y concentric fitting to larger diameter kit pipe. (See Fig. 1.)
 - c. Cement rain cap to smaller diameter kit pipe. (See Fig. 1.)

NOTE: Instead of cementing the smaller pipe to the rain cap, a field-supplied stainless steel screw may be used to secure the 2 components together when field disassembly is desired for cleaning. (See Fig. 4.)

WARNING

CARBON MONOXIDE POISONING HAZARD

Failure to follow this warning could result in personal injury or death.

When using alternate screw assembly method, drill clearance hole in rain cap and pilot hole in vent pipe for screw size being used. Failure to drill adequate holes may cause cracking of PVC components, allowing combustion products to be recirculated.

⚠ WARNING

CARBON MONOXIDE POISONING HAZARD

Failure to follow this warning could result in personal injury or death.

Do not operate the furnace with rain cap removed or recirculation of combustion products may occur. Water may also collect inside larger combustion-air pipe and flow to the burner enclosure.

6. Install Y concentric fitting pipe assembly through structure's hole and field-supplied roof boot/flashing.

Do not allow insulation or other materials to accumulate inside pipe assembly when installing through hole.

7. Secure assembly to roof structure as shown in Fig. 5 using field-supplied metal strapping or equivalent support material.

NOTE: Ensure termination height is above the roof surface or anticipated snow level (1 ft. (0.3 M) in USA. or 1-1/2 ft. (0.32 M) in Canada) as shown in Fig. 3.

NOTE: In the USA, if assembly is too short to meet height requirement, the 2 pipes supplied in the kit may be replaced by using same diameter, field-supplied SDR-26 PVC (D2241) pipe. Do not extend dimension D more than 60 in. (1524 mm)(See Fig. 2.)

⚠ CAUTION

UNIT MAY NOT OPERATE HAZARD

Failure to follow this caution may result in intermittent unit operation.

DO NOT use field-supplied couplings to extend pipes. Airflow restriction will occur and the furnace pressure switch may cause intermittent operation.

8. Install rain cap and small diameter pipe assembly in roof penetration assembly. Ensure small diameter pipe is cemented and bottomed in Y concentric fitting.

- Cement furnace combustion-air and vent pipes to concentric vent termination assembly. See Fig. 5 for proper pipe attachment.
- Operate furnace through 1 heat cycle to ensure combustion-air and vent pipes are properly connected to concentric vent termination connections.

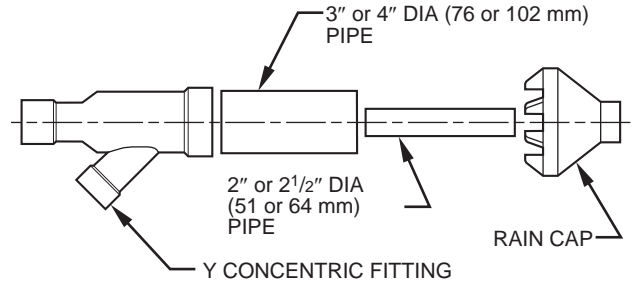


Fig. 1 - Kit Components

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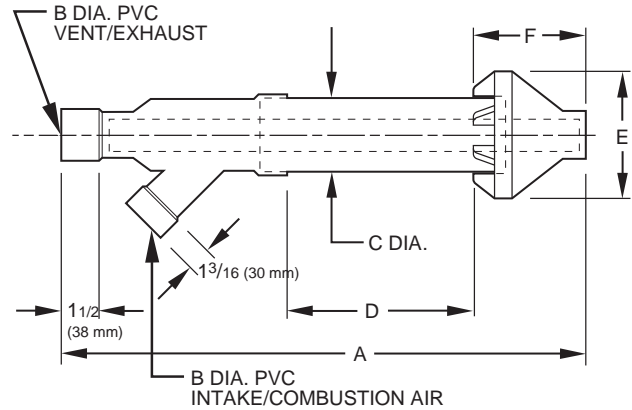


Fig. 2 - Concentric Vent Dimensional Drawing

A08482A

Table 1 – Kit Contents

DESCRIPTION	KIT PART NO. AND QUANTITY	
	KGAVT0701CVT	KGAVT0801CVT
2–In. (51 mm) Rain Cap	1	—
3–In. (76 mm) Rain Cap	—	1
2–In. (51 mm) Dia. Pipe 31–5/8 in. (16 mm) long	1	—
3–In. (51 mm) Dia. Pipe 19–1/2 in. (495 mm) long	1	—
2–1/2 In. (64 mm) Dia. Pipe 37–1/8 in. (943 mm) long	—	1
4–In. (102 mm) Dia. Pipe 24 in. (610 mm) long	—	1
2–In. (51 mm) Y Concentric Fitting	1	—
3–In. (76 mm) Y Concentric Fitting	—	1
Installation Instructions	1	1

Table 2 – Dimensions - In. (mm)

KIT PART NO.	A*	B	C	D	E	F
KGAVT0701CVT	33–3/8 (848)	2 (51)	3–1/2 (89)	16–5/8 (422)	6–1/4 (159)	5–3/4 (146)
KGAVT0801CVT	38–7/8 (987)	3 (76)	4–1/2 (114)	21–1/8 (537)	7–3/8 (187)	6–1/2 (165)

*Dimension A will change accordingly as dimension D is lengthened or shortened.

In the USA, Dimension D may be lengthened to 60 in. (1524 mm) maximum. Dimension D may also be shortened by cutting the pipes provided in the kit to 12 in. (305 mm) minimum.

Step 2 — SIDE WALL TERMINATION

Alberta, Canada Provincial Requirements

The Province of Alberta requires a minimum unobstructed distance of 4 ft. (1.2 M) from the foundation to the property line of the adjacent lot for vent termination of any appliance with an input over 35,000 btuh. This means, if there is less than 4 ft. (1.2 M) of unobstructed distance to the property line of the adjacent lot, no type of vent termination is permitted for appliances with inputs greater than 35,000 btuh.

The Province of Alberta does not interpret any restrictions on unobstructed distances greater than 8 ft. (2.4 M). This means that all single, two-pipe and concentric vents may be used, providing all other Code and manufacturer's requirements are adhered to.

The requirement is to re-direct the flue gas plume when the unobstructed distance from the foundation to the property line of the adjacent lot is no less than 4 ft. (1.2 M) and no greater than 8 ft. (2.4 M).

In venting situations where the unobstructed distance from the foundation to the property line of the adjacent lot is between 4 ft. (1.2 M) and 8 ft. (2.4 M), the concentric vent kit cannot be used. The concentric vent kit cannot be modified to attach a tee or elbow to the vent portion of the rain cap. A tee or elbow attached to the rain cap could potentially direct the flue gas plume toward the intake air stream and contaminate the incoming combustion air for the furnace.

In a venting situation where the unobstructed distance from the foundation to the property line of the adjacent lot is between 4 ft. (1.2 M) and 8 ft. (2.4 M), a 2-pipe termination (or single pipe when permitted) must be used.

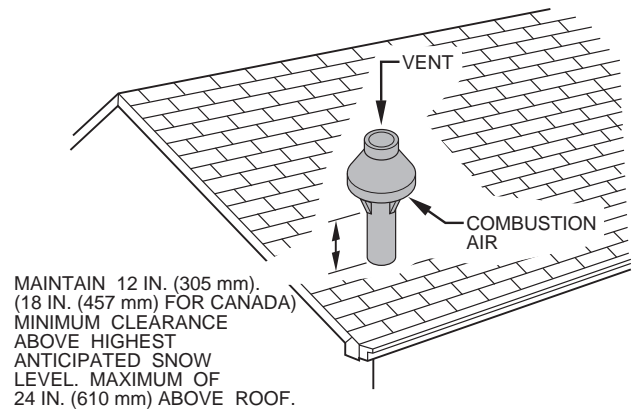
Sidewall Vent Installation

1. Determine pipe diameter from tables in furnace Installation and Start-Up Instructions.
2. Determine appropriate concentric vent termination kit for pipe diameter selected. See Description and Usage section.
3. Determine best location for termination kit. (See Fig. 6.)

NOTE: Considerations for the following should be used when determining an appropriate location for the termination kit:

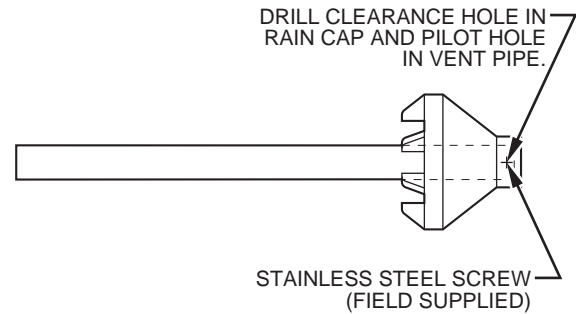
- a. Termination kit positioned where the vent vapors will not damage plants/shrubs or air conditioning equipment.
 - b. Termination kit positioned so it will not be affected by wind eddy that may allow recirculation of combustion products, or airborne leaves, or light snow.
 - c. Termination kit positioned where it will not get damaged or be subjected to foreign objects, such as stones, balls, etc.
 - d. Termination kit positioned where the vent vapors will not be objectionable.
4. Cut 1 hole (4-in. / 102 mm dia.) for KGAVT0701CVT (2-in. / 51mm) kit, or 1 hole (5-in. / 127 mm diameter) for KGAVT0801CVT (3-in. / 76 mm) kit.
 - a. Plastic venting systems shall not pass through rated fire separations.
 5. Partially assemble concentric vent termination kit. Clean and cement using procedures found in furnace Installation and Start-Up Instructions.
 - a. Cement Y concentric fitting to larger kit pipe.

b. Cement rain cap to smaller diameter kit pipe.



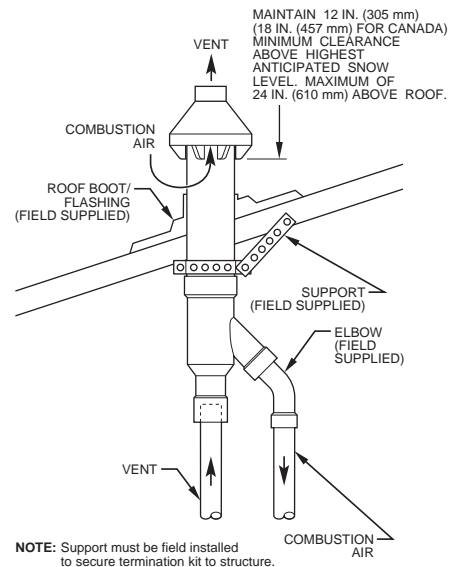
A93054

Fig. 3 - Concentric Vent and Combustion-Air Termination, Roof Termination (Preferred)



A93390

Fig. 4 - Rain Cap to Vent Pipe Alternate Assembly



A93391

Fig. 5 - Concentric Vent Roof Installation

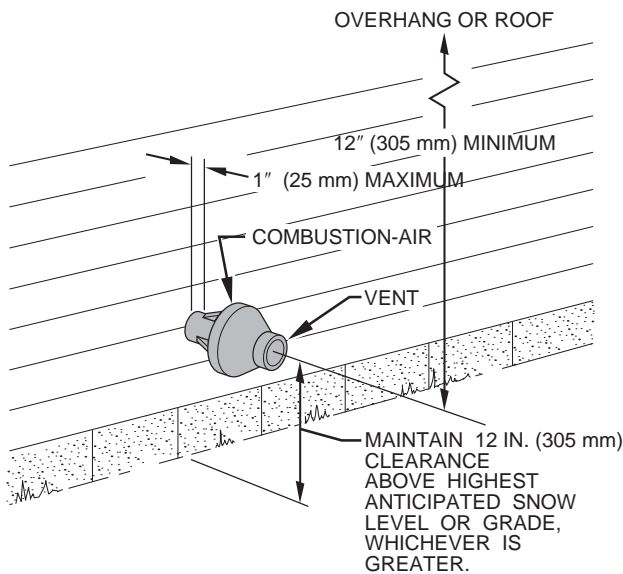
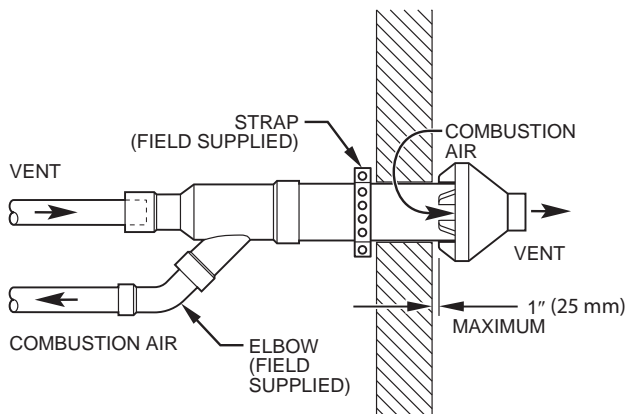


Fig. 6 - Concentric Vent and Combustion-Air Side Wall Termination

A93055



NOTE: Securing strap must be field installed to prevent movement of termination kit in side wall.

A93392

Fig. 7 - Concentric Vent Side Wall Attachment

NOTE: Instead of cementing smaller pipe to the rain cap, a field-supplied stainless steel screw may be used to secure the 2 components together when field disassembly is desired for cleaning. (See Fig. 4.)

⚠ WARNING

CARBON MONOXIDE POISONING HAZARD

Failure to follow this warning could result in personal injury or death.

Failure to drill adequate holes may cause cracking of PVC components, allowing combustion products to be recirculated. When using alternate screw assembly method, drill clearance hole in rain cap and pilot hole in vent pipe for screw size being used.

⚠ WARNING

CARBON MONOXIDE POISONING HAZARD

Failure to follow this warning could result in unit damage, personal injury or death.

Do not operate furnace with rain cap removed or recirculation of combustion products may occur. Water may also collect inside larger combustion-air pipe and flow to the burner enclosure.

6. Install Y concentric fitting and pipe assembly through structure's hole.

NOTE: Do not allow insulation or other materials to accumulate inside pipe assembly when installing through hole.

7. Install rain cap and small diameter pipe assembly in Y concentric fitting and large paper assembly. Ensure small diameter pipe is bottomed and cemented in Y concentric fitting.

8. Secure assembly to structure as shown in Fig. 7 using field-supplied metal strapping or equivalent support material.

NOTE: Ensure termination location clearance dimensions are as shown in Fig. 6.

NOTE: In USA, if assembly needs to be extended to allow side wall thickness requirement, the 2 pipes supplied in the kit may be replaced by using same diameter, field-supplied SDR-26 PVC (D2241) pipe. Do not extend dimension D more than 60 in. (1524 mm) (See Fig. 2.)

⚠ CAUTION

UNIT MAY NOT OPERATE HAZARD

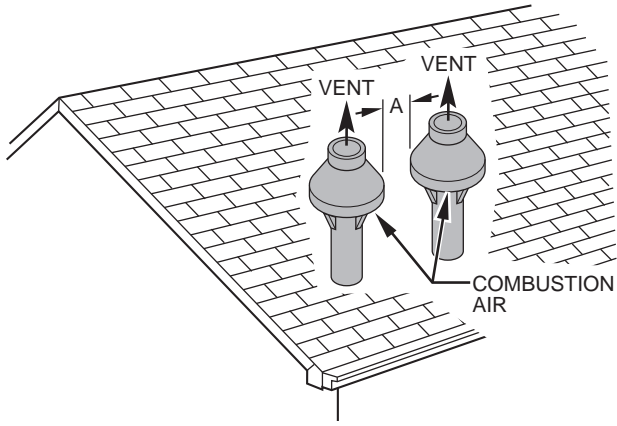
Failure to follow this caution may result in intermittent unit operation.

DO NOT use field-supplied couplings to extend pipes. Airflow restriction will occur and the furnace pressure switch may cause intermittent operation.

9. Cement furnace combustion-air and vent pipes to concentric vent termination assembly. See Fig. 7 for proper pipe attachment.
10. Operate furnace through 1 heat cycle to ensure combustion-air and vent pipes are properly connected to concentric vent termination connections.

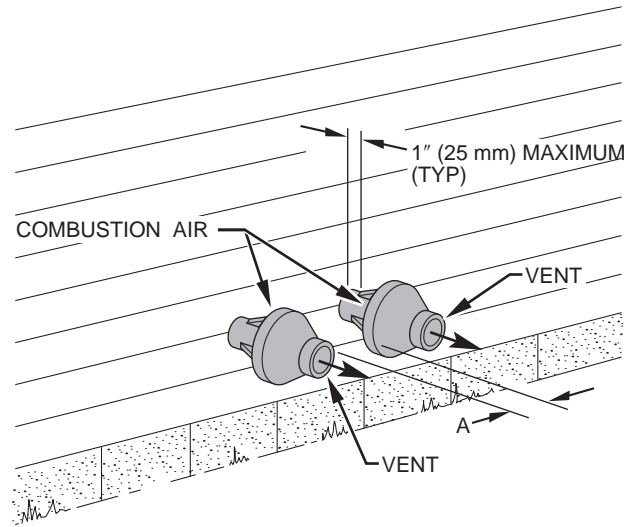
Step 3 — MULTI-VENTING TERMINATIONS

When 2 or more direct vent furnaces are vented near each other, each furnace must be individually vented. (See Fig. 8 and 9.) NEVER common vent or breach vent this furnace. When 2 or more direct vent furnaces are vented near each other, 2 vent terminations may be installed as shown in Fig. 8 and 9, but next to vent termination must be at least 36 in. (914 mm) away from first 2 termination. It is important that vent terminations be made as shown to avoid recirculation of flue gases. Dimension A in Fig. 8 and 9 represents distance between pipes or rain shields, as touching or 2-in. (51 mm) maximum separation.



A93056

Fig. 8 - Concentric Vent and Combustion-Air Roof Termination (Dimension A as Touching or 2-in. (51 mm) Maximum Separation)



A93057

Fig. 9 - Concentric Vent and Combustion-Air Roof Termination (Dimension A as Touching or 2-in. (51 mm) Maximum Separation)

DRYER VENT CAP

Whirlpool

12 in. x 18 in. Through-the-Wall Dryer Vent Cap

★★★★★ (11) Questions & Answers (7)

♥ 131



Hover Image to Zoom

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PROJECT PEERLESS

REQUEST 9 – DEMOLITION

EXISTING CMU BUILDING - EXTERIOR





Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

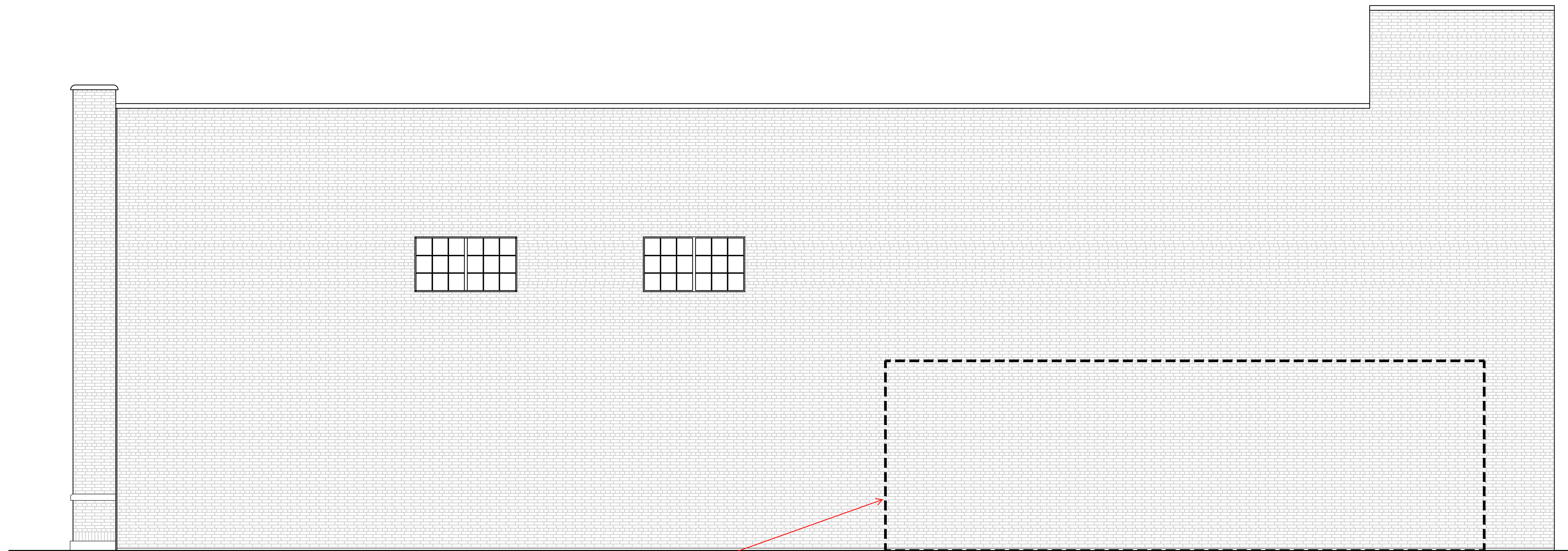
Checked DJS

Scale 1/4" = 1'-0"

Dwg. PEERLESS - CDS

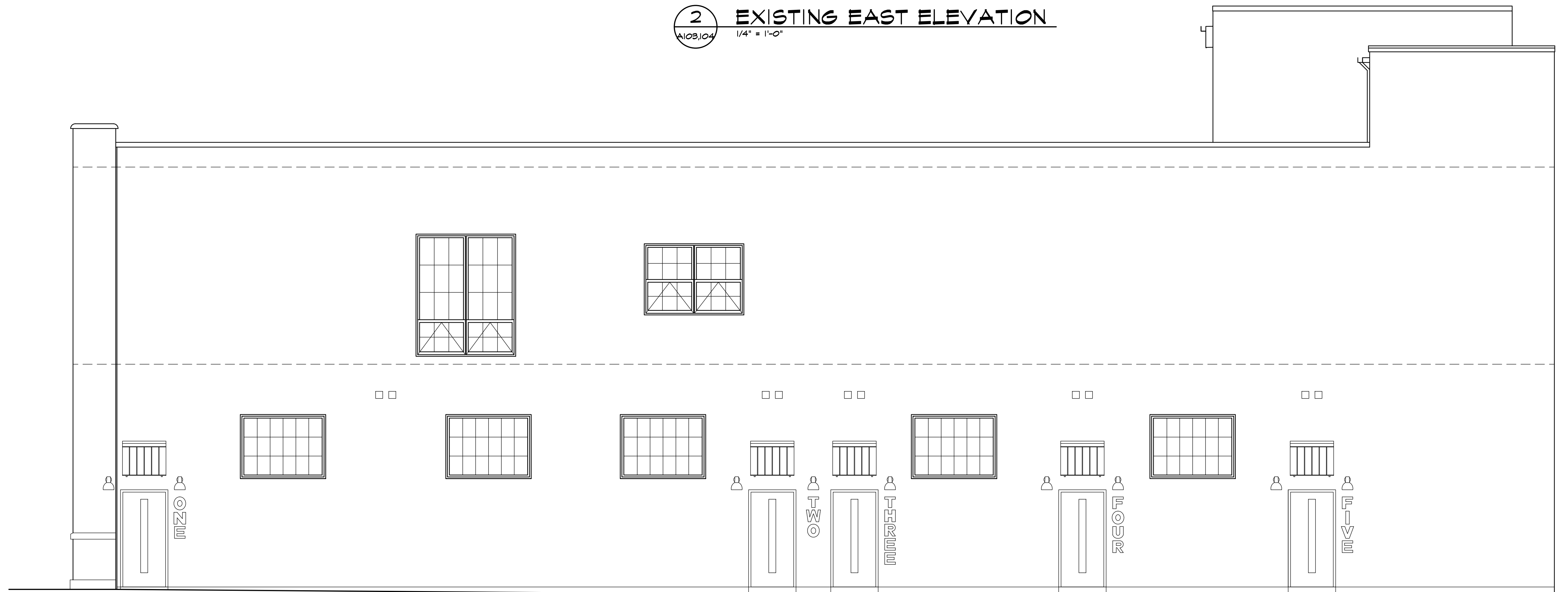
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

Sheet Number
A202
of
28

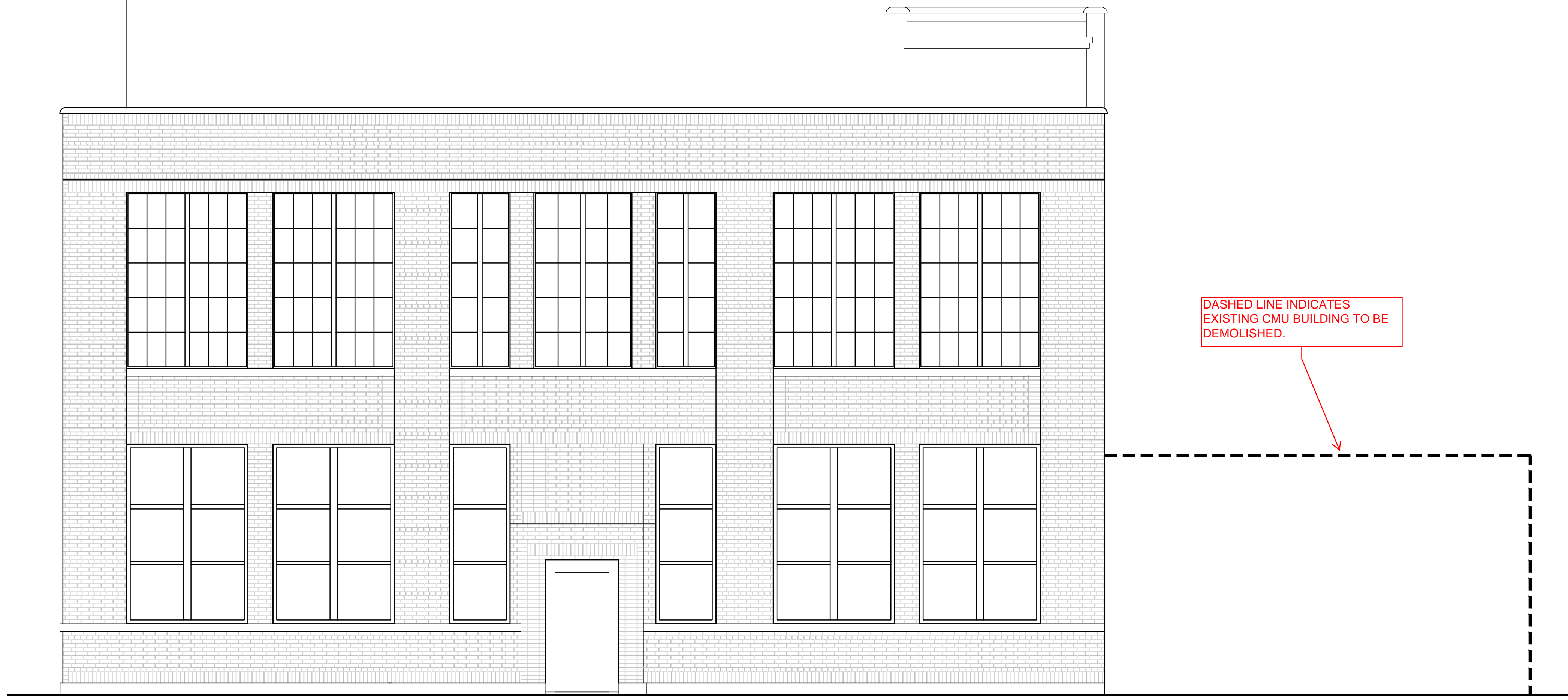


DASHED LINE INDICATES
EXISTING CMU BUILDING TO BE
DEMOLISHED.

2 EXISTING EAST ELEVATION
A103,104 1/4" = 1'-0"



1 NEW PROPOSED EAST ELEVATION
A103,104 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
A103,104 1/4" = 1'-0"



2 NEW PROPOSED SOUTH ELEVATION
A103,104 1/4" = 1'-0"

Seal
STATE OF MICHIGAN
DESIGNER
PRELIMINARY
NOT FOR CONSTRUCTION
Drew Shaw

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

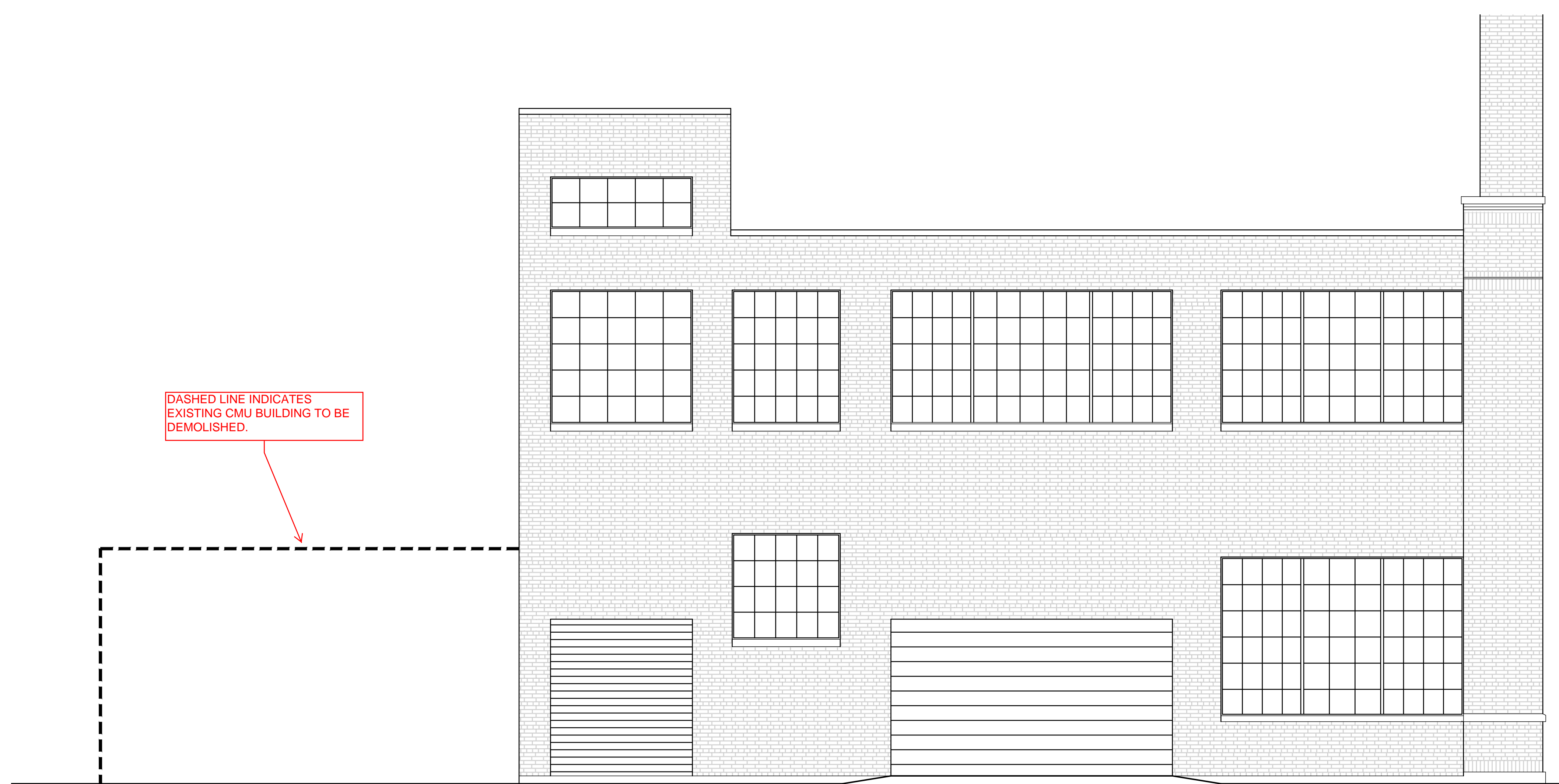
Scale 1/4" = 1'-0"

Dwg. PEERLESS - CDS

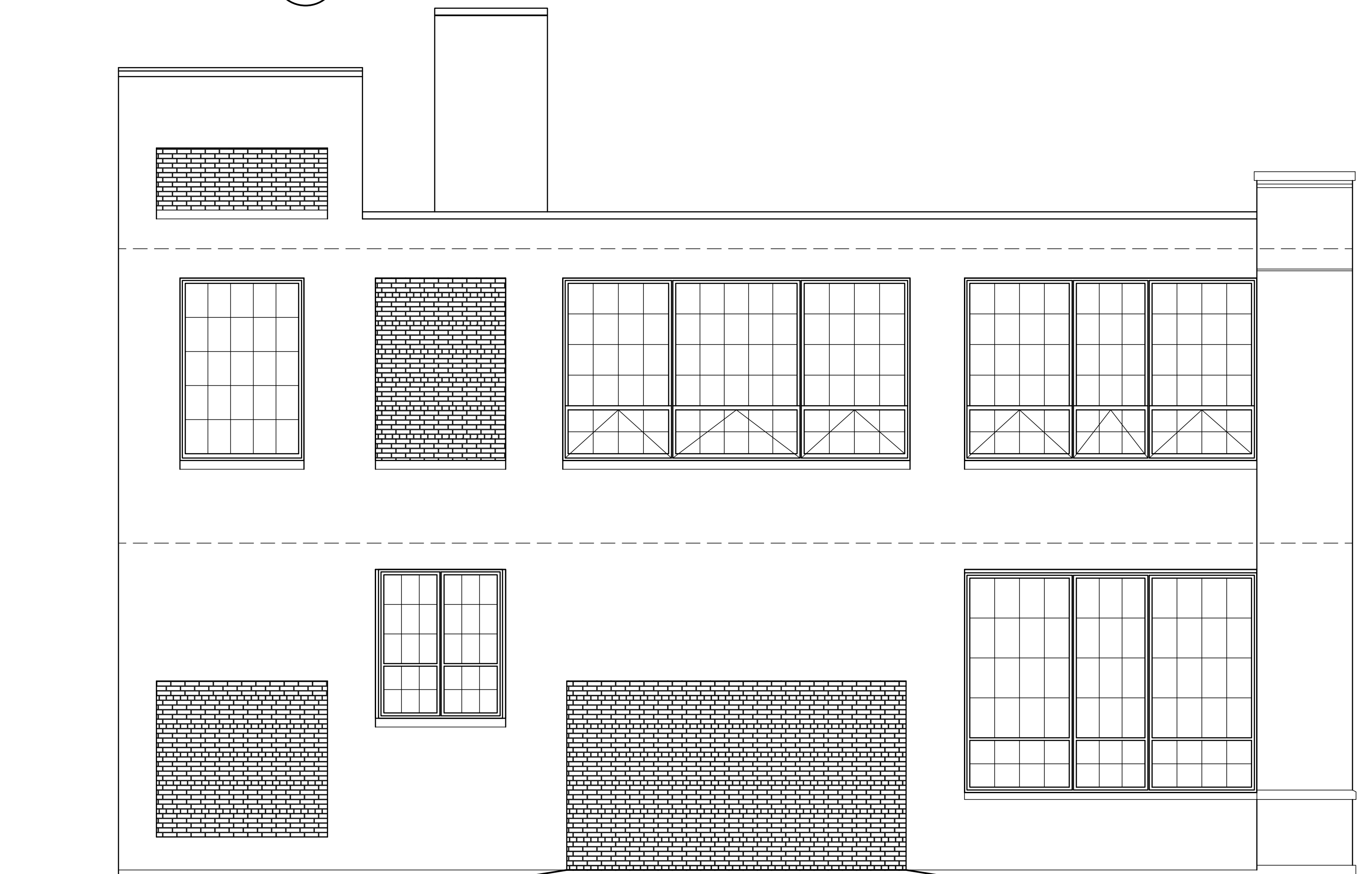
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

PRELIMINARY
NOT FOR CONSTRUCTION
A201
of
28

DASHED LINE INDICATES
EXISTING CMU BUILDING TO BE
DEMOLISHED.



2 EXISTING NORTH ELEVATION
A103,104 1/4" = 1'-0"



2 NEW PROPOSED SOUTH ELEVATION
A103,104 1/4" = 1'-0"

Seal
STATE OF MICHIGAN
DESIGNER
PRELIMINARY
NOT FOR CONSTRUCTION
Drew S. Kim

Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

Scale 1/4" = 1'-0"

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS

PRELIMINARY
NOT FOR CONSTRUCTION
A201
of
28



PROJECT PEERLESS

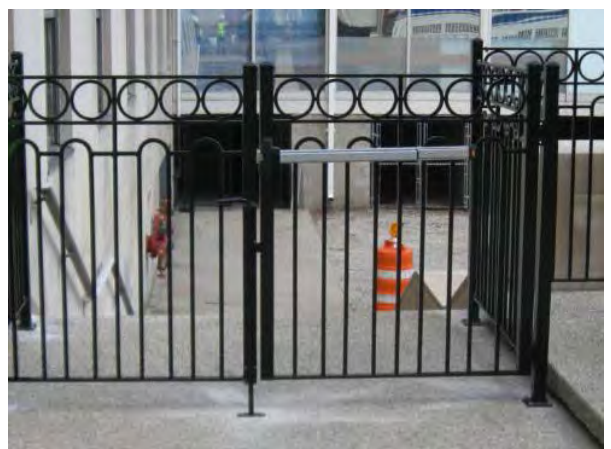
REQUEST 9 – FENCE AND GATE

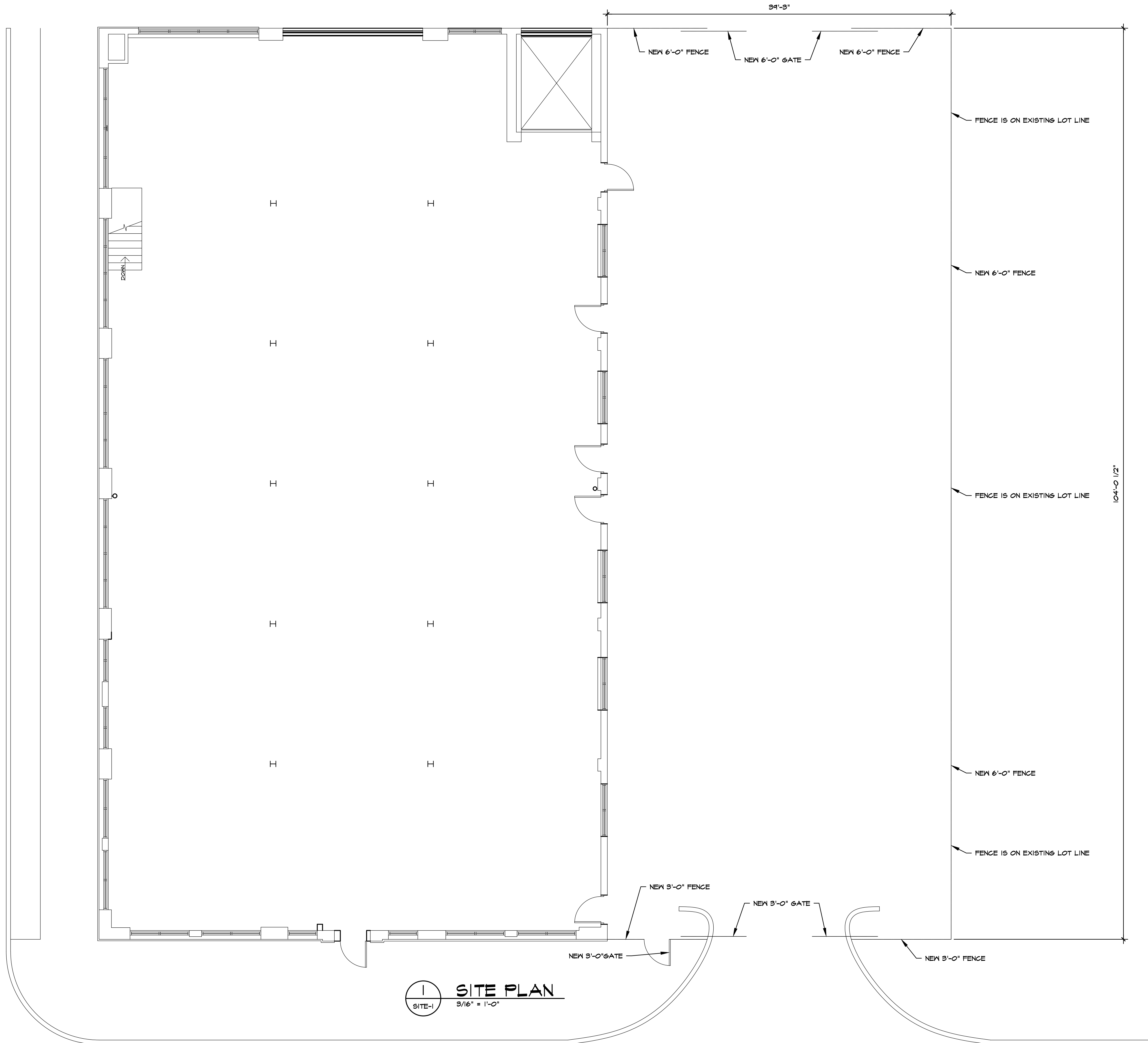
EXISTING METAL CHAIN LINK FENCE



The existing fence is a chain link security fence and gate. We wanted to replace it with a more suitable fence for the Historic District.

NEW PROPOSED FENCE/ GATE





7300 DIXIE HWY. #600
 CLARKSTON, MI 48346
 PHONE 248.605.2030
 FAX 248.605.2030
 WEB DSARCHITECTS.COM

Seal	
Project	PROJECT PEERLESS
Drawing Title	SITE PLAN
Project Number	20-40-159
Drawn	ALM
Checked	DJS
Scale	3/16" = 1'-0"
Dwg	PEERLESS - SITE PLAN
Issued for	Date By DESIGN DEVELOPMT. 10-13-21 DJS
Sheet Number	SITE-1 of 1

603 E. MILWAUKEE ST.
DETROIT, MI 48202

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 10-14-2021

PROPERTY INFORMATION

ADDRESS(ES): 603 E. Milwaukee Ave. AKA: Peerless Building

PARCEL ID: 03001776 HISTORIC DISTRICT: Jam Handy/North End East Grand Blvd

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input checked="" type="checkbox"/> Painting	<input checked="" type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input checked="" type="checkbox"/> Major Alteration (3+ scope items)	<input checked="" type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.)	

BRIEF PROJECT DESCRIPTION:

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: Ed Fish COMPANY NAME: Peerless Realty

ADDRESS: 410 S. Maple Ave, Apt. 343 CITY: Falls Church STATE: VA ZIP: 22046

PHONE: 703-795-3215 MOBILE: 703-795-3215 EMAIL: fish.edmundj@gmail.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Current Photographs: Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

P2 - BUILDING PERMIT APPLICATION

Date: 10-14-2021

PROPERTY INFORMATION

Address: 603 E. Milwaukee Ave. Floor: _____ Suite#: _____ Stories: 2

AKA: Peerless Building Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: empty warehouse Proposed Use: residential units

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
Interior buildout to include demolition, walls, ceilings, HVAC, fire suppression, electrical, plumbing and finishes.

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: R Type of Construction (per current MI Bldg Code Table 601) 5B

Estimated Cost of Construction \$ \$1,690,000 By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: 7 Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: Ed Fish Company Name: Peerless Realty
Address: 410 S. Maple Ave, Apt 343 City: Falls Church State: VA Zip: 22046
Phone: 703-795-3215 Mobile: 703-795-3215
Driver's License #: A65300126 (VA) Email: fish.edmundj@gmail.com

Contractor Contractor is Permit Applicant

Representative Name: Kermit Ball Company Name: K Custom LLC
Address: 1509 Sunset Blvd City: Royal Oak State: MI Zip: 48067
Phone: NA Mobile: 248-688-7194 Email: kermitball@icloud.com
City of Detroit License #: 2101140755

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: NA Phone: NA Email: NA

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: Derek Slupka State Registration#: 1301037472 Expiration Date: 12/10/22
Address: 7300 Dixie Highway, #600 City: Clarkston State: MI Zip: 48346
Phone: 248-605-2030 Mobile: 248-310-3899 Email: derek@dsarchitects.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: EDMUND J. FISH Signature: [Signature] Date: 10/14/2021
(Homeowner)

Subscribed and sworn to before me this 14th day of OCTOBER 2021 A.D. FAIRFAX County, Michigan VIRG

Signature: [Signature] My Commission Expires: 05/31/2025
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

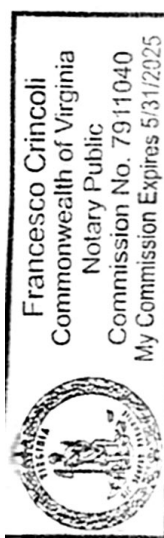
Print Name: EDMUND FISH Signature: [Signature] Date: 10/14/21
(Permit Applicant)

Driver's License #: A65300126 Expiration: 08/18/2028
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Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseel/elaps for more information.



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City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: 10-14-2021

PROPERTY INFORMATION

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PARCEL ID: 03001776 HISTORIC DISTRICT: Jam Handy/North End East Grand Blvd

SCOPE OF WORK: Windows/Doors Walls/Siding Painting Roof/Gutters/Chimney Porch/Deck/Balcony Addition
(Check ALL that apply) Demolition Signage New Building Major Alteration (3+ scope items) Site Improvements (landscape, trees, fences, patios, etc.)

BRIEF PROJECT DESCRIPTION:

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: Ed Fish COMPANY NAME: Peerless Realty

ADDRESS: 410 S. Maple Ave, Apt. 343 CITY: Falls Church STATE: VA ZIP: 22046

PHONE: 703-795-3215 MOBILE: 703-795-3215 EMAIL: fish.edmundj@gmail.com

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Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
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(e.g. interior demolition or construction to new walls)

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Structure Use

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Commercial-Gross Floor Area Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #: Current Legal Land Use: Proposed Use:
Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



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Property Owner/Homeowner is Permit Applicant

Name: Ed Fish Company Name: Peerless Realty
Address: 410 S. Maple Ave, Apt 343 City: Falls Church State: VA Zip: 22046
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Representative Name: Kermit Ball Company Name: K Custom LLC
Address: 1509 Sunset Blvd City: Royal Oak State: MI Zip: 48067
Phone: NA Mobile: 248-688-7194 Email: kermitball@icloud.com
City of Detroit License #: 2101140755

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: NA Phone: NA Email: NA

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: Derek Slupka State Registration#: 1301037472 Expiration Date: 12/10/22
Address: 7300 Dixie Highway, #600 City: Clarkston State: MI Zip: 48346
Phone: 248-605-2030 Mobile: 248-310-3899 Email: derek@dsarchitects.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

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Print Name: Edmund Fish Signature: [Signature] Date: 10/14/2021
(Homeowner)
Subscribed and sworn to before me this 14th day of OCTOBER 2021 A.D. FAIRFAX County, MICHIGAN VIRGINIA
Signature: [Signature] My Commission Expires: 05/31/2025
(Notary Public)

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(Permit Applicant)
Driver's License #: A65300126 Expiration: 08/18/2028
Subscribed and sworn to before me this 14th day of OCTOBER 2021 A.D. FAIRFAX County, MICHIGAN VIRGINIA
Signature: [Signature] My Commission Expires: 05/31/2025
(Notary Public)

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Francesco Crincoli
Commonwealth of Virginia
Notary Public
Commission No. 7911040
My Commission Expires 5/31/2025

Francesco Crincoli
Commonwealth of Virginia
Notary Public
Commission No. 7911040
My Commission Expires 5/31/2025



RENOVATIONS FOR:

PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

DRAWING INDEX

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G104	SECOND FLOOR CODE COMPLIANCE PLAN	P101	SECOND FLOOR PLUMBING PLAN
A101	FIRST FLOOR DEMOLITION PLAN	P102	ROOF PLUMBING PLAN
A102	SECOND FLOOR DEMOLITION PLAN	P103	BASEMENT & FIRST FLOOR DRAINAGE PLANS
A103	FIRST FLOOR FLOOR PLAN	P104	SECOND FLOOR DRAINAGE PLAN
A103.1	FIRST FLOOR WALL CONSTRUCTION PLAN	P200	PLUMBING SCHEDULES
A104	SECOND FLOOR FLOOR PLAN	P201	PLUMBING DETAILS
A104.1	SECOND FLOOR WALL CONSTRUCTION PLAN AND WALL CONSTRUCTION LEGEND	P202	WATER SCHEDULES & RISER DIAGRAM
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A106	SECOND FLOOR REFLECTED CEILING PLAN	P300	PLUMBING SPECIFICATIONS
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A109	FINISH LEGEND	E101	SECOND FLOOR POWER PLAN
A110	ROOF PLAN	E102	ROOF ELECTRICAL PLAN
A201	EXTERIOR ELEVATIONS	E200	ELECTRICAL SCHEDULES
A202	EXTERIOR ELEVATIONS	E300	ELECTRICAL DETAILS & SCHEDULES
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A401	INTERIOR ELEVATIONS		
A402	INTERIOR ELEVATIONS		
A403	INTERIOR ELEVATIONS		
A404	INTERIOR ELEVATIONS		
A405	INTERIOR ELEVATIONS		
A406	STAIR SECTIONS / STAIR PLANS		
A407	STAIR SECTIONS / STAIR PLANS		
A501	WALL DETAILS		
A601	DOOR SCHEDULE		
MP000	HVAC & PLUMBING COVER SHEET		
M100	BASEMENT & FIRST FLOOR HVAC PLANS		
M101	SECOND FLOOR HVAC PLAN		
M102	ROOF HVAC PLAN		
M200	MECHANICAL SCHEDULES		

GENERAL CONSTRUCTION LEGEND

WALL CONSTRUCTION LEGEND CAN BE FOUND ON SHEET A104.1.

ARCHITECT

DS ARCHITECTS, INC.
ATTN: DEREK SŁUPKA
7300 DIXIE HWY., SUITE 600
CLARKSTON, MI 48346
PHONE: 1-248-605-2030
FAX: 1-248-605-2030
CELL: 1-248-310-3944
EMAIL: DEREK@DSARCHITECTS.COM

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:

DEREK SŁUPKA (LICENSE #1301031412)
DS ARCHITECTS, INC. (1-248-605-2030)

CONTRACTOR

K CUSTOM
ATTN: KERMIT BALL
1504 SUNSET BLVD.
ROYAL OAK, MI 48067
CELL: 1-248-688-7194
EMAIL: KERMITBALL@ICLOUD.COM

COMMERCIAL CODES CURRENTLY IN EFFECT

MRCEB (MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015) - PRESCRIPTIVE COMPLIANCE METHOD, ALTERATIONS LEVEL 3
ICC/ANSI A117.1, 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED
MPC 2015 (MICHIGAN PLUMBING CODE 2015)
MMC 2015 (MICHIGAN MECHANICAL CODE 2015)
FUEL GAS: IFGC 2015 (INTERNATIONAL FUEL GAS CODE 2015)
2017 NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS
MICHIGAN UNIFORM ENERGY CODE 2015 - CHAPTER 13 OF THE MICHIGAN BUILDING CODE & MEC 2015 (MICHIGAN ENERGY CODE 2015) - CHAPTERS 4 & MICHIGAN ENERGY CODE, PART 10a. RULES (ANSI/ASHRAE 90.1-2013)

DEFERRED SUBMITTAL INFORMATION

"THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL."

DEFERRED SUBMITTAL ITEMS:

1. AUTOMATIC SPRINKLER SYSTEM
2. FIRE ALARM

SPECIAL INSPECTIONS

1. NONE.

GENERAL LIGHT FIXTURE LEGEND

○	PENDENT LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
⊙	PENDANT LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
⊕	SCONCE LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
⊗	CHANDELIER LIGHT OR ACCENT FIXTURE. SEE ELECTRICAL DRAWINGS.
-----	UNDER CABINET TASK LIGHTING STRIP. SEE ELECTRICAL DRAWINGS.
⌚	SINGLE POLE SWITCH MOUNTED AT 4'-0" A.F.F. UNLESS NOTED OTHERWISE. SEE ELECTRICAL DRAWINGS.
⌚M	NEW MOTION SENSOR SWITCH (WHITE) MOUNTED AT 4'-0" A.F.F. UNLESS NOTED OTHERWISE. SEE ELECTRICAL DRAWINGS.
⊞	CEILING MOUNTED EXHAUST FAN. EXHAUST TO OUTSIDE. SEE ELECTRICAL DRAWINGS.

GENERAL NOTES & SPECIFICATIONS

DEMOLITION:

ON ALL WALLS TO BE DEMOLISHED, ABANDON ALL EXISTING ELECTRICAL OR DATA/COMMUNICATIONS OUTLETS, WIRE AND ALL RELATED CONDUIT BACK TO NEAREST BASE BUILDING JUNCTION BOX.

CONSTRUCTION:

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS ON FLOOR PLAN ARE TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.

CONTRACTOR(S) SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND DIMENSIONS WITH RESPECT TO THE WORK DESCRIBED IN THESE DOCUMENTS. REPORT ANY INCONSISTENCIES TO DS ARCHITECTS, INC. PRIOR TO BEGINNING ANY WORK OR FABRICATION.

CONTRACTOR(S) SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT FOR THE WORK DESCRIBED IN THESE DOCUMENTS UNLESS CLEARLY NOTED "NOT IN CONTRACT" (N.I.C.). EXISTING WORK ADJACENT TO, OR IN THE AREA OF NEW WORK SHALL BE PROTECTED BY ALL SUITABLE MEANS NECESSARY TO PREVENT OR MINIMIZE DAMAGE. WHERE EXISTING WORK IS TO BE REMOVED OR ALTERED, RESTORE ADJACENT FINISH TO ORIGINAL CONDITION. EXTEND/REFINISH ALL FRAMES, BASE AND TRIM WHERE CUTTING HAS EXPOSED ANY UNFINISHED SURFACES. REPAIR ANY DAMAGE TO EXISTING WORK AND RESTORE TO ORIGINAL CONDITION.

LOCATE PARTITIONS AT DIMENSIONS SHOWN ON DRAWINGS - NOTIFY DS ARCHITECTS, INC. OF ANY DISCREPANCIES WITH LOCATIONS INDICATED ON LAYOUT. SECURELY ATTACH RUNNERS TO FLOOR AND CEILING GRID WITH SUITABLE FASTENERS. ANCHOR RUNNER ENDS AT DOOR FRAMES, ANCHOR ALL STUDS ADJACENT TO DOOR AND SIDELITE FRAMES, PARTITION INTERSECTIONS, AND CORNERS TO FLOOR AND CEILING RUNNERS. PROVIDE BRACING ABOVE CEILING AT DOOR FRAMES AND WALL-HUNG MILLWORK. SECURE INTERMEDIATE STUDS WITH USS METAL LOCK FASTENER OR EQUIVALENT.

THE BUILDING OWNER SHALL HAVE THE "RIGHT OF FIRST REFUSAL" OF ANY SALVAGED ITEMS. IF THE OWNER DOES NOT EXERCISE THAT RIGHT THEN DISPOSE OF ALL DISCARDED ITEMS IN A LEGAL, OFF SITE, MANNER.

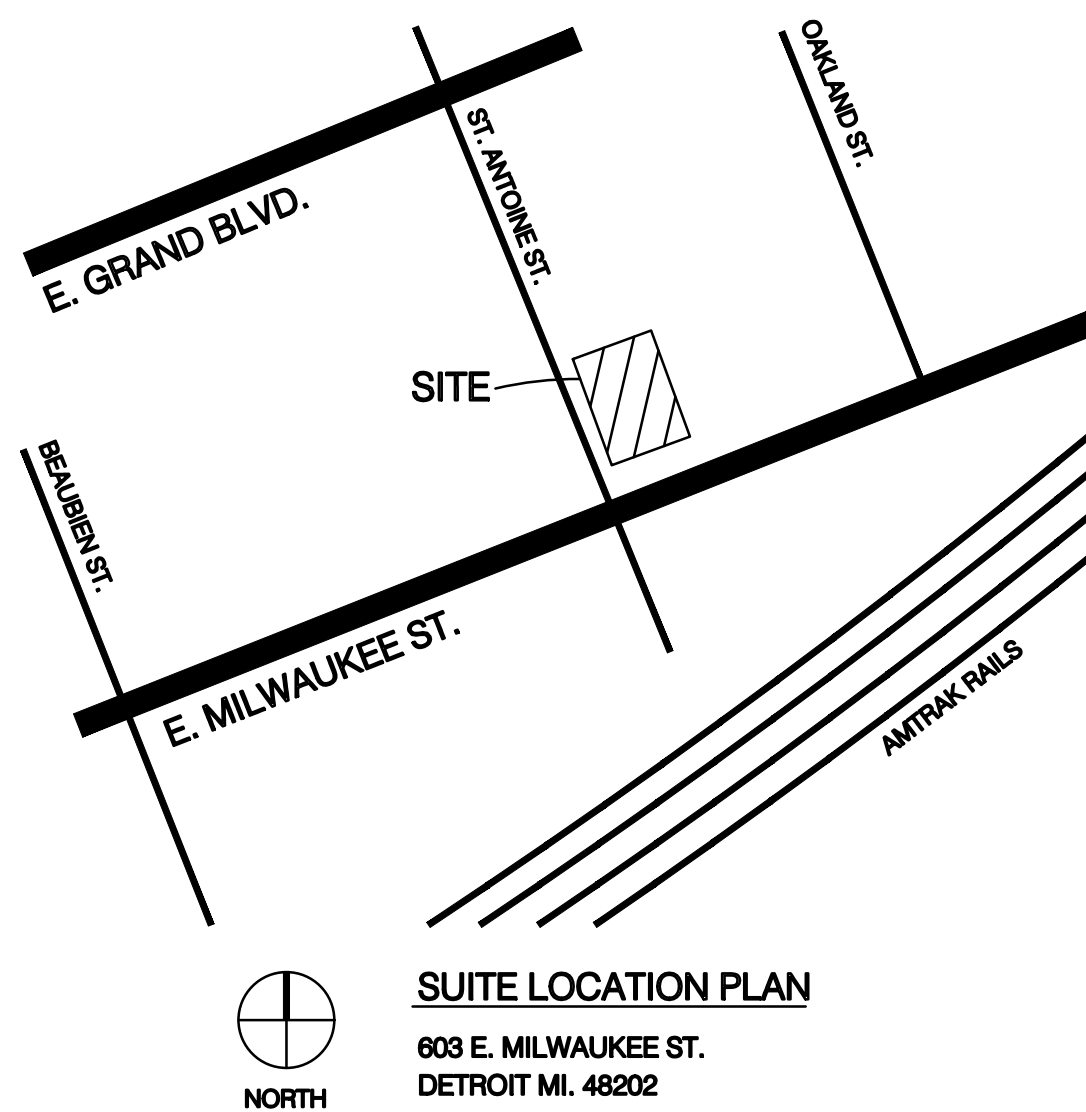
DOORS NOT INDICATED BY DOOR NUMBER DESIGNATION ARE EXISTING. PAINT AND FINISH RECESS AT DOOR STRIKES/KEEPERS WHERE BARE WOOD HAS BEEN EXPOSED BY BORING OR OTHER HARDWARE PREP. SEAL ALL EDGES OF DOOR INCLUDING TOP AND BOTTOM. WOOD DOORS AND FRAMES SHALL CONFORM TO QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI).

ALL DOOR SIZE DIMENSIONS GIVEN ARE APPROXIMATE. DOOR SUPPLIER SHALL FIELD VERIFY EXACT REQUIREMENTS.

ALL INTERIOR ROOM FINISHES TO MEET CLASS C FLAME SPREAD, T6-200 MAX.

CONTRACTORS SHALL KEEP WORK AREAS AND ADJACENT PUBLIC CORRIDORS AND FACILITIES FREE OF DEBRIS. MATERIALS STORED ON SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE STORED IN A LOCATION APPROVED BY THE LANDLORD. NO PERSONAL RADIOS SHALL BE ALLOWED IN OCCUPIED BUILDINGS.

LOCATION PLAN

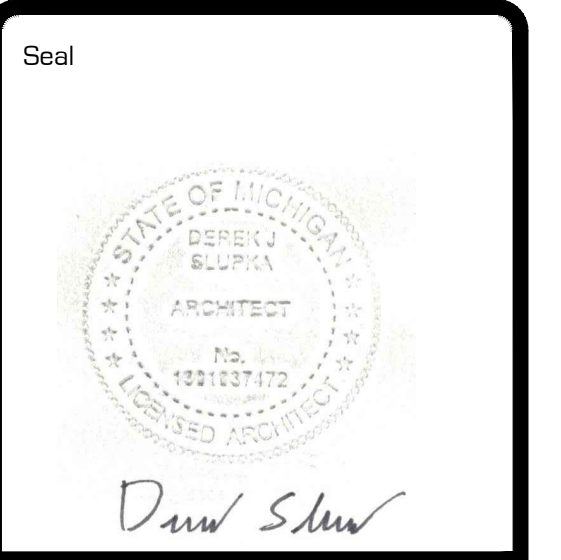


ALTERNATES

NONE.



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title		
LEGEND SHEET		
Project Number		
20-40-159		
Drawn	ALM	
Checked	DJS	
Scale	N/A	
Dwg.	PEERLESS - CDS	
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

Sheet Number:

G101

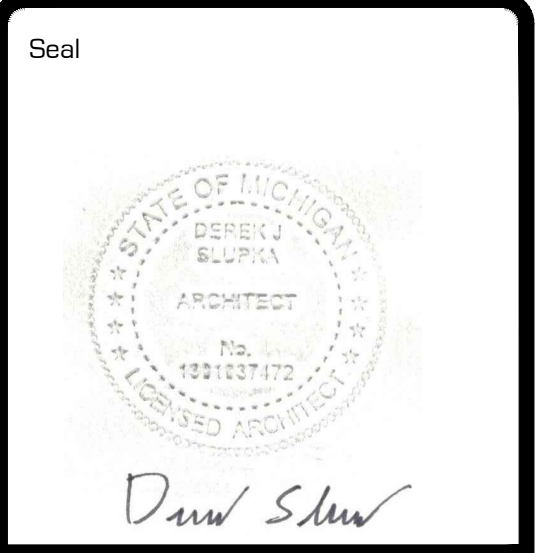
of

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BUILDING DATA / CODE COMPLIANCE		BUILDING DATA / CODE COMPLIANCE				
GENERAL INFORMATION	PROJECT DESCRIPTION: Chapter 1	CONVERT AN EXISTING WAREHOUSE BUILDING INTO RESIDENTIAL APARTMENTS.				
	PROJECT ADDRESS:	603 E. MILWAUKEE ST. DETROIT MI 48202				
	PROJECT TOTAL AREA:	11,778 SF (TOTAL BUILDING S.F.)	246 SF (UNIT E-LOWER LEVEL) 5,140 SF (FIRST FLOOR) 5,742 SF (SECOND FLOOR)			
	PROJECT SCOPE:	THESE DOCUMENTS ARE APPLYING FOR A BUILDING PERMIT FOR THE MODIFICATIONS OF THE INTERIOR BUILD OUT.				
	BUILDING CODE:	THE FOLLOWING DATA AND COMPLIANCE DETERMINATION IS BASED ON THE MRCEB (MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015) - PRESCRIPTIVE COMPLIANCE METHOD, ALTERATIONS LEVEL 3.				
	BARRIER FREE:	ICC/ANSI A117.1. 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED				
	COMMERCIAL PLUMBING:	MPC 2015 (MICHIGAN PLUMBING CODE 2015)				
	COMMERCIAL MECHANICAL:	MMC 2015 (MICHIGAN MECHANICAL CODE 2015)				
	MECHANICAL CODE:	FUEL GAS: IFGC 2015 (INTERNATIONAL FUEL GAS CODE 2015)				
	COMMERCIAL ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS				
HEIGHT AND AREA	HEIGHT AND AREA: Chapter 5	BASED LIMITATIONS (TABULAR) FOR HEIGHT AND AREA per Table 504.3 & 504.4 & 506.2 based on Construction Type of 5B, R-2 occupancies HEIGHT: 60'-0" STORIES: 3 STORIES ALLOWABLE AREA: 21,000 SQ. FT.				
	HEIGHT AND AREA COMPLIANCE:					
	BUILDING CRITERIA: BUILDING HEIGHT/ STORIES: USE GROUP 'R2' (RESIDENTIAL)	EXISTING STRUCTURE: 3B' - 4'+/-	STORIES: 2 STORIES	EXISTING AREA: 11,778 SQ. FT.		
	COMPLIANCE:	YES				
	OCCUPANCY LOAD	MEANS OF EGRESS: Chapter 10 / Table 1004.1.2	OCCUPANCY LOAD DETERMINATION			
		FIRST FLOOR: BY USE:	FLOOR AREA:	CODE REQUIREMENTS: OCCUPANCY:		
		UNIT A	885 GROSS SQ. FT.	1 / 200 GROSS 5 OCCUPANTS		
		UNIT B	861 GROSS SQ. FT.	1 / 200 GROSS 5 OCCUPANTS		
		UNIT C	849 GROSS SQ. FT.	1 / 200 GROSS 5 OCCUPANTS		
		UNIT D	848 GROSS SQ. FT.	1 / 200 GROSS 5 OCCUPANTS		
UNIT E		1,357 GROSS SQ. FT.	1 / 200 GROSS 7 OCCUPANTS			
UNIT F		581 GROSS SQ. FT.	1 / 200 GROSS 3 OCCUPANTS			
LOBBY/STAIRS		555 GROSS SQ. FT.	1 / 200 GROSS 3 OCCUPANTS			
FIRST FLOOR TOTAL		6,036 SQ. FT.	33 OCCUPANTS			
SECOND FLOOR: BY USE:	FLOOR AREA:	CODE REQUIREMENTS: OCCUPANCY:				
RESIDENTIAL	5,742 GROSS SQ. FT.	1 / 200 GROSS 29 OCCUPANTS				
TOTAL BUILDING:		62 OCCUPANTS				
EGRESS WIDTH	EGRESS WIDTH: Chapter 10 / Section 1005.1 / Table 1020.2 Chapter 10 / Section 1005.3.1 / Section 1011.2					
	FIRST FLOOR:	OCCUPANCY:	CODE REQUIREMENTS:	WIDTH REQUIRED:	WIDTH PROVIDED: COMPLIANCE:	
	DOORS:	33 OCCUPANTS	0.2" PER OCCUPANT	6.6"	36.0" YES	
	CORRIDORS:	33 OCCUPANTS	0.2" PER OCCUPANT	6.6"	52.0" YES	
	SECOND FLOOR:	OCCUPANCY:	CODE REQUIREMENTS:	WIDTH REQUIRED:	WIDTH PROVIDED: COMPLIANCE:	
	DOORS:	29 OCCUPANTS	0.2" PER OCCUPANT	5.8"	72.0" YES	
	CORRIDORS:	29 OCCUPANTS	0.2" PER OCCUPANT	5.8"	42.0" YES	
	EGRESS TRAVEL	EGRESS TRAVEL DISTANCE: Chapter 10 / Table 1017.2 Chapter 10 / Section 1006.2.1	WITH AUTOMATIC SPRINKLER SYSTEM			
		FIRST FLOOR:	USE GROUP:	CODE REQUIREMENTS:	PROVIDED:	COMPLIANCE:
		MAXIMUM TRAVEL DISTANCE:	'R2'	250 FEET	104'-4" FEET (UNIT E)	YES
MAXIMUM COMMON PATH OF TRAVEL:		'R2'	125 FEET	104'-4" FEET (UNIT E)	YES	
SECOND FLOOR:		USE GROUP:	CODE REQUIREMENTS:	PROVIDED:	COMPLIANCE:	
MAXIMUM TRAVEL DISTANCE:		'R2'	250 FEET	97'-11" FEET	YES	
MAXIMUM COMMON PATH OF TRAVEL:		'R2'	125 FEET	45'-2" FEET	YES	
EXITS		QUANTITY OF EXITS:				
		FIRST FLOOR (CHAPTER 10, TABLE 1006.2.1): MINIMUM NUMBER OF EXITS:	OCCUPANCY: 1 - 20	CODE REQUIREMENTS: 1 EXITS MIN.	PROVIDED: 1 EXITS	COMPLIANCE: YES
		SECOND FLOOR (CHAPTER 10, TABLE 1006.3.1): MINIMUM NUMBER OF EXITS:	OCCUPANCY: 1 - 500	CODE REQUIREMENTS: 2 EXITS MIN.	PROVIDED: 2 EXITS	COMPLIANCE: YES
	VERTICAL EXITS	VERTICAL EXIT ENCLOSURES:				
		OCCUPANCY:	R-2	CODE REQUIREMENTS: 1 HOUR	PROVIDED: 1 HOUR	COMPLIANCE: YES



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PROJECT PEERLESS
 Project: 603 E. MILWAUKEE ST. DETROIT, MI 48202

Drawing Title
CODE DATA

Project Number
20-40-159

Drawn ALM

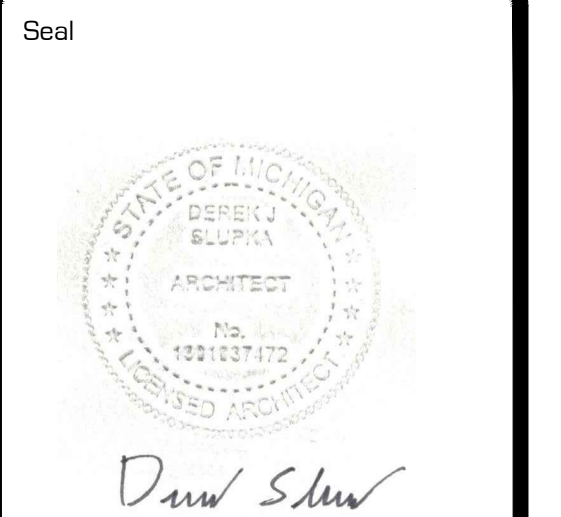
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Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
FIRST FLOOR CODE COMPLIANCE PLAN

Project Number
20-40-159

Drawn ALM

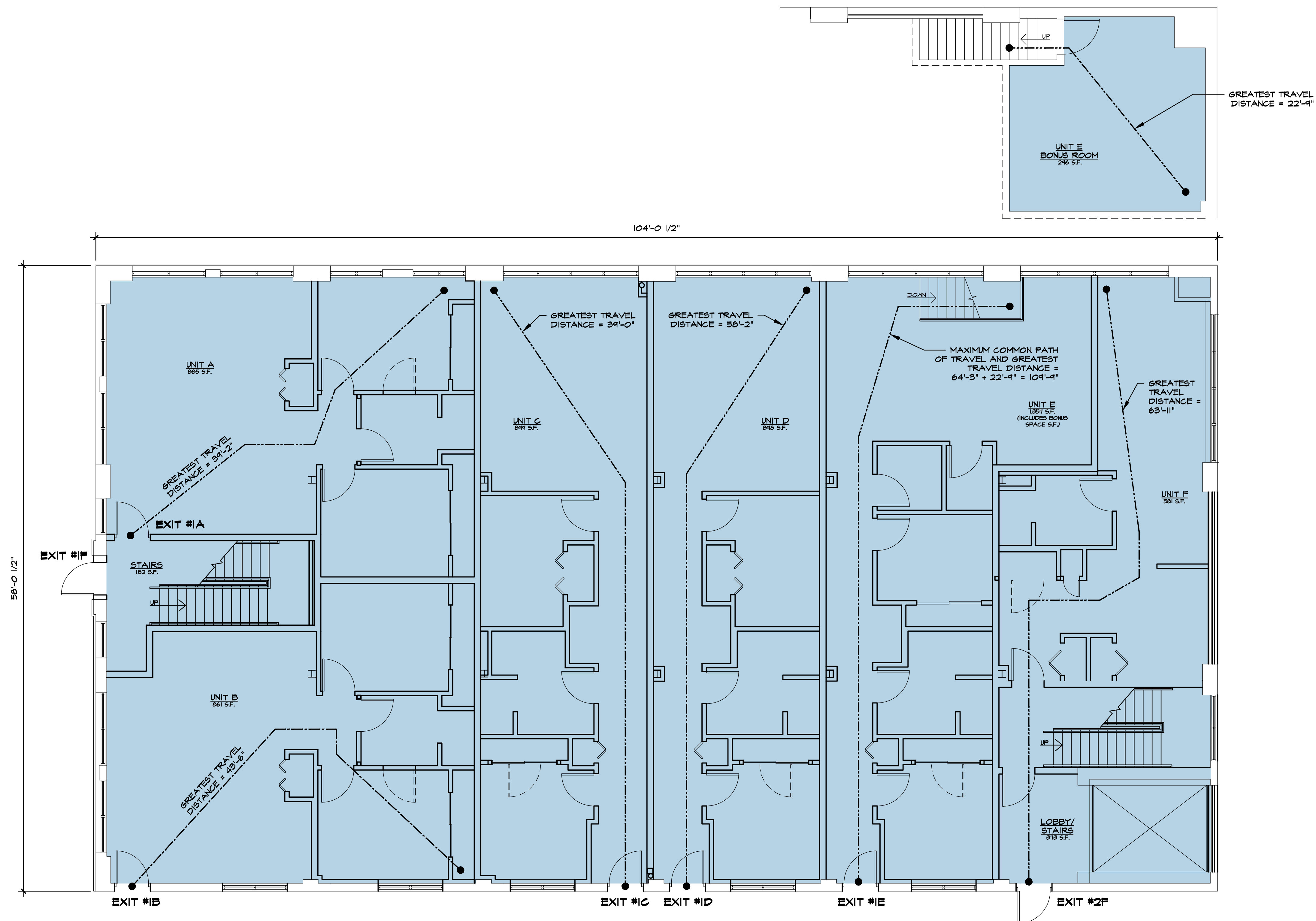
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Scale 3/16"=1'-0"

Dwg. PEERLESS - CDS

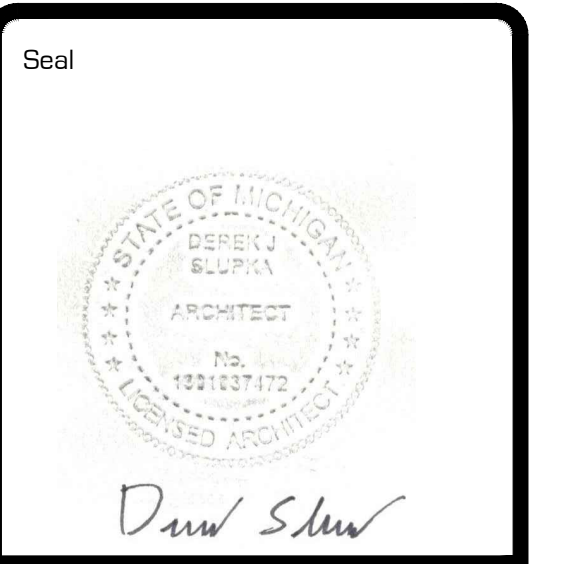
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FIRST FLOOR
CODE COMPLIANCE PLAN
3/16" = 1'-0"





Project
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603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
SECOND FLOOR CODE COMPLIANCE PLAN

Project Number
20-40-159

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Checked DJS

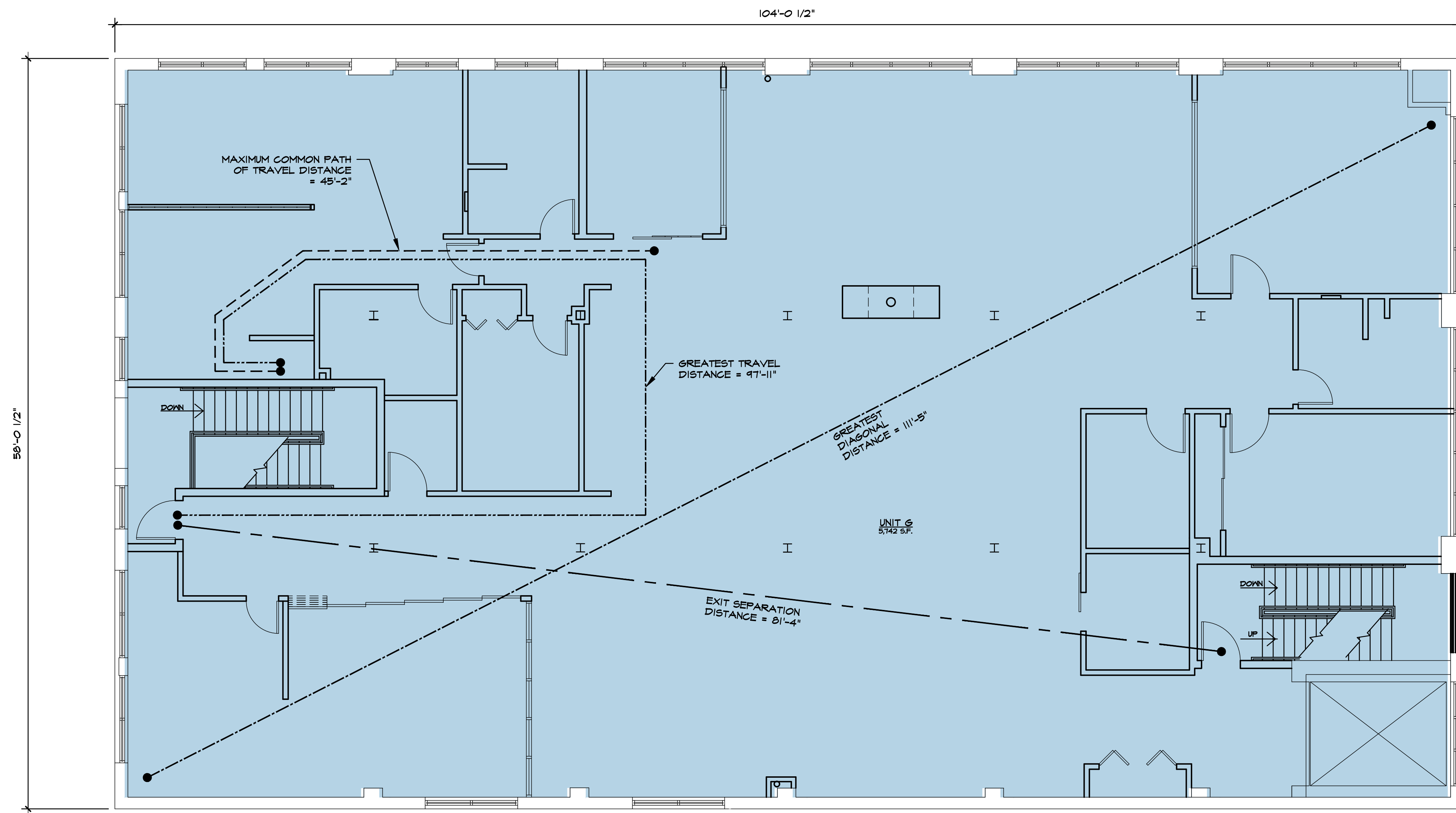
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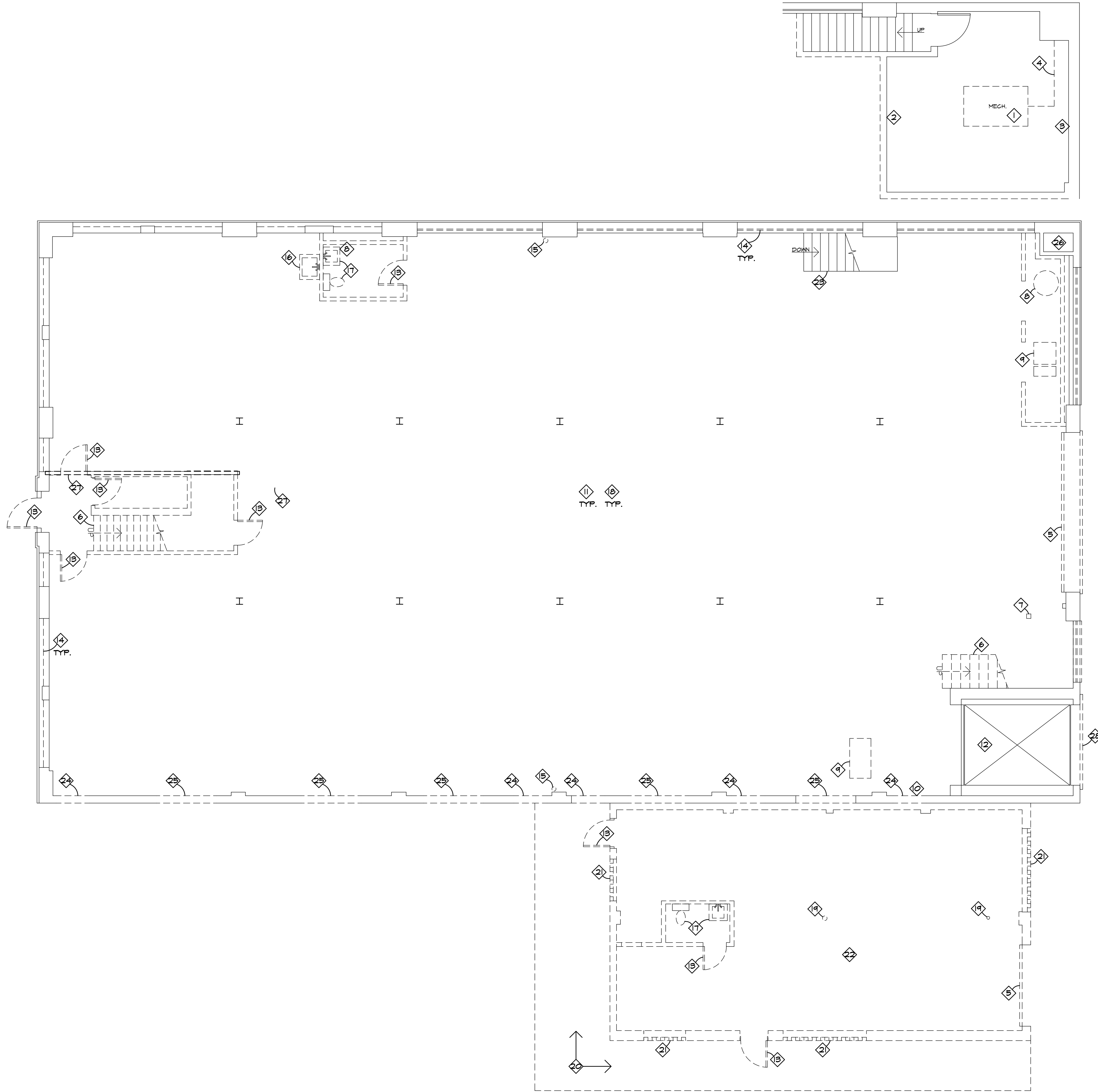
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of
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RESIDENTIAL = 200 GROSS
TOTAL S.F. = 5,742 S.F.
TOTAL OCCUPANTS = 21

TOTAL OCCUPANTS = 21

SECOND FLOOR
CODE COMPLIANCE PLAN
3/16" = 1'-0"



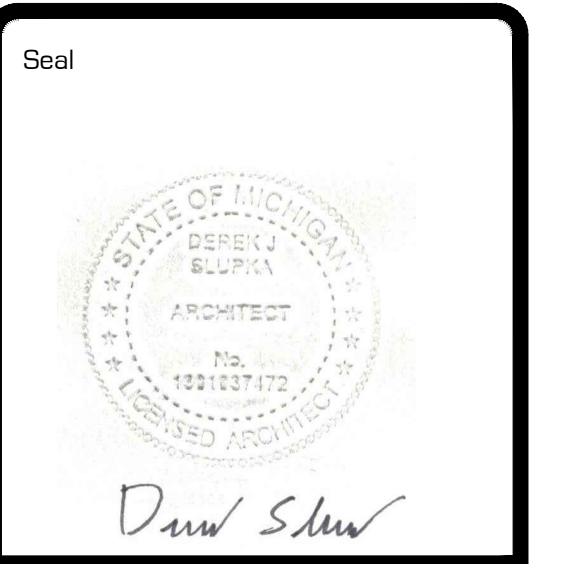
FIRST FLOOR
DEMOLITION PLAN
 3/16" = 1'-0"  NORTH

DEMOLITION NOTES

- ① REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT.
- ② REMOVE AND DISPOSE OF EXISTING PIPE. CAP OFF AS REQUIRED.
- ③ REMOVE AND RELOCATE EXISTING GAS METER. SEE MECHANICAL DRAWINGS.
- ④ REMOVE AND DISPOSE OF EXISTING FLUE PIPE.
- ⑤ REMOVE AND DISPOSE OF EXTERIOR OVERHEAD DOOR, HARDWARE, AND FRAME FOR NEW WINDOW.
- ⑥ REMOVE AND DISPOSE OF WOODEN STAIRS, LANDING AND RAILING.
- ⑦ REMOVE EXISTING STAIR POST.
- ⑧ REMOVE AND DISPOSE OF EXISTING WATER HEATER.
- ⑨ REMOVE AND DISPOSE OF EXISTING MECHANICAL EQUIPMENT.
- ⑩ EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND RELOCATED. SEE ELECTRICAL DRAWINGS.
- ⑪ REMOVE ALL EXISTING HVAC AND MECHANICAL DUCTS THROUGHOUT.
- ⑫ EXISTING ELEVATOR, CAB, DOORS AND SHAFT TO REMAIN.
- ⑬ REMOVE AND DISPOSE OF EXISTING DOOR, TRIM AND HARDWARE.
- ⑭ REMOVE AND SALVAGE ALL EXISTING WINDOWS FOR OWNER (TYPICAL THROUGHOUT).
- ⑮ REMOVE EXISTING ROOF DRAIN.
- ⑯ REMOVE AND DISPOSE OF EXISTING WALL HUNG JANITOR'S SINK. TERMINATE PLUMBING AS REQUIRED.
- ⑰ REMOVE AND DISPOSE OF EXISTING TOILET AND SINK. TERMINATE PLUMBING AS REQUIRED.
- ⑱ REMOVE AND DISPOSE OF EXISTING HIGH-BAY LIGHTING. TYPICAL THROUGHOUT.
- ⑲ REMOVE EXISTING STEEL COLUMN AND CONCRETE FOOTINGS.
- ⑳ REMOVE EXISTING CONCRETE SLAB AND SIDEWALK.
- ㉑ DASHED LINES INDICATE WALLS, DOORS, ROOF AND FOUNDATION TO BE REMOVED AND DISPOSED.
- ㉒ REMOVE EXISTING CONCRETE SLAB FROM INDICATED DEMOLISHED BUILDING.
- ㉓ EXISTING CONCRETE STAIRS TO REMAIN. REMOVE AND DISPOSE EXISTING DOOR COVERING STAIRS.
- ㉔ REMOVE AND DISPOSE OF REQUIRED PORTION OF EXISTING MASONRY WALL FOR NEW DOOR. SEE FLOOR PLAN ON SHEET A103.
- ㉕ REMOVE AND DISPOSE OF REQUIRED PORTION OF EXISTING MASONRY WALL FOR NEW WINDOW. SEE FLOOR PLAN ON SHEET A103.
- ㉖ EXISTING TO REMAIN CHIMNEY.
- ㉗ REMOVE AND DISPOSE OF INDICATED WARPED/NOTCHED STRUCTURAL WOOD BEAM. REPLACE WITH NEW TO MATCH EXISTING. REFER TO FLOOR PLAN ON SHEET A103.
- ㉘ REMOVE AND DISPOSE OF EXISTING ROLL UP DOOR IN ELEVATOR SHAFT.



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Project **PROJECT PEERLESS**
 603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title		
FIRST FLOOR DEMOLITION PLAN		
Project Number		
20-40-159		
Drawn		
ALM		
Checked		
DJS		
Scale		
3/16" = 1'-0"		
Dwg.		
PEERLESS - CDS		
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
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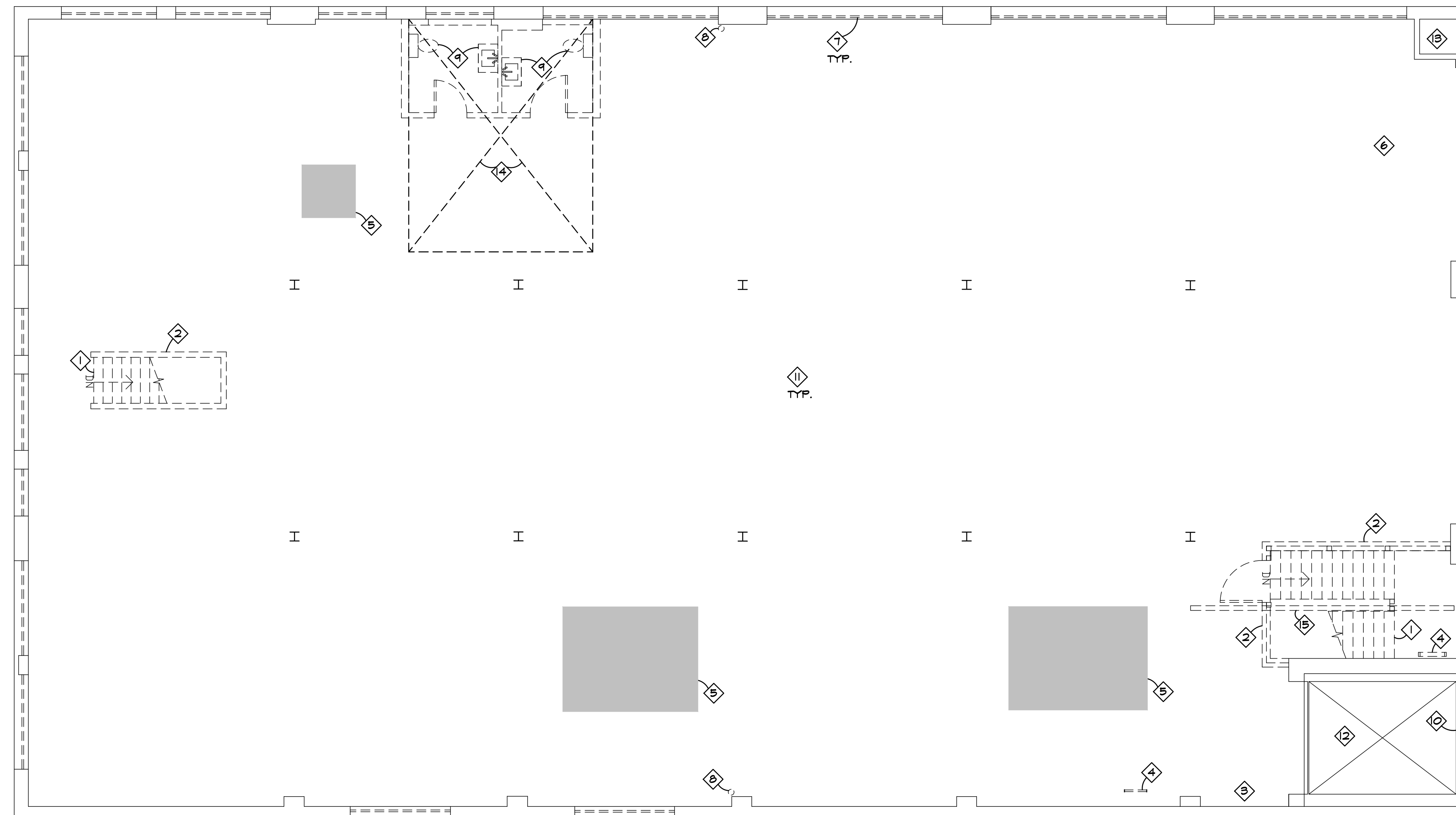
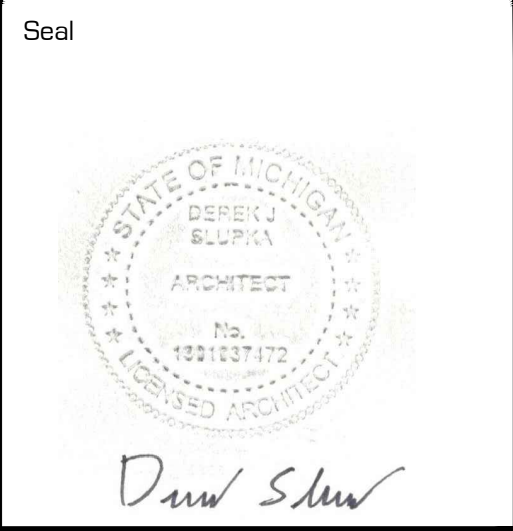
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DEMOLITION NOTES

- ① REMOVE AND DISPOSE OF WOODEN STAIRS, LANDING AND RAILINGS.
- ② REMOVE EXISTING WALL AROUND STAIRS.
- ③ EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED AND RELOCATED (NOT SHOWN). SEE ELECTRICAL DRAWINGS.
- ④ EXISTING ROOF ACCESS LADDERS AND HATCHES TO BE REMOVED AND DISPOSED OF.
- ⑤ SHADED AREA REPRESENTS TO REMOVE AND DISPOSE OF EXISTING SKYLIGHTS (REFER TO ROOF PLAN ON SHEET A104). PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑥ REMOVE CEILING HUNG TEMPORARY HEATER (NOT SHOWN).
- ⑦ REMOVE AND SALVAGE ALL EXISTING WINDOWS FOR OWNER (TYPICAL THROUGHOUT).
- ⑧ REMOVE EXISTING ROOF DRAIN.
- ④ REMOVE AND DISPOSE OF EXISTING TOILET, AND SINK. TERMINATE PLUMBING AS REQUIRED.
- ⑩ REMOVE AND DISPOSE OF EXISTING WINDOWS IN ELEVATOR SHAFT.
- ① REMOVE AND DISPOSE OF EXISTING PENDANT LIGHTING. TYPICAL THROUGHOUT.
- ② EXISTING ELEVATOR, CAB, DOORS AND SHAFT TO REMAIN.
- ③ EXISTING TO REMAIN CHIMNEY.
- ④ INDICATED 'X' AREA TO HAVE CONCRETE FLOORING REMOVED AS REQUIRED TO ACCEPT NEW FLOORING.
- ⑤ STRUCTURAL ROOF BEAM TO BE REMOVED AS REQUIRED.



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SECOND FLOOR
DEMOLITION PLAN
 3/16" = 1'-0"

Project **PROJECT PEERLESS**

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Drawing Title
**SECOND FLOOR
 DEMOLITION PLAN**

Project Number
20-40-159

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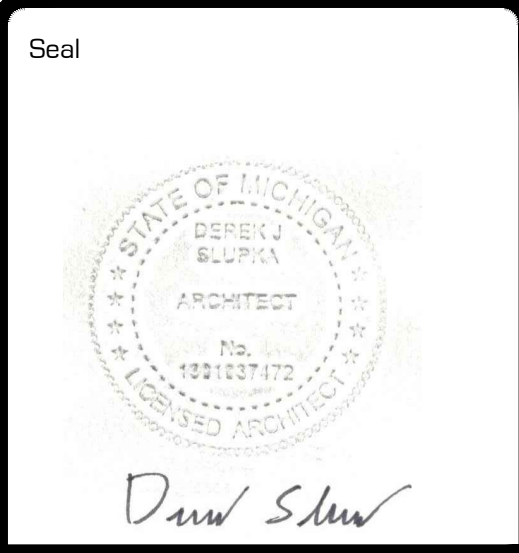
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CONSTRUCTION NOTES

- 1 INDICATED NEW WALL TO ALIGN WITH INDICATED COLUMN AS SHOWN.
- 2 PROVIDE ONE (1) LAYER 5/8" TH. GYPSUM BOARD OVER NEW 3 5/8" METAL STUDS AROUND STRUCTURAL COLUMN TO RUN FROM FLOOR TO DECK ABOVE.
- 3 ALIGN SURFACES OF BOTH NEW INDICATED FINISHES.
- 4 ALIGN SURFACE OF NEW FINISH WITH SURFACE OF EXISTING INDICATED FINISH.
- 5 PREPARE ALL NEW WALLS FOR NEW FINISH (TYPICAL THROUGHOUT).
- 6 EXISTING TO REMAIN CHIMNEY.
- 7 CENTERLINE OF WALL TO ALIGN WITH CENTERLINE OF MILLION. SEE DETAIL NO. 4 ON SHEET A501.
- 8 WARPED/NOTCHED STRUCTURAL WOOD BEAM WAS REMOVED AND DISPOSED OF. PROVIDE NEW TO MATCH EXISTING AS REQUIRED.
- 9 VERIFY LOCATION OF ALL FIRE EXTINGUISHERS WITH OWNER PRIOR TO INSTALLATION TO AVOID FURNITURE CONFLICTS (TYPICAL THROUGHOUT).
- 10 ALL MILLWORK THROUGHOUT WILL BE PROVIDED BY G.C.'S MILLWORKER. REFER TO MILLWORKER'S DRAWINGS FOR DETAILS. ALL MILLWORK IS SHOWN FOR REFERENCE ONLY AND IS NOT EXACT.
- 11 FILL EXISTING PIT AS REQUIRED. SEE CIVIL DRAWINGS.
- 12 NEW ROOF DRAIN. REFER TO PLUMBING DRAWINGS.
- 13 PROVIDE WOOD BLOCKING IN WALL AS REQUIRED FOR UPPER CABINET INSTALLATION.
- 14 INDICATED (THICKER) WALL TO ACCEPT CLOTHES DRYER MECHANICAL VENT. SEE MECHANICAL DRAWINGS.
- 15 PROVIDE WOOD BLOCKING IN WALL AS REQUIRED IN PREPARATION FOR POSSIBLE FUTURE TOILET GRAB BARS AND/OR SHOWER BENCH AND GRAB BARS INSTALLATION.
- 16 PROVIDE 1/4" WATER LINE WITH BACKFLOW PREVENTER FOR REFRIGERATOR. SEE ELEVATION.
- 17 NEW CASEMENT FIXED WINDOW 6'-0" X 3'-11 1/8" TO BE INSTALLED AT 12'-0" TO TOP OF WINDOW.
- 18 PROVIDE 1 1/2" DIAMETER METAL HAND RAIL ON EACH SIDE OF STEPS. PAINT FINISH.
- 19 INDICATED 'X' AREA TO RECEIVE APPROXIMATELY 2 1/4" OF CONCRETE INFILL TO LEVEL CONCRETE FLOOR WITH ADJACENT CONCRETE FLOOR.
- 20 PROVIDE NEW STEEL LINTELS OVER NEW EXTERIOR DOORS AS REQUIRED. TYPICAL.
- 21 FILL WALL TO MATCH EXISTING BRICK. SEE WALL CONSTRUCTION LEGEND ON SHEET A1041.
- 22 INDICATED SHOWER DIMENSION SHALL BE 36" HOLD FROM FACE OF TILE TO FACE OF TILE. TYPICAL THROUGHOUT.



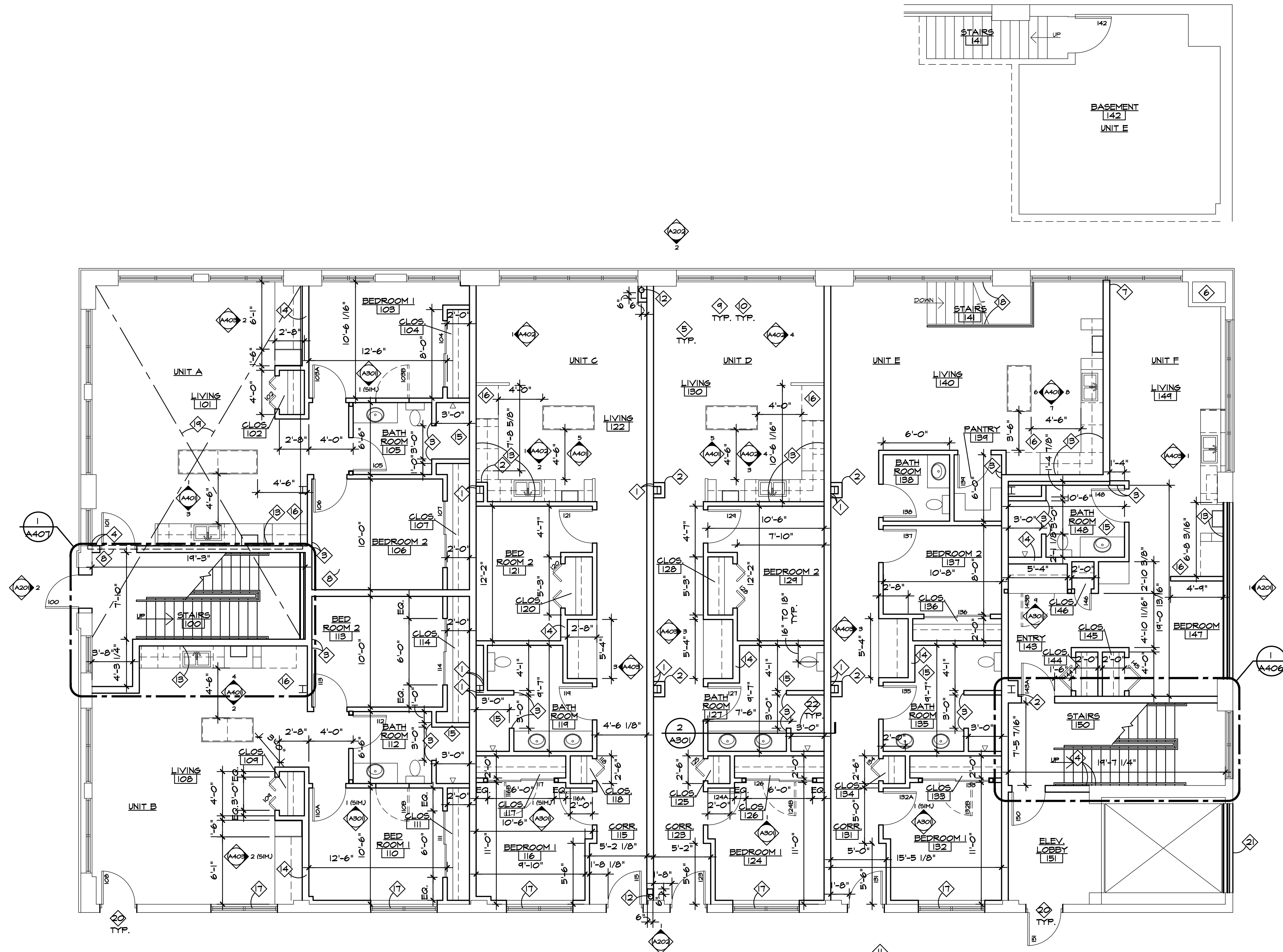
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PROJECT PEERLESS
 Project
 603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title	
FIRST FLOOR FLOOR PLAN	
Project Number	
20-40-159	
Drawn	ALM
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Scale	3/16" = 1'-0"
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PERMIT	10-13-21

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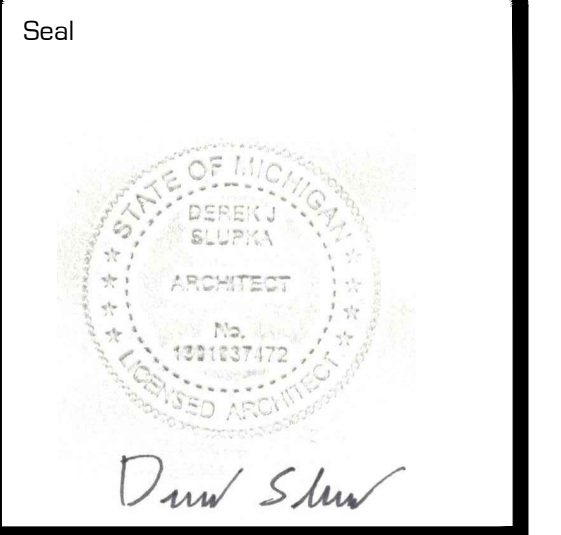
FIRST FLOOR
FLOOR PLAN
 3/16" = 1'-0"

**WALL CONSTRUCTION
LEGEND NOTES**

- ◇ INDICATED (THICKER) WALL TO ACCEPT CLOTHES DRYER MECHANICAL VENT. SEE MECHANICAL DRAWINGS.
- ◇ EXISTING TO REMAIN CHIMNEY.
- ◇ CONTRACTOR SHALL PROVIDE LIGHT GAUGE FRAMING SHOP DRAWINGS FOR ALL HVAC MEZZANINE PLATFORMS. SHOP DRAWINGS SHALL BE PREPARED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF MICHIGAN. TYPICAL.



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
**FIRST FLOOR WALL
CONSTRUCTION PLAN**

Project Number
20-40-159

Drawn ALM

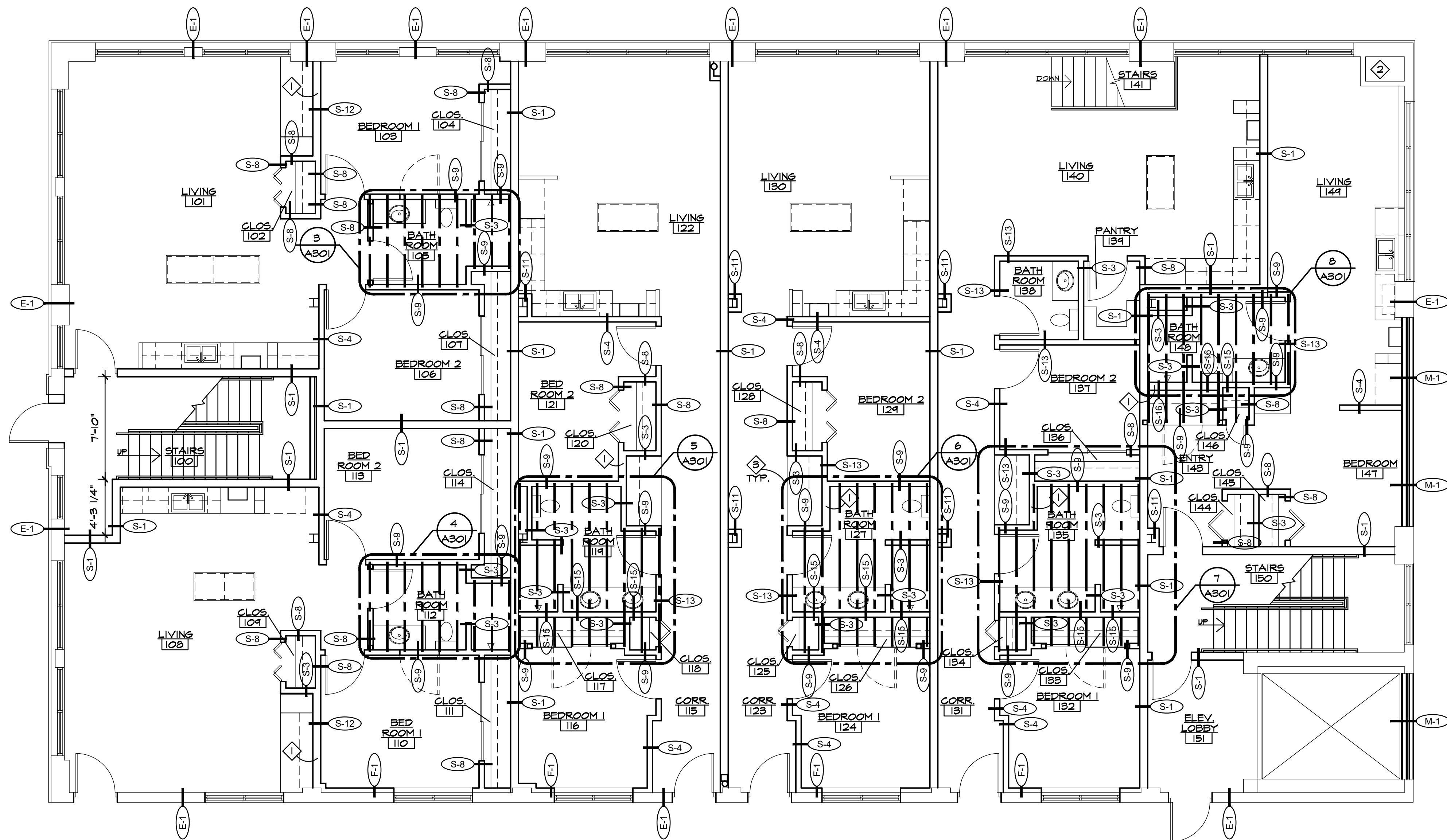
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Scale 3/16" = 1'-0"

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DESIGN DEVELOPMT.	5-28-21	DJS
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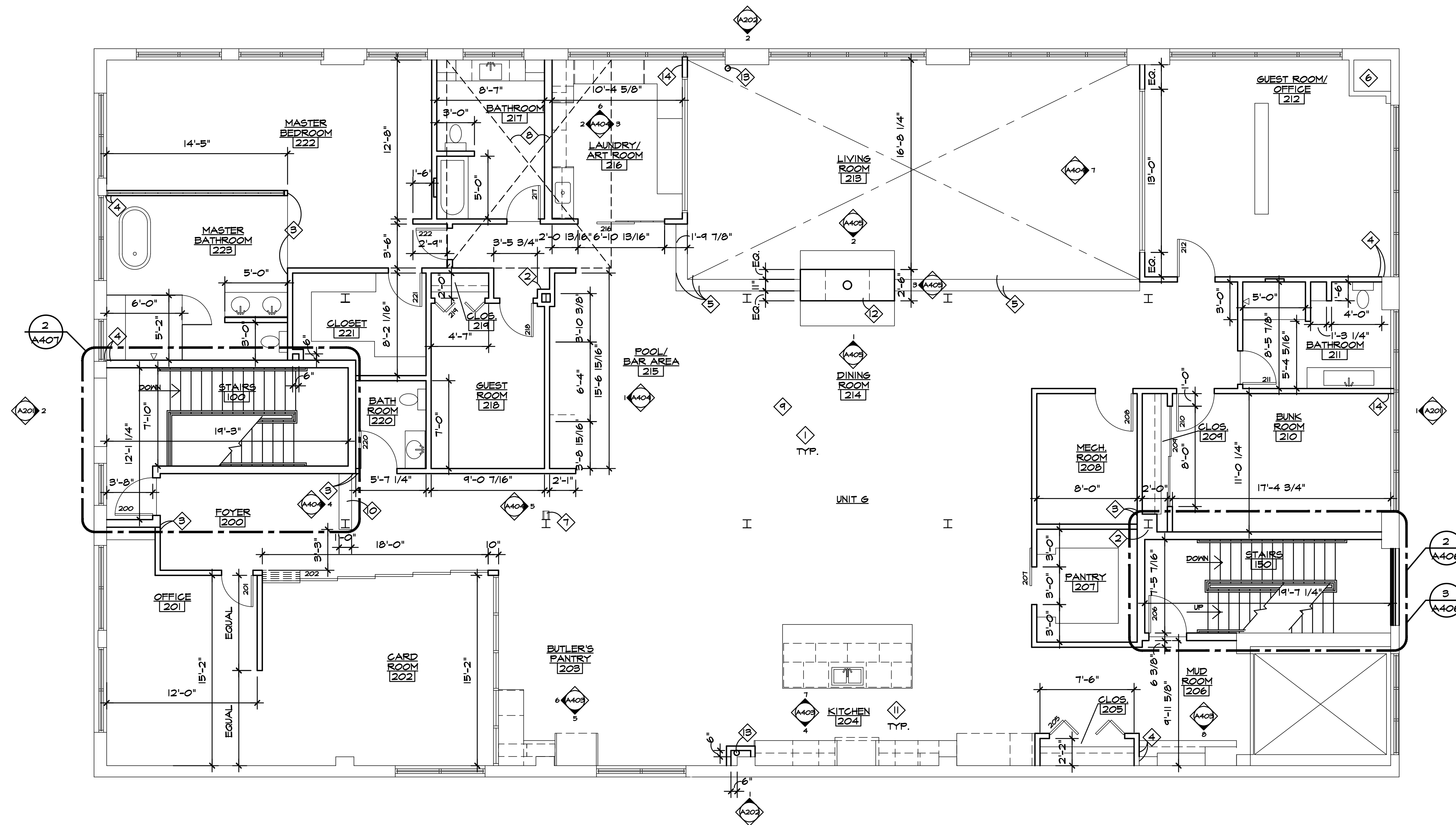
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of
28



FIRST FLOOR
WALL CONSTRUCTION PLAN
3/16" = 1'-0" NORTH

CONSTRUCTION NOTES

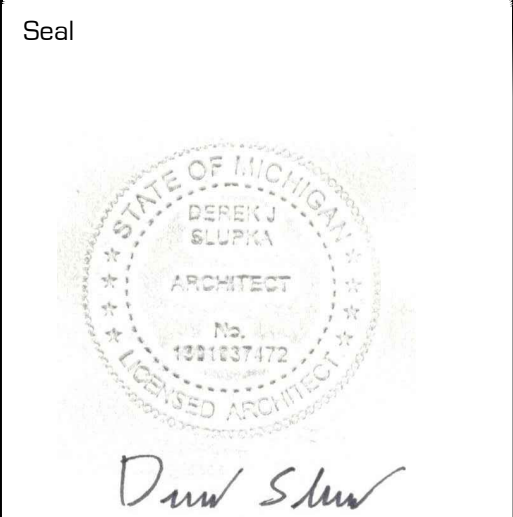
- 1 PREPARE ALL NEW WALLS FOR NEW FINISH (TYPICAL THROUGHOUT).
- 2 PROVIDE ONE (1) LAYER 5/8" TH. GYPSUM BOARD OVER NEW 3 5/8" METAL STUDS AROUND STRUCTURAL COLUMN TO RUN FROM FLOOR TO DECK ABOVE.
- 3 ALIGN SURFACES OF BOTH NEW INDICATED FINISHES.
- 4 ALIGN SURFACE OF NEW FINISH WITH SURFACE OF EXISTING INDICATED FINISH.
- 5 PROVIDE NEW STEP FOR 3/4" TONGUE AND GROOVE PLYWOOD ON 2X8'S RAISED PLATFORM. 'X' AREA REPRESENTS LIMITS OF RAISED PLATFORM OF LIVING ROOM #219. PROVIDE WOOD FLOORING (WT-1) ON TREAD AND RISERS. TOP OF PLYWOOD AT 12" ABOVE ADJACENT FLOOR.
- 6 EXISTING TO REMAIN CHIMNEY.
- 7 ELEVEN (11) NEW SINGLE WINE BOTTLE DISPLAY SHELVES ATTACHED TO COLUMN. SEE ELEVATION.
- 8 INDICATED 'X' AREA TO RECEIVE NEW WOOD SUB-FLOOR TO ALIGN WITH EXISTING TONGUE AND GROOVE FLOORING PLANKS AS REQUIRED FOR NEW SCHEDULED FLOORING. REFER TO FINISH PLAN ON SHEET A108 AND A109.
- 9 VERIFY LOCATION OF ALL FIRE EXTINGUISHERS WITH OWNER PRIOR TO INSTALLATION TO AVOID FURNITURE CONFLICTS (TYPICAL THROUGHOUT).
- 10 NEW MILLWORK SHELVING UNIT. SEE ELEVATION.
- 11 ALL MILLWORK WILL BE PROVIDED BY G.C.'S MILLWORKER. REFER TO MILLWORKERS DRAWINGS FOR DETAILS. ALL MILLWORK IS SHOWN FOR REFERENCE ONLY AND IS NOT EXACT.
- 12 NEW FIREPLACE UNIT. SEE ELEVATION.
- 13 NEW ROOF DRAIN. REFER TO PLUMBING DRAWINGS.
- 14 CENTERLINE OF WALL TO ALIGN WITH CENTERLINE OF MULLION. SEE DETAIL NO. 4 ON SHEET A501.



SECOND FLOOR
FLOOR PLAN
 3/16" = 1'-0" 



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Seal

David Shaw

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
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Drawing Title	SECOND FLOOR FLOOR PLAN	
Project Number	20-40-159	
Drawn	ALM	
Checked	DJS	
Scale	3/16"=1'-0"	
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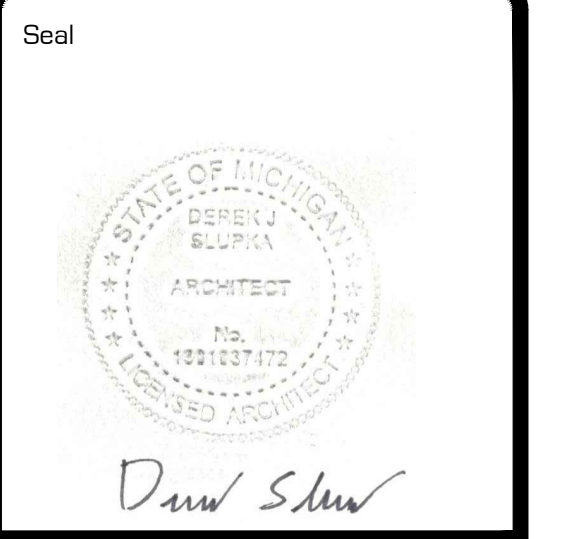
Sheet Number
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WALL CONSTRUCTION LEGEND

WALL ID	DETAIL NO.	WALL DESCRIPTION	UL#	FIRE RATING	WALL HEIGHT (DIMS.)	STUD SIZE	STUD O.C.	STUD GAUGE	GYPSSUM THICKNESS	INSULATION THICKNESS	NOTES	WALL ID	DETAIL NO.	WALL DESCRIPTION	UL#	FIRE RATING	WALL HEIGHT (DIMS.)	STUD SIZE	STUD O.C.	STUD GAUGE	GYPSSUM THICKNESS	INSULATION THICKNESS	NOTES
E-1	-	EXISTING CMU WALL	-	-	-	-	-	-	-	-	-	S-11	-	METAL STUD TO 12'-10" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 12'-10" A.F.F. GYP. BD. CEILING	3 5/8"	16"	20	5/8"	-	-
F-1	3/A501	PERIMETER WALL FURRING	-	-	TO DECK; 15'-7" A.F.F.	3 5/8"	16"	18	5/8"	3 1/2"	-	S-12	-	METAL STUD TO FIRST FLOOR DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 15'-7" A.F.F.; BOTH SIDES; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	6"	16"	18	5/8"	5 1/2"	-
M-1	5/A501	EXTERIOR SIDE: NEW BRICK TO MATCH EXISTING. TOOTH INTO EXISTING WHERE APPLICABLE. INTERIOR SIDE: 5/8" GYP. BD. OVER 3 5/8" METAL STUDS WITH 3 1/2" FIBERGLASS INSULATION OVER 5/8" SHEATHING WITH WATER RESISTIVE BARRIER AND 2" AIR GAP BETWEEN SHEATHING AND BACKSIDE OF MASONRY METAL STUD AND GYPSUM BOARD WALL	-	-	-	3 5/8"	16"	16	5/8"	3 1/2"	-	S-13	-	METAL STUD TO FIRST FLOOR DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 15'-7" A.F.F.; ONE SIDE; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. OTHER SIDE, UP TO 8'-6" FOR ADJACENT 8'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	3 5/8"	16"	18	5/8"	3 1/2"	-
S-1	-	METAL STUD AND GYPSUM BOARD WALL	U411	1 HOUR	TO DECK AT 15'-7" A.F.F. ON 1ST FLR. AND 13'-11 1/2" ON 2ND FLR.	6"	16"	18	5/8"	5 1/2"	-	S-14	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK AT 13'-11 1/2" ON 2ND FLR.	6"	16"	20	5/8"	5 1/2"	-
S-2	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	3 1/2"	-	S-15	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 8'-0" A.F.F. GYP. BD. CEILING	3 5/8"	16"	16	5/8"	-	STUDS BELOW MEZZANINE TO BE CONSTRUCTED WITH CLARK DIETRICH 16 GAUGE METAL STUDS #3625162-54.
S-3	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 8'-0" A.F.F. GYP. BD. CEILING	3 5/8"	16"	25	5/8"	-	-	S-16	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO 8'-0" A.F.F. GYP. BD. CEILING	6"	16"	16	5/8"	-	STUDS BELOW MEZZANINE TO BE CONSTRUCTED WITH CLARK DIETRICH 16 GAUGE METAL STUDS #6009162-54.
S-4	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK AT 15'-7" A.F.F. BOTH SIDES GYP. BD. UP TO 13'-4" A.F.F. FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEILING	3 5/8"	16"	18	5/8"	3 1/2"	-	S-17	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 13'-11 1/2" A.F.F.; ONE SIDE (OUTSIDE OF ROOM); GYP. BD. UP TO 13'-11 1/2"; INSIDE OF ROOM: UP TO 9'-6" FOR ADJACENT 9'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A106)	3 5/8"	16"	20	5/8"	3 1/2"	-
S-5	1/A501	METAL STUD AND GYPSUM BOARD WALL ABOVE AND BELOW REUSED EXTERIOR GLASS WINDOWS	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	-	-	S-18	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO DECK AT 13'-11 1/2" A.F.F.; ONE SIDE (OUTSIDE OF ROOM); GYP. BD. UP TO 13'-11 1/2"; INSIDE OF ROOM: UP TO 9'-6" FOR ADJACENT 9'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A106)	3 5/8"	16"	20	5/8"	5/8"	-
S-6	-	METAL STUD AND GYPSUM BOARD SOFFIT ABOVE REUSED, SALVAGED EXTERIOR GLASS WINDOWS	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	3 1/2"	-	S-19	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON EACH SIDE UP TO 9'-6"	-	-	TO DECK AT 13'-11 1/2" A.F.F.; ONE SIDE (OUTSIDE OF ROOM); GYP. BD. UP TO 13'-11 1/2"; INSIDE OF ROOM: UP TO 9'-6" FOR ADJACENT 9'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A106)	3 5/8"	16"	20	5/8"	5/8"	-
S-7	2/A501	3/4 HIGH METAL STUD AND GYPSUM BOARD WALL	-	-	FLOOR TO 1'-" A.F.F. (T.B.D.)	3 5/8"	16"	20	5/8"	-	-	S-20	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON ONE SIDE UP TO 9'-6"	-	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON ONE SIDE UP TO 9'-6"	3 5/8"	16"	20	5/8"	5/8"	-
S-8	-	METAL STUD TO FIRST FLOOR DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE	-	-	TO DECK AT 15'-7" A.F.F.; ONE SIDE; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. OTHER SIDE, UP TO 8'-6" FOR ADJACENT 8'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	3 5/8"	16"	18	5/8"	-	-	S-21	-	METAL STUD UP TO 8'-0" A.F.F. WITH GYPSUM BOARD ON BOTH SIDES	-	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON BOTH SIDES	3 5/8"	16"	20	5/8"	5/8"	-
S-9	-	METAL STUD TO DECK AT 15'-7" A.F.F. WITH GYPSUM BOARD ON EACH SIDE WITH INSULATION	-	-	TO DECK AT 15'-7" A.F.F.; ONE SIDE; GYP. BD. UP TO 13'-4" FOR ADJACENT 12'-10" A.F.F. GYP. BD. CEIL. OTHER SIDE, UP TO 8'-6" FOR ADJACENT 8'-0" A.F.F. GYP. BD. CEIL. (SEE SHEET A105)	3 5/8"	16"	16	5/8"	3 1/2"	STUDS BELOW MEZZANINE TO BE CONSTRUCTED WITH CLARK DIETRICH 16 GAUGE METAL STUDS #3625162-54. STUDS ABOVE MEZZANINE TO BE CONSTRUCTED WITH 3 5/8" METAL STUDS, 25 GAUGE, 16" O.C.	S-20	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON ONE SIDE UP TO 9'-6"	-	-	METAL STUD TO SECOND FLOOR DECK AT 13'-11 1/2" A.F.F. WITH GYPSUM BOARD ON ONE SIDE UP TO 9'-6"	3 5/8"	16"	20	5/8"	5/8"	-
S-10	-	METAL STUD AND GYPSUM BOARD WALL	-	-	TO DECK 13'-11 1/2" A.F.F.	3 5/8"	16"	20	5/8"	-	-	S-21	-	METAL STUD UP TO 8'-0" A.F.F. WITH GYPSUM BOARD ON BOTH SIDES	-	-	METAL STUD TO 8'-0" A.F.F. WITH GYPSUM BOARD ON BOTH SIDES	3 5/8"	16"	20	5/8"	5/8"	-



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David Shaw

PROJECT PEERLESS

Drawing Title
SECOND FLOOR WALL CONSTRUCTION PLAN AND WALL CONSTRUCTION LEGEND

Project Number
20-40-159

Drawn
ALM

Checked
DJS

Scale
3/16" = 1'-0"

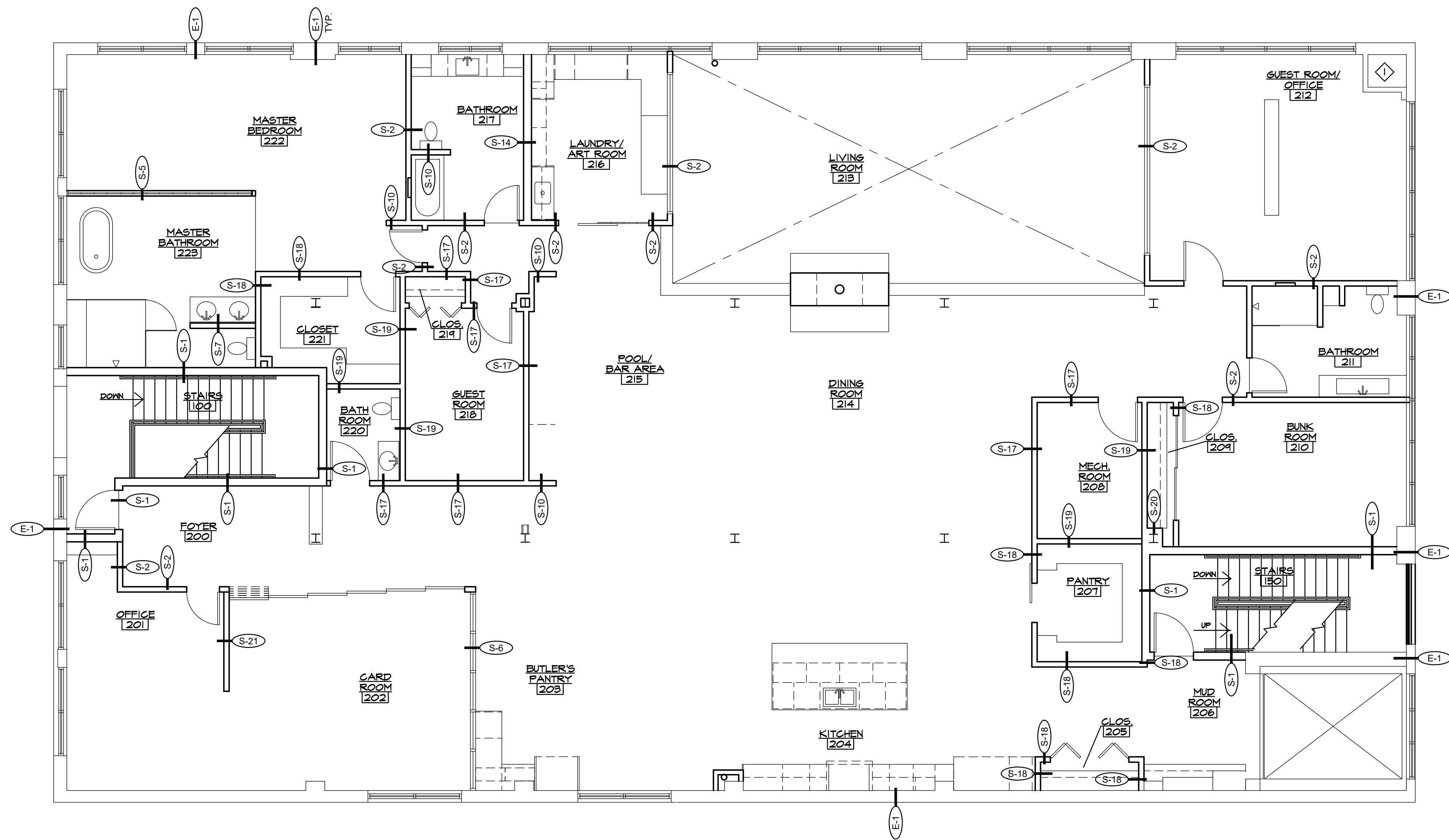
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603 E. MILWAUKEE ST.
DETROIT, MI 48202



WALL CONSTRUCTION LEGEND NOTES

◊ EXISTING TO REMAIN CHIMNEY.

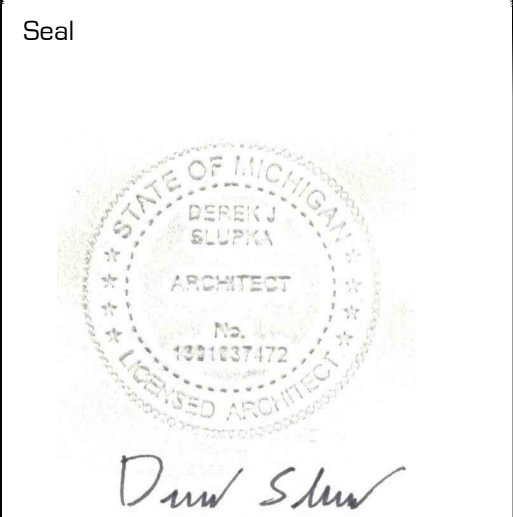
SECOND FLOOR
WALL CONSTRUCTION PLAN
3/16" = 1'-0"

CEILING NOTES

- ① INDICATED ROOM TO RECEIVE NEW FINISHED GYPSUM BOARD CEILING AT 8'-0" A.F.F. PAINT P-3.
- ② INDICATED ROOM TO RECEIVE NEW FINISHED GYPSUM BOARD CEILING AT 12'-10" A.F.F. PAINT P-3. SEE DETAIL NO. 6 ON SHEET A501.
- ③ PROVIDE NEW GYPSUM BOARD SOFFIT AT 12'-4" A.F.F. TO UNDERSIDE.
- ④ PROVIDE NEW GYPSUM BOARD SOFFIT AT 11'-0" A.F.F. TO UNDERSIDE.



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Derek S. Shaw

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
**FIRST FLOOR
 REFLECTED CEILING PLAN**

Project Number
20-40-159

Drawn ALM

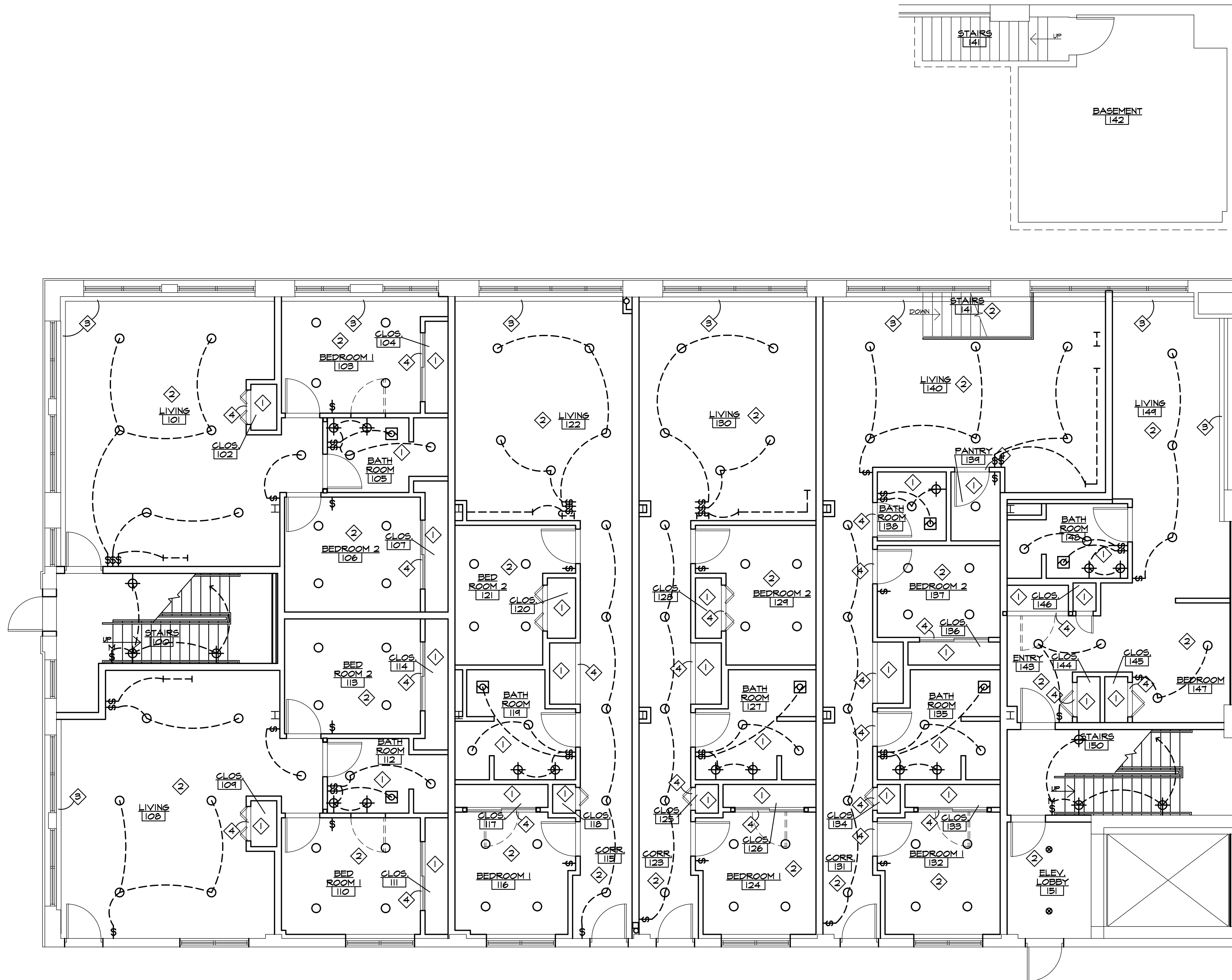
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Scale 3/16" = 1'-0"

Dwg. PEERLESS - CDS

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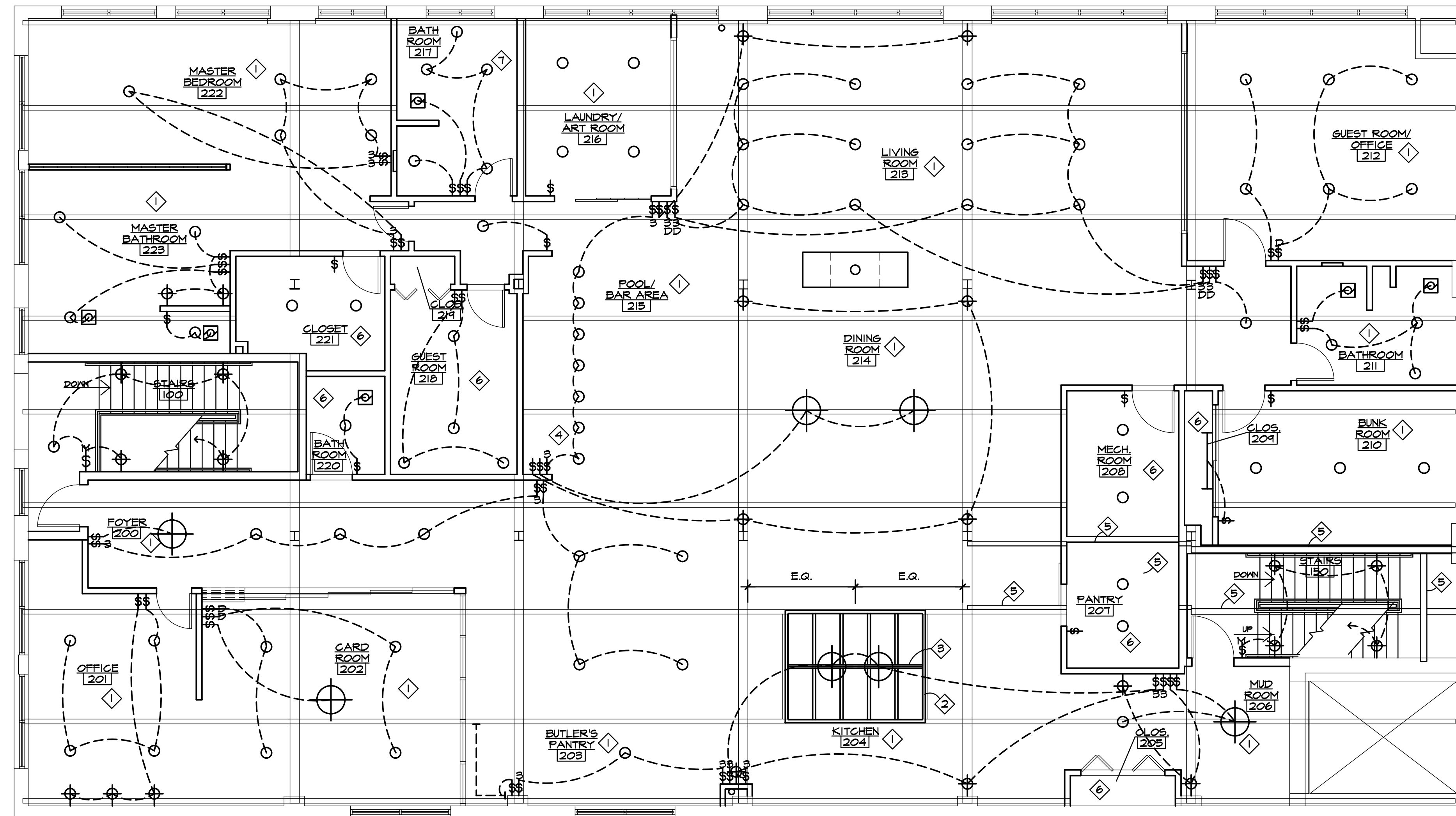
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FIRST FLOOR
REFLECTED CEILING PLAN
 3/16" = 1'-0"

CEILING NOTES

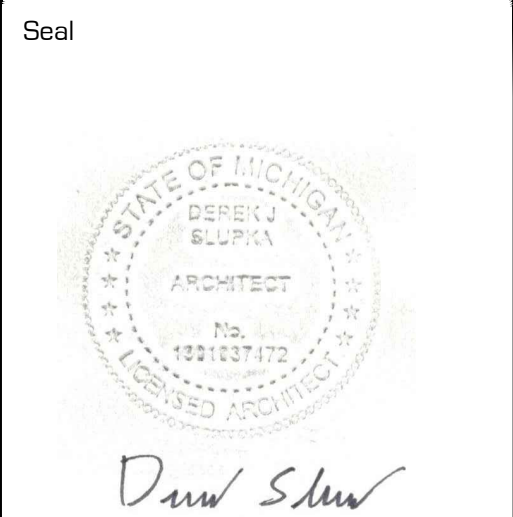
- 1 INDICATED ROOM TO HAVE OPEN AND EXPOSED EXISTING DECK AT 15'-7 7/8" +/- A.F.F.
- 2 NEW SKYLIGHTS. SEE ROOF PLAN ON SHEET A110, NOTE NO. 1.
- 3 PROVIDE NEW WOOD BEAM TO MATCH EXISTING WOOD BEAMS. PROVIDE NEW METAL BEAM HANGING BY 'SIMPSON STRONG-TIE' OR EQUAL. EXACT BEAM LOCATION SHALL BE DETERMINED BY SKYLIGHT MANUFACTURER'S SHOP DRAWINGS.
- 4 EXACT LIGHT PLACEMENT FOR SEVEN (7) BAR LIGHT FIXTURES TO BE DETERMINED UPON OVERALL SIZE OF OWNER PROVIDED BAR MILLWORK.
- 5 NEW FRAMING MEMBERS. SEE DETAIL NO. 10 ON SHEET A301.
- 6 INDICATED ENTIRE ROOM TO HAVE GYPSUM BOARD CEILING AT 9'-0" A.F.F.
- 7 INDICATED ENTIRE ROOM TO HAVE GYPSUM BOARD CEILING AT 13'-0" A.F.F.



SECOND FLOOR
REFLECTED CEILING PLAN
3/16" = 1'-0"



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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
**SECOND FLOOR
REFLECTED CEILING PLAN**

Project Number
20-40-159

Drawn ALM

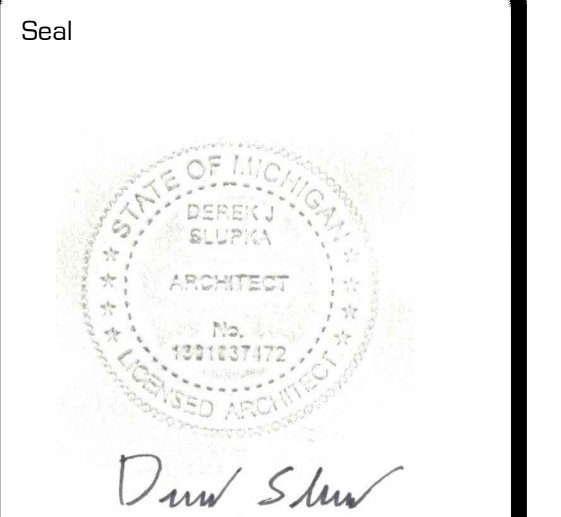
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Scale 3/16" = 1'-0"

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OWNER REVIEW	9-X-21	DJS
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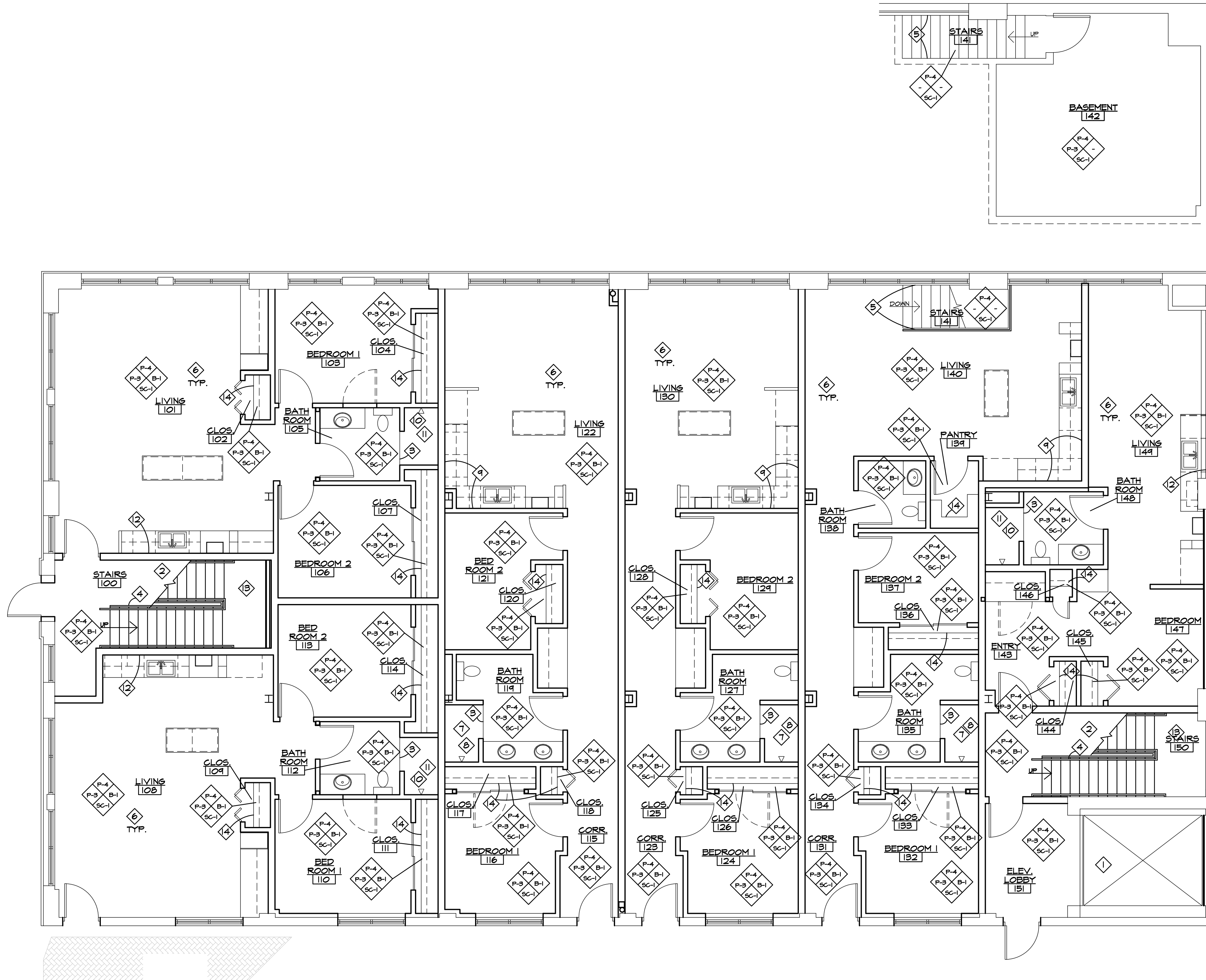
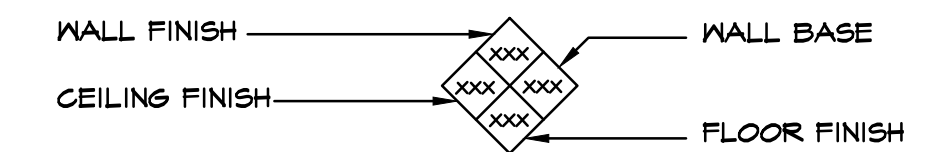
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FINISH NOTES

- 1 EXISTING ELEVATOR SHAFT, CAB AND DOORS TO REMAIN.
- 2 PAINT STAIRWELL WALLS FROM FIRST FLOOR TO ROOF LEVEL.
- 3 PROVIDE CONCRETE TO TILE 'SCHLUTER' EDGE ANGLE ALONG EDGE OF TILE. FINISH T.B.D.
- 4 PREP FOR NEW PAINT ON STAIRWELL RAILINGS AND GUARD. PAINT P-6. TYPICAL. PAINT FROM FIRST FLOOR TO ROOF LEVEL.
- 5 PREP FOR NEW PAINT ON RAILINGS. PAINT P-6. TYPICAL.
- 6 PAINT GYPSUM BOARD CEILING P-3. TYPICAL THROUGHOUT IN ALL UNITS.
- 7 ALL WALLS IN SHOWER TO BE FT-2.
- 8 FLOOR IN SHOWER TO BE FT-3.
- 9 BACK SPLASH IN KITCHEN TO BE FT-1. SEE MILLWORK ELEVATIONS SHEET NO. A401 AND A402.
- 10 ALL WALLS IN SHOWER TO BE FT-5.
- 11 FLOOR IN SHOWER TO BE FT-6.
- 12 BACK SPLASH IN KITCHEN TO BE FT-4. SEE MILLWORK ELEVATIONS SHEET NO. A401 AND A402.
- 13 PROVIDE RUBBER FLOOR (SR-1) ON TREAD, RISER, AND LANDINGS ON STAIRS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 14 SHELVING MATERIAL TO BE DETERMINED.

FINISH KEY



FIRST FLOOR
FINISH PLAN
3/16" = 1'-0"

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
FIRST FLOOR FINISH PLAN

Project Number
20-40-159

Drawn ALM

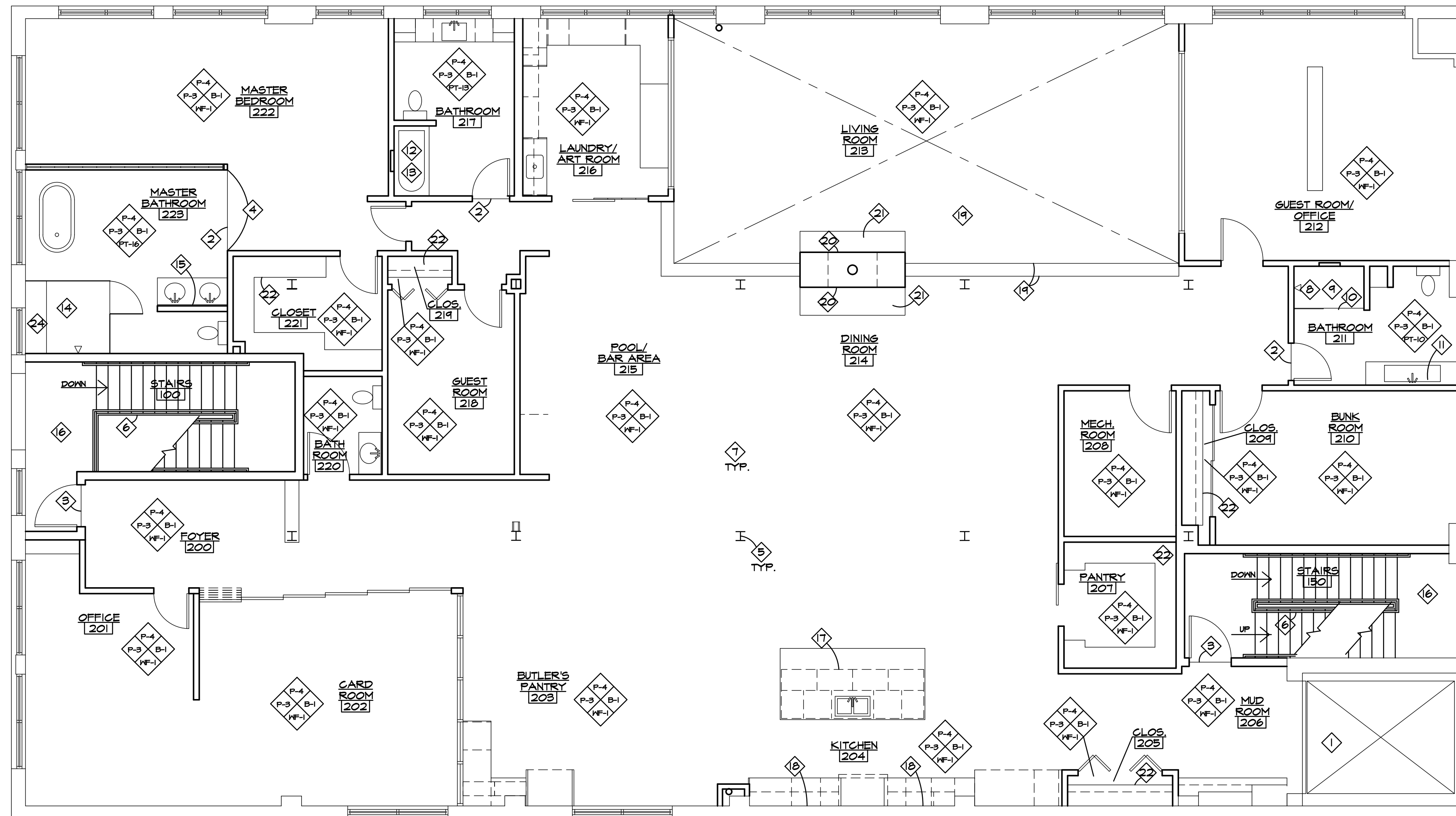
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Scale 3/16"=1'-0"

Dwg. PEERLESS - CDS

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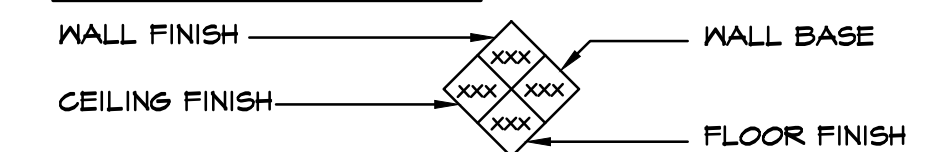


SECOND FLOOR
FINISH PLAN
 3/16" = 1'-0" 

FINISH NOTES

- 1 EXISTING ELEVATOR SHAFT, CAB AND DOORS TO REMAIN.
- 2 PROVIDE WOOD TO TILE 'SCHLUTER' EDGE ANGLE ALONG EDGE OF TILE. FINISH T.B.D. CENTER UNDER DOOR IN CLOSED POSITION.
- 3 PROVIDE RUBBER TO WOOD TRANSITION STRIP. FINISH AND MATERIAL T.B.D. CENTER UNDER DOOR IN CLOSED POSITION.
- 4 FLOOR TRANSITION LINE ALIGNED WITH CORNER OF WALL.
- 5 PREP COLUMNS FOR NEW PAINT P-5. TYPICAL.
- 6 PREP FOR NEW PAINT ON STAIRWELL RAILINGS AND GUARD. PAINT P-6. TYPICAL. PAINT FROM FIRST FLOOR TO ROOF LEVEL.
- 7 PAINT WOOD PLANK CEILING P-3. TYPICAL.
- 8 ALL WALLS IN SHOWER TO BE FT-II.
- 9 FLOOR IN SHOWER TO BE FT-12.
- 10 PROVIDE A SCHLUTER TRANSITION STRIP BETWEEN SHOWER TILE FLOOR (FT-12) AND BATHROOM TILE FLOOR (FT-10). FINISH MATTE BLACK.
- 11 BACK SPLASH (FT-11) TO RUN FROM TOP OF COUNTER TO 4 COURSES OF TILE.
- 12 ACCENT WALL IN SHOWER TO BE FT-14. VERTICAL STA/SOLDIER COURSE PATTERN. START AT 5'-0" A.F.F. TO 3 COURSES OF TILE.
- 13 WALLS IN SHOWER TO BE FT-15. HORIZONTAL STACK PATTERN (FLOOR TO APPROXIMATELY 5'-0" A.F.F.).
- 14 ALL WALLS AND FLOOR IN SHOWER TO BE FT-18.
- 15 BACK SPLASH (FT-17) TO RUN FROM FLOOR TO TOP OF WALL.
- 16 PROVIDE RUBBER FLOOR (SR-1) ON TREAD, RISER, AND LANDINGS ON STAIRS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 17 PORCELAIN TILE (PT-8) ON EAST SIDE OF ISLAND UNDER COUNTERTOP.
- 18 PORCELAIN TILE (PT-7) BACK SPLASH IN KITCHEN#204. SEE ELEVATION NO. 4 ON SHEET A403
- 19 RAISED PLATFORM IN LIVING ROOM #213 TO HAVE WOOD FLOORING (WF-1) ON FLOOR, RISER, AND TREAD.
- 20 FIRE PLACE TILE TO BE FT-4. SEE ELEVATION NO. 1, 2, AND 3 ON SHEET NO. A405
- 21 HEARTH SURROUND MATERIAL TO BE PEMABIG TILE (FT-4).
- 22 SHELVING MATERIAL TO BE DETERMINED.
- 23 BENCH SEAT AND SIDES IN SHOWER TO BE FT-18.

FINISH KEY



7300 DIXIE HWY. #600
 CLARKSTON, MI 48346
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Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title
SECOND FLOOR FINISH PLAN

Project Number
20-40-159

Drawn ALM

Checked DJS

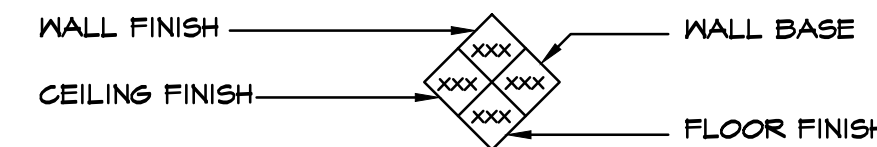
Scale 3/16"=1'-0"

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

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FINISH KEY



FLOOR

FINISH LEGEND

1ST / 2ND	B-1	BASE "T.B.D." STYLE: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-1	PAINT (DOORS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-2	PAINT (FRAMES) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-3	PAINT (CEILING) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-4	PAINT (WALLS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-5	PAINT (COLUMNS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST / 2ND	P-6	PAINT (RAILINGS) "T.B.D." FINISH: T.B.D. COLOR: T.B.D.
1ST	PT-1	PORCELAIN TILE (UNITS C,D,E KITCHEN BS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: GREEN SIZE: 2.5" X 10" PATTERN: HORIZONTAL STACK 18" HIGH GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-2	PORCELAIN TILE (UNITS C,D,E SHOWER WALLS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: SMOKE SIZE: 2.5" X 10" PATTERN: VERTICAL STACK / SOLDIER COURSE GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-3	PORCELAIN TILE (UNITS C,D,E FLOOR) 'BEAVER TILE & STONE' COLLECTION: ROCA 2" HEX MOSAIC COLOR: WHITE SIZE: 12" X 12" SHEET PATTERN: - GROUT: TEC 934 SLATE GRAY GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-4	PORCELAIN TILE (UNITS A,B,F KITCHEN BS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: SMOKE SIZE: 2.5" X 10" PATTERN: HORIZONTAL STACK 18" HIGH FULL HEIGHT BEHIND HOOD GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-5	PORCELAIN TILE (UNITS A,B,F SHOWER WALLS) 'BEAVER TILE & STONE' COLLECTION: OLIMPIA OCEANI COLOR: GREEN SIZE: 2.5" X 10" PATTERN: VERTICAL STACK / SOLDIER COURSE GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
1ST	PT-6	PORCELAIN TILE (UNITS A,B,F FLOOR) 'BEAVER TILE & STONE' COLLECTION: ROCA 2" HEX MOSAIC COLOR: WHITE SIZE: 12" X 12" SHEET PATTERN: - GROUT: TEC 934 SLATE GRAY GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-7	PORCELAIN TILE (KITCHEN BACK SPLASH) 'SENESEE CERAMIC TILE' COLLECTION: MARABELLA COLOR: - SIZE: 8" X 8" GROUT: TEC POWER GROUT 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-8	PORCELAIN TILE (ISLAND FACE) 'GIOT' STYLE: EPOQUE OVAL COLOR: GREY / TAUPE SIZE: 8" X 8" PATTERN: STACKED GRID GROUT: TEC POWER GROUT 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-9	PORCELAIN TILE (FIRE PLACE SURROUND) 'PENABIC' STYLE: CUSTOM BLEND COLOR: SHADOW, GELADON, IRID, MATTE SIZE: 4" X 4" GROUT: TEC 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-10	PORCELAIN TILE (GUEST BATH #1 FLOOR) 'GIOT' STYLE: BOHEMIA COLOR: HANNA HEX SIZE: 8" X 10" GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER

FLOOR

FINISH LEGEND

2ND	PT-11	PORCELAIN TILE (GUEST BATH #1 BACKSPLASH/SHOWER WALLS) 'GIOT' STYLE: LUME COLOR: BLUE SIZE: 2.5" X 9.5" PATTERN: HORIZONTAL STACK GROUT: TEC 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-12	PORCELAIN TILE (GUEST BATH #1 FLOOR) 'BEAVER TILE & STONE' STYLE: SOMERTILE HUDSON PENNY COLOR: MINT SIZE: 12" X 12.625" SHEET GROUT: TEC 909 STERLING GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-13	PORCELAIN TILE (GUEST BATH #2 FLOOR) 'MSI' STYLE: AZUL SCALLOP COLOR: BLUE SIZE: 8.5" X 10" SHEET GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-14	PORCELAIN TILE (GUEST BATH #2 SHOWER WALLS ACCENT) 'GIOT' STYLE: LUME COLOR: BLUE SIZE: 2.5" X 9.5" PATTERN: VERTICAL STACK/SOLDIER COURSE START AT 5'-0" A.F.F. (REFERENCE CONCEPT RENDERING) GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-15	PORCELAIN TILE (GUEST BATH #2 SHOWER WALLS) 'BEAVER TILE & STONE' STYLE: OLIMPIA OCEANI COLOR: AQUA SIZE: 2.5" X 10" PATTERN: HORIZONTAL STACK (FLOOR TO APPROX. 5'-0" A.F.F.) GROUT: TEC 949 SILVERADO GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-16	PORCELAIN TILE (MASTER BATH FLOOR) 'DAL TILE' STYLE: BEE HIVE MEDLEY COLOR: BLUE SIZE: 8.5" X 10" GROUT: TEC 908 DOVE GRAY GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-17	PORCELAIN TILE (MASTER BATH BACKSPLASH) 'VIRGINIA TILE' STYLE: MOM USA- MESTIZAJE COLOR: COTTO CHATEAU ANTIQUE MATTE SIZE: 7" X 7" NOTE: VARIED PATTERNS - DESIGNER TO APPROVE BLEND ON SITE PRIOR TO INSTALL. GRID PATTERN. GROUT: TEC 908 BIRCH GROUT SIZE: T.B.D. BY DESIGNER
2ND	PT-18	PORCELAIN TILE (MASTER BATH SHOWER WALLS / FLOOR) 'HOME DEPOT' STYLE: IVY HILL - ALEXANDRIA COLOR: DENIM BLUE HEXAGON SIZE: 6" GROUT: TEC 908 DOVE GRAY GROUT SIZE: T.B.D. BY DESIGNER
1ST	SC-1	SEALED CONCRETE "T.B.D." COLOR: T.B.D. FINISH: T.B.D.
1ST / 2ND	SR-1	STAIR RISER AND TREAD 'ROPPE' COLOR: T.B.D. MATERIAL: RUBBER
2ND	WF-1	WOOD FLOOR 'LUMBER LIQUIDATORS' STYLE: WINCHESTER OAK MBW07 SIZE: 9/16" X 7.5" X (10.7 X 14.8")L COLOR: BLONDE INSTALLATION: REFER TO MANUFACTURERS INSTALLATION INSTRUCTIONS



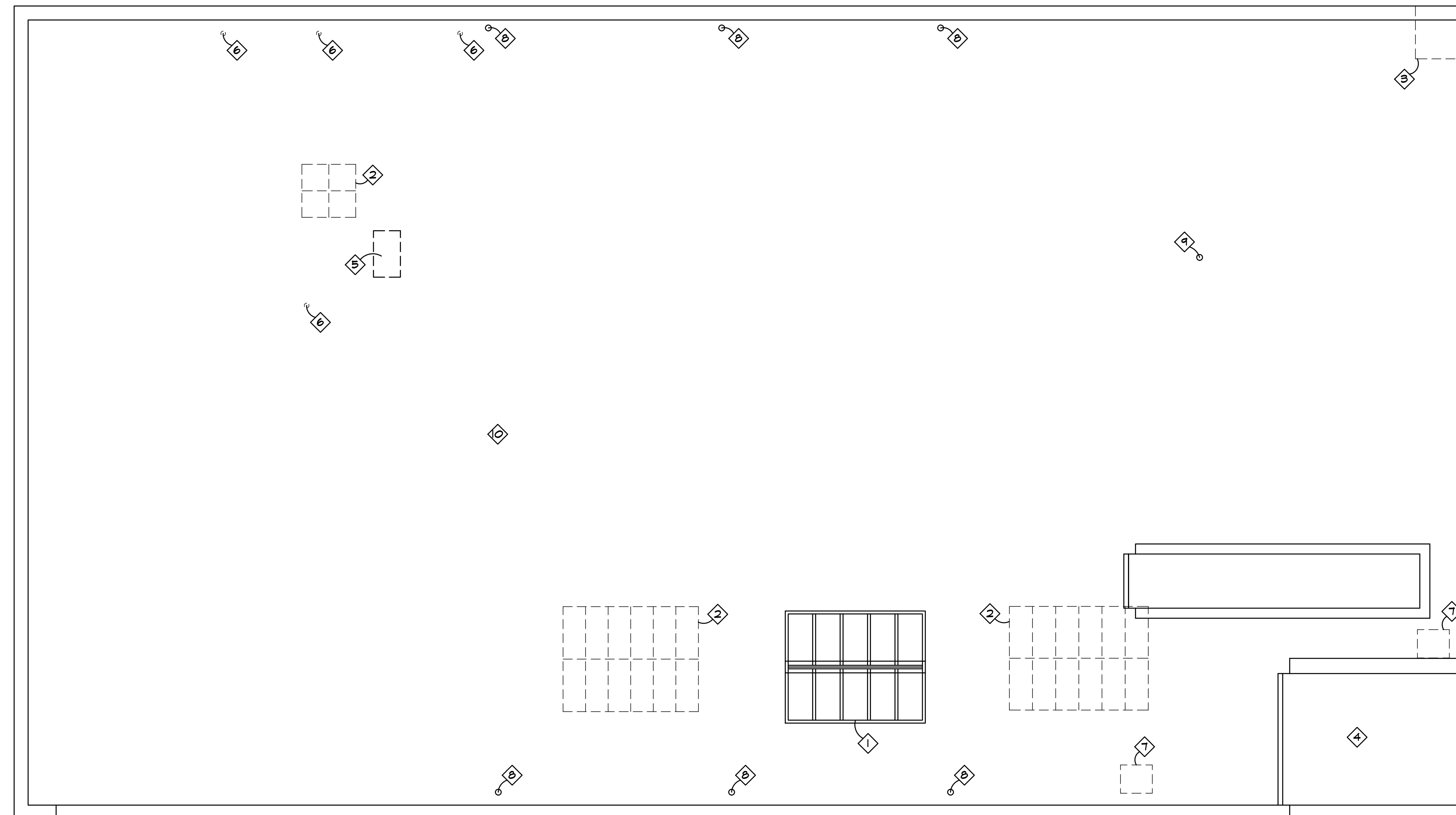
7300 DIXIE HWY. #600
CLARKSTON, MI 48346
PHONE 248.605.2030
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Seal	
 David Shaw	
PROJECT PEERLESS	
Drawing Title FINISH LEGEND	
Project Number 20-40-159	
Drawn ALM	
Checked DJS	
Scale N/A	
Dwg. PEERLESS - CDS	
Issued for: _____ Date: _____ By: _____ DESIGN DEVELOPMT. 5-28-21 DJS OWNER REVIEW 8-20-21 DJS PERMIT 10-13-21 DJS	
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603 E. MILWAUKEE ST.
DETROIT, MI 48202

ROOF NOTES

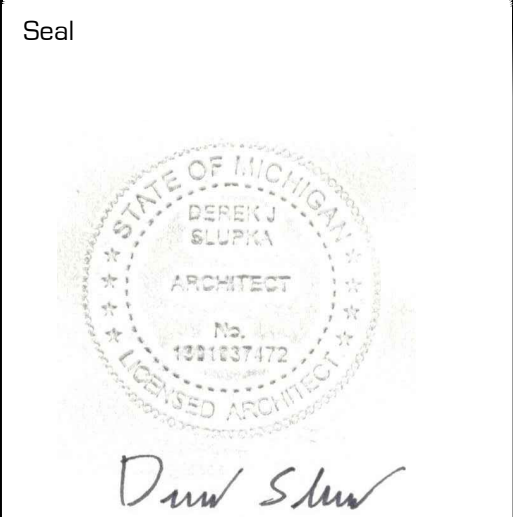
- ① PROVIDE NEW 8' X 10' PREMANUFACTURED ALUMINUM SKYLIGHT ASSEMBLY WITH INSULATED GLASS BY MASCOVELUX MODEL C3D6 950 SERIES LT DOUBLE PITCH WITH GLASS ALONG SILL. PROVIDE NEW ROOF CURB PER MANUFACTURERS INSTRUCTIONS. PROVIDE AND INSTALL BEAM (SIZE, STYLE AND TYPE TO BE DETERMINED BY DESIGNER), RUNNING NORTH AND SOUTH, ALONG AT BASE OF SKYLIGHTS TO SUPPORT TWO (2) HANGING LIGHT FIXTURES.
- ② REMOVE AND DISPOSE OF EXISTING SKYLIGHTS.
- ③ REMOVE AND DISPOSE OF EXISTING BRICK MASONRY CHIMNEY. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ④ EXISTING ROOFTOP ELEVATOR MACHINE ROOM.
- ⑤ REMOVE AND DISPOSE OF INDICATED ROOFTOP CONDENSING UNIT.
- ⑥ REMOVE AND DISPOSE OF EXISTING ROOFTOP PLUMBING STACK.
- ⑦ REMOVE AND DISPOSE OF EXISTING ROOFTOP ACCESS LADDER HATCH. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑧ REMOVE EXISTING ROOF DRAIN AND PROVIDE NEW 4" ROOF DRAIN AS REQUIRED.
- ⑨ APPROXIMATE LOCATION OF EXISTING FURNACE FLUE TO BE REMOVED AND DISPOSED OF. PROVIDE NEW ROOF DECKING TO MATCH EXISTING, INSULATION ON ROOFING AND NEW ROOFING MEMBRANE TO MATCH EXISTING.
- ⑩ PROVIDE NEW 2" LAYER OF POLYISO OVER ENTIRE EXISTING TO REMAIN ROOFTOP MEMBRANE AND PROVIDE NEW THERMOPLASTIC POLYOLEFIN (TPO), COLOR GRAY. PROVIDE NEW METAL COPING WITH KYNAR FINISH, COLOR T.B.D., AS REQUIRED.



ROOF PLAN
3/16" = 1'-0"



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Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
ROOF PLAN

Project Number
20-40-159

Drawn ALM

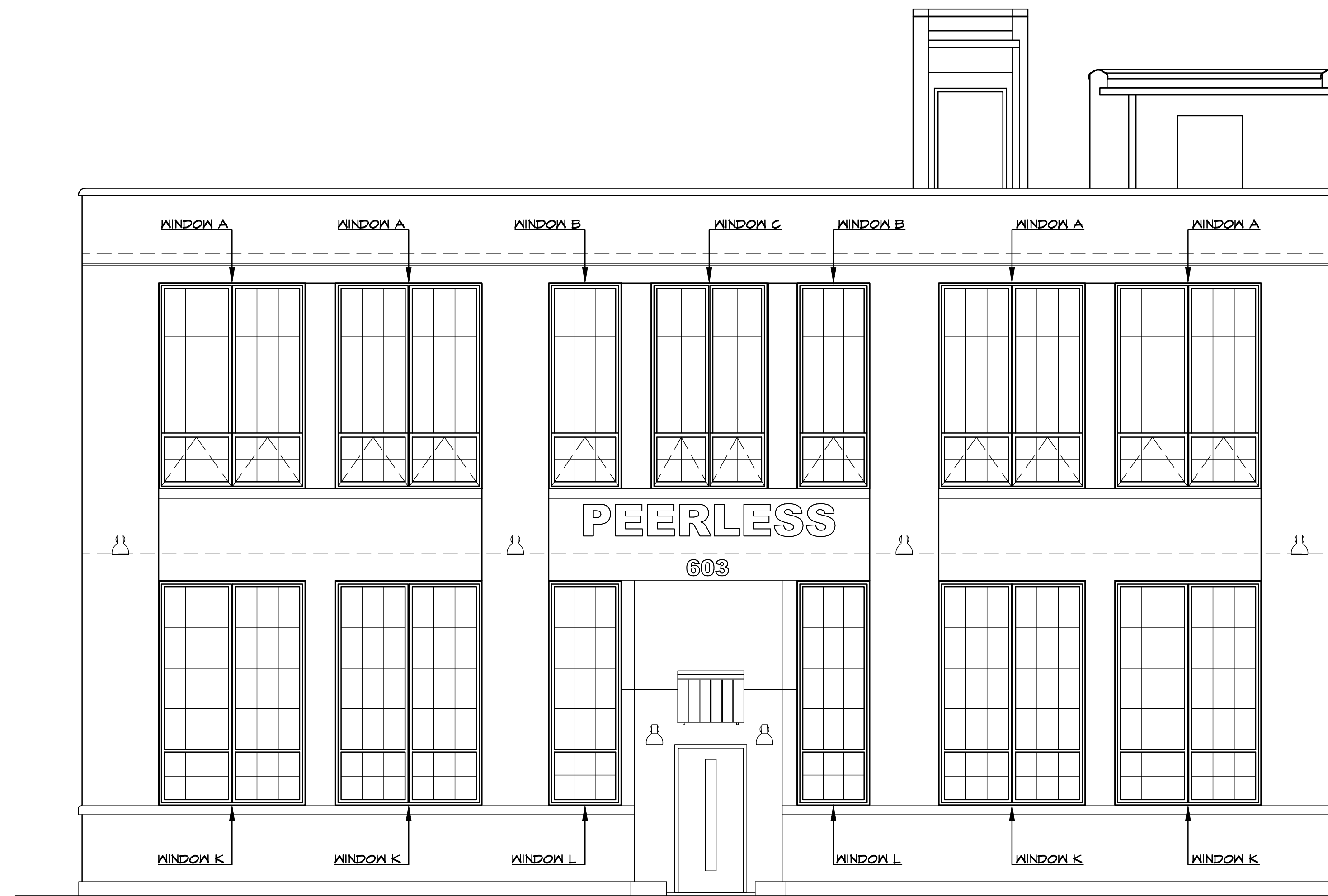
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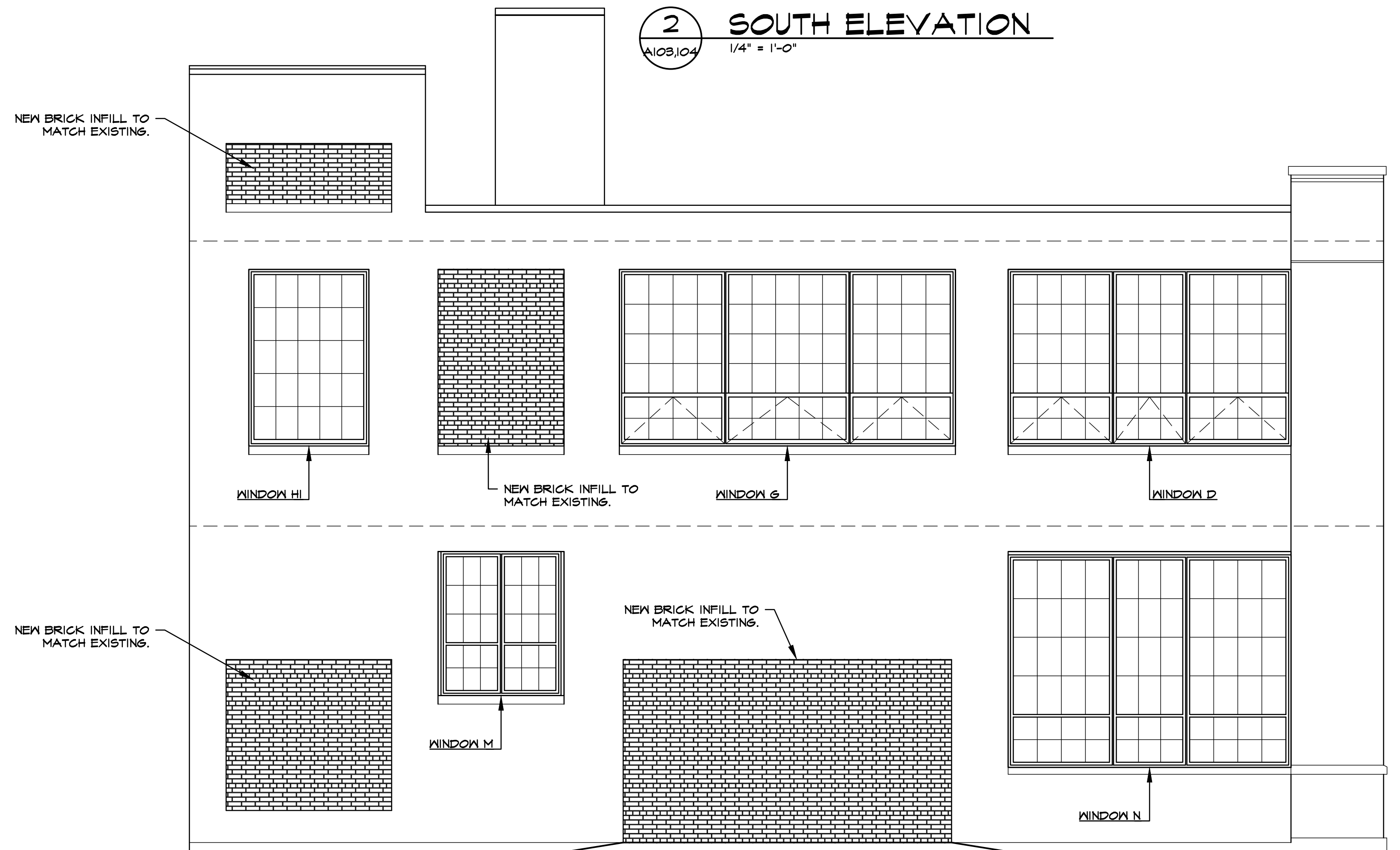
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2 SOUTH ELEVATION
A103,104 1/4" = 1'-0"



1 NORTH ELEVATION
A103,104 1/4" = 1'-0"



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Seal



Derek Stueck

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

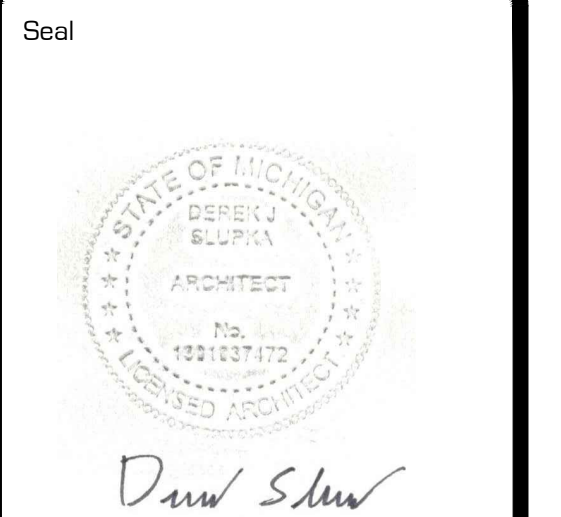
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Scale 1/4" = 1'-0"

Dwg. PEERLESS - CDS

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DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
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Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
EXTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

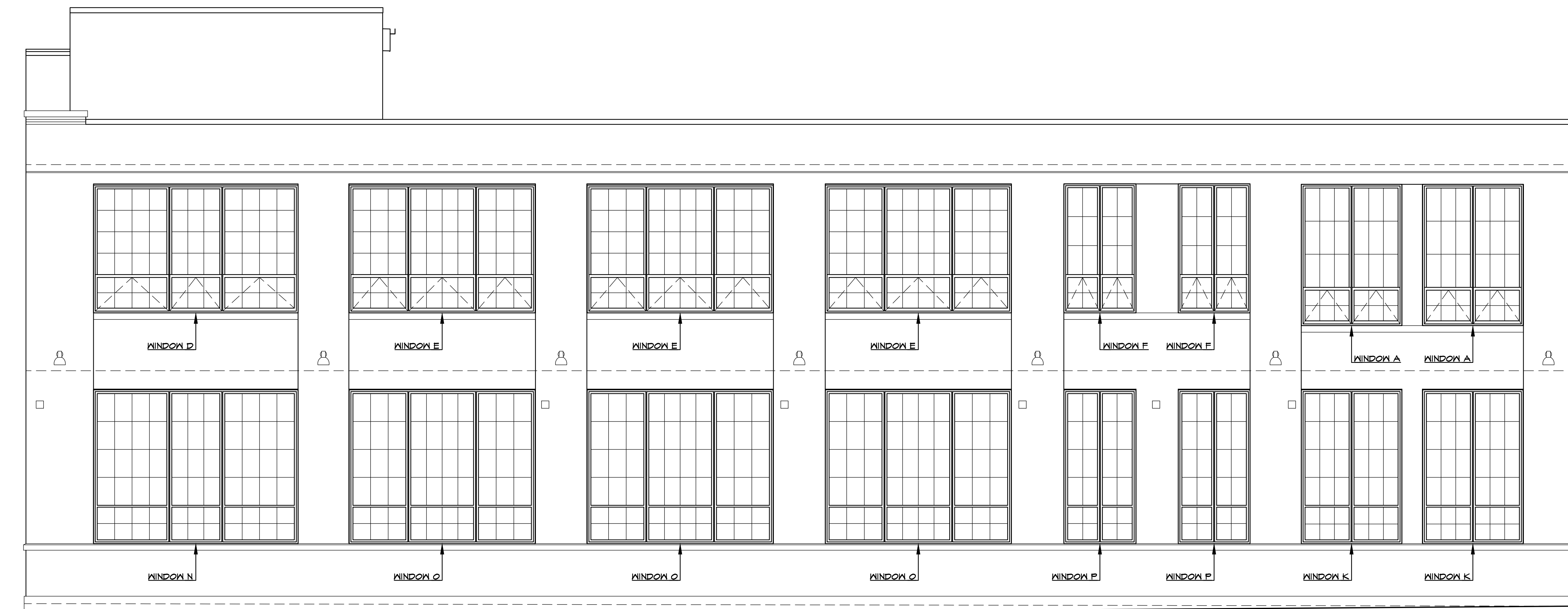
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Scale 1/4" = 1'-0"

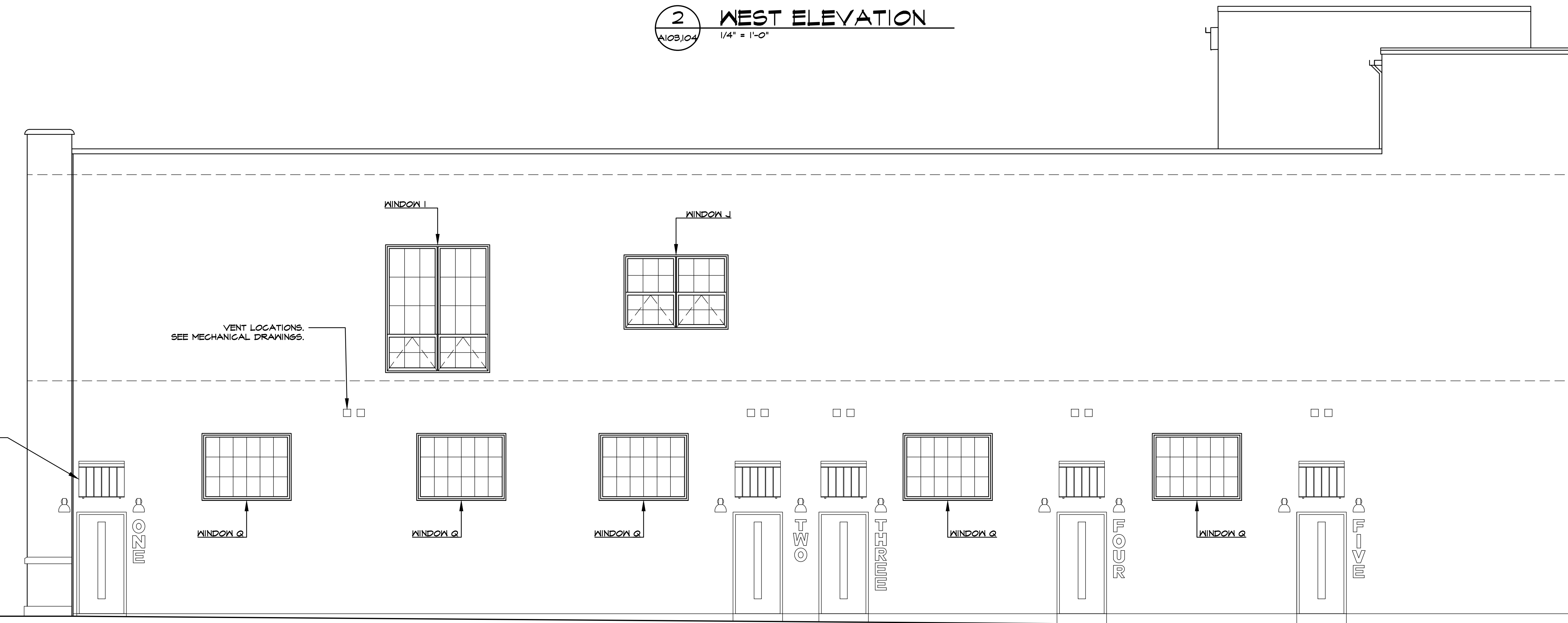
Dwg. PEERLESS - CDS

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DESIGN DEVELOPMT.	5-28-21	DJS
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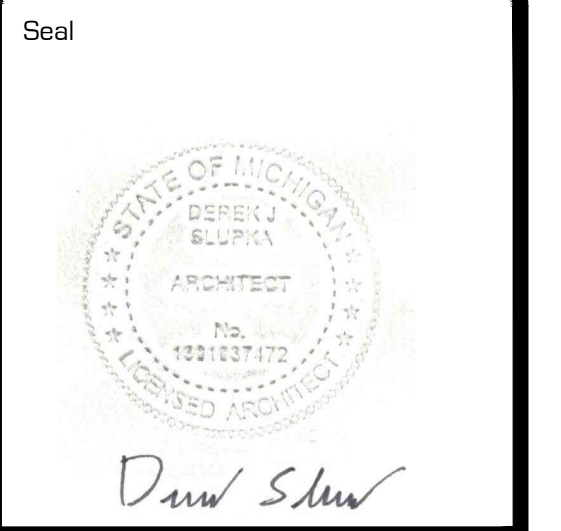


2 WEST ELEVATION
A103,104 1/4" = 1'-0"



1 EAST ELEVATION
A103,104 1/4" = 1'-0"

NEW 'AMTECH' AWNING
3'-0 1/16" X 2'-0" H X 3'-0" D
BY 'GLOBAL INDUSTRIAL'
OR EQUAL. FINISH BLACK.
TYPICAL.



Project
PROJECT PEERLESS

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
FRAMING ELEVATIONS / ENLARGED PLANS / DETAILS

Project Number
20-40-159

Drawn
ALM

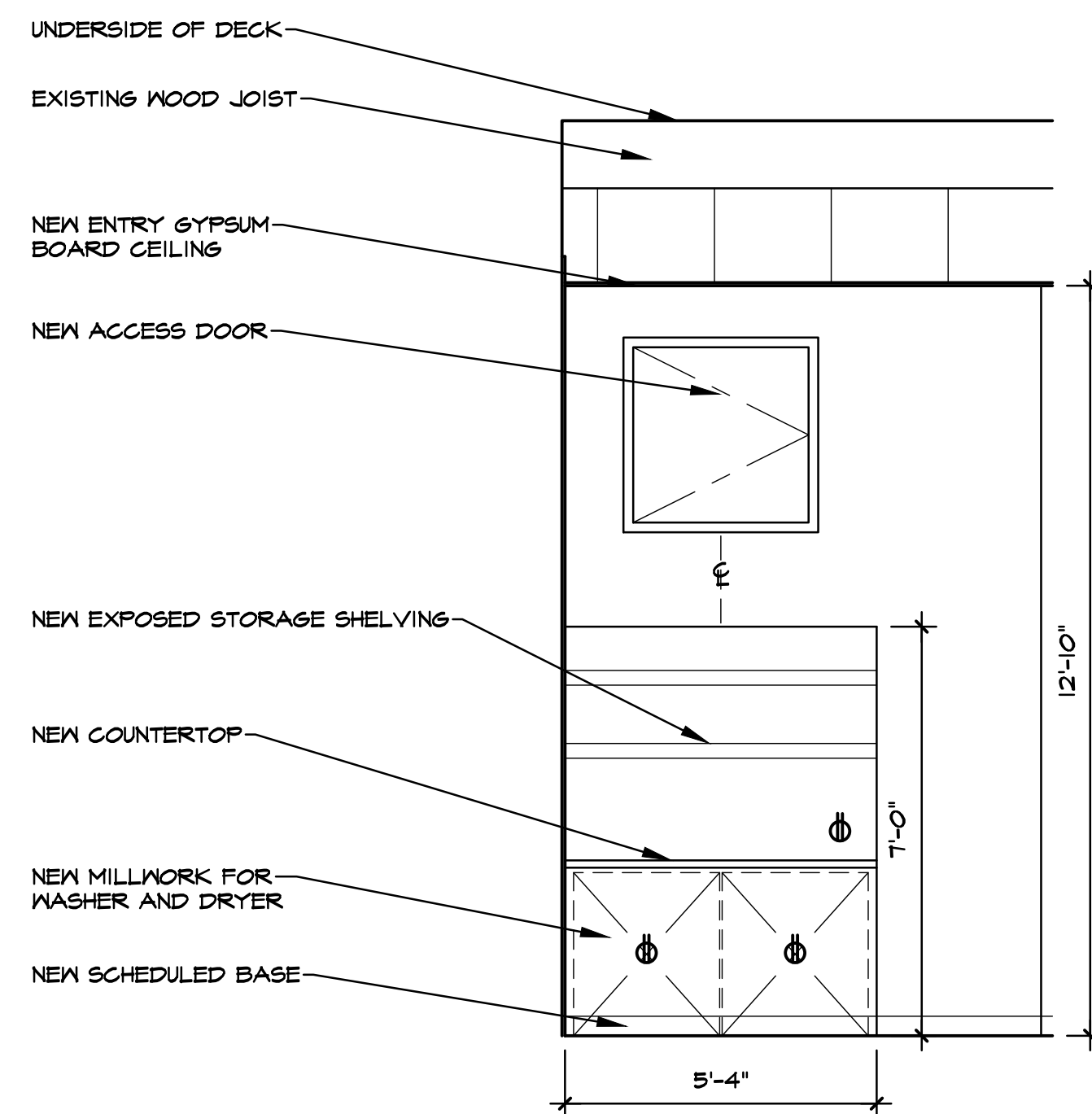
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Scale
AS NOTED

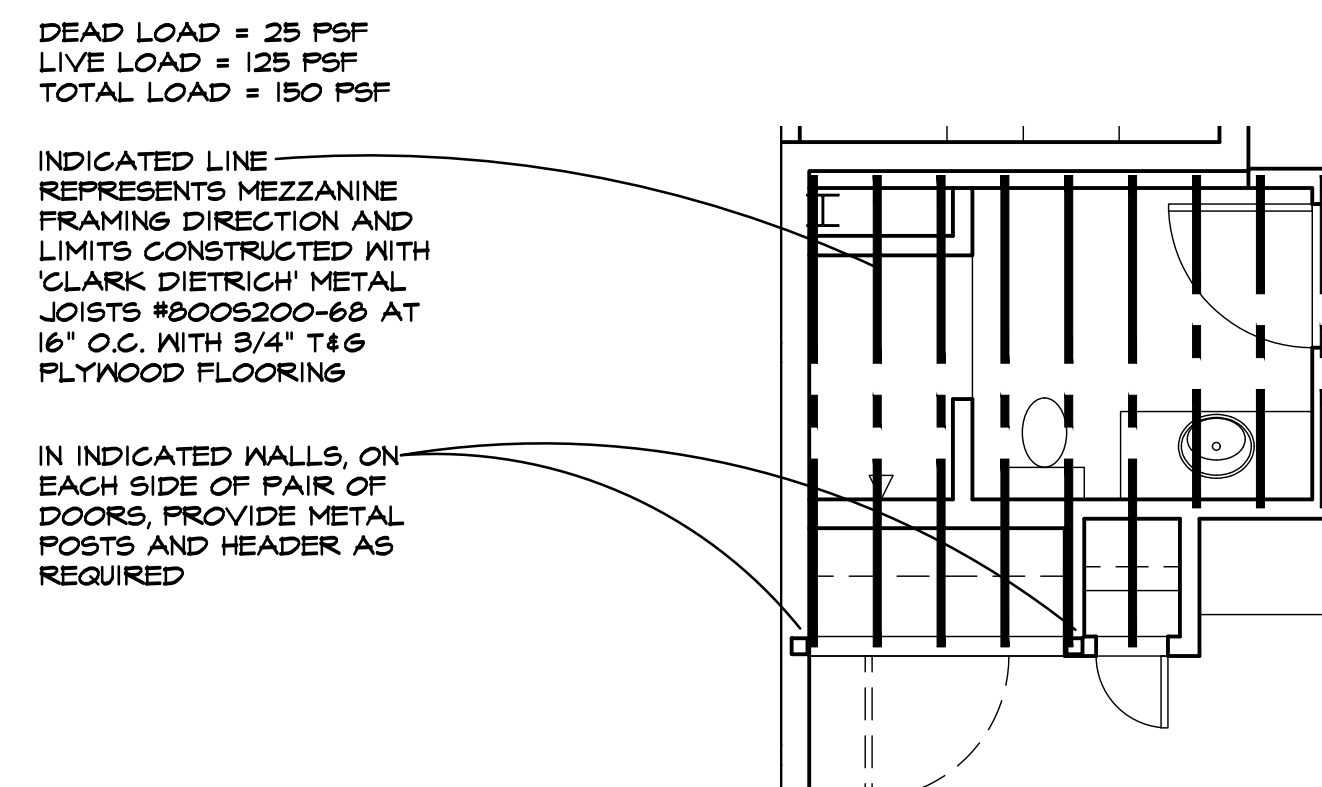
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PEERLESS - CDS

Issued for	Date	By
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

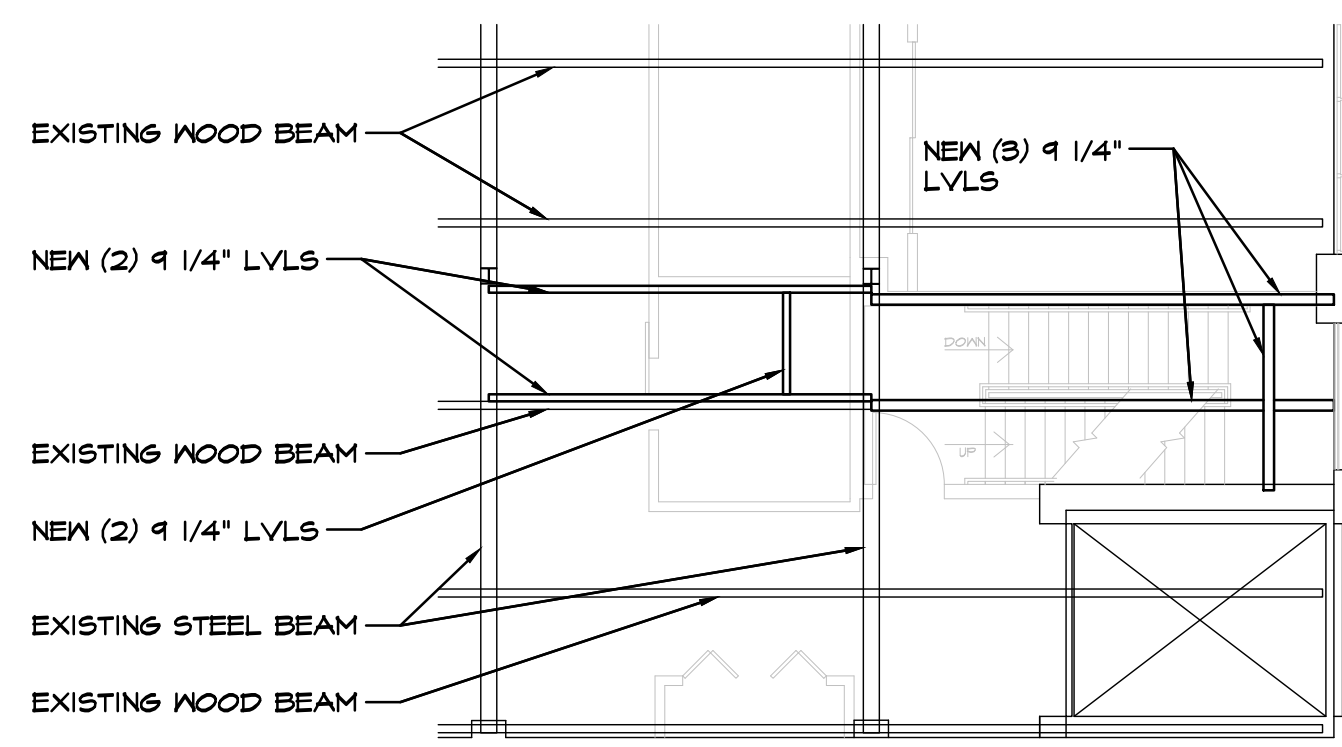
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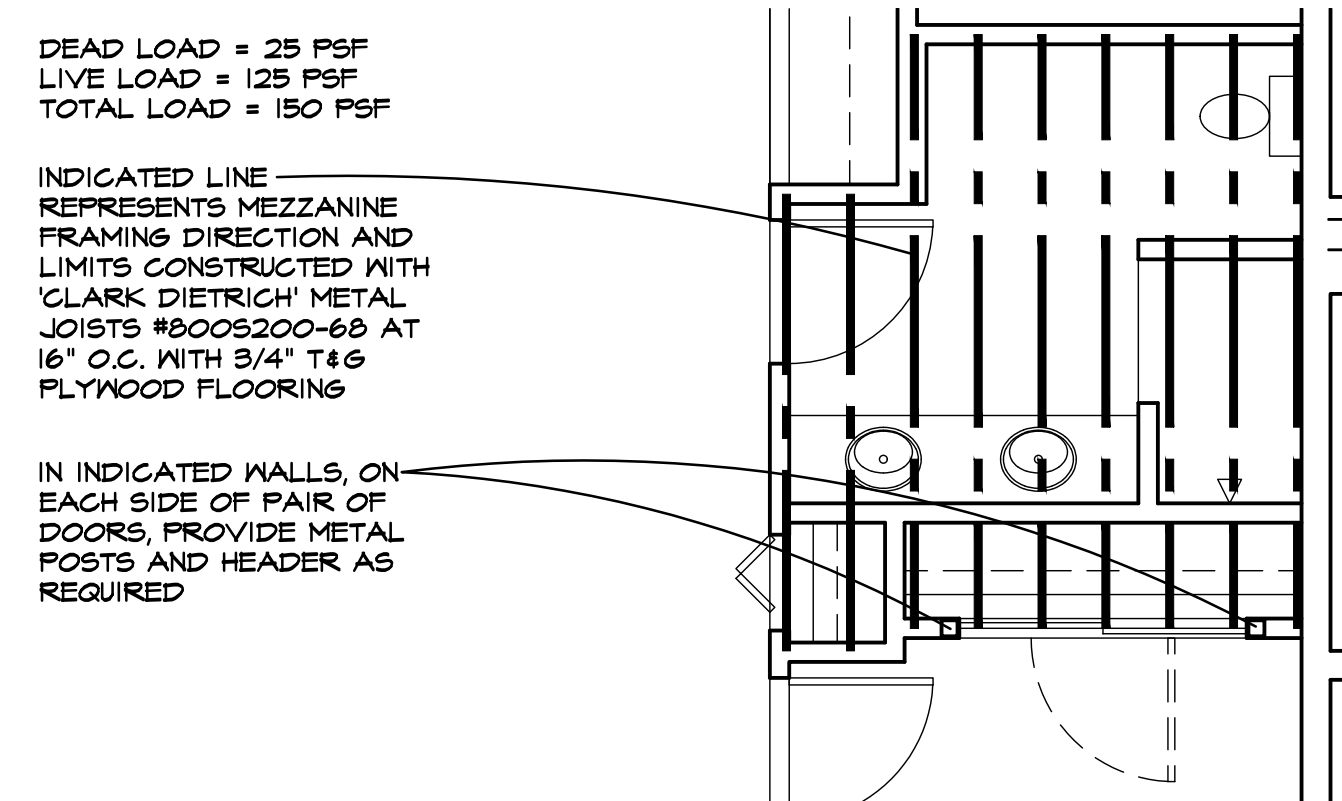
9 ENTRY #143 - (UNIT 'F'; WASHER/DRYER UNITS)
A103 3/8" = 1'-0"



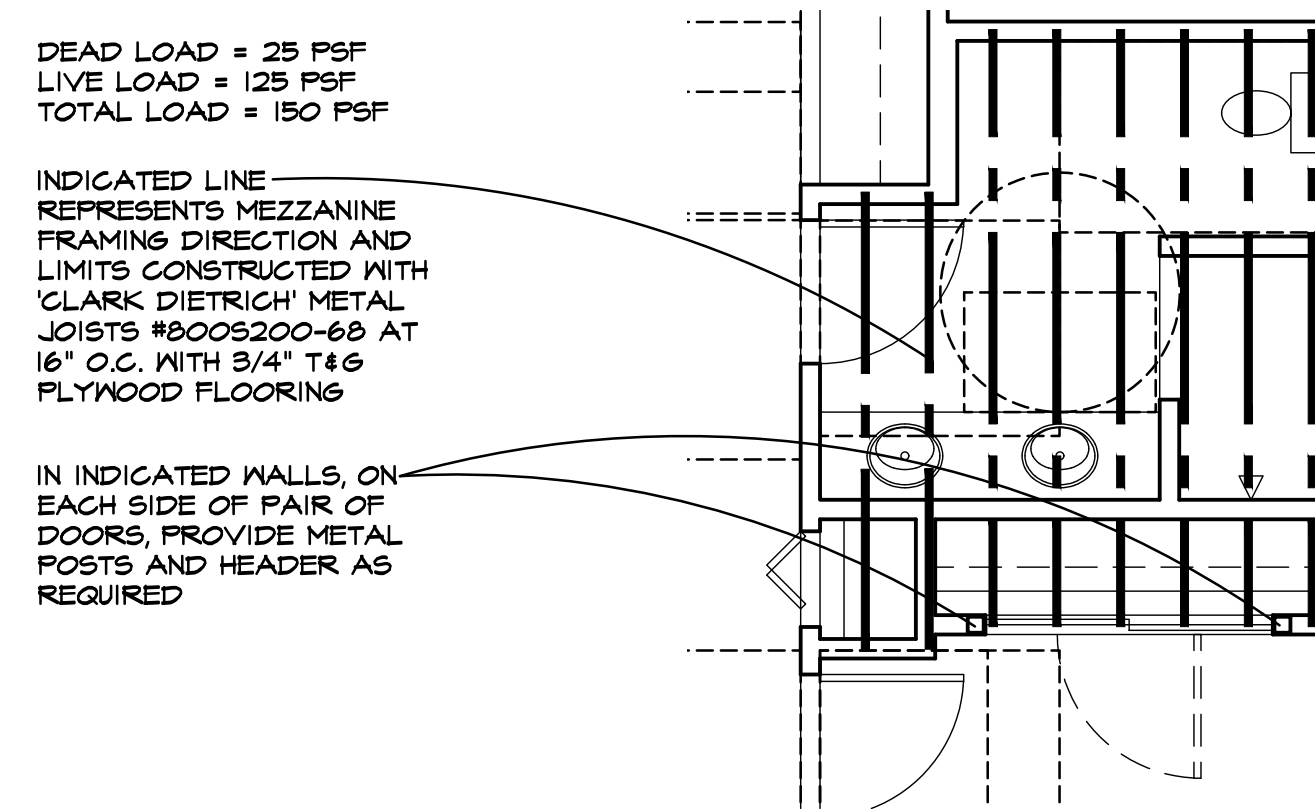
8 ENLARGED PLAN (UNIT 'F')
A103.1 1/4" = 1'-0"



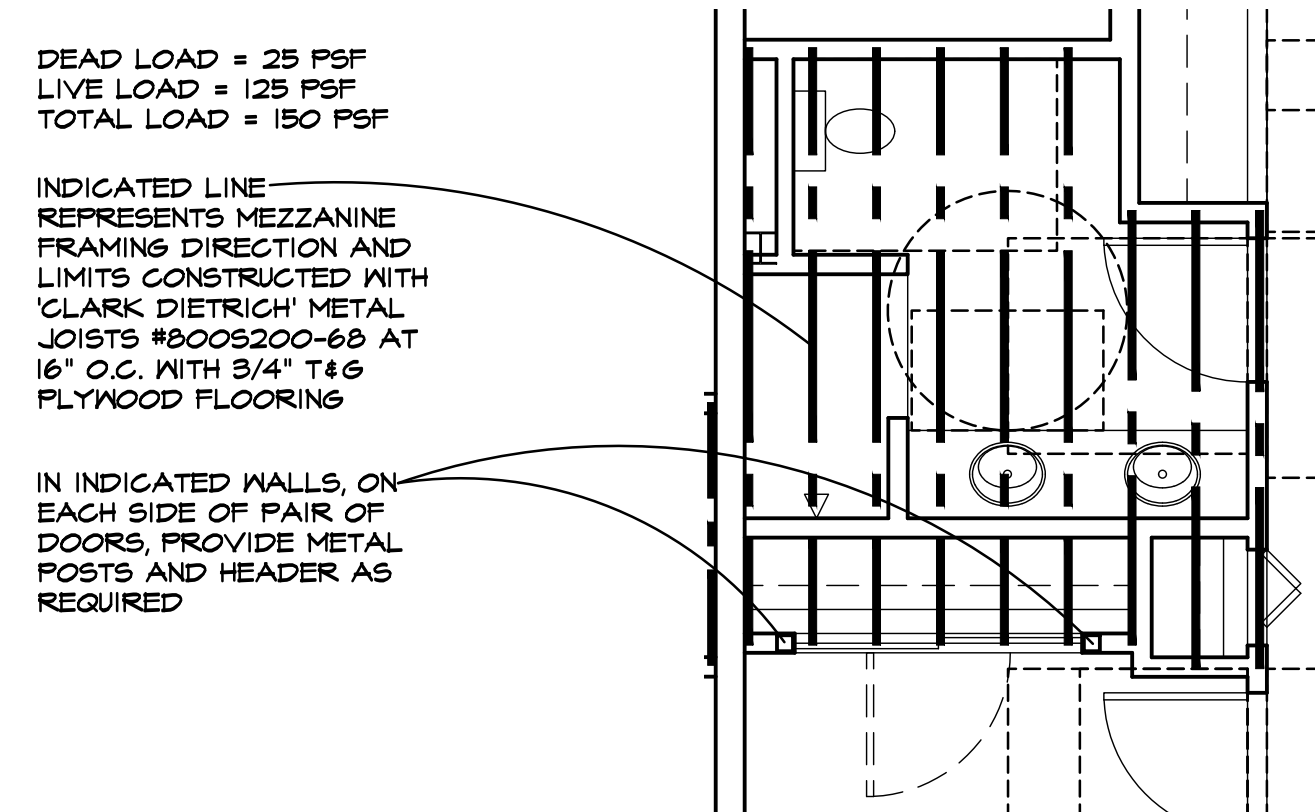
10 2ND FLOOR ROOF FRAMING
A106 1/8" = 1'-0"



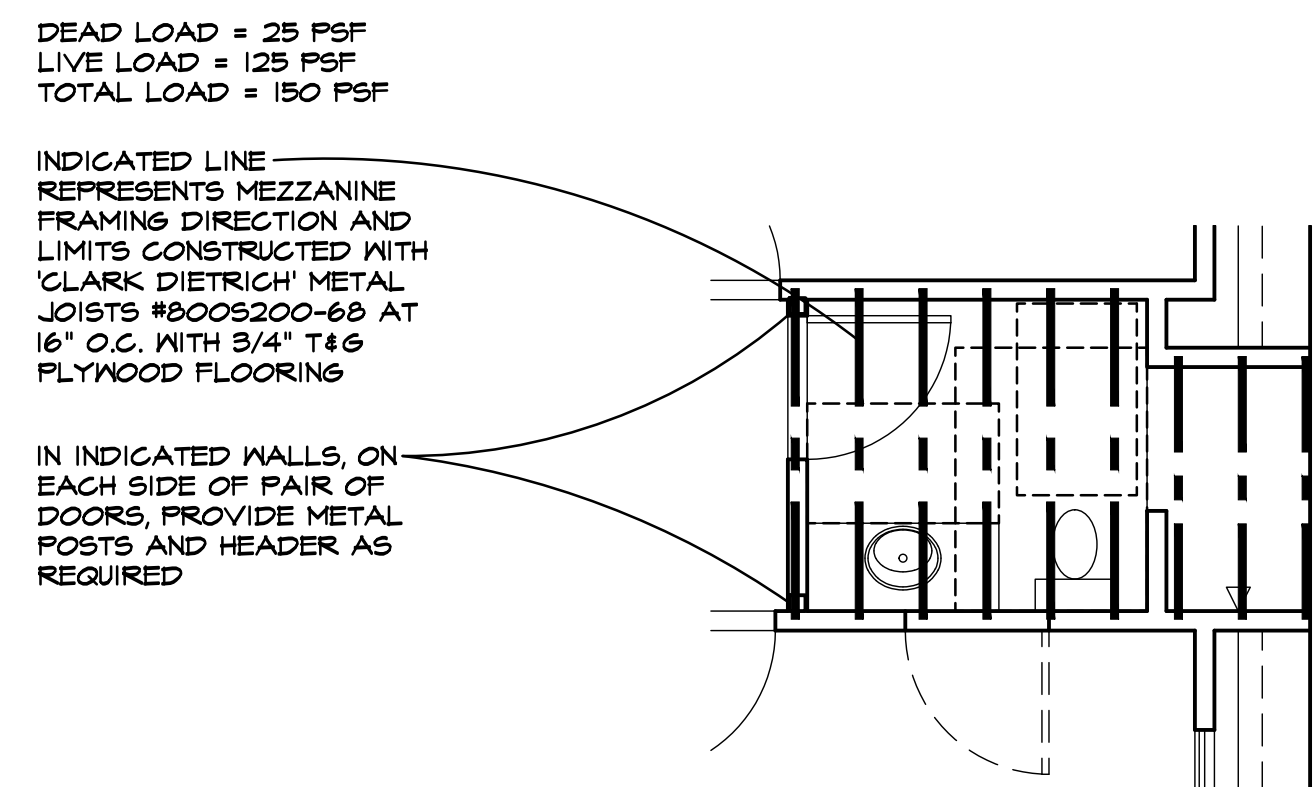
7 ENLARGED PLAN (UNIT 'E')
A103.1 1/4" = 1'-0"



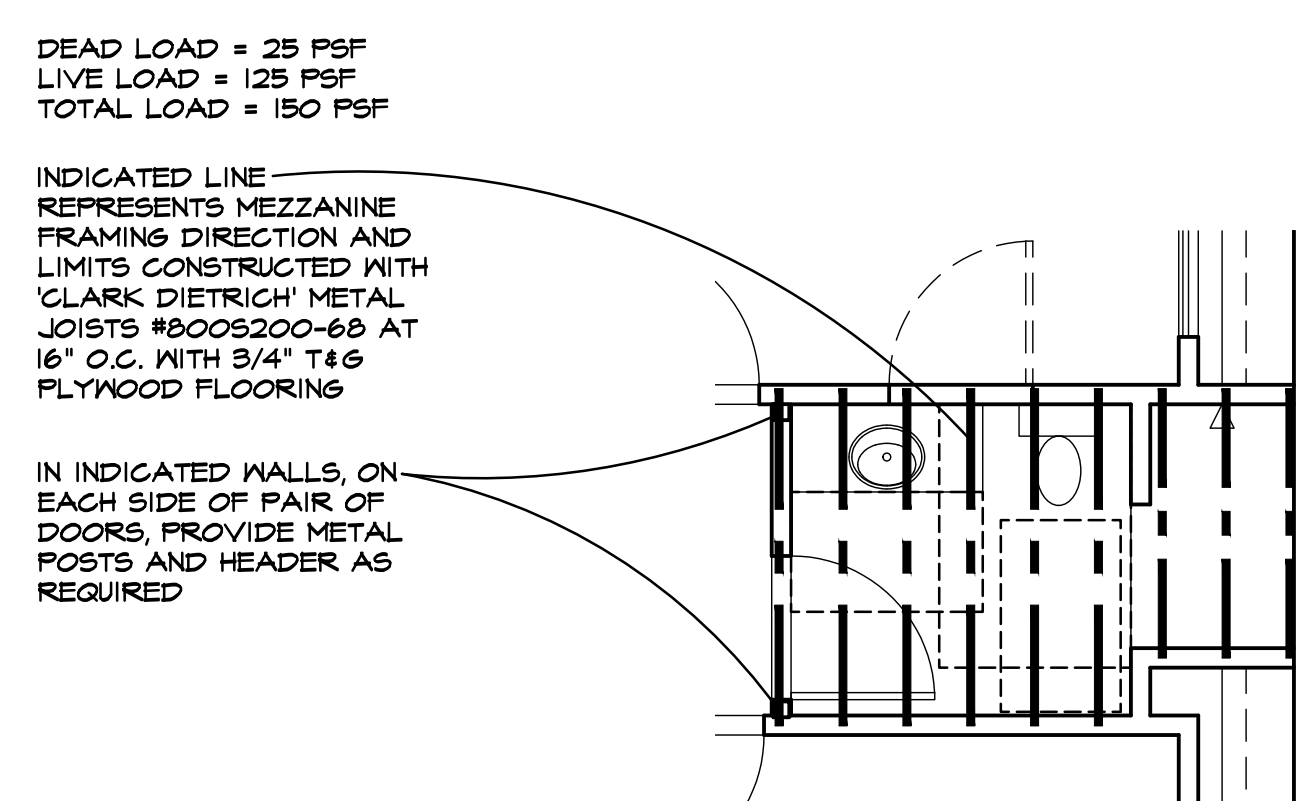
6 ENLARGED PLAN (UNIT 'D')
A103.1 1/4" = 1'-0"



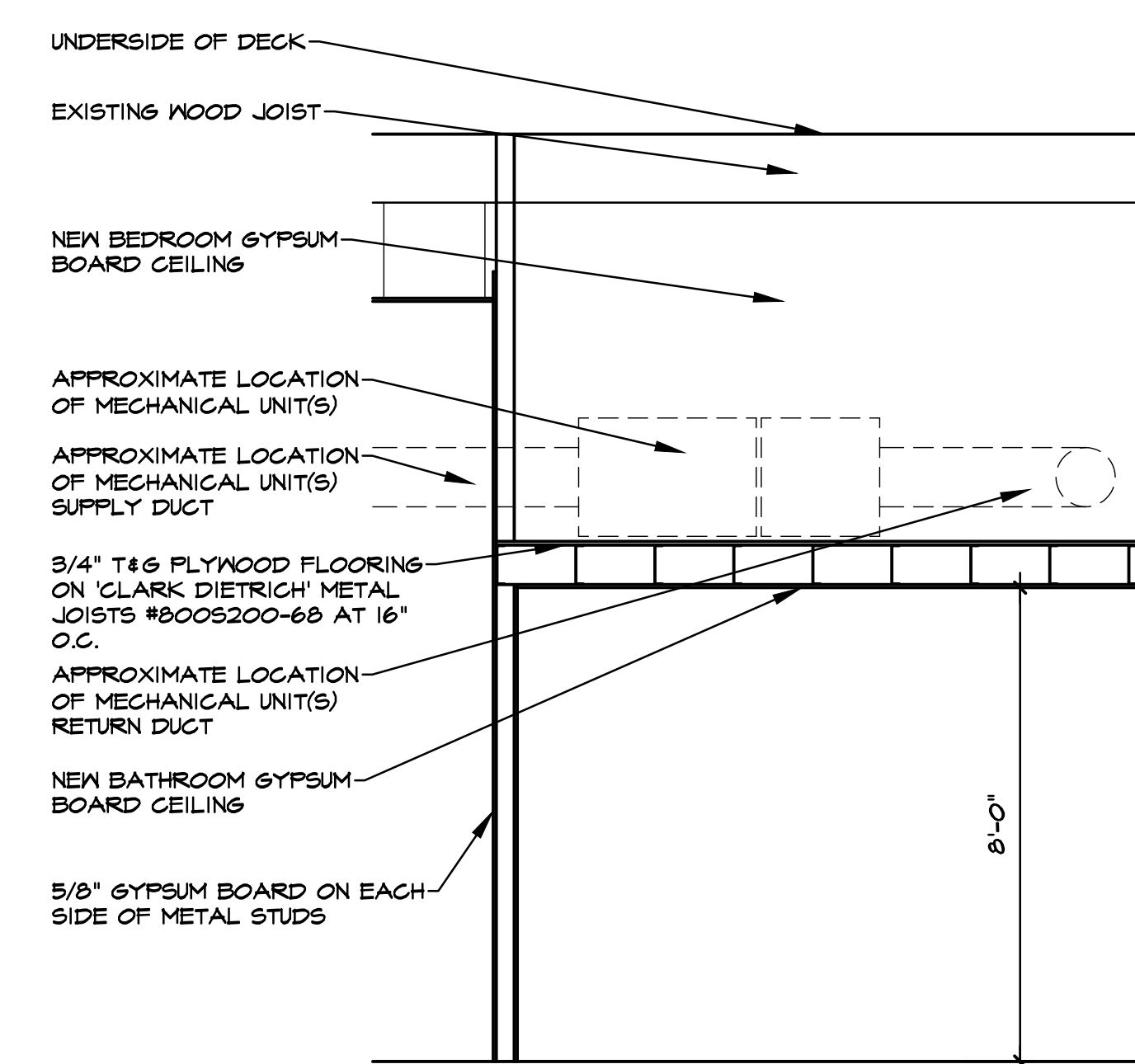
5 ENLARGED PLAN (UNIT 'C')
A103.1 1/4" = 1'-0"



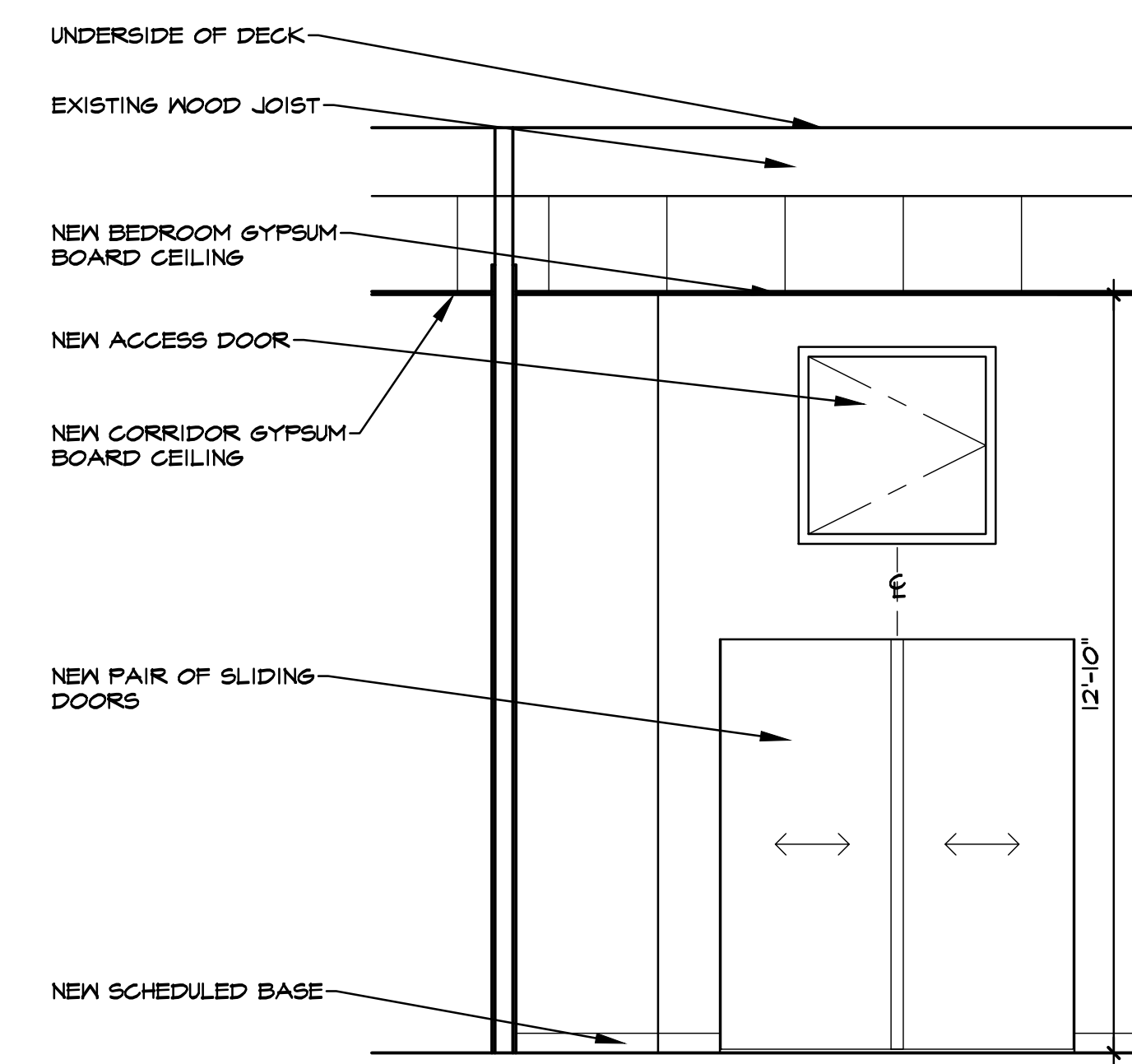
4 ENLARGED PLAN (UNIT 'B')
A103.1 1/4" = 1'-0"



3 ENLARGED PLAN (UNIT 'A')
A103.1 1/4" = 1'-0"

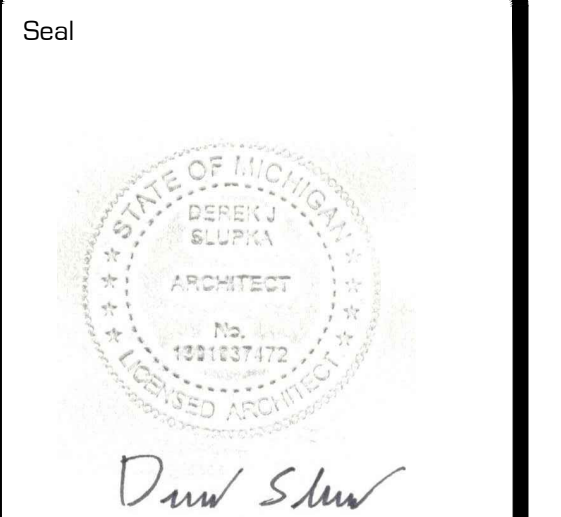


2 BATHROOM #127 - WEST VIEW
A103 3/8" = 1'-0"



1 BEDROOM #124 - WEST VIEW
A103 3/8" = 1'-0"

NOTE: CONTRACTOR SHALL PROVIDE STEEL STUD SHOP DRAWINGS FOR ALL MEZZANINE AREAS FOR ARCHITECT'S APPROVAL PRIOR TO ANY WORK BEING PERFORMED.



Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

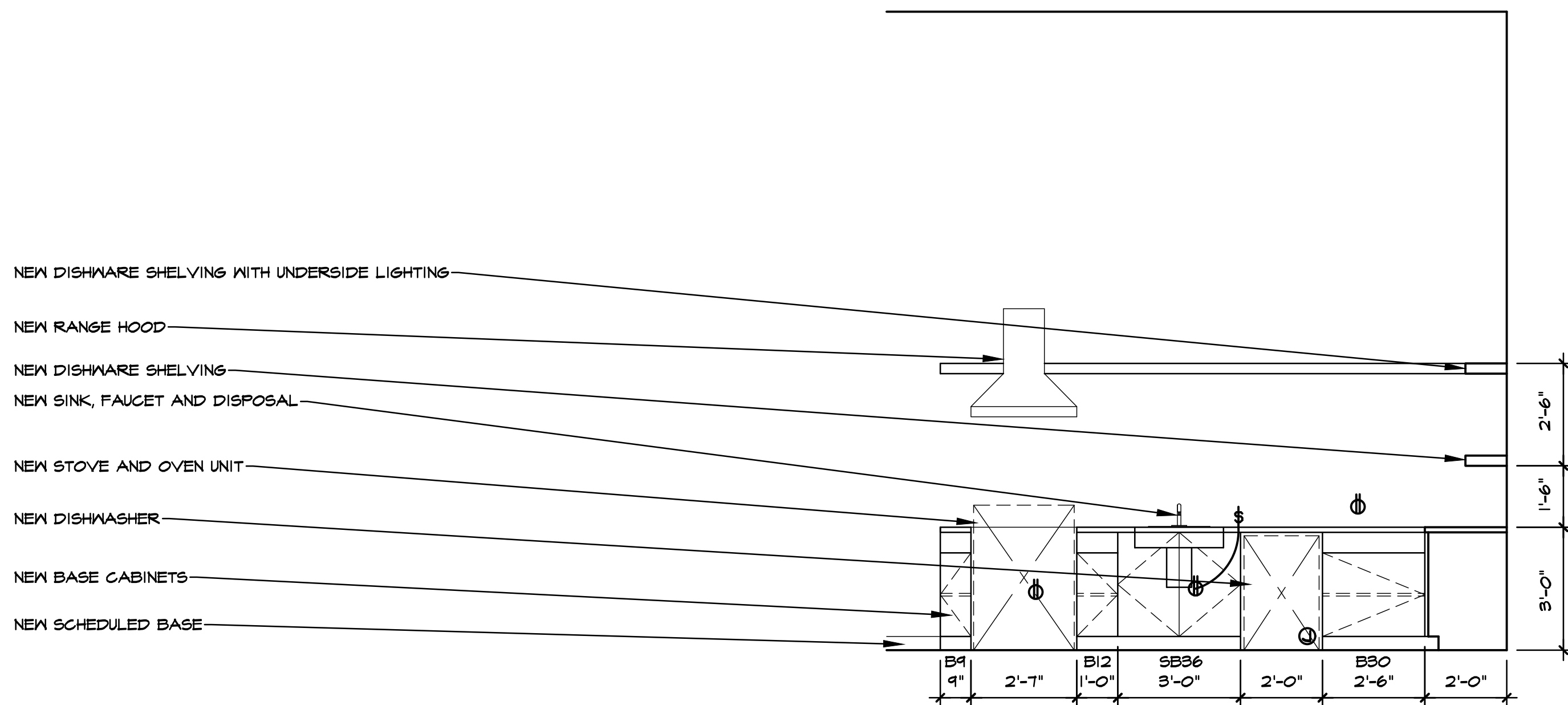
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Dwg. PEERLESS - CDS

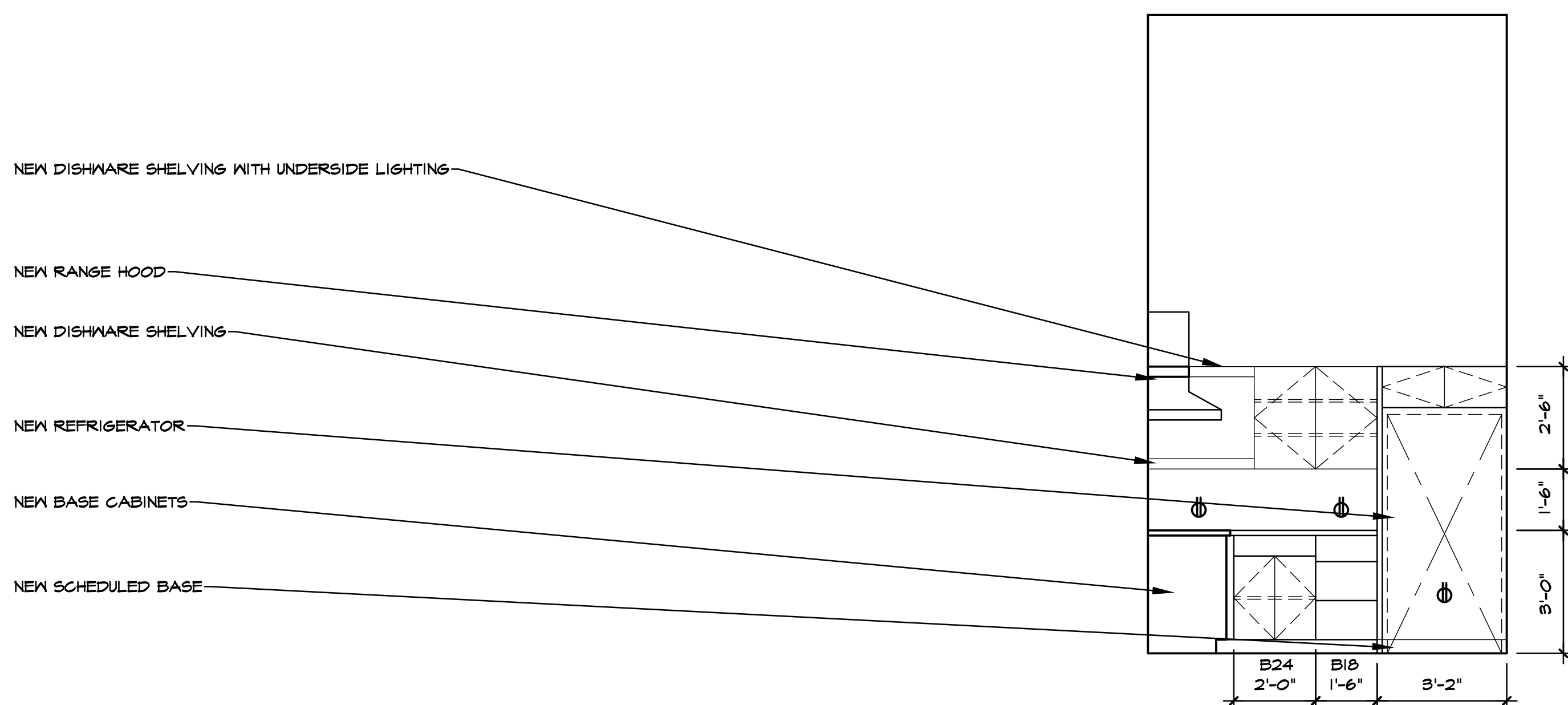
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
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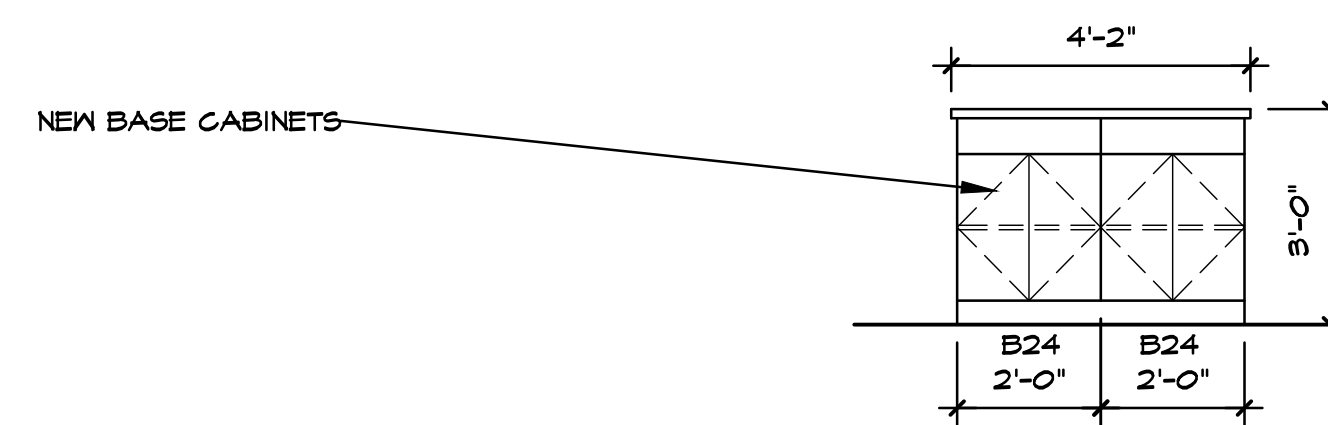
8 LIVING #140 - NORTH VIEW

A103 3/8" = 1'-0"



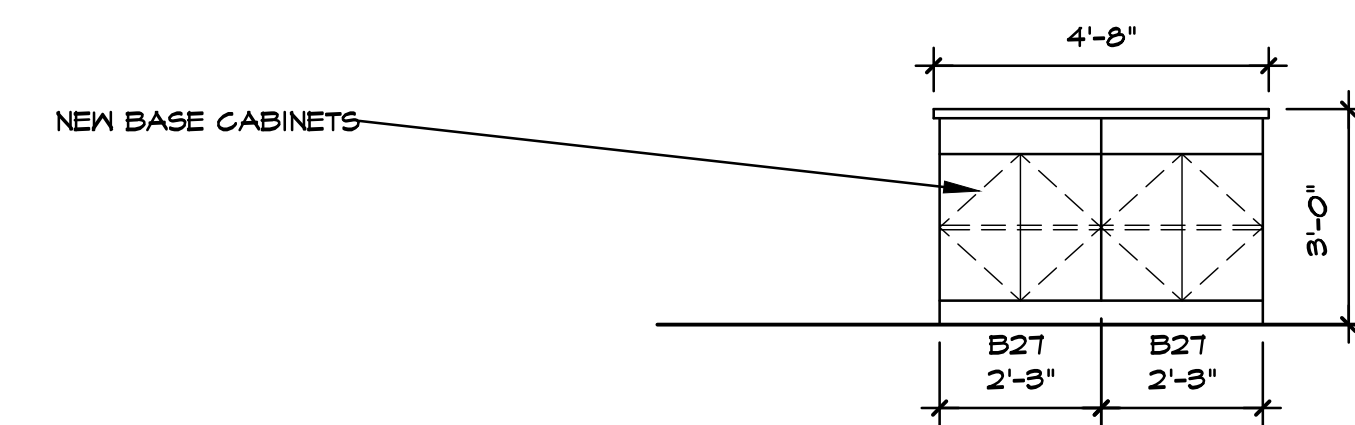
7 LIVING #140 - EAST VIEW

A103 3/8" = 1'-0"



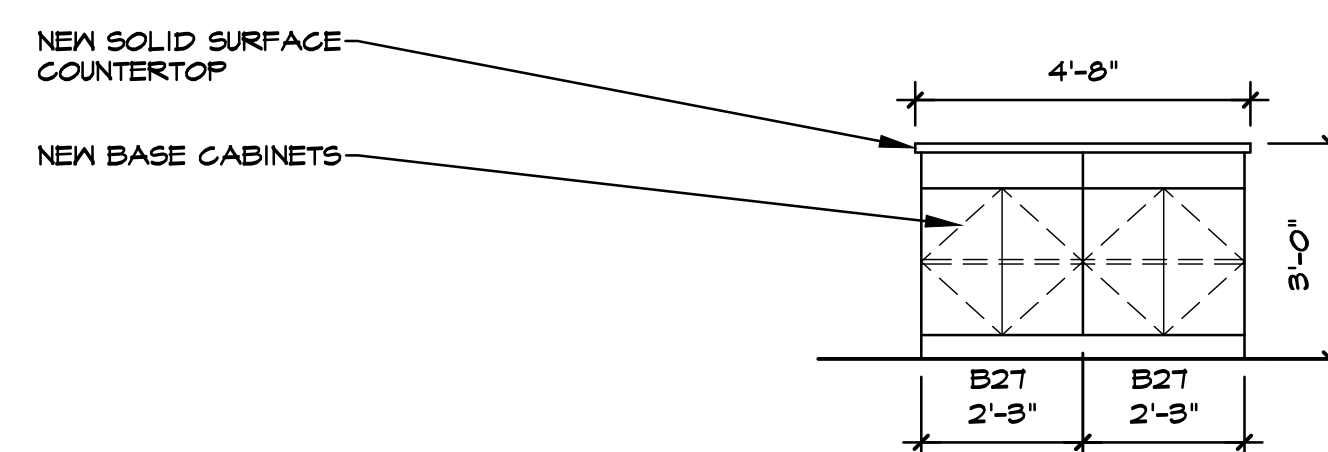
6 LIVING #140 - SOUTH VIEW

A103 3/8" = 1'-0"



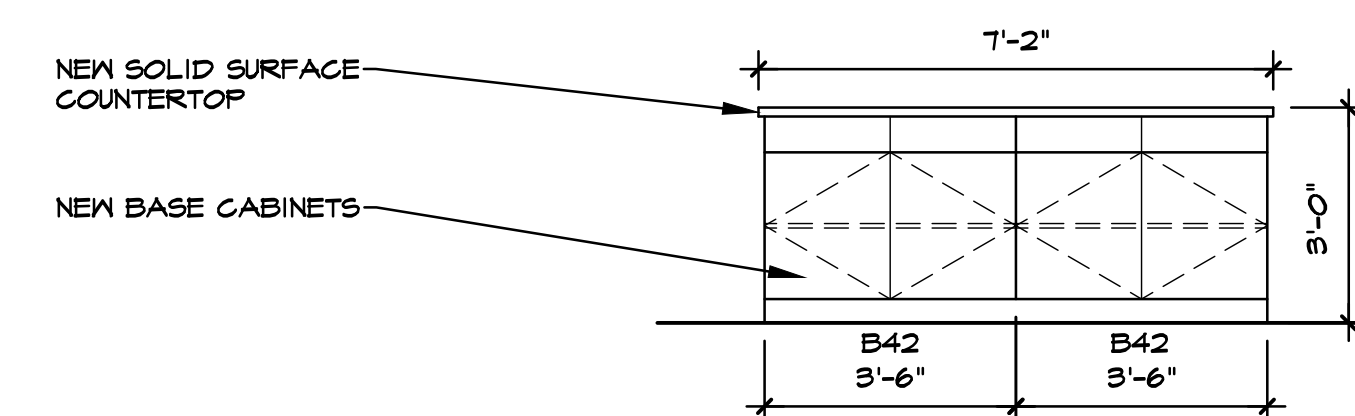
2 LIVING #108 - EAST VIEW

A103 3/8" = 1'-0"



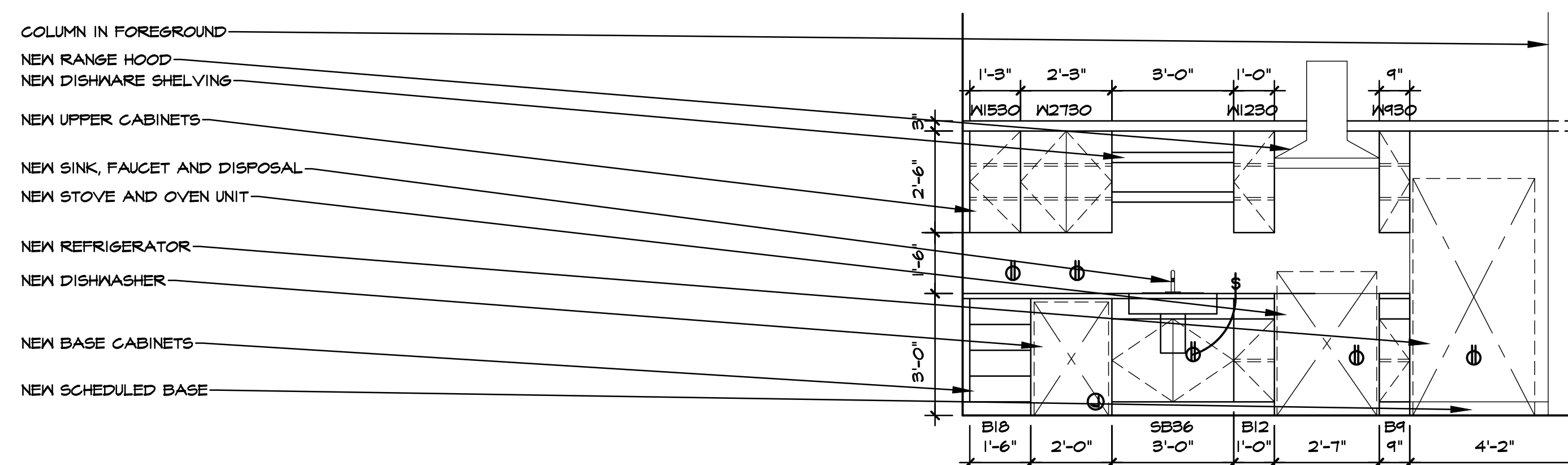
5 LIVING #22 & #30 - WEST VIEW

A103 3/8" = 1'-0"



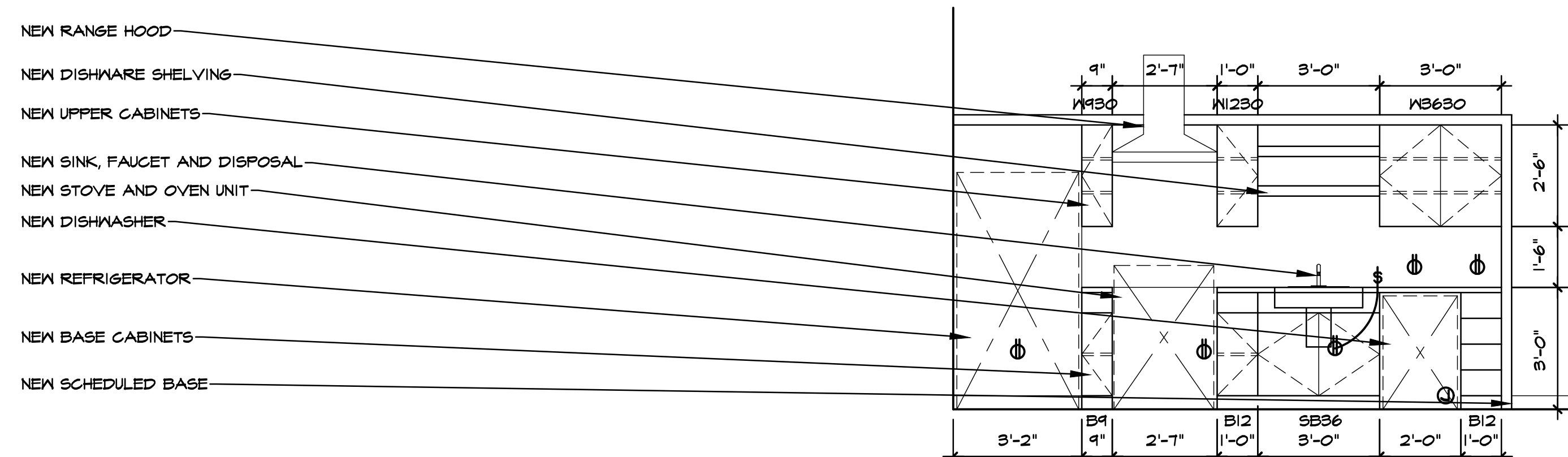
1 LIVING #101 - WEST VIEW

A103 3/8" = 1'-0"



4 LIVING #108 - WEST VIEW

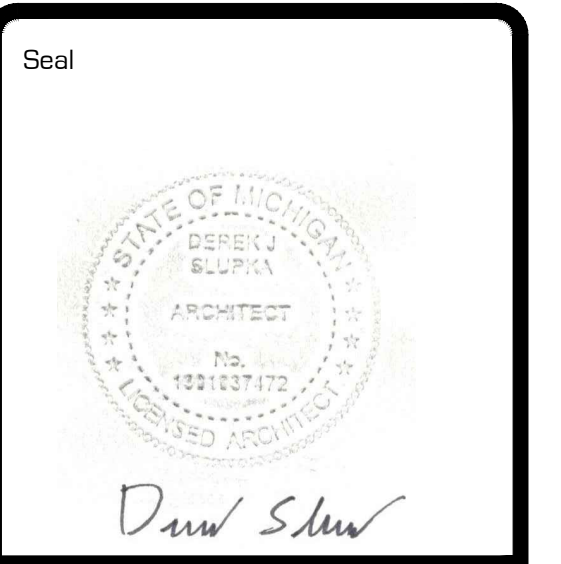
A103 3/8" = 1'-0"



3 LIVING #101 - EAST VIEW

A103 3/8" = 1'-0"

NOTE: ALL INTERIOR ELEVATIONS ON THIS SHEET ARE SHOWN FOR DIAGRAMMATIC REFERENCE ONLY. REFER TO LATEST MILLWORKER'S DRAWINGS FOR MOST CURRENT AND UPDATED MILLWORK LAYOUT, ELEVATIONS AND DESIGN REQUIREMENTS.



Project **PROJECT PEERLESS**
603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

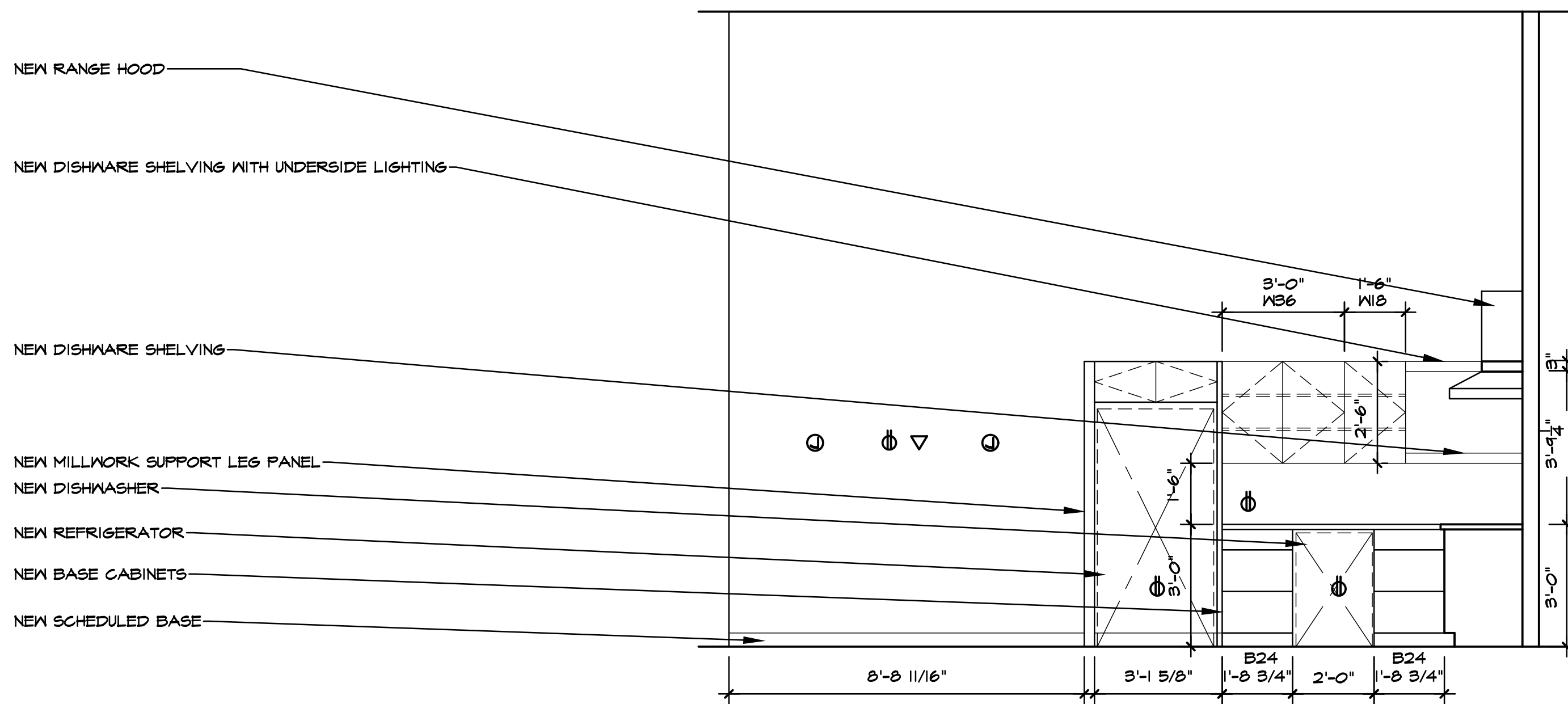
Project Number
20-40-159

Drawn ALM
Checked DJS

Scale 3/8" = 1'-0"
Dwg. PEERLESS - CDS

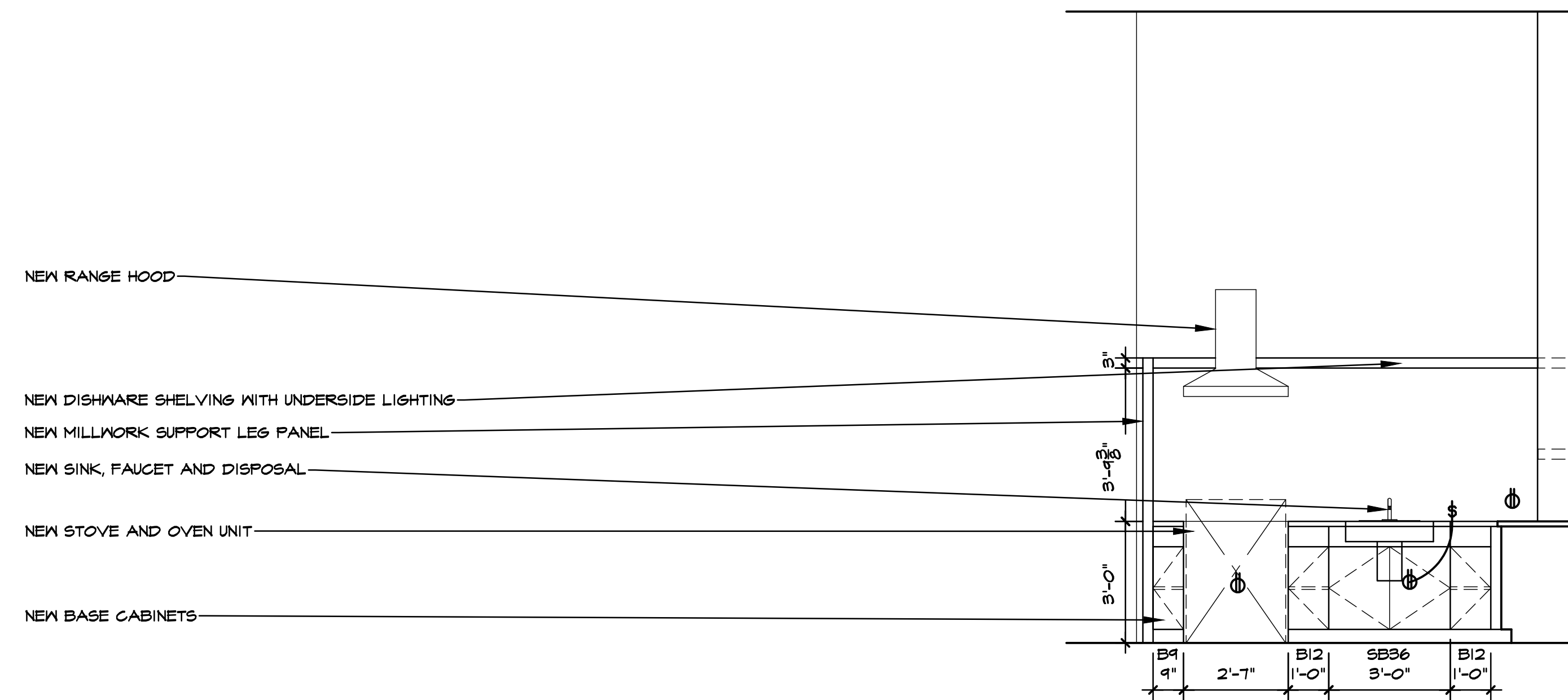
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

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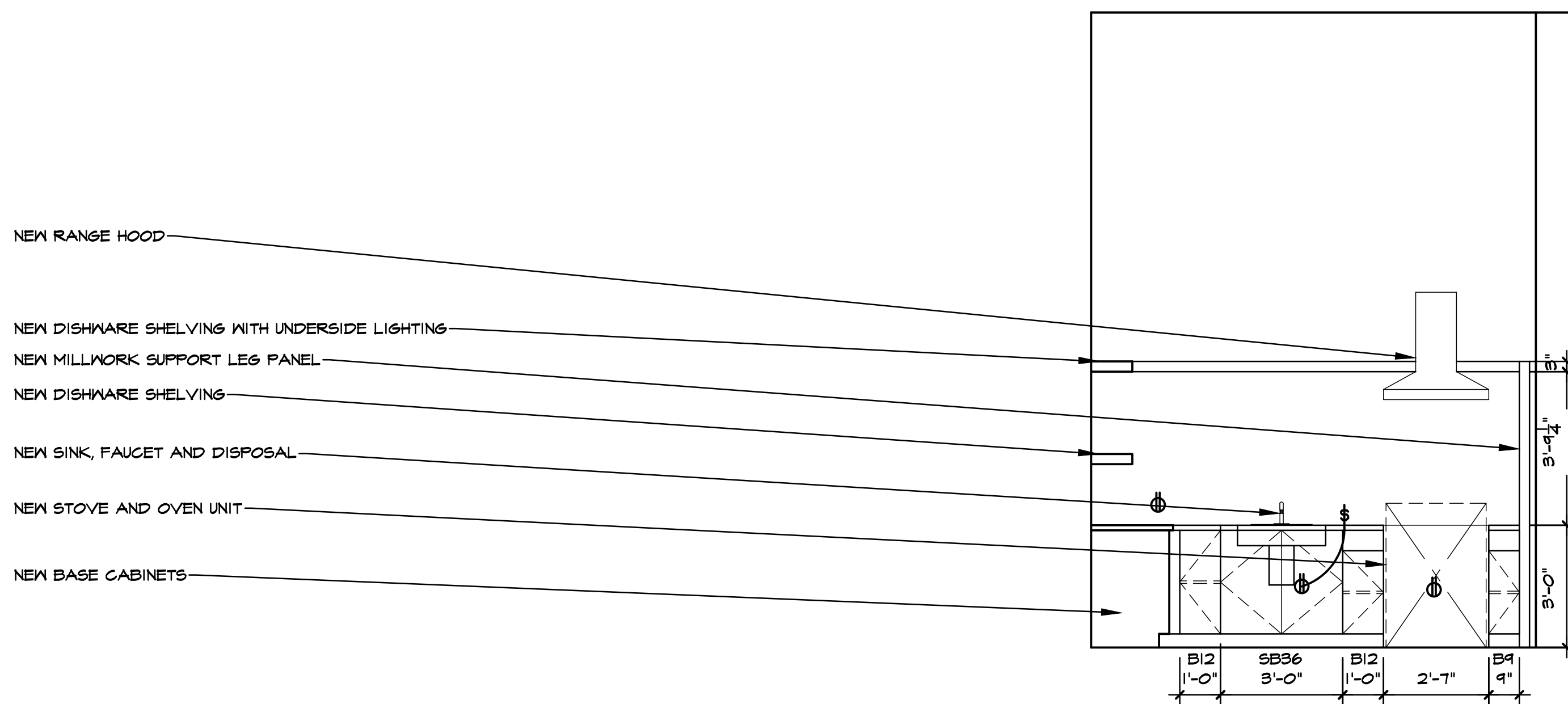
4 LIVING #130 - NORTH VIEW

A103 3/8" = 1'-0"



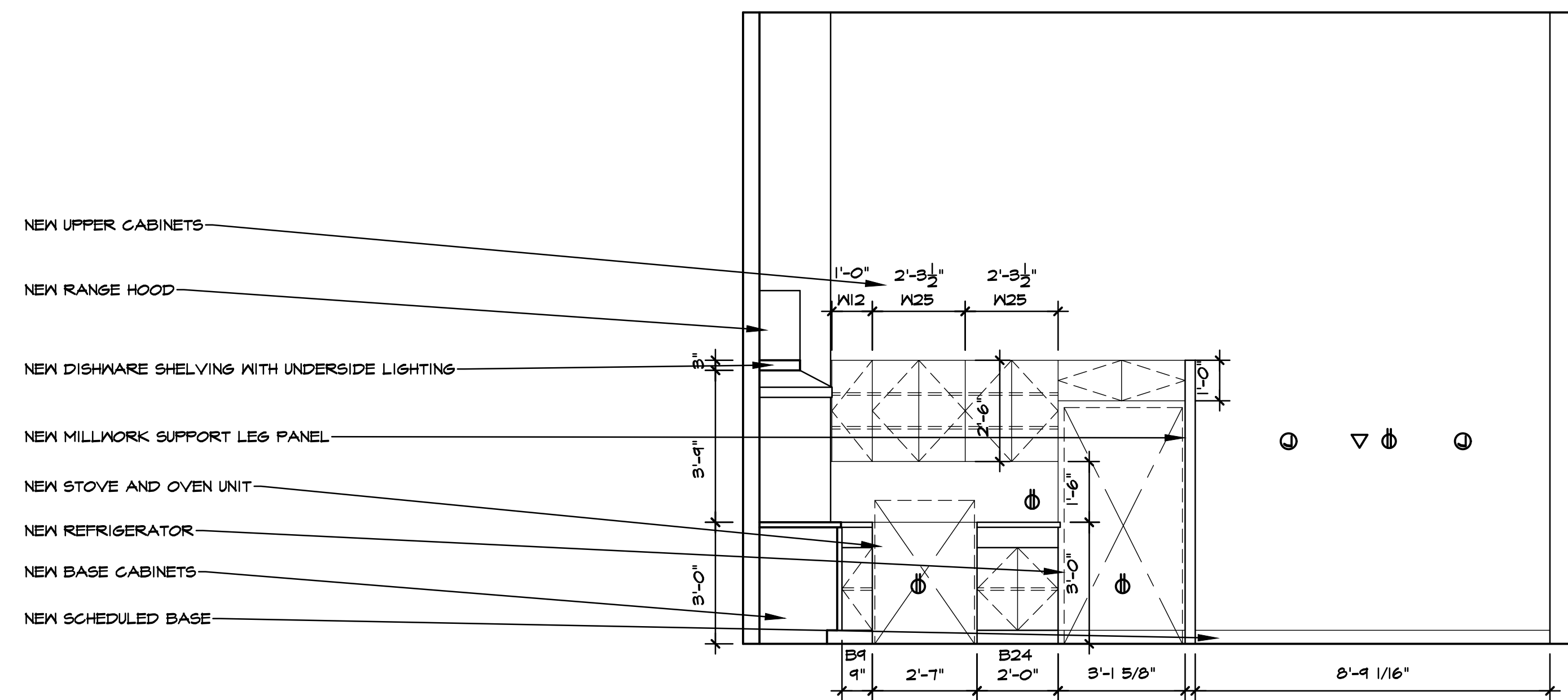
2 LIVING #122 - EAST VIEW

A103 3/8" = 1'-0"



3 LIVING #130 - EAST VIEW

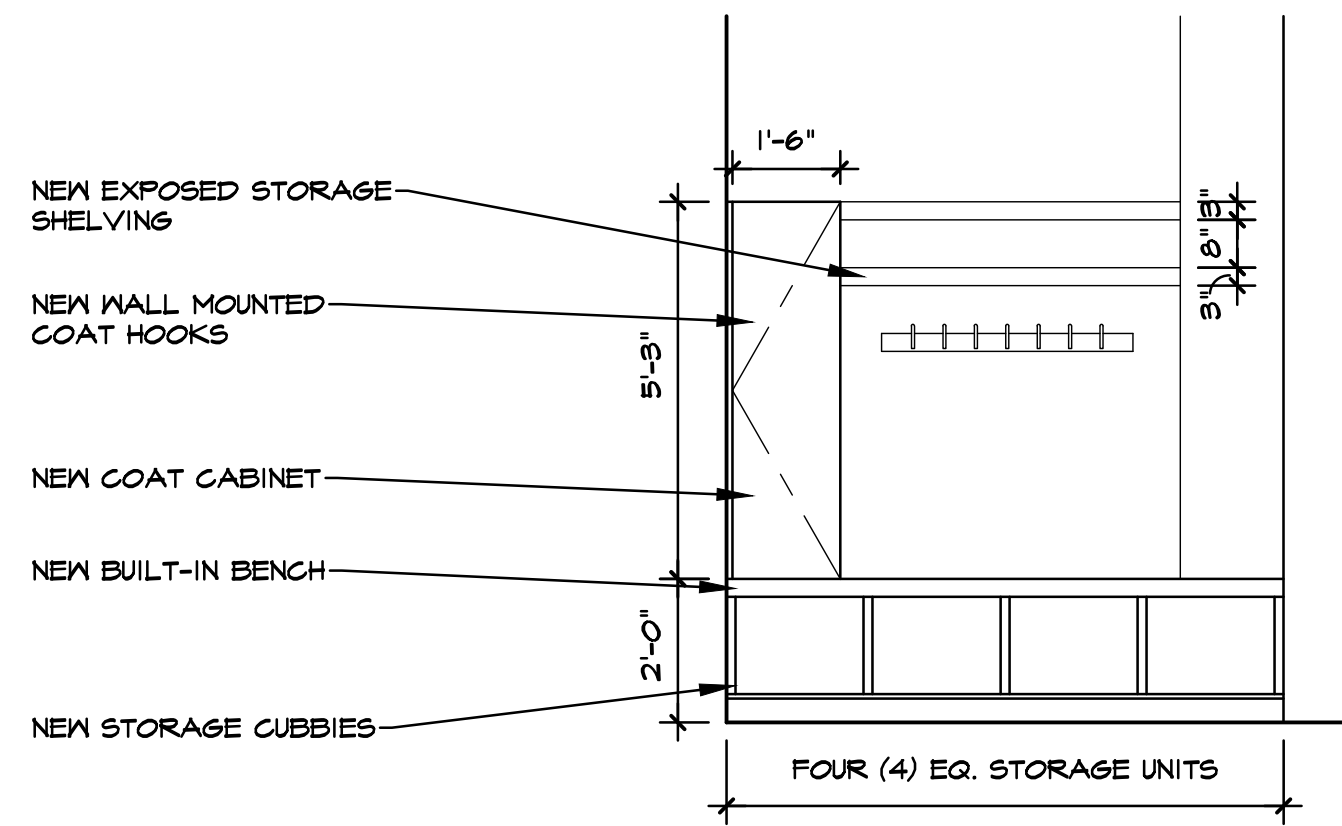
A103 3/8" = 1'-0"



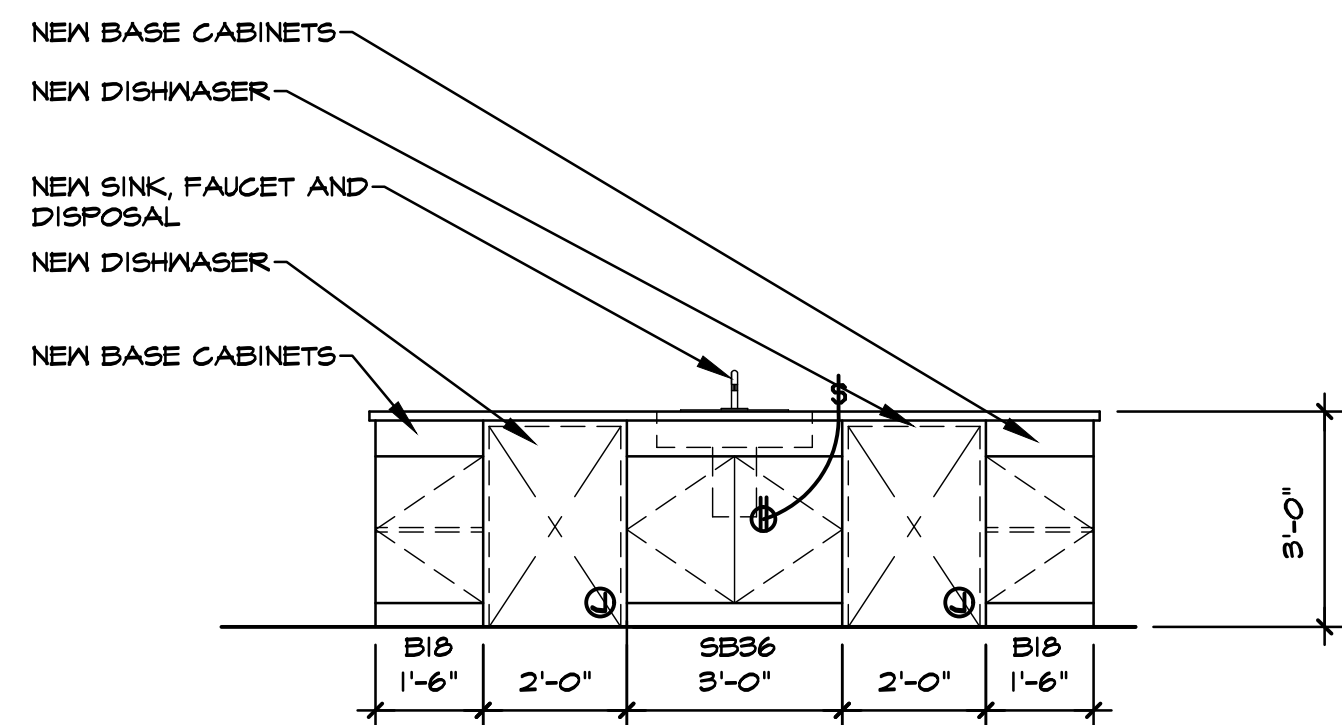
1 LIVING #122 - SOUTH VIEW

A103 3/8" = 1'-0"

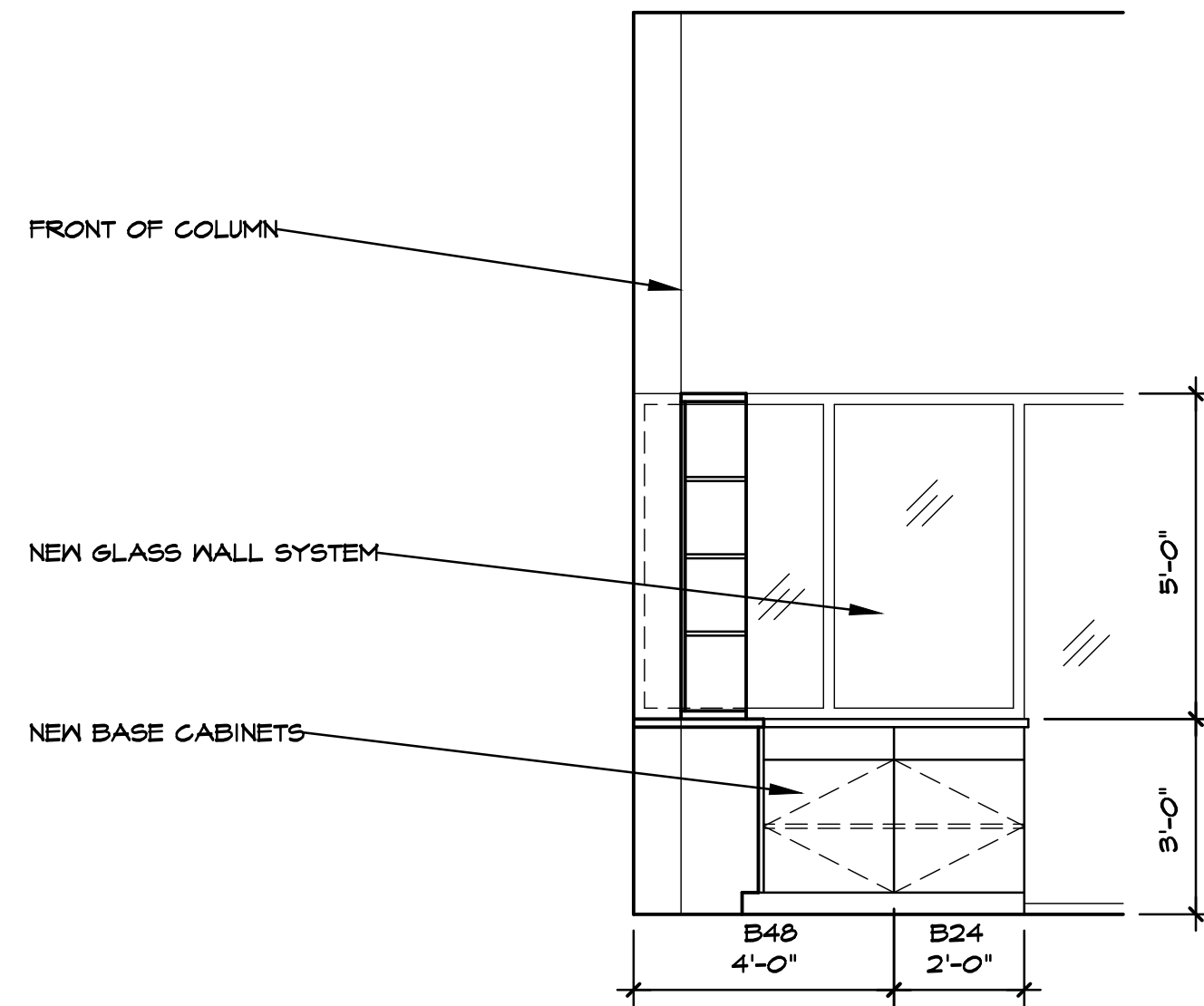
NOTE: ALL INTERIOR ELEVATIONS ON THIS SHEET ARE SHOWN FOR DIAGRAMMATIC REFERENCE ONLY. REFER TO LATEST MILLWORKER'S DRAWINGS FOR MOST CURRENT AND UPDATED MILLWORK LAYOUT, ELEVATIONS AND DESIGN REQUIREMENTS.



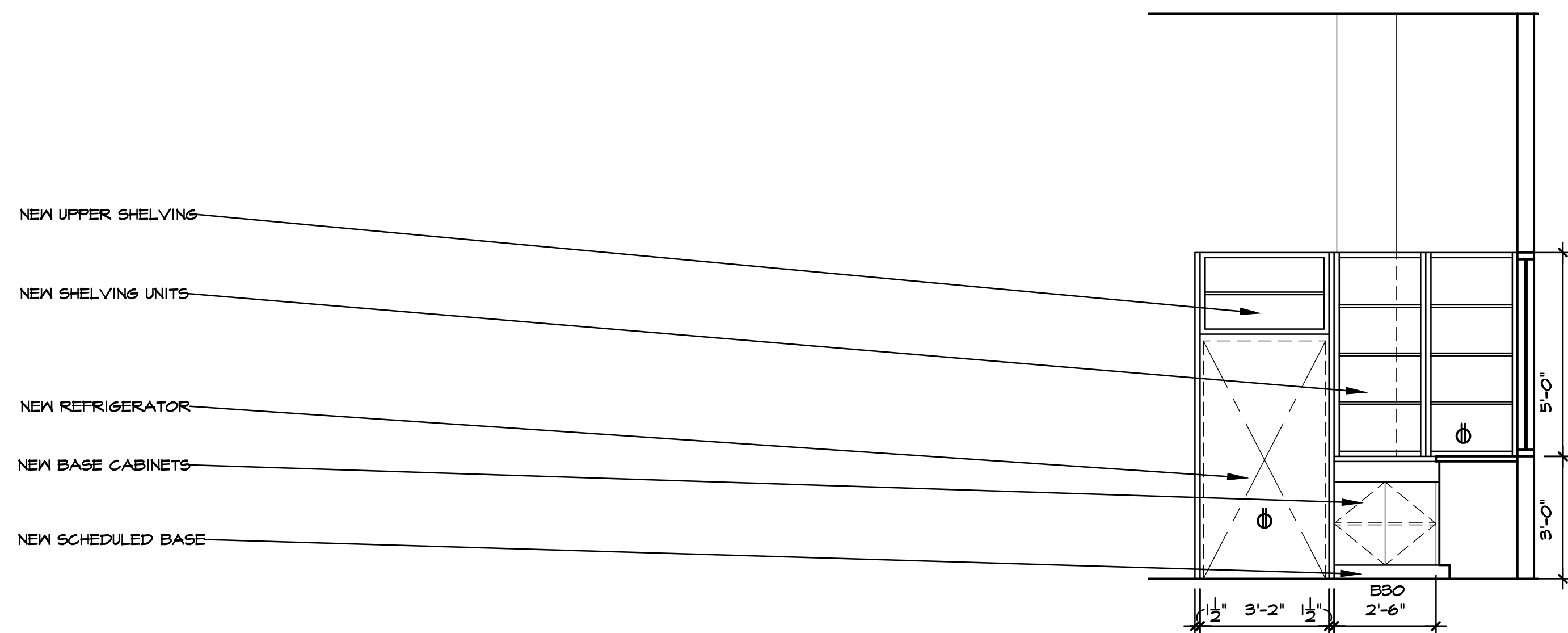
8 MUD ROOM #206 - EAST VIEW
 A104 3/8" = 1'-0"



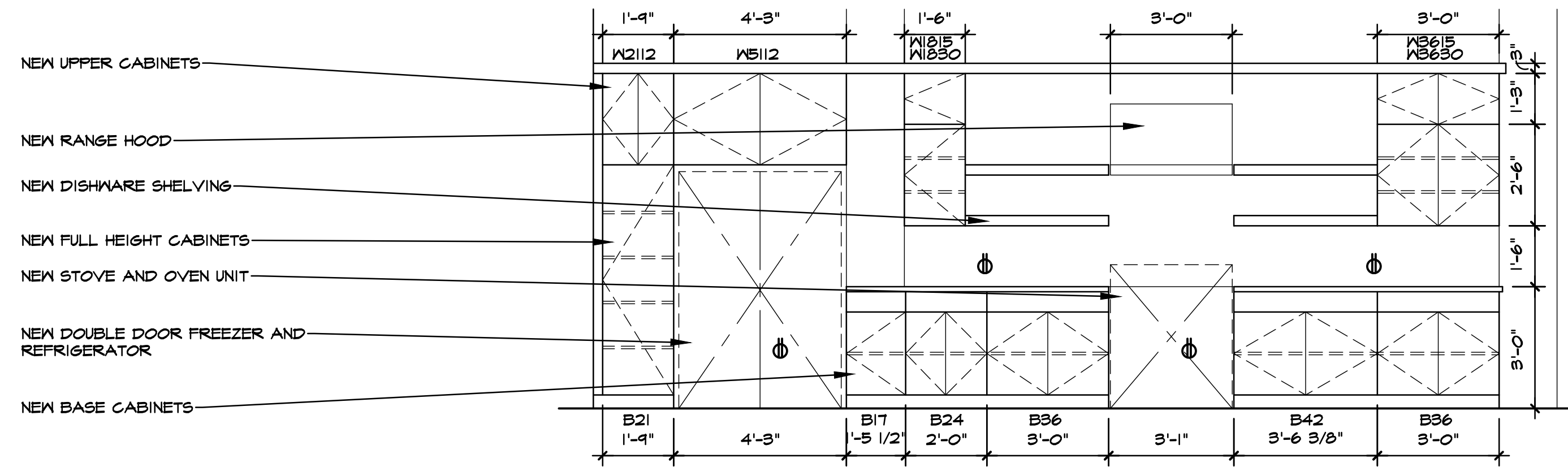
7 KITCHEN #208 - WEST VIEW
 A104 3/8" = 1'-0"



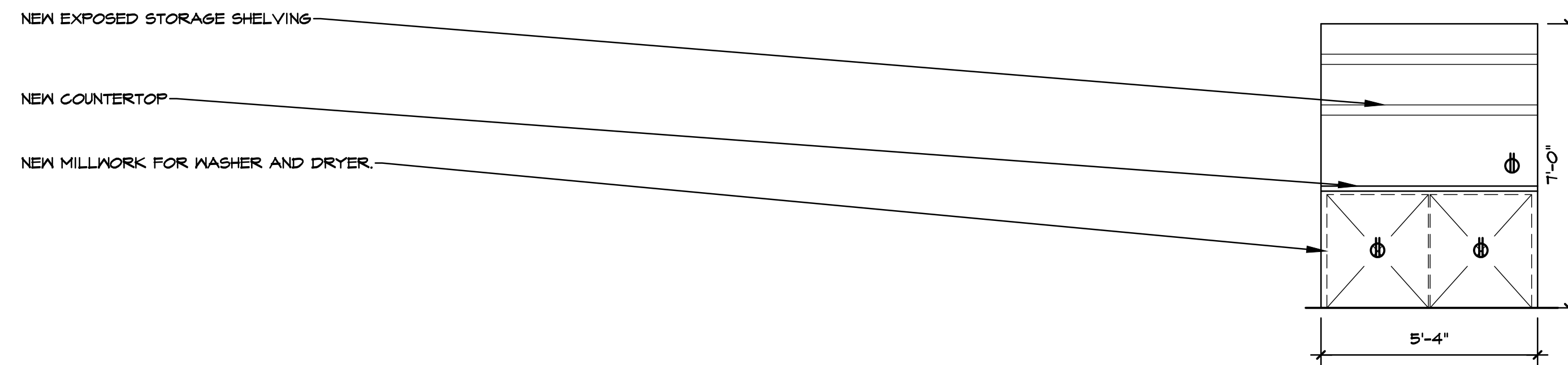
6 BUTLER'S PANTRY #203 - SOUTH VIEW
 A104 3/8" = 1'-0"



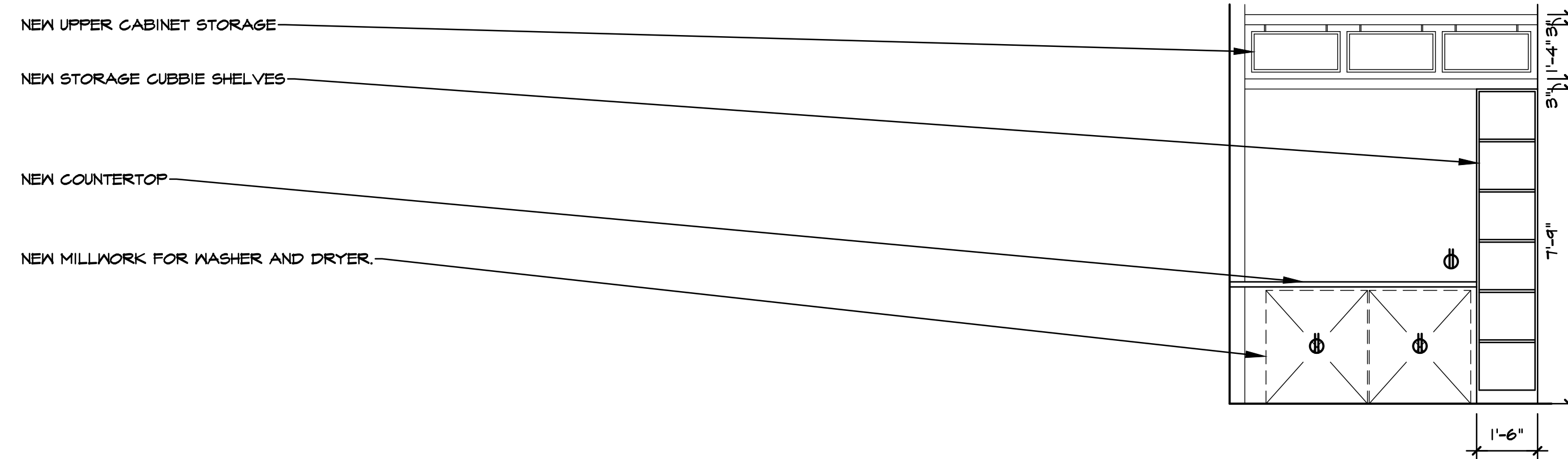
5 BUTLER'S PANTRY #203 - EAST VIEW
 A104 3/8" = 1'-0"



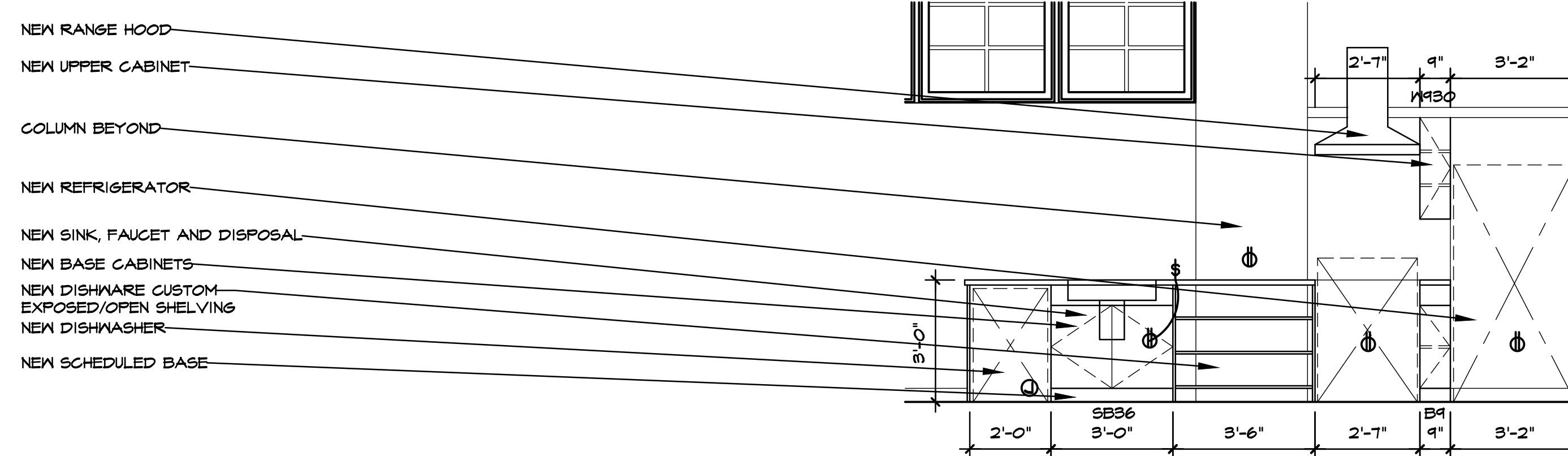
4 KITCHEN #204 - EAST VIEW
 A104 3/8" = 1'-0"



3 CORR. #115, 123 AND 131 - (WASHER/DRYER UNITS)
 A103 3/8" = 1'-0"



2 LIVING #101 & #108 (WASHER/DRYER UNITS) - NORTH VIEW
 A103 3/8" = 1'-0"

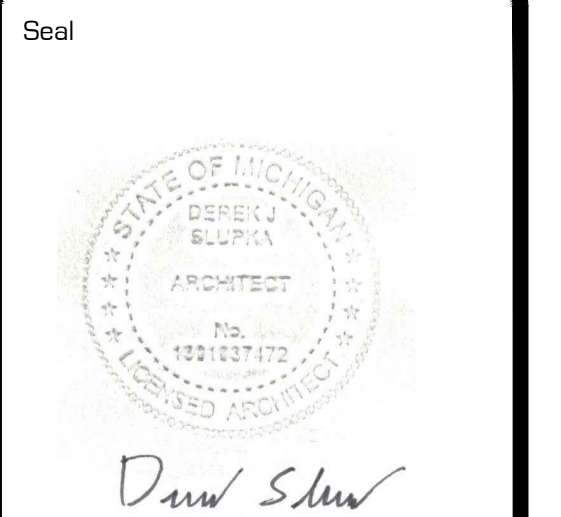


1 LIVING #149 - NORTH VIEW
 A103 3/8" = 1'-0"

NOTE: ALL INTERIOR ELEVATIONS ON THIS SHEET ARE SHOWN FOR DIAGRAMMATIC REFERENCE ONLY. REFER TO LATEST MILLWORKER'S DRAWINGS FOR MOST CURRENT AND UPDATED MILLWORK LAYOUT, ELEVATIONS AND DESIGN REQUIREMENTS.



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603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

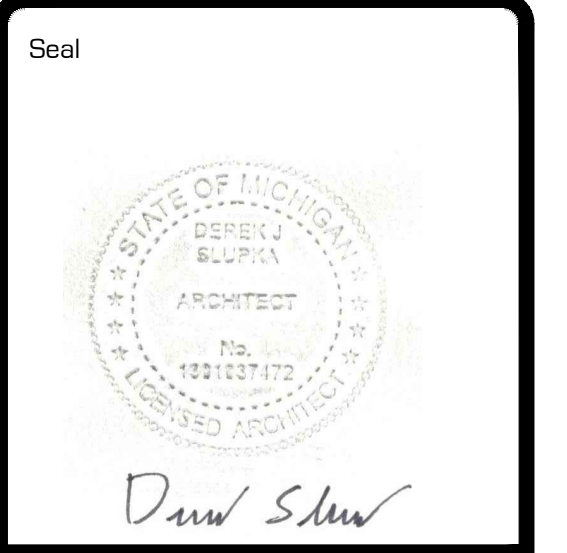
Checked DJS

Scale 3/8" = 1'-0"

Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
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PERMIT	10-13-21	DJS

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Derek S. Durr

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

Checked DJS

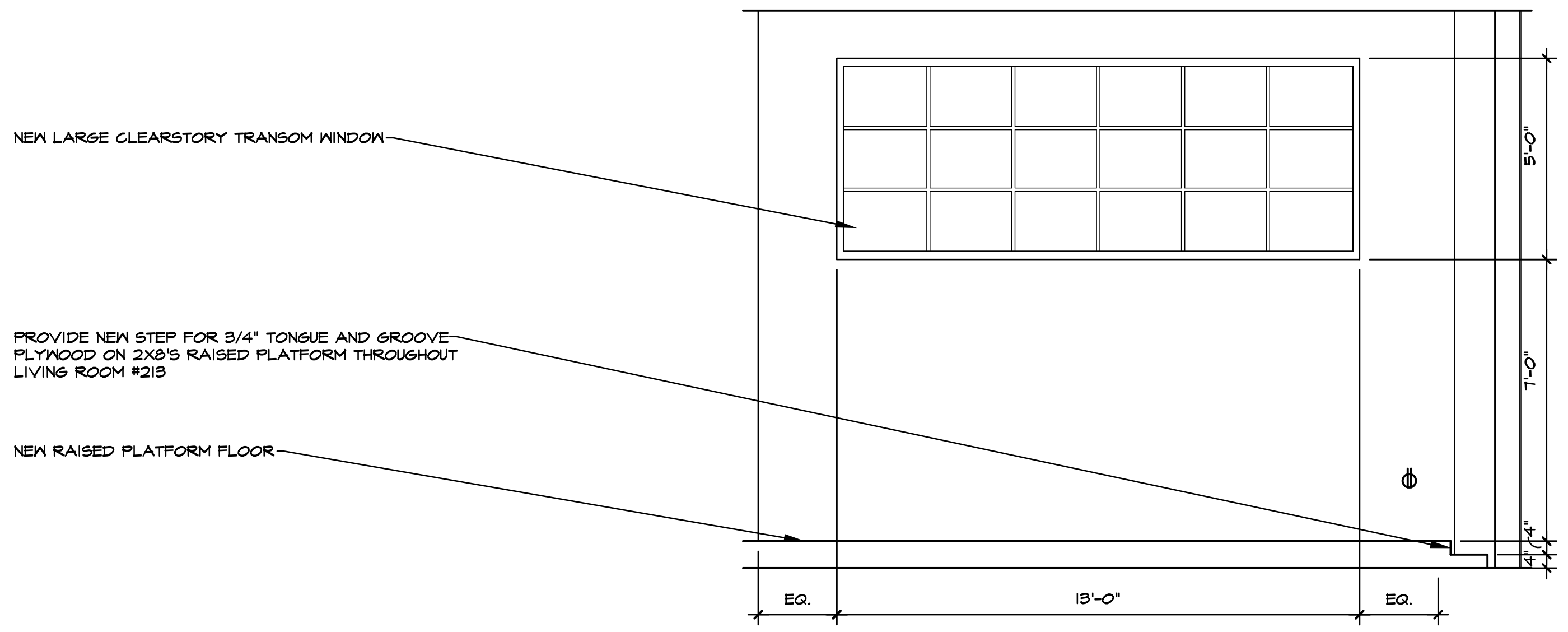
Scale 3/8" = 1'-0"

Dwg. PEERLESS - CDS

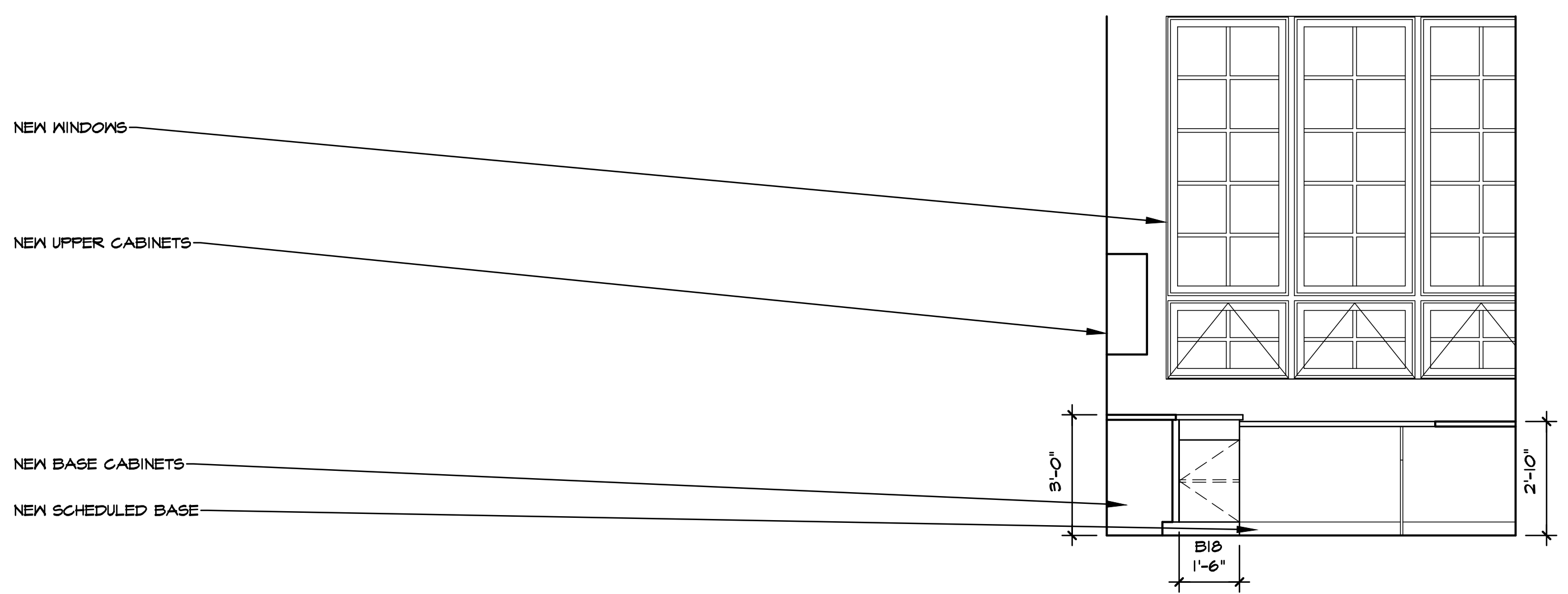
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

Sheet Number
A404

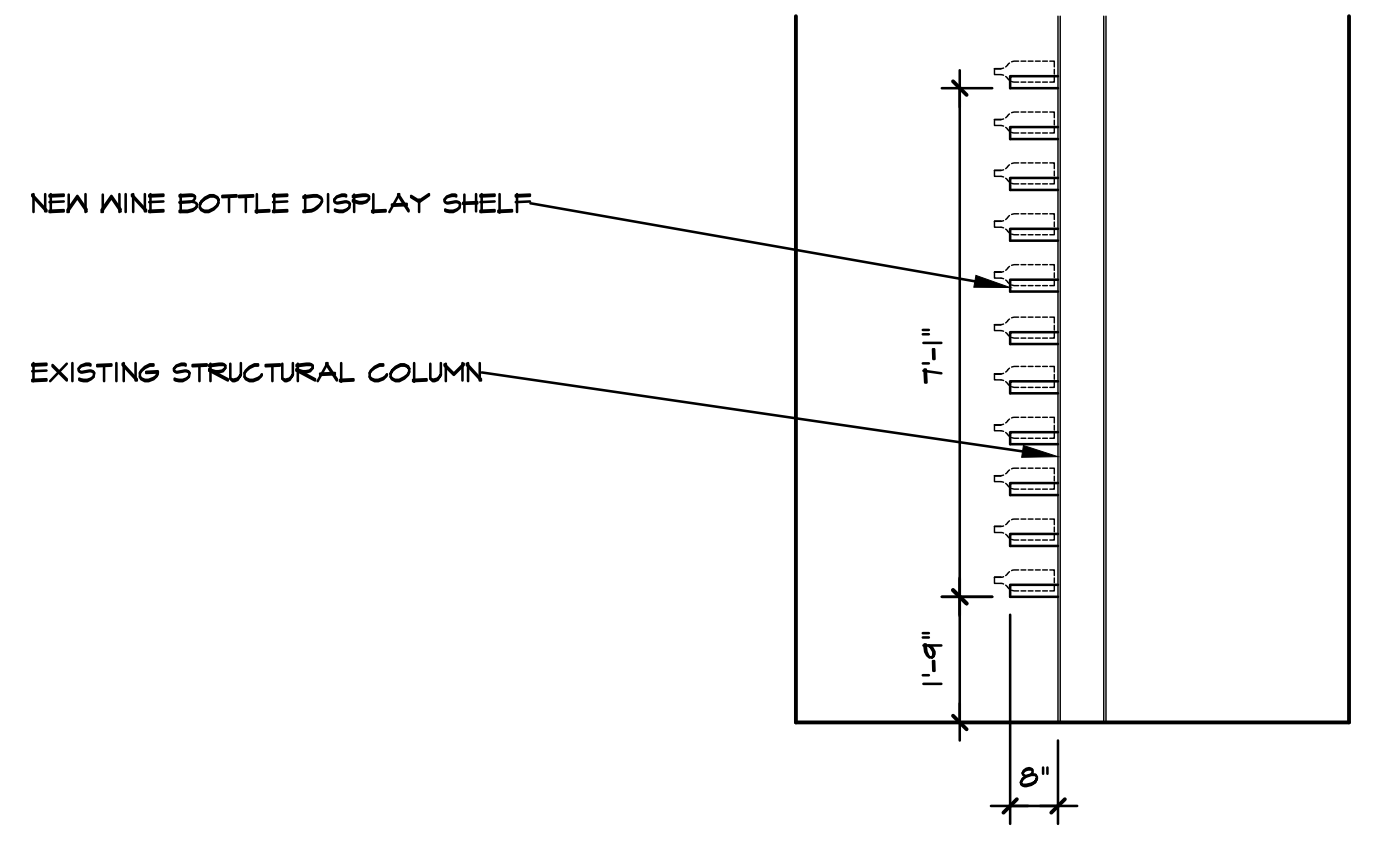
of 28



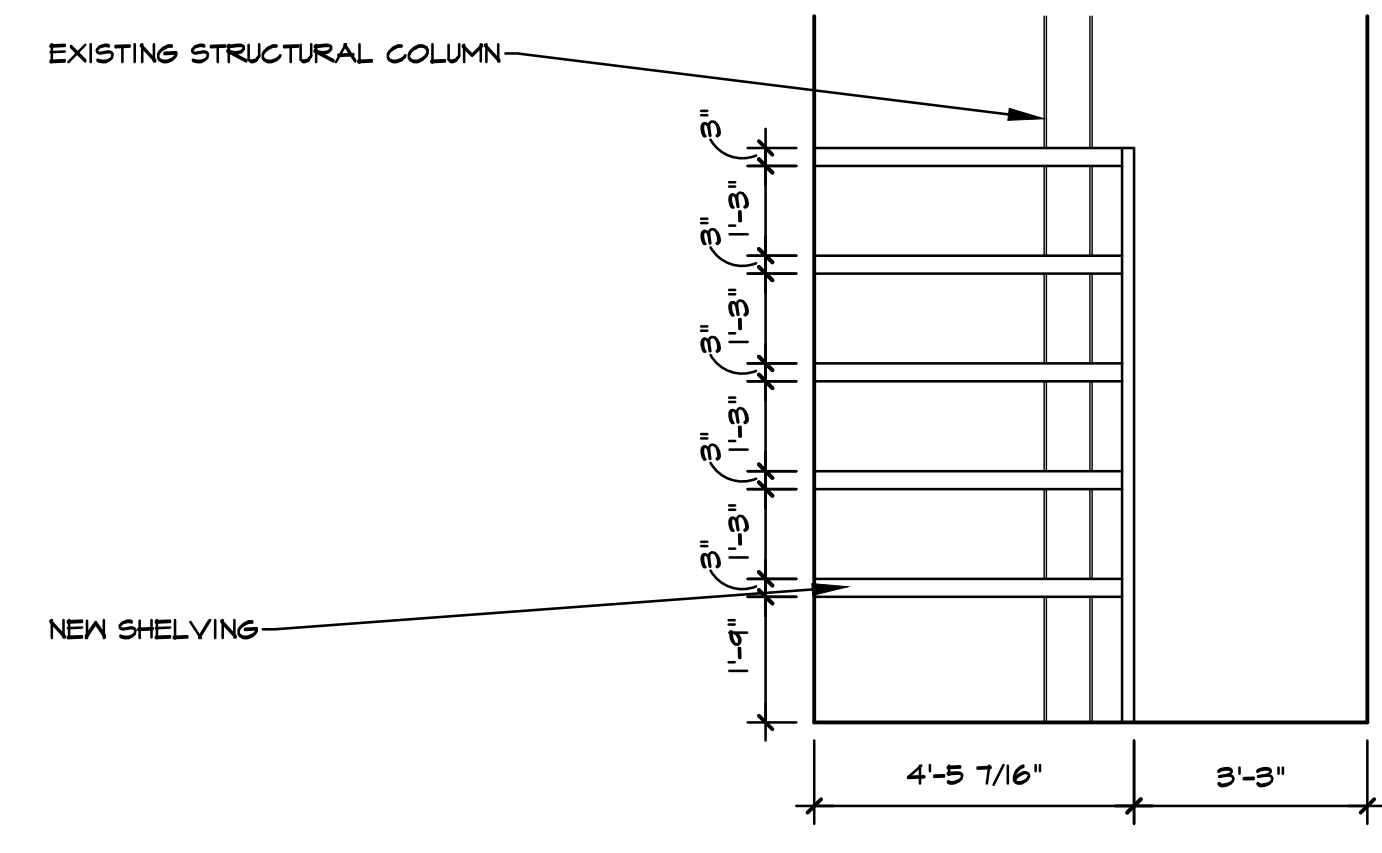
7 LIVING ROOM #213 - NORTH VIEW
A104 3/8" = 1'-0"



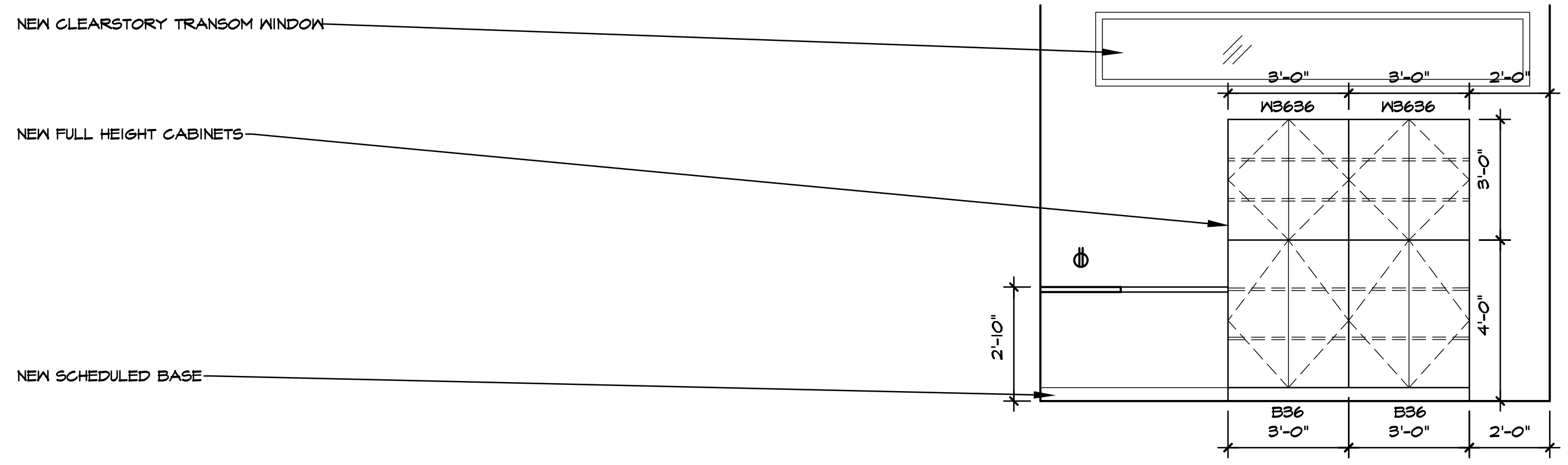
6 LAUNDRY/ART ROOM #216 - WEST VIEW
A104 3/8" = 1'-0"



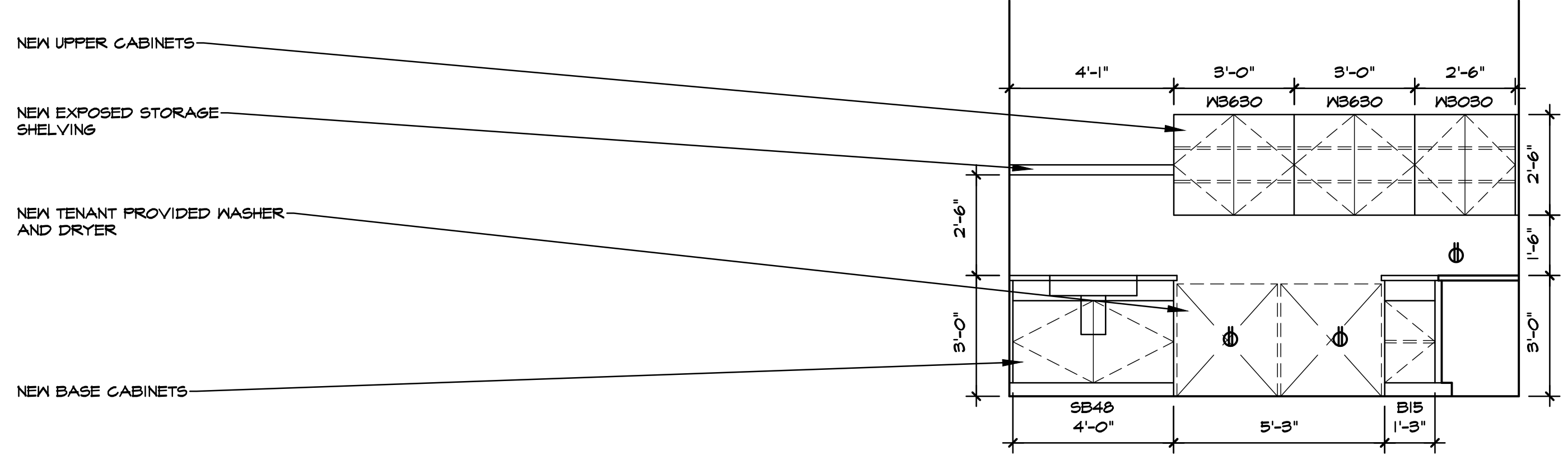
5 FOYER #200 - NORTH VIEW
A104 3/8" = 1'-0"



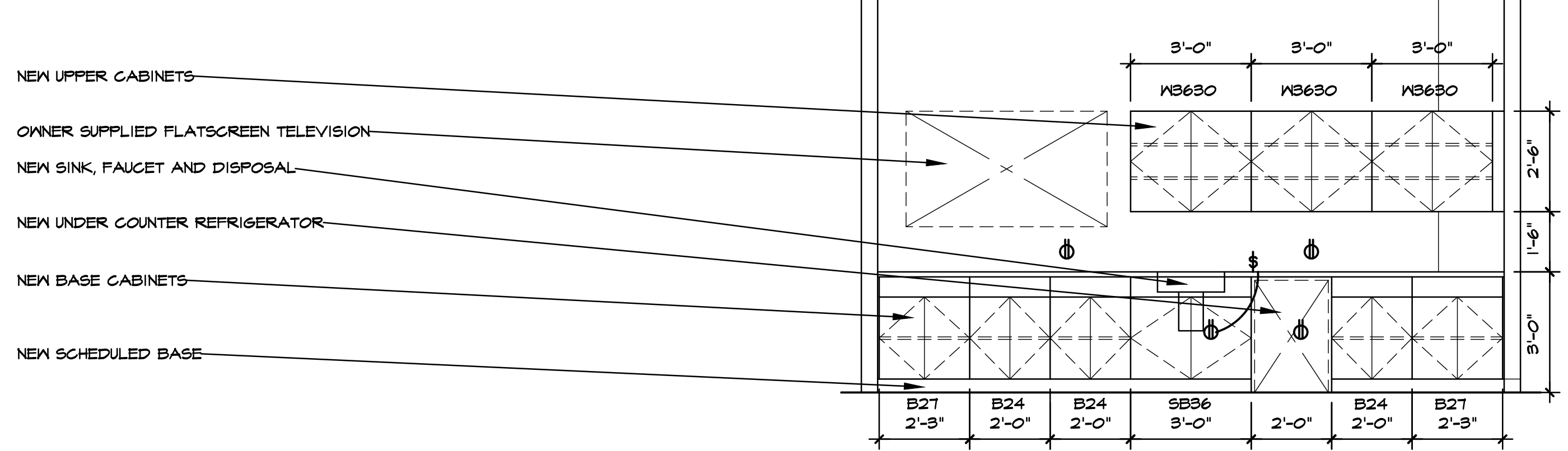
4 FOYER #200 - NORTH VIEW
A104 3/8" = 1'-0"



3 LAUNDRY/ART ROOM #216 - NORTH VIEW
A104 3/8" = 1'-0"

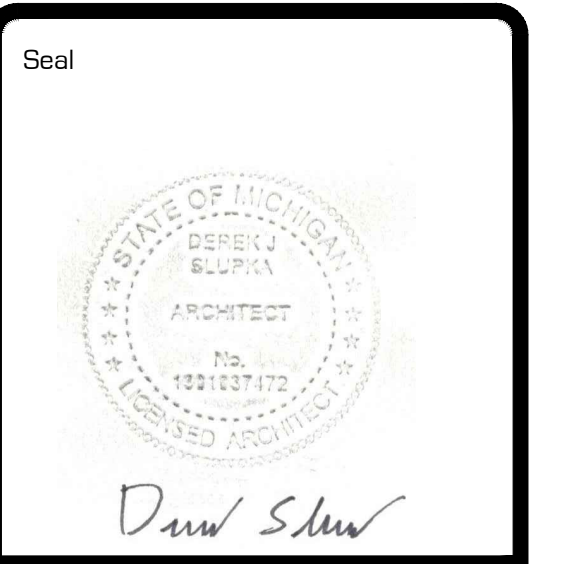


2 LAUNDRY/ART ROOM #216 - SOUTH VIEW
A104 3/8" = 1'-0"



1 POOL/BAR AREA #215 - SOUTH VIEW
A104 3/8" = 1'-0"

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Derek S. S.

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
INTERIOR ELEVATIONS

Project Number
20-40-159

Drawn ALM

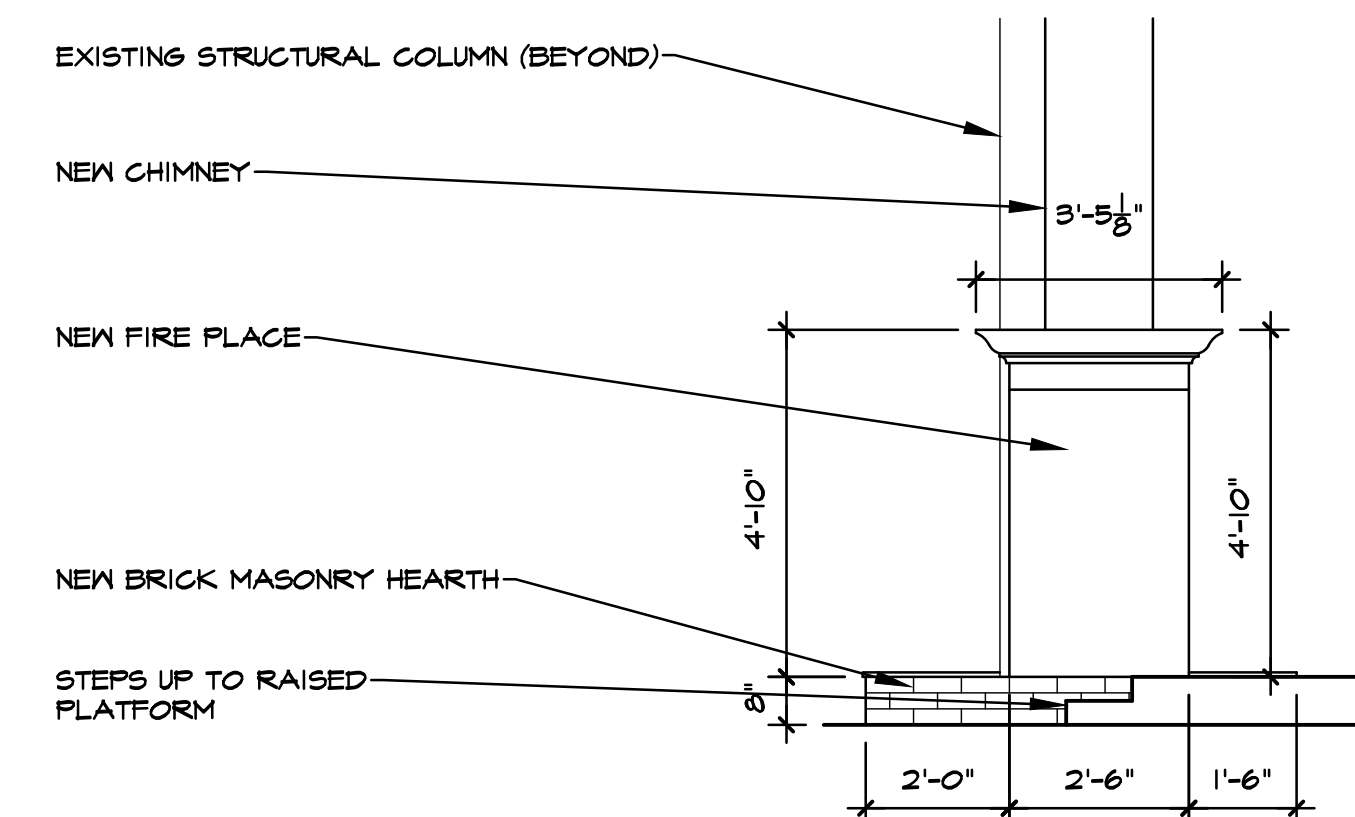
Checked DJS

Scale 3/8" = 1'-0"

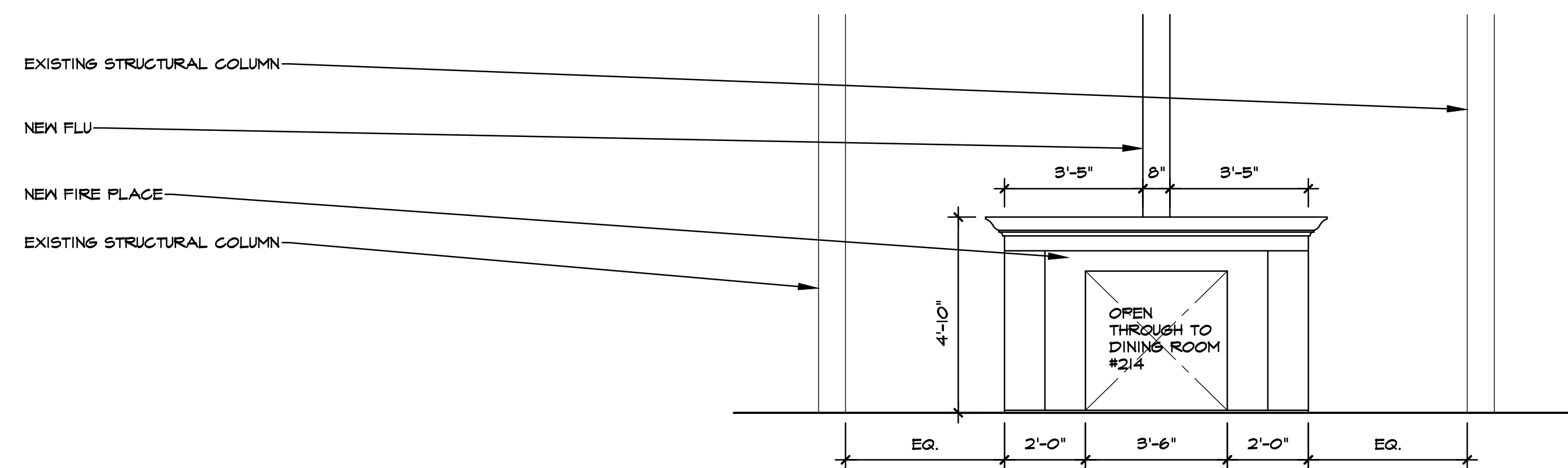
Dwg. PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

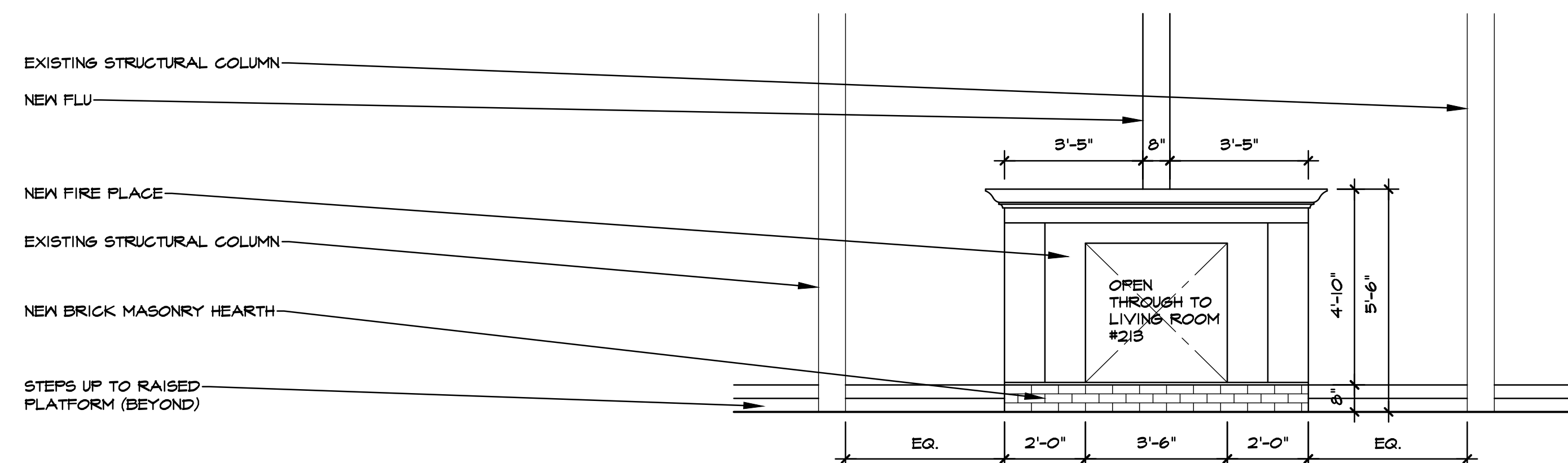
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3 DINING ROOM #214/LIVING ROOM #213 - SOUTH VIEW
A104 3/8" = 1'-0"

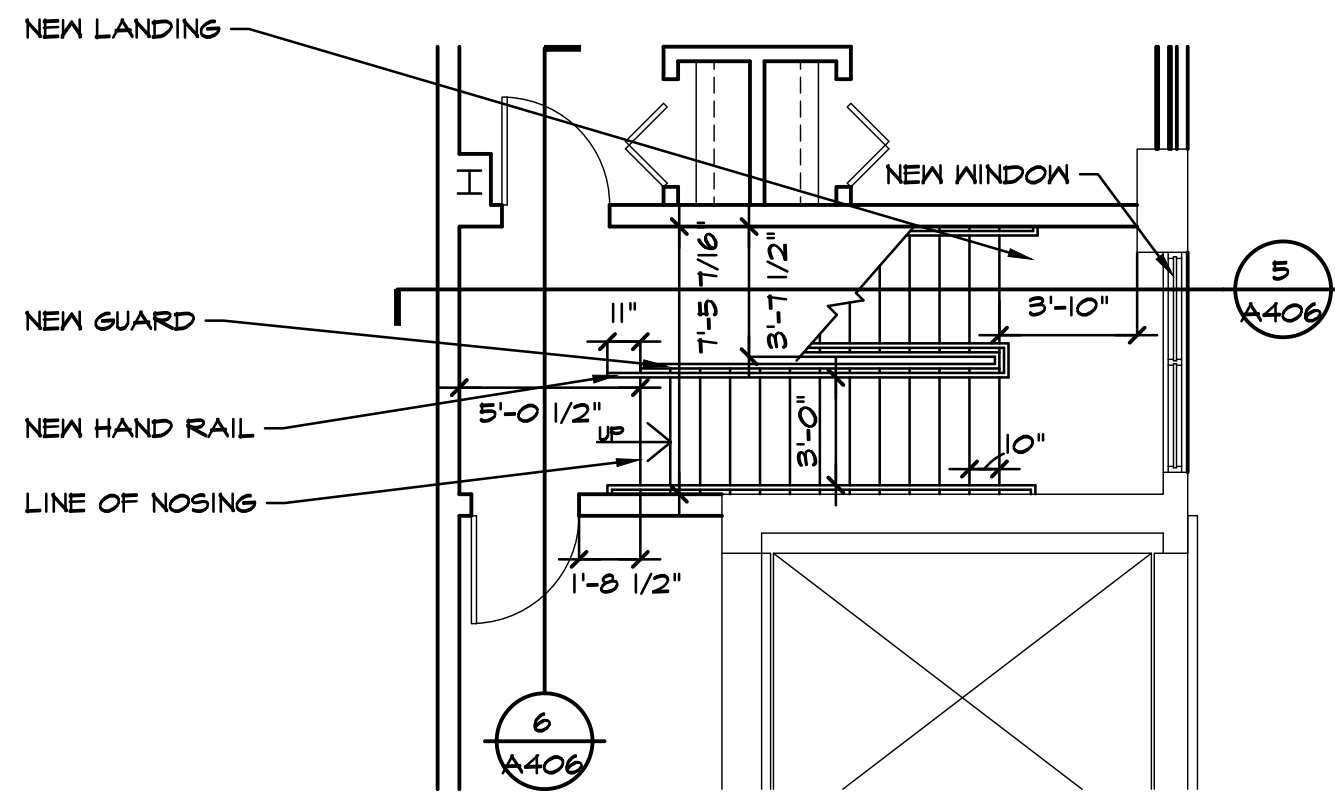


2 LIVING ROOM #213 - EAST VIEW
A104 3/8" = 1'-0"

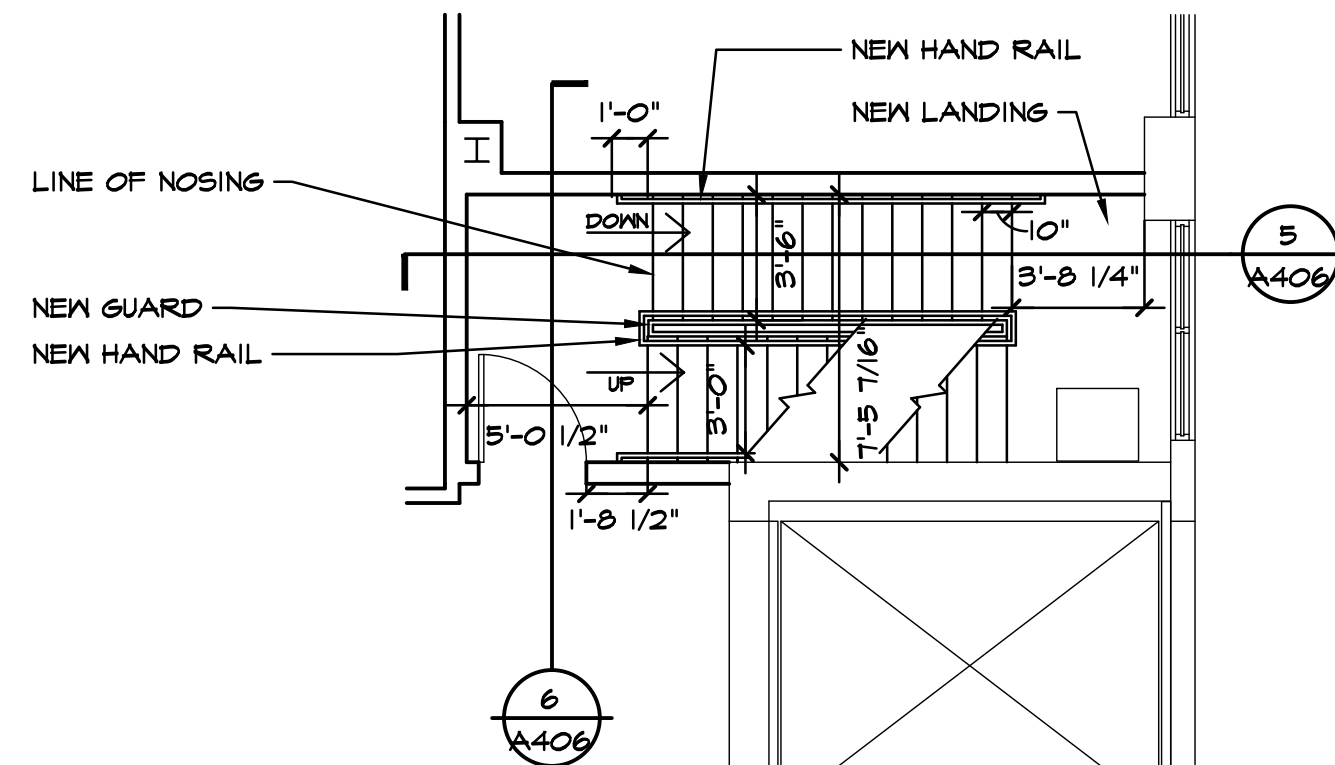


1 DINING ROOM #214 - WEST VIEW
A104 3/8" = 1'-0"

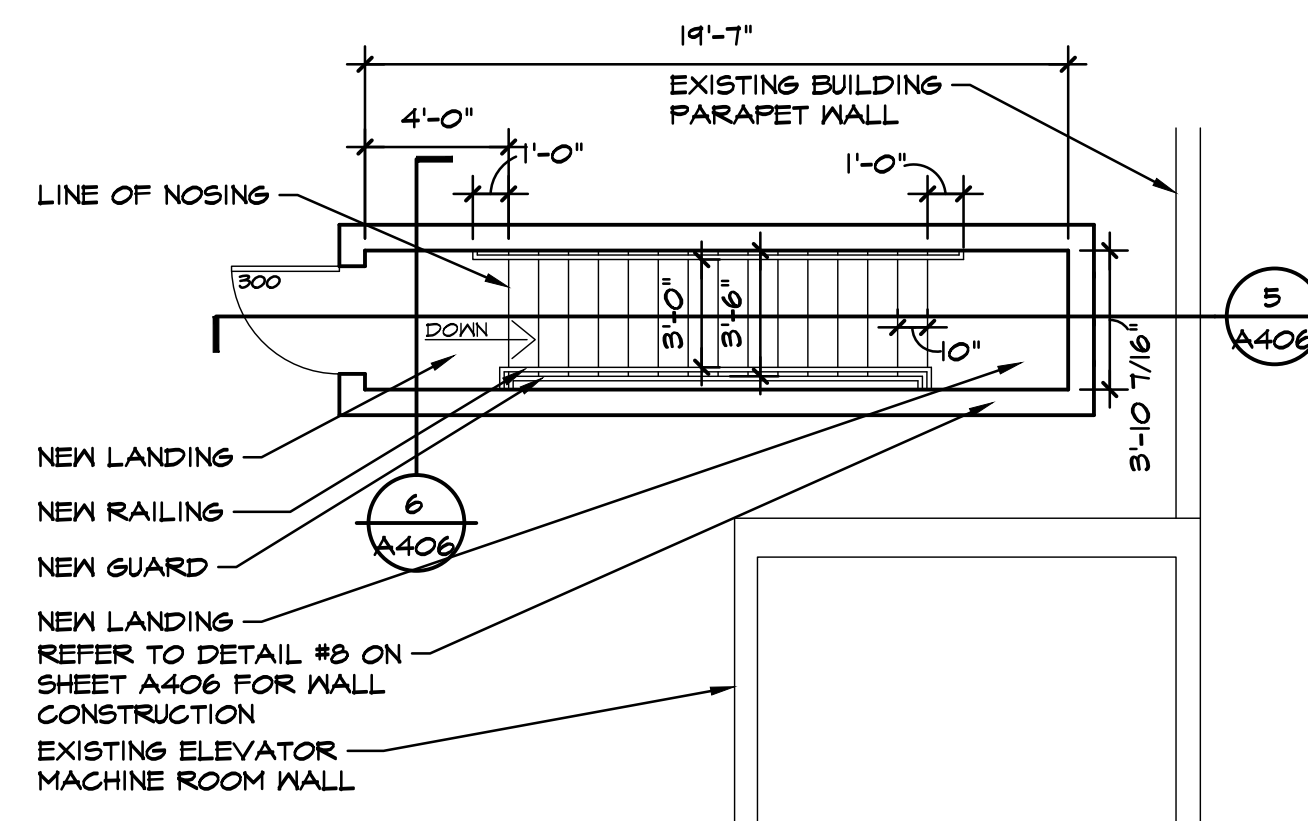
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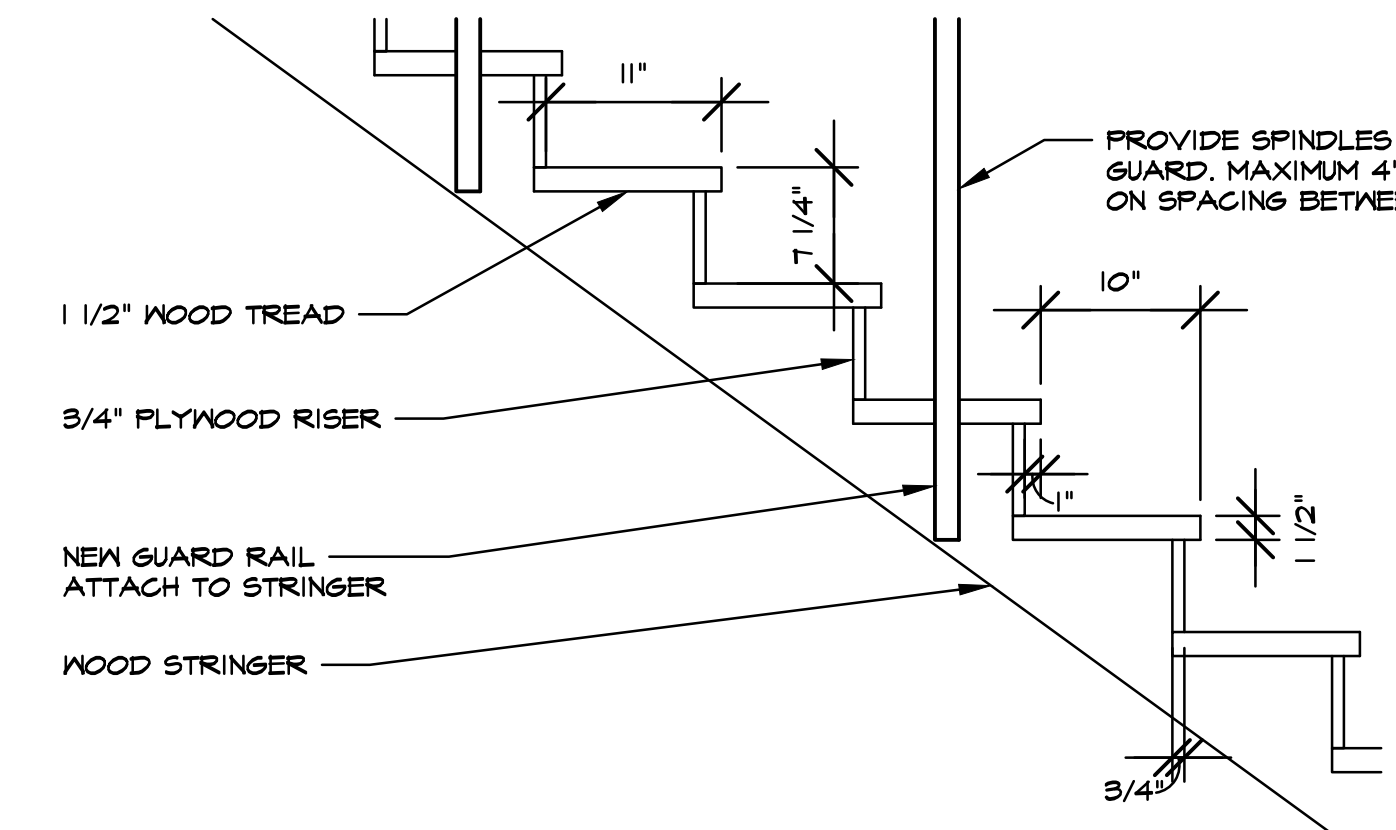
1 STAIRS #150 PLAN 1ST FLOOR
A103 3/16" = 1'-0"



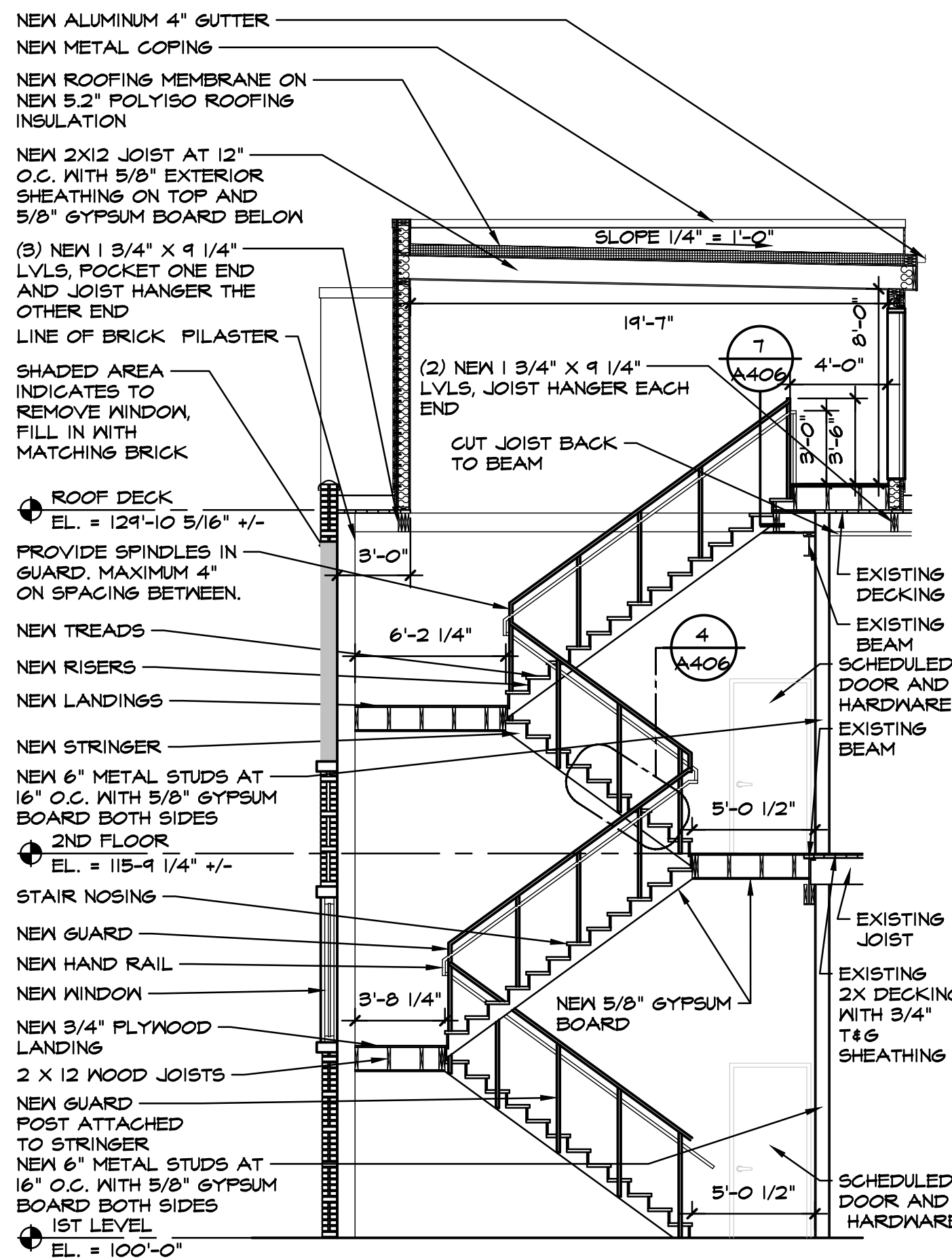
2 STAIRS #150 PLAN 2ND FLOOR
A104 3/16" = 1'-0"



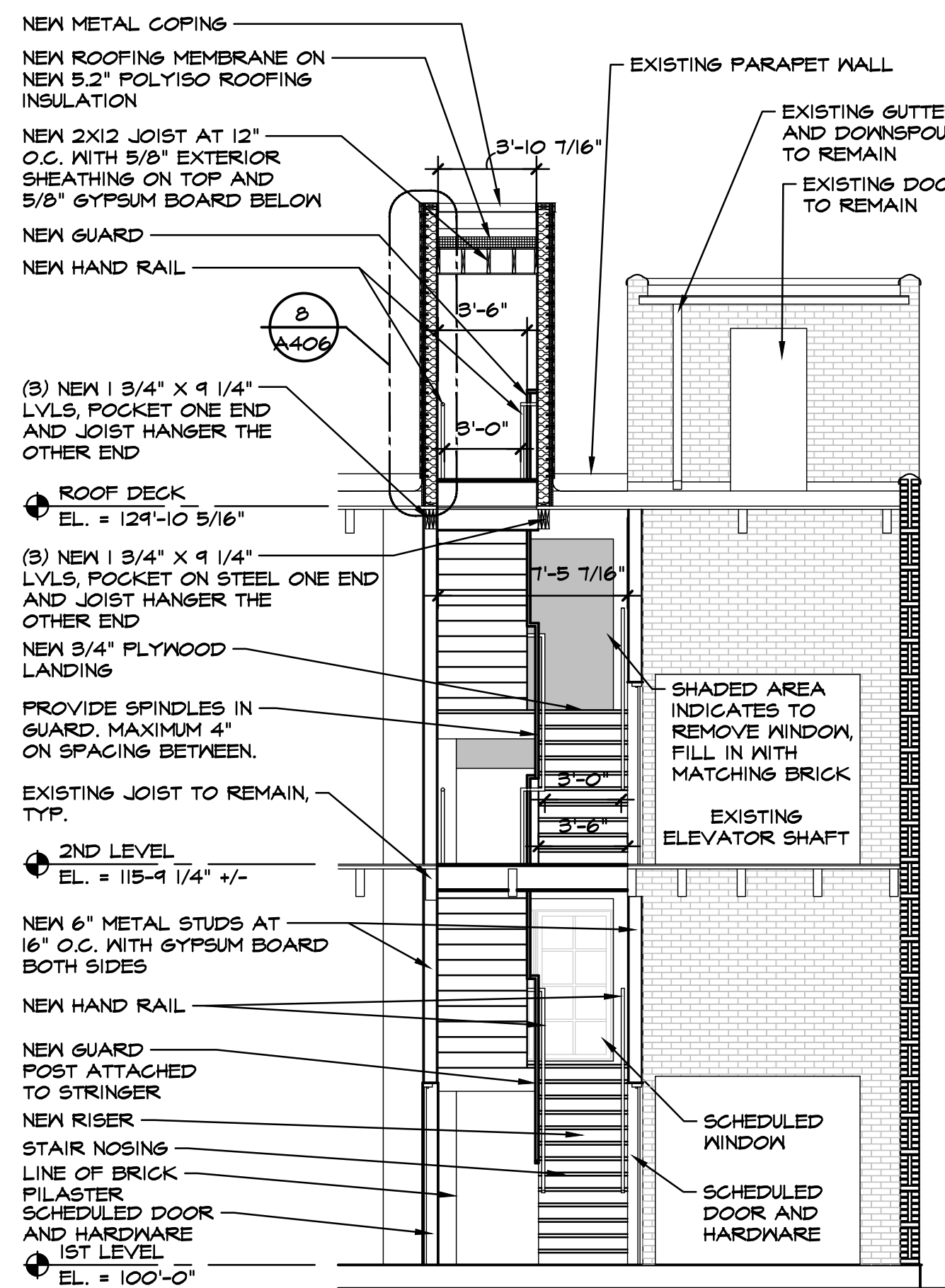
3 STAIRS #150 PLAN ROOF LEVEL
A104 3/16" = 1'-0"



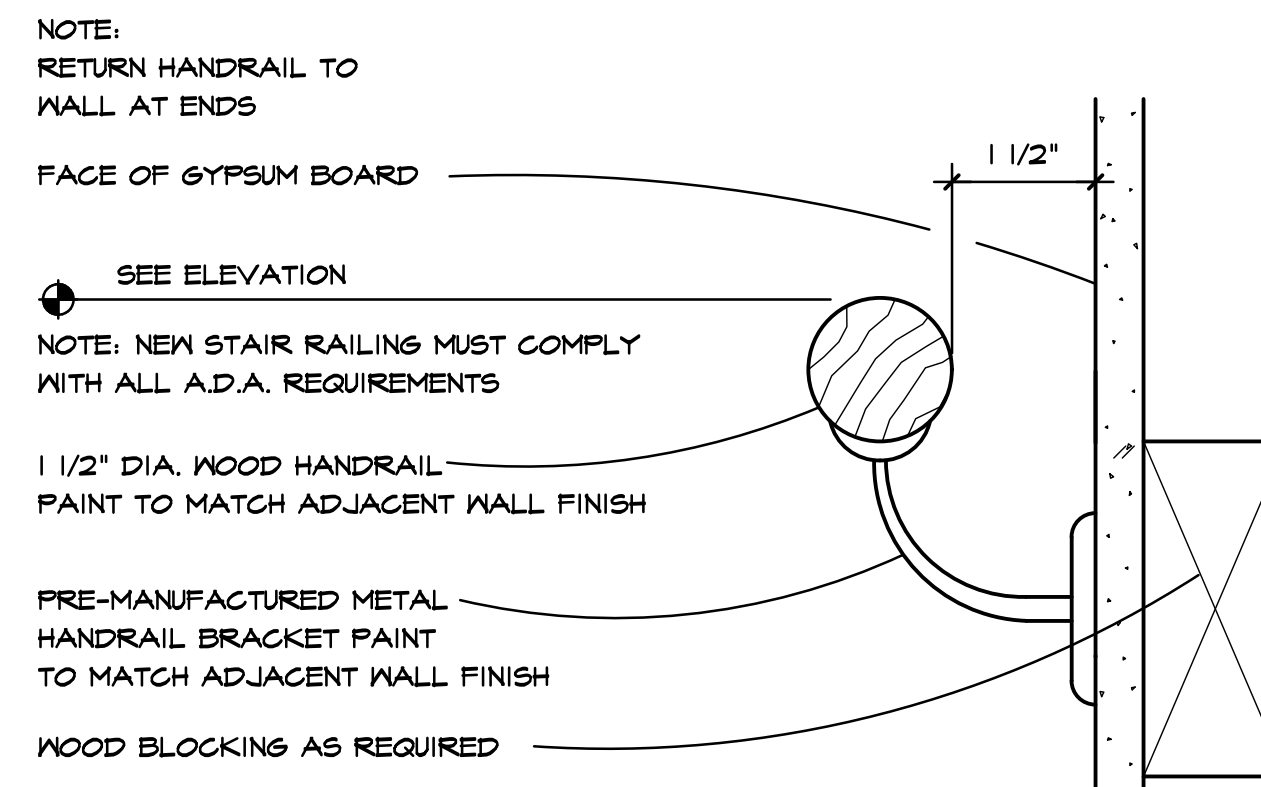
4 TREAD DETAIL- STAIRS #150 1ST FLIGHT
A406 1" = 1'-0"



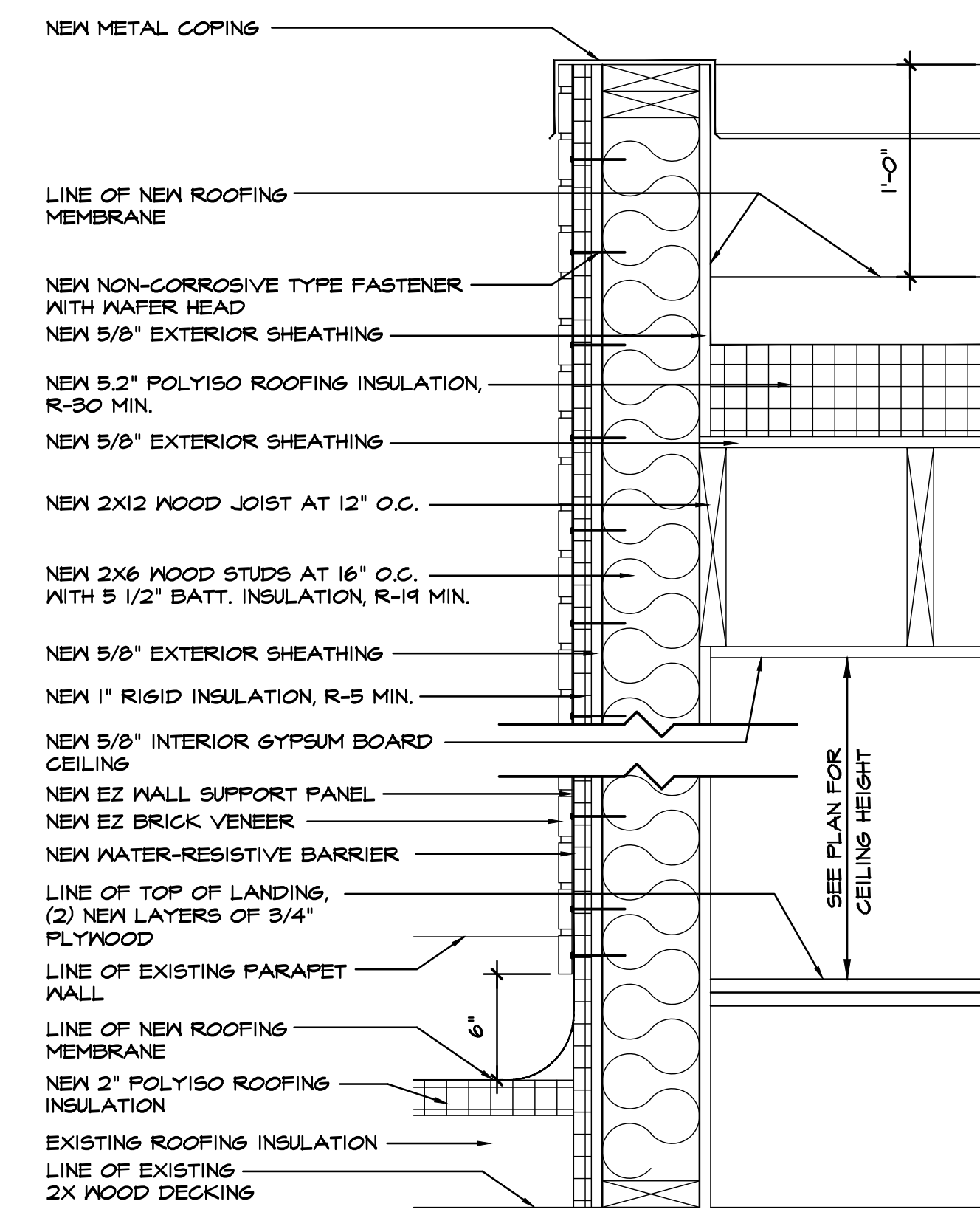
5 STAIRS #150 SECTION
A406 3/16" = 1'-0"



6 STAIRS #150 SECTION
A406 3/16" = 1'-0"



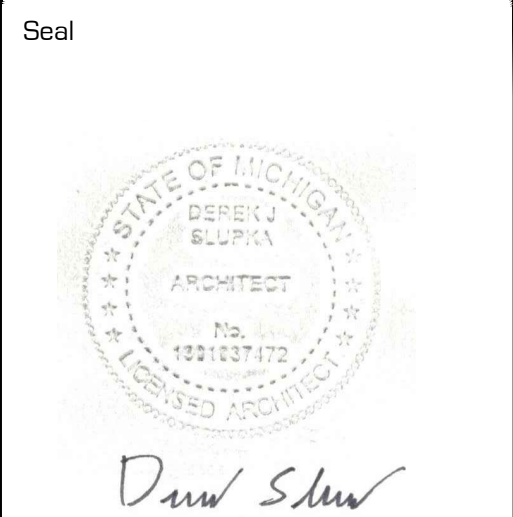
7 HANDRAIL SECTION
A406 6" = 1'-0"



8 ENLARGED PENTHOUSE WALL SECTION
A406 1 1/2" = 1'-0"



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PROJECT PEERLESS

Stair Sections / Stair Plans

Project Number
20-40-159

Drawn ALM

Checked DJS

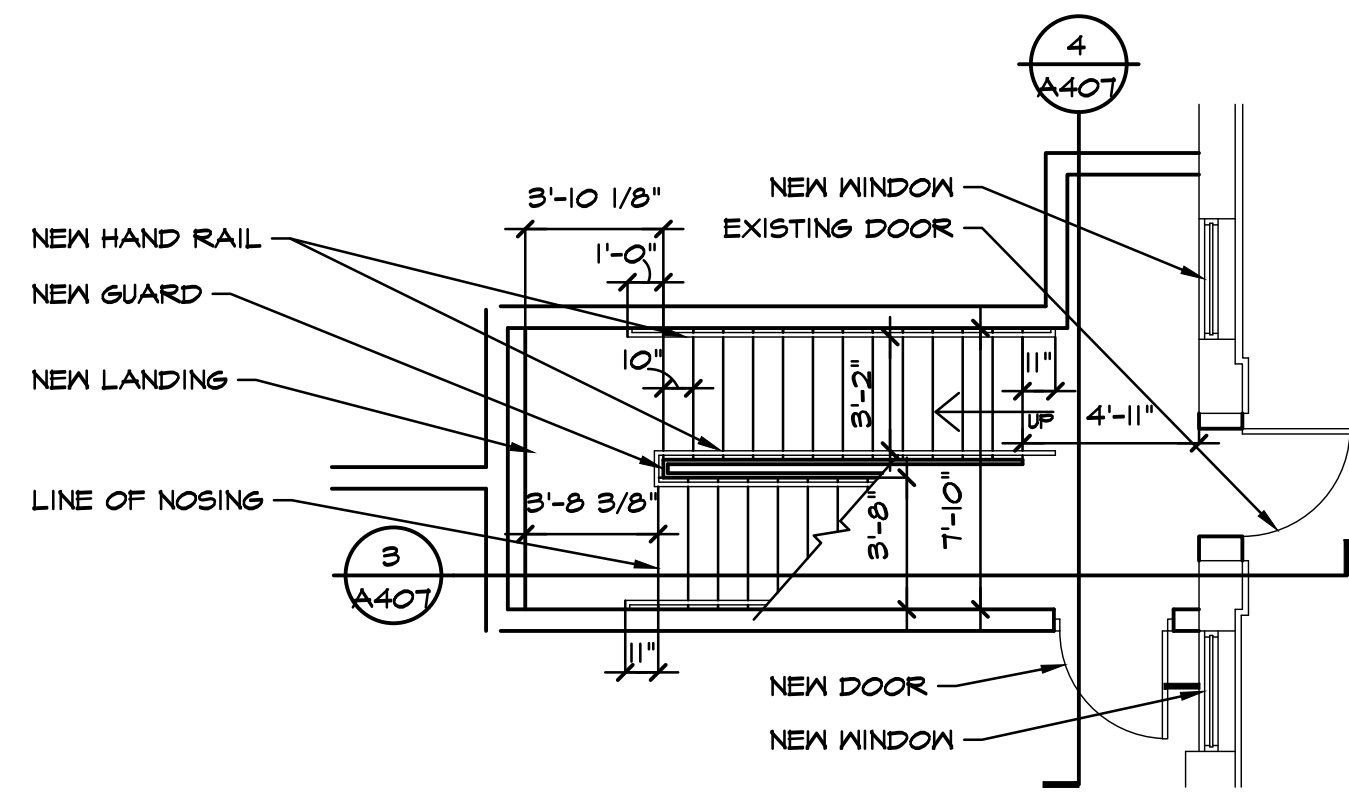
Scale AS NOTED

Dwg. PEERLESS - CDS

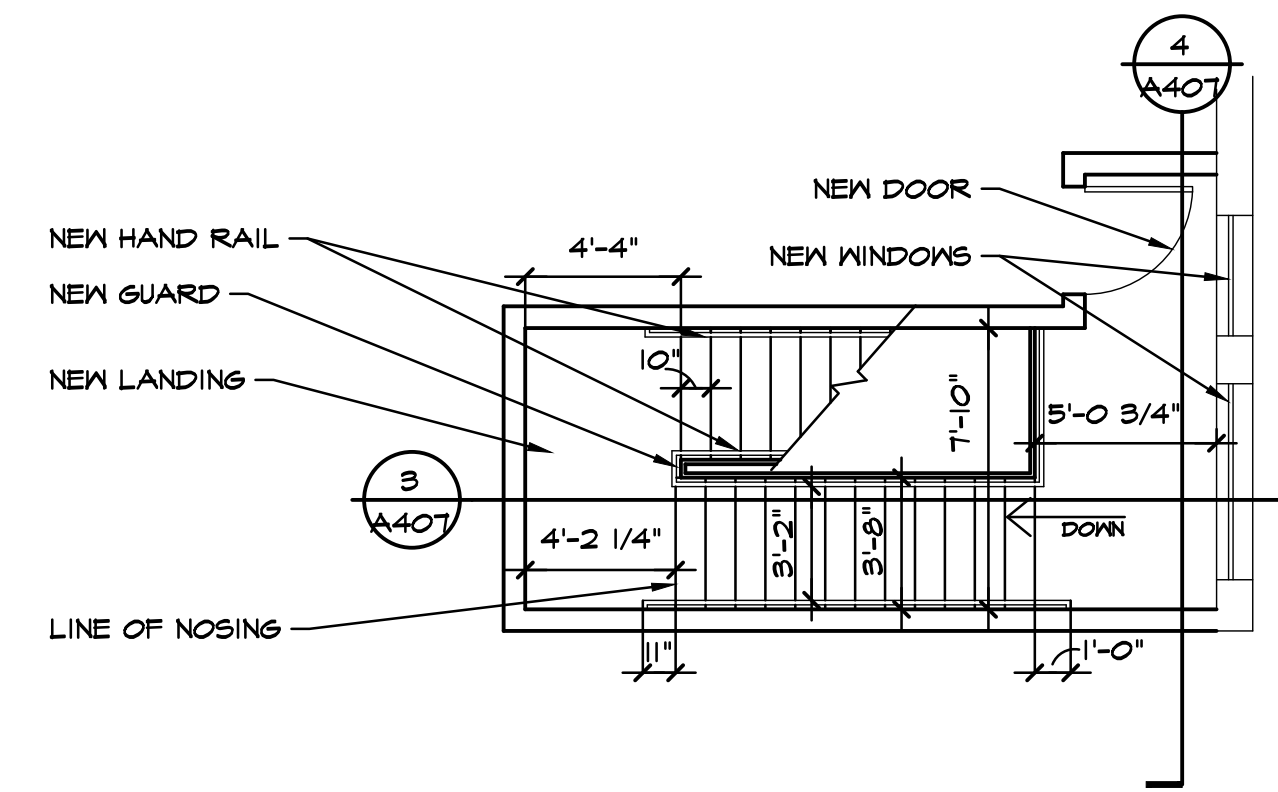
Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
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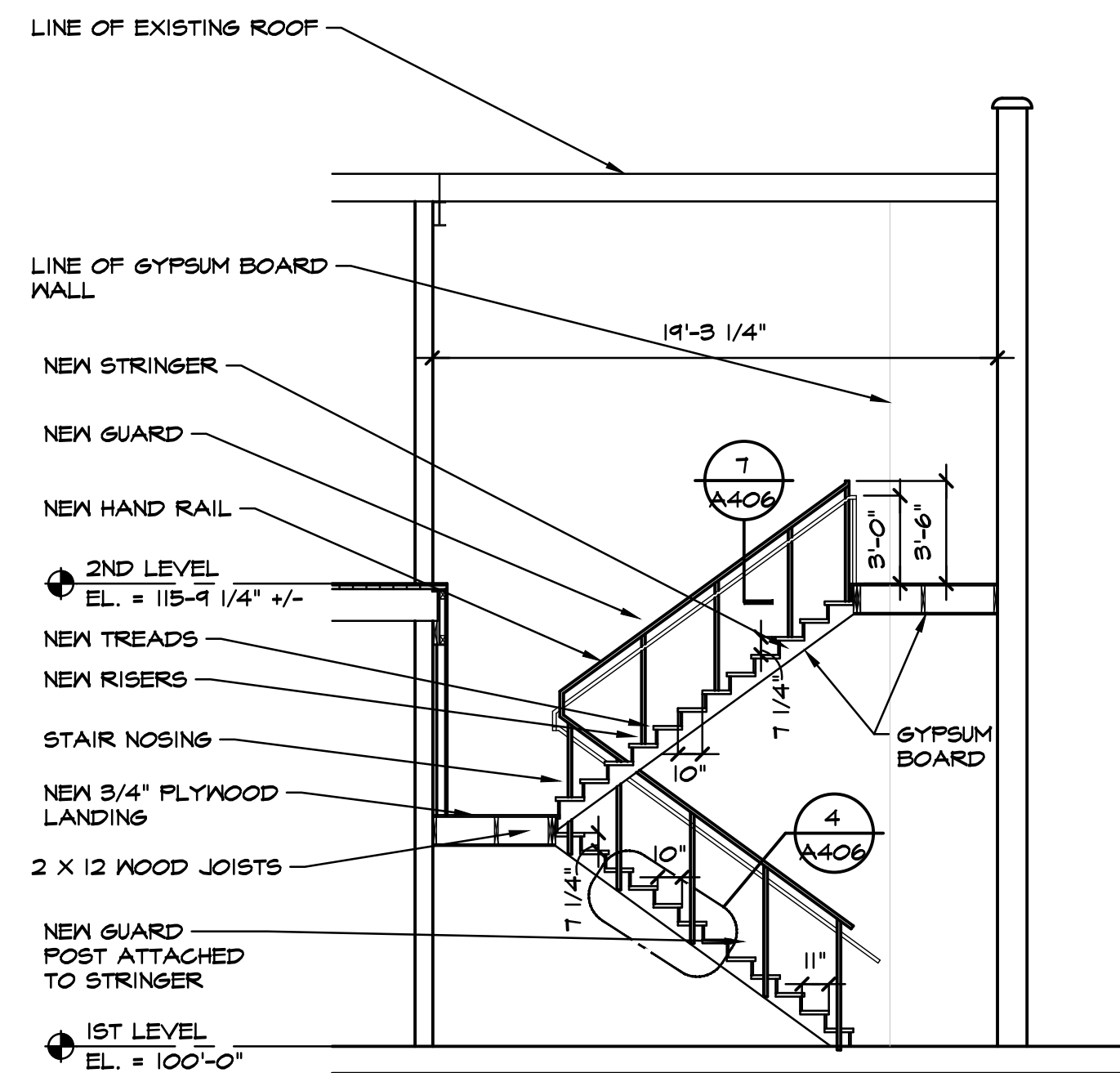
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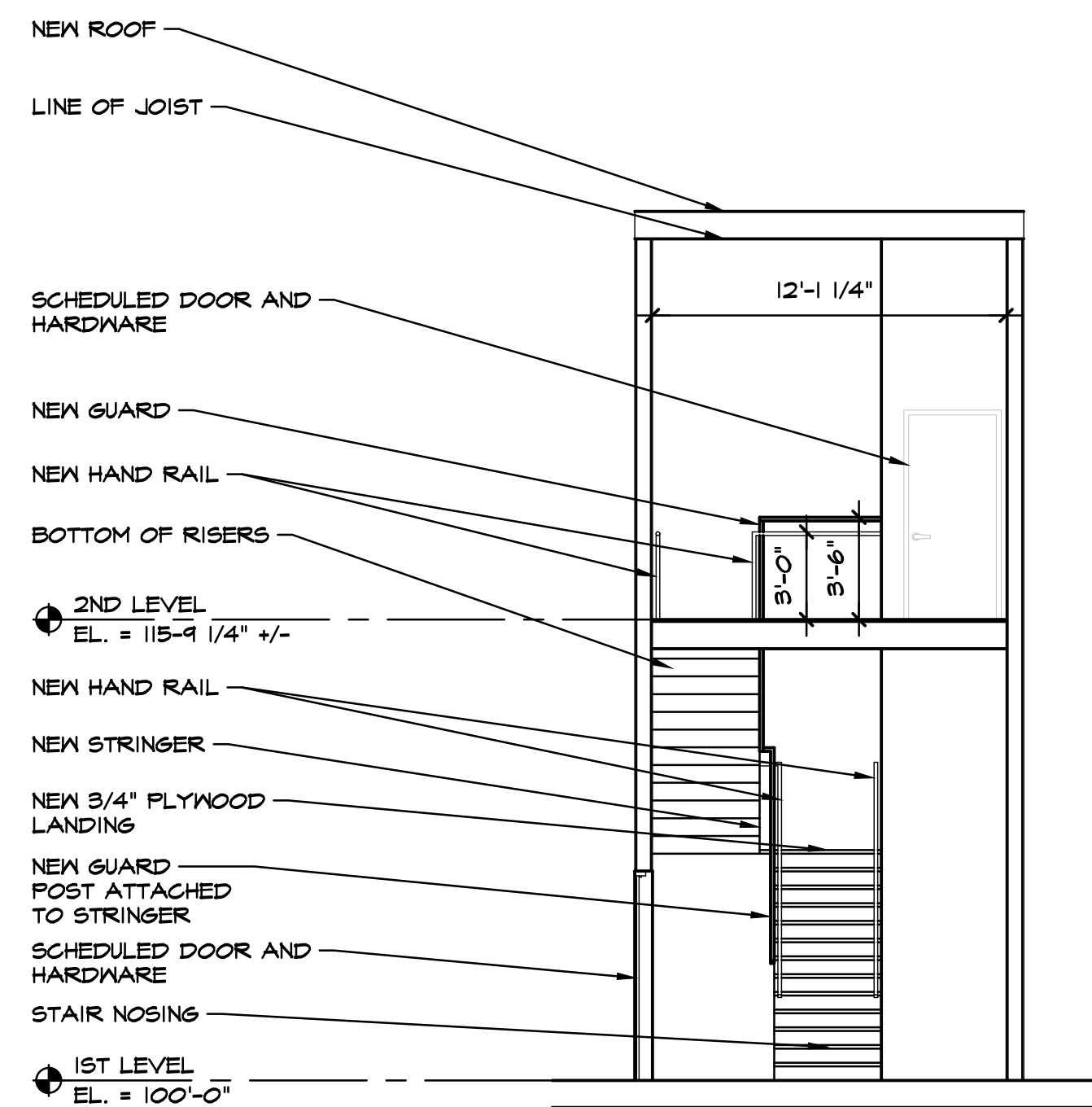
1 STAIRS #100 PLAN 1ST FLOOR
 A103 3/16" = 1'-0"



2 ENLARGED STAIRS #100 PLAN 2ND FLOOR
 A104 3/16" = 1'-0"



3 STAIRS #100 SECTION
 A407 3/16" = 1'-0"



4 STAIRS #100 SECTION
 A407 3/16" = 1'-0"



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Derek Sullivan

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
 DETROIT, MI 48202

Drawing Title
STAIR SECTIONS / STAIR PLANS

Project Number
20-40-159

Drawn
 ALM

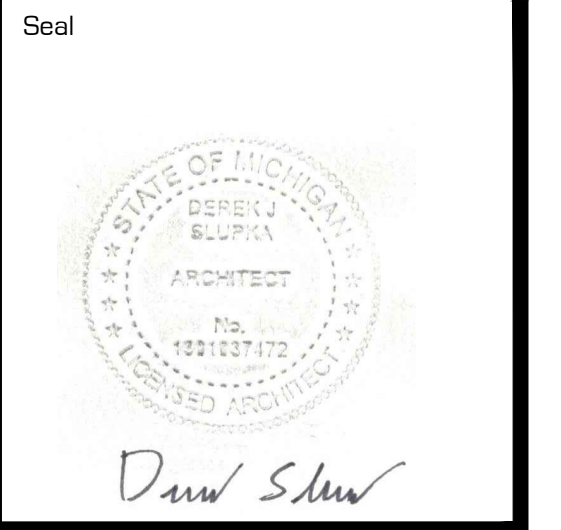
Checked
 DJS

Scale
 3/16" = 1'-0"

Dwg.
 PEERLESS - CDS

Issued for	Date	By
DESIGN DEVELOPMT.	5-28-21	DJS
OWNER REVIEW	8-20-21	DJS
PERMIT	10-13-21	DJS

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Seal

PROJECT PEERLESS

Project: **PROJECT PEERLESS**

603 E. MILWAUKEE ST.
DETROIT, MI 48202

Drawing Title
WALL DETAILS

Project Number
20-40-159

Drawn: ALM

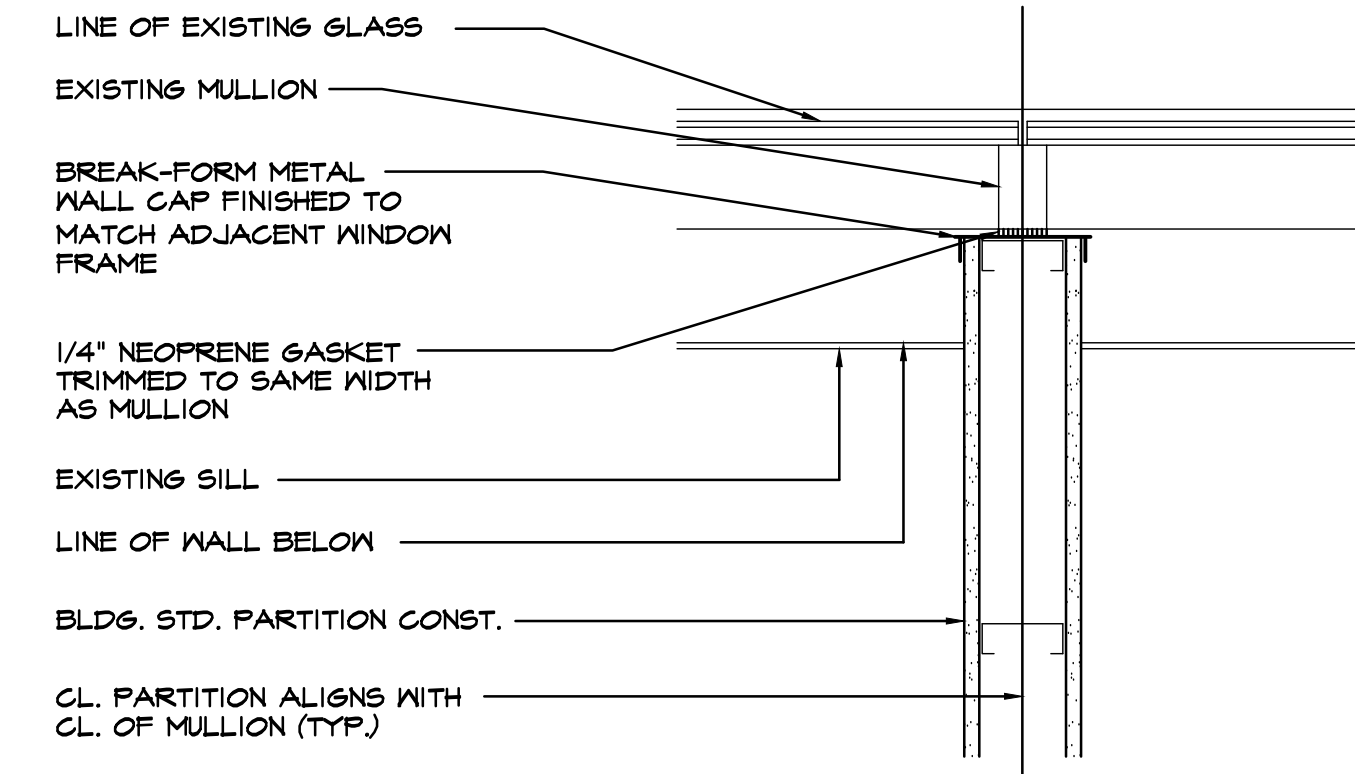
Checked: DJS

Scale: AS NOTED

Dwg: PEERLESS - CDS

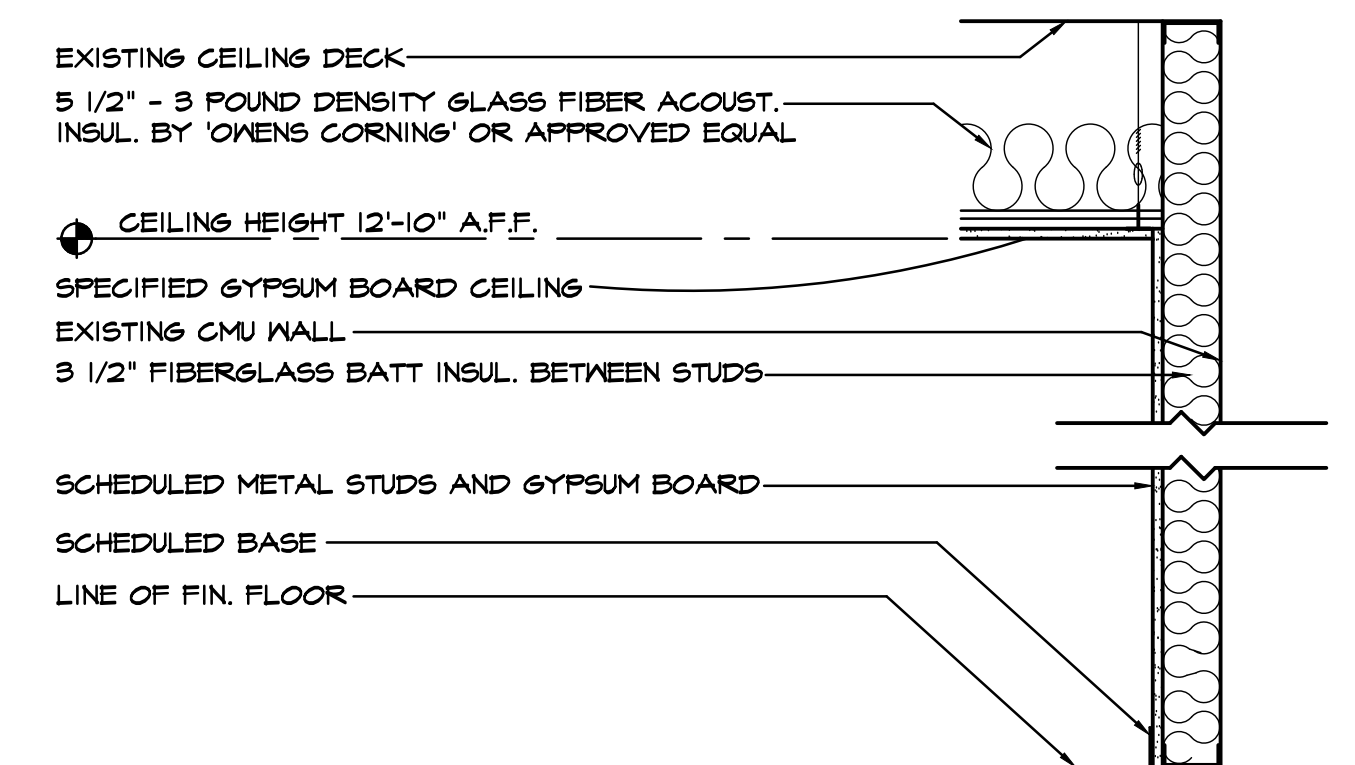
Issued for	Date	By
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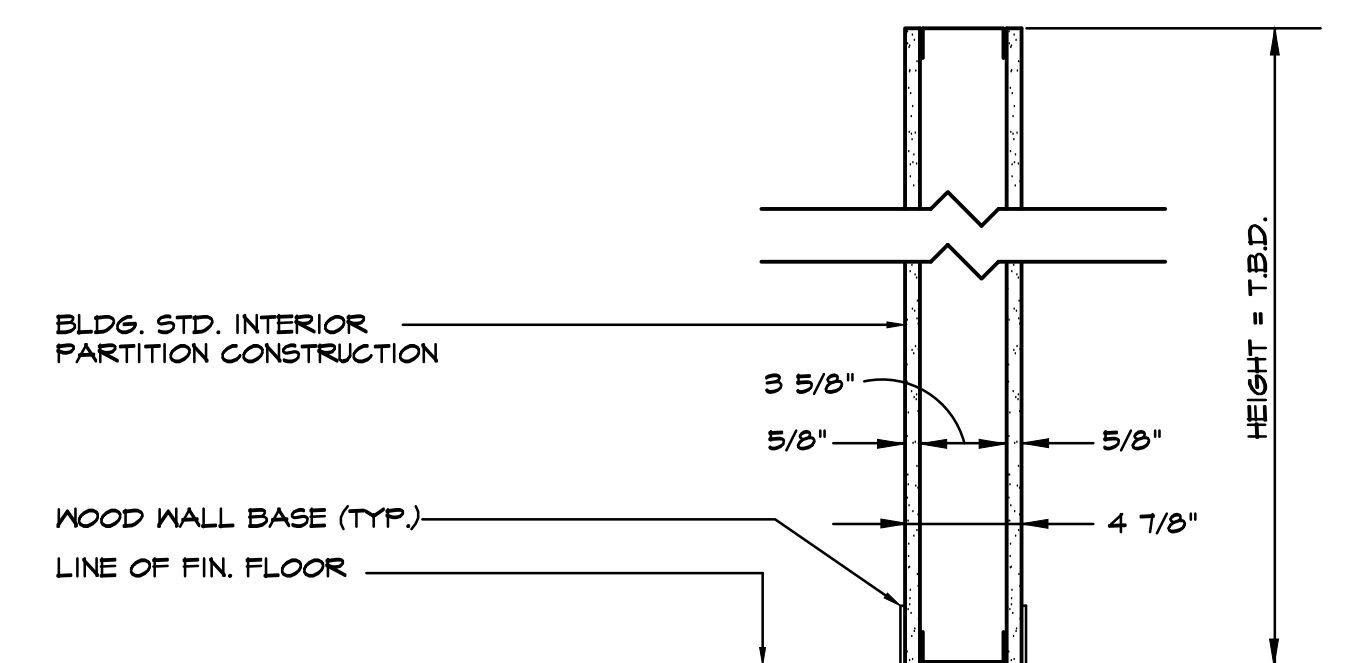
4 PARTITION AT MULLION

A103 1/2" = 1'-0"



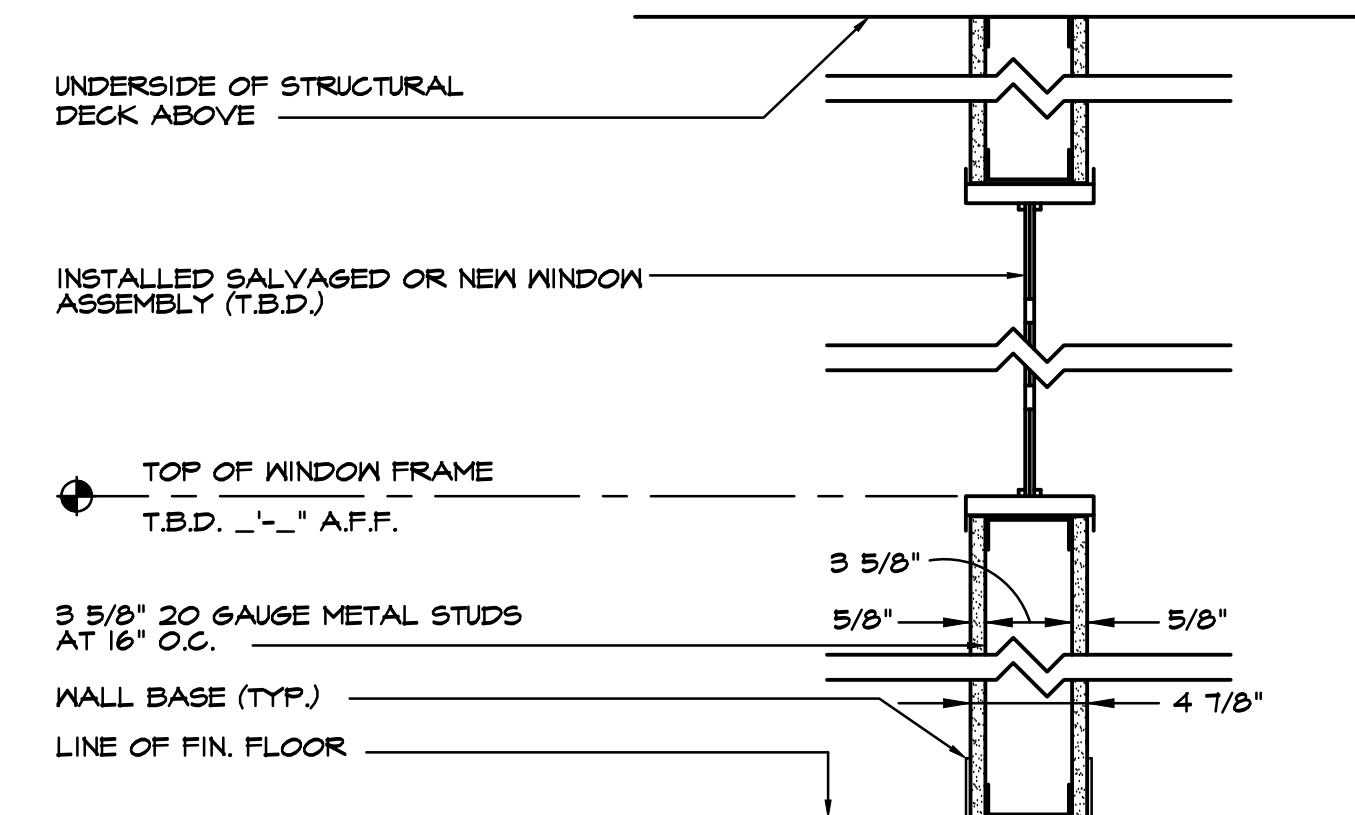
3 INTERIOR PARTITION

A104 1" = 1'-0"



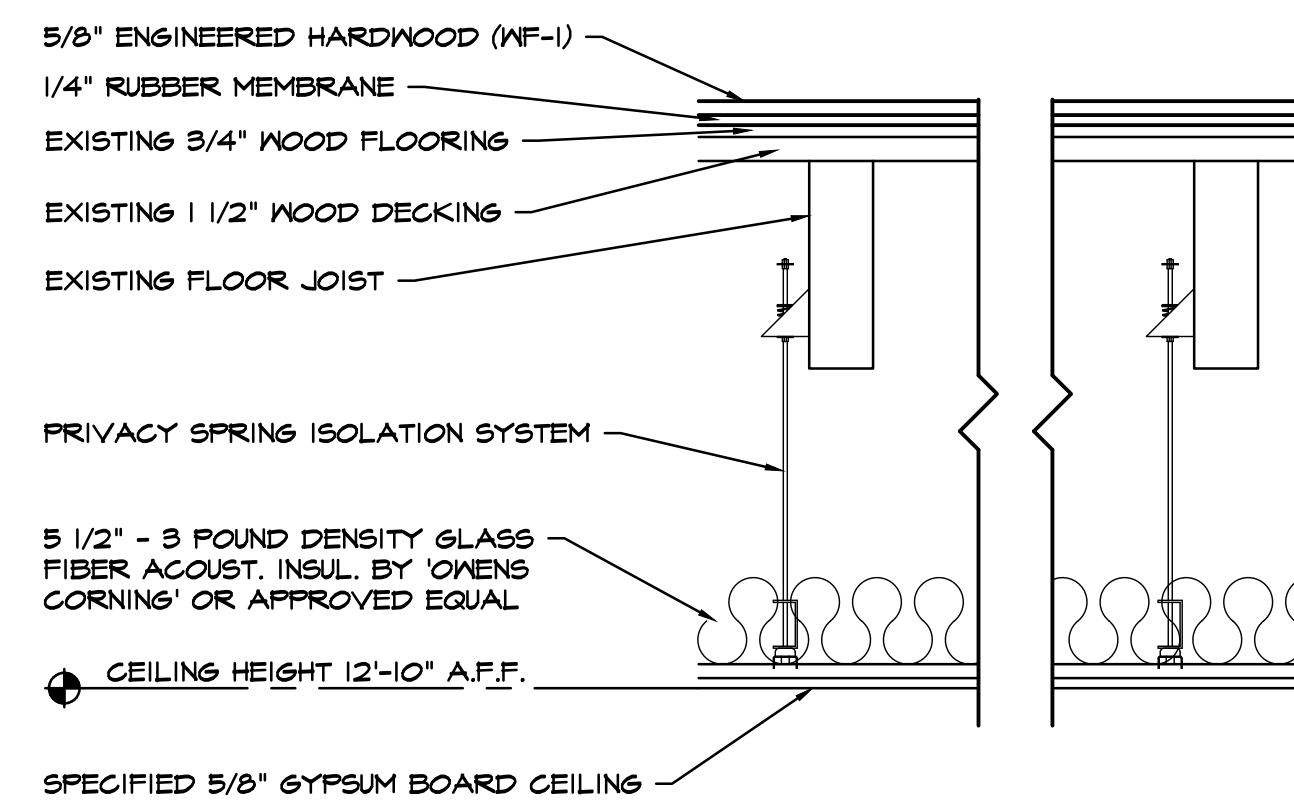
2 INTERIOR PARTITION

A104 1/2" = 1'-0"



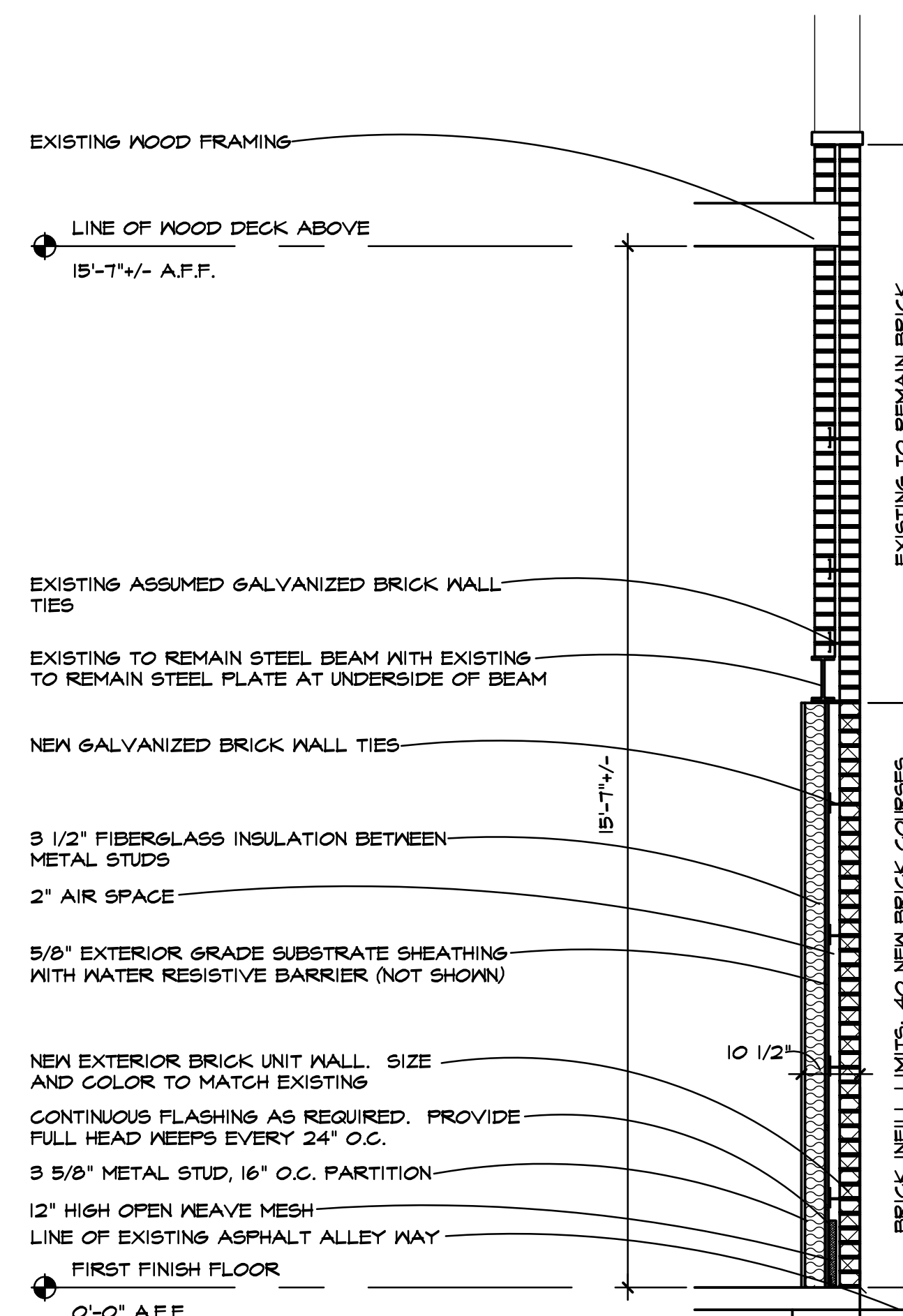
1 INTERIOR PARTITION

A104 1/2" = 1'-0"



6 GYPSUM BOARD CEILING

A103 1" = 1'-0"



5 WALL SECTION

A104 1/2" = 1'-0"

DOOR SCHEDULE

DOOR NO.	OPEN. SIZE	DOOR TYPE / FINISH	FRAME TYPE / FINISH	DOOR	FRAME	LATCH	HINGES	CLOSER	DOOR STOP	NOTES
100	3'-0" X 7'-0" (VERIFY IN FIELD)	METAL	METAL	D1	F1	L1	H1	C1	-	N5
101	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
102	(2) 18" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
103A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
103B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
104	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
105	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
106	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
107	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
108	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
109	(2) 18" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
110	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
110B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
111	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
112	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
113	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
114	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
115	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
116	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
116B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
117	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
118	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
119	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
120	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
121	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
123	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
124A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
124B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
125	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
126	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
127	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
128	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
129	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
131	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
132A	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
132B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
133	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
134	(1) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
135	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
136	(2) 3'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
137	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
138	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
139	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
142	3'-0" X 7'-0" (VERIFY IN FIELD)	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
143A	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
143B	3'-0" X 3'-0"	METAL	METAL	D6	F4	L5	H5	-	-	N2
144	(1) 36" BIFOLD	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
145	(1) 36" BIFOLD	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
146	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
148	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
150	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	-
151	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	N5
200	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
201	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
202	GLASS SLIDING DOOR SYSTEM	WOOD	WOOD	D7	D7	D7	D7	-	D7	-
205	(2) 36" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
206	3'-0" X 7'-0"	METAL	METAL	D5	F3	L1	H1	C1	SI	N5
207	3'-0" X 7'-0" SLIDING BARN DOOR	WOOD	WOOD	D3	-	L2	H4	C1	SI	NT
208	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
209	(2) 4'-0" X 7'-0" (SLIDING)	WOOD	WOOD	D4	-	L4	H4	-	-	-
210	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
211	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
212	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
216	3'-0" X 7'-0" (SLIDING)	GLASS	-	D8	-	L7	H4	-	-	-
217	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
218	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
219	(2) 24" BIFOLD	WOOD	WOOD	D2	-	L2	H2	-	-	-
220	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
221	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
222	3'-0" X 7'-0"	WOOD	WOOD	D3	F2	L3	H3	-	SI	-
300	3'-0" X 7'-0"	METAL	METAL	D1	F1	L1	H1	C1	SI	-

DOOR LEGEND

GENERAL NOTES

G1. ALL DOOR SIZE DIMENSIONS GIVEN ARE APPROXIMATE. DOOR SUPPLIER SHALL FIELD VERIFY EXACT REQUIREMENTS.

EXISTING

E1. EXISTING TO REMAIN.

DOORS

D1. NEW INSULATED STEEL DOOR WITH 6" X 62" FROSTED LITE WITH INSULATED GLASS BY 'STEELCRAFT' OR EQUAL.

D2. NEW SOLID CORE WOOD BI-FOLD DOOR. PAINT P-1.

D3. NEW SOLID CORE, 1 3/4" WOOD DOOR. PAINT P-1.

D4. NEW SOLID CORE WOOD SLIDING DOOR. PAINT P-1.

D5. NEW FLUSH STEEL DOOR BY 'STEELCRAFT' OR EQUAL. WITH PRIME FINISH AND 1-HOUR RATINGS. FINISH T.B.D.

D6. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION. FINISH T.B.D.

D7. NEW 'MARVIN' ULTIMATE MULTI SLIDE DOOR SYSTEM CONTAINING SIX (6) CUSTOM SIZED 1/4" CLEAR TEMPERED GLASS FRAMED DOORS, COLOR T.B.D. WITH PULLS AND NO LOCK.

D8. NEW WOOD SLIDING GLASS DOOR WITH FULL LITE IN DOOR. FINISH T.B.D.

FRAMES

F1. HOLLOW METAL FRAME WITH 2" FACE EDGE GROUTED SOLID WITH PRIME FINISH.

F2. NEW WOOD FRAME AND WOOD CASING. PAINT P-2.

F3. NEW HOLLOW METAL FRAME. PRIME FINISH. PROVIDE 1-HOUR RATINGS.

F4. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

LATCHSET/LOCKSET

L1. NEW MORTISE LOCKSET WITH LEVER HANDLE, AND INTERCHANGEABLE CORE.

L2. NEW 4" WIRE PULL. FINISH T.B.D.

L3. NEW LEVER PRIVACY LOCK SET.

L4. NEW METAL RECESSED FINGER DOOR PULL. FINISH T.B.D.

L5. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

L6. NEW PASSAGE LEVER SET.

L7. NEW DOOR PULL TO BE SELECTED BY OWNER.

HINGES

H1. NEW 1 1/2" PAIR OF BALL BEARING HINGES WITH NON-REMOVABLE PINS. FINISH T.B.D.

H2. MANUFACTURER'S RECOMMENDED HEAVY DUTY BI-FOLD HARDWARE.

H3. NEW 1 1/2" PAIR BALL BEARING HINGES. FINISH T.B.D.

H4. NEW MANUFACTURER'S RECOMMENDED HEAVY DUTY SLIDING DOOR HARDWARE.

H5. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR IN GYPSUM BOARD ABOVE TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

CLOSERS

C1. NEW CLOSER BY 'LGN' OR EQUAL. FINISH T.B.D.

DOOR STOPS

S1. NEW WALL STOP BY 'ROCKWOOD' OR EQUAL. FINISH T.B.D.

S2. NEW FLOOR STOP BY 'ROCKWOOD' OR EQUAL. FINISH T.B.D.

NOTES

N1. PAINT DOOR AND FRAME P-3 ON TENANT SIDE ONLY. STAIRWAY SIDE TO REMAIN.

N2. NEW 3'-0" X 3'-0" LOCKABLE METAL ACCESS DOOR TO ACCESS MECHANICAL EQUIPMENT ABOVE BATHROOM AS REQUIRED. PAINT TO MATCH ADJACENT WALL FINISH. REFER TO ELEVATION.

N3. NEW 1/2" CLEAR TEMPERED BUTT GLASS SYSTEM IN 1" CHANNEL AT THE FLOOR AND HEAD. FINISH US26D.

N4. PAINT DOOR AND FRAME ON BOTH SIDES P-3.

N5. NEW DOOR PEEP AT 54" A.F.F. FINISH T.B.D.

N6. NEW THRESHOLD AND WEATHER STRIPPING.

N7. PAINT DOOR CHALKBOARD PAINT.



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PROJECT PEERLESS

Project: 20-40-159
 Drawing Title: DOOR SCHEDULE
 Project Number: 20-40-159
 Drawn: ALM
 Checked: DJS
 Scale: N/A
 Dwg: PEERLESS - CDS
 Issued for: DESIGN DEVELOPMT. 5-28-21 DJS
 OWNER REVIEW 8-20-21 DJS
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