

DHDC 21-7574

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

11/16/2021

CERTIFICATE OF APPROPRIATENESS

Elise DeChard/END Studio LLC
200 Brooklyn Street, Suite 204
Detroit, MI 48226

**RE: Application Number 21-7574, 249 East Baltimore, Stanley Hong's Mannia Cafe Historic District
Project Scope: Erect new rooftop and side additions to accommodate use as performing arts space**

Dear Applicant,

At the Regular Meeting that was held on November 10, 2021, the Detroit Historic District Commission ("DHDC") reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness ("COA") for the following work, effective on November 16, 2021, as it meets the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

Exterior rehabilitation and alterations, including new rooftop and side additions to accommodate use as performing arts space, per submitted drawings, narrative, and documents.

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or landsbergg@detroitmi.gov.

For the Commission:



Garrick Landsberg, Director/Staff
Detroit Historic District Commission

STANLEY'S

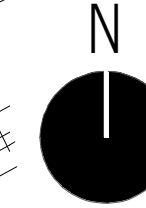
ARCHITECT
ELISE DECHARD
END STUDIO, LLC
2000 BROOKLYN STREET
DETROIT, MI 48226
908.419.8398
ELISE@E-N-D-STUDIO.COM

CLIENT
PRIMUS LOCUS, LLC
269 WALKER STREET #720
DETROIT, MI 48207
917.723.3660
JEN@MEANREDPRODUCTIONS.COM

STRUCTURAL ENGINEER
SILMAN
32 OLD SLIP, 10TH FLOOR
NEW YORK, NY 10005
212.620.7970
BRESLER@SILMAN.COM

CONSULTANT
TBD

CONTRACTOR
TBD



END STUDIO, LLC
2000 Brooklyn Street
Detroit, MI 48226
313.626.7073
e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

PROJECT INFORMATION

OWNER: PRIMUS LOCUS, LLC
ADDRESS: 249 EAST BALTIMORE AVE
DETROIT, MI 48202
PARCEL ID NUMBER: 01001845-50
REGULATING BODY: CITY OF DETROIT
ZONING: SD2 - SPECIAL DEVELOPMENT
HISTORIC DISTRICT: STANLEY HONG'S MANNIA CAFE HISTORIC DISTRICT

CODE COMPLIANCE

THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES

THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:

- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2015 MICHIGAN PLUMBING CODE
- 2017 MICHIGAN ELECTRICAL CODE
- 2015 INTERNATIONAL ENERGY CODE
- 2009 ICC/NSI + MICHIGAN BARRIER FREE CODE
- 2015 INTERNATIONAL FIRE CODE

SCOPE OF WORK

RENOVATION OF THE FORMER STANLEY HONG'S MANNIA CAFE INTO A NEW MUSIC VENUE WITH ACCOMPANYING SMALL LOUNGE, VENUE AND RESTAURANT.

THE WORK INCLUDES THE INTERIOR RENOVATION AND EXTERIOR IMPROVEMENTS TO THE HISTORIC STRUCTURE, A PARTIAL ROOFTOP ADDITION TO INCREASE INTERIOR CEILING HEIGHT OF THE ONE-STORY VENUE SPACE, AND A 1,818 SF ADDITION TO THE EAST.

EXTERIOR IMPROVEMENTS INCLUDE NEW DOORS AND WINDOWS, NEW ROOF, AND RESTORATION WORK AS NEEDED. INTERIOR IMPROVEMENTS WILL INCLUDE A NEW SLAB ON GRADE FLOOR SYSTEM, INTERIOR STRUCTURE, PARTITIONS, FIXTURES AND EQUIPMENT AS REQUIRED FOR THE NEW PROGRAM, FINISHES, AND NEW MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS THROUGHOUT.

THE ROOFTOP ADDITION WILL BE SUPPORTED WITH STEEL STRUCTURE AND CONCRETE MASONRY WALLS ON THE EAST AND NORTH TIED INTO THE BUILDING'S EXISTING STRUCTURAL SYSTEM, AND WILL HAVE A NEW ROOF AND INFILL FRAMED WALLS. THE GROUND LEVEL ADDITION WILL BE CONCRETE MASONRY CONSTRUCTION WITH A STEEL FRAMED ROOF.

BUILDING INFORMATION

CONSTRUCTION TYPE: EXISTING: TYPE IIB, PROPOSED: TYPE IIIB
FIRE PROTECTION: SPRINKLERED
NUMBER OF BUILDINGS: 1
NUMBER OF STORIES: 2
BUILDING AREA: EXISTING: 7,120 SF, DEMO: 182 SF, 1ST FLOOR ADDITION: 2,266 SF, 2ND FLOOR & MEZZ: 1,352 SF, TOTAL: 10,556 SF
ALTERATION TYPE: LEVEL 3

OCCUPANCY

PREVIOUS USE GROUP: A-3 ASSEMBLY (ABANDONED)
PROPOSED USE GROUP: A-2 ASSEMBLY
OCCUPANT LOAD: 922 OCCUPANTS FOR VENUE & LOUNGE, 33 OCCUPANTS FOR RESTAURANT, 955 TOTAL, SEE SHEET G-000

ZONING

INTENSITY & DIMENSIONAL STANDARDS

MAX. BUILDING HEIGHT: 45'
MAX. LOT COVERAGE: N/A
MIN. LOT WIDTH: N/A
MIN. LOT AREA: N/A
MIN. FRONT SETBACK: NOT REQ'D
MAX. FRONT SETBACK: 20' OR AVG. OF ADJ. BUILDINGS
MIN. SIDE SETBACK: N/A
MIN. REAR SETBACK: NOT REQ'D

EXISTING

LOT WIDTH: 180'
LOT DEPTH: 105'
LOT AREA: 18,900
BUILDING FOOTPRINT: 7,120 SF
LOT COVERAGE: 37.7%

PROPOSED

BUILDING FOOTPRINT: 9,200 SF
LOT COVERAGE: 48.7%
FRONT SETBACK: 6'-1" (EXISTING), 16'-3" (ADDITION)
REAR SETBACK: 0'
SIDE SETBACK: 83'-5" (WEST), 0" (EAST)

PARKING

VENUE

3 FOR THE FIRST 1,000 SF & 1 PER 100 SF OVER 1,000

PER SEC. 50-14-49: MAY BE MULTIPLIED BY A FACTOR OF .75 FOR BUILDINGS WITHIN 0.5 MILES OF A PUBLIC TRANSIT STOP

SHEET LIST

#	SHEET NAME	SD HDC 10/18/21
TITLE		
T-000	TITLE SHEET	●
GENERAL		
G-000	CODE REVIEW	●
G-001	GENERAL NOTES	●
DEMOLITION		
D-100	DEMOLITION PLAN	●
ARCHITECTURE		
A-101	FIRST FLOOR PLAN	●
A-300	EXTERIOR ELEVATIONS	●
A-301	EXTERIOR ELEVATIONS	●
A-400	BUILDING SECTIONS	●

PER SEC. 50-14-153 (C): PDD MAY GRANT A WAIVER FOR THE FIRST 3,000 SF OF PEDESTRIAN ORIENTED RETAIL, SERVICE, OR COMMERCIAL, USE IN ZONES SD1/SD2.

9,570 SF (LOUNGE AND VENUE) - 3000SF = 6,570 SF - 1000 (3 SPOTS) = 5,570 SF / 100 SF = 55.7 (56 SPOTS)

56 + 3 = 59 SPOTS X .75 = 44.25 (44 SPOTS)

PARKING REQ'D VENUE: 44 SPOTS
MAX. DISTANCE: 100 OR 1320 FT (SEC. 50-14-7)

RESTAURANT

3 FOR THE FIRST 500 SF & 1 PER 100 SF OVER 500

PER SEC. 50-14-49: MAY BE MULTIPLIED BY A FACTOR OF .75 FOR BUILDINGS WITHIN 0.5 MILES OF A PUBLIC TRANSIT STOP

986 SF (RESTAURANT) - 500 (3 SPOTS) = 486 SF / 100 SF = 4.86 (5 SPOTS)

5 + 3 = 8 SPOTS X .75 = 6 SPOTS

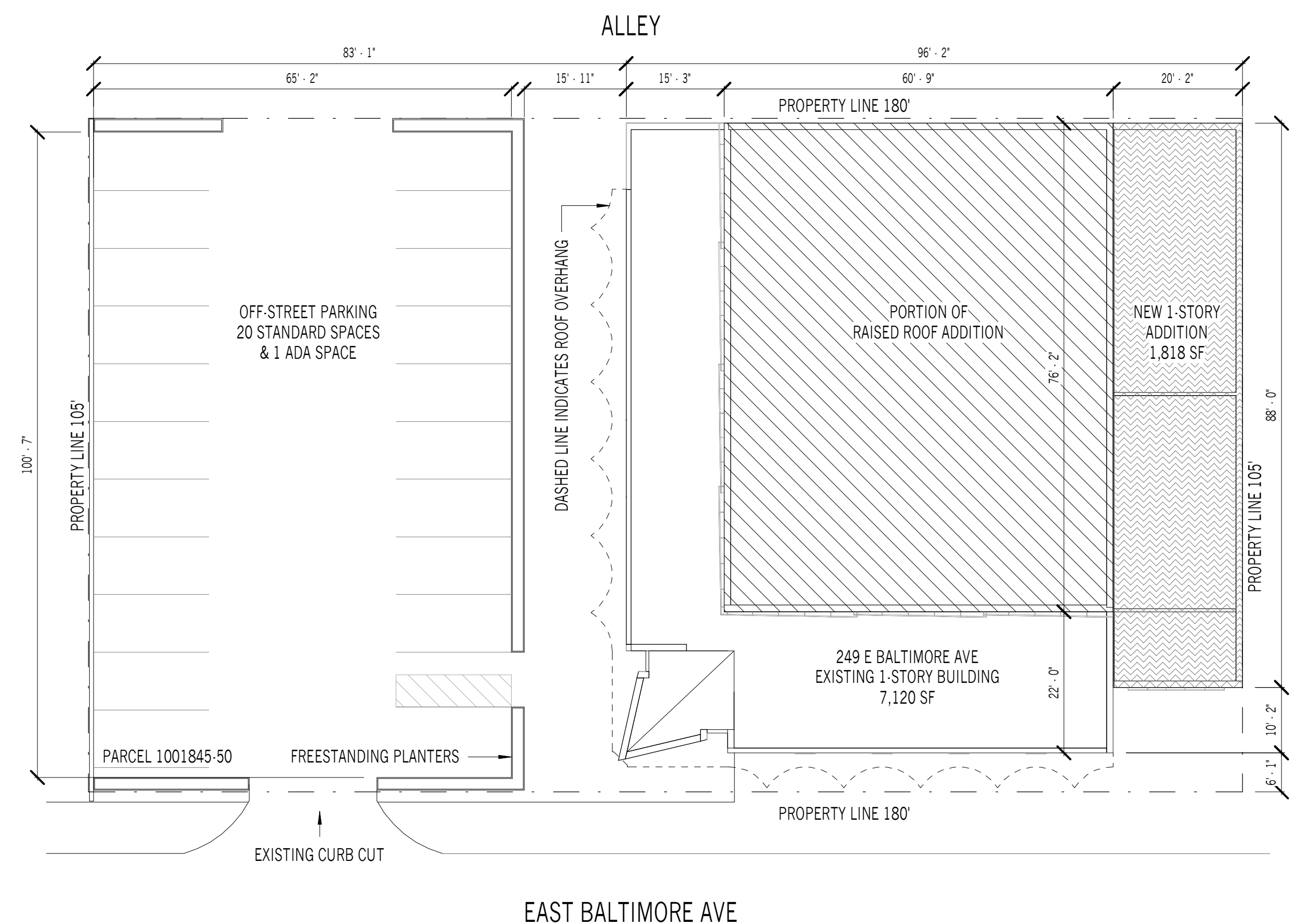
PARKING REQ'D REST: 6 SPOTS

PARKING TOTAL REQUIRED
50 SPOTS, INCL. 2 ADA

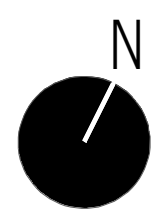
MAX. DISTANCE PROVIDED ON SITE: 100 OR 1320 FT** ***
21 TOTAL - 19 STANDARD SPOTS, 2 ADA

**DETROIT CITY CODE SEC. 50-14-7. IN ZONE, SD2 PARKING DISTANCE MAY BE INCREASED TO 1,320 SF IF "DISTRICT APPROACH" IS USED

***DETROIT CITY CODE SEC. 50-14-162. VALET PARKING MAY SATISFY OFF-STREET PARKING REQUIREMENTS WITHOUT THE NEED FOR AN ALTERNATIVE PARKING PLAN.



01 SITE PLAN
SCALE: 1/16" = 1'-0"



STANLEY'S
249 EAST BALTIMORE AVE
DETROIT, MI 48202

NO. ISSUE/REV. DATE

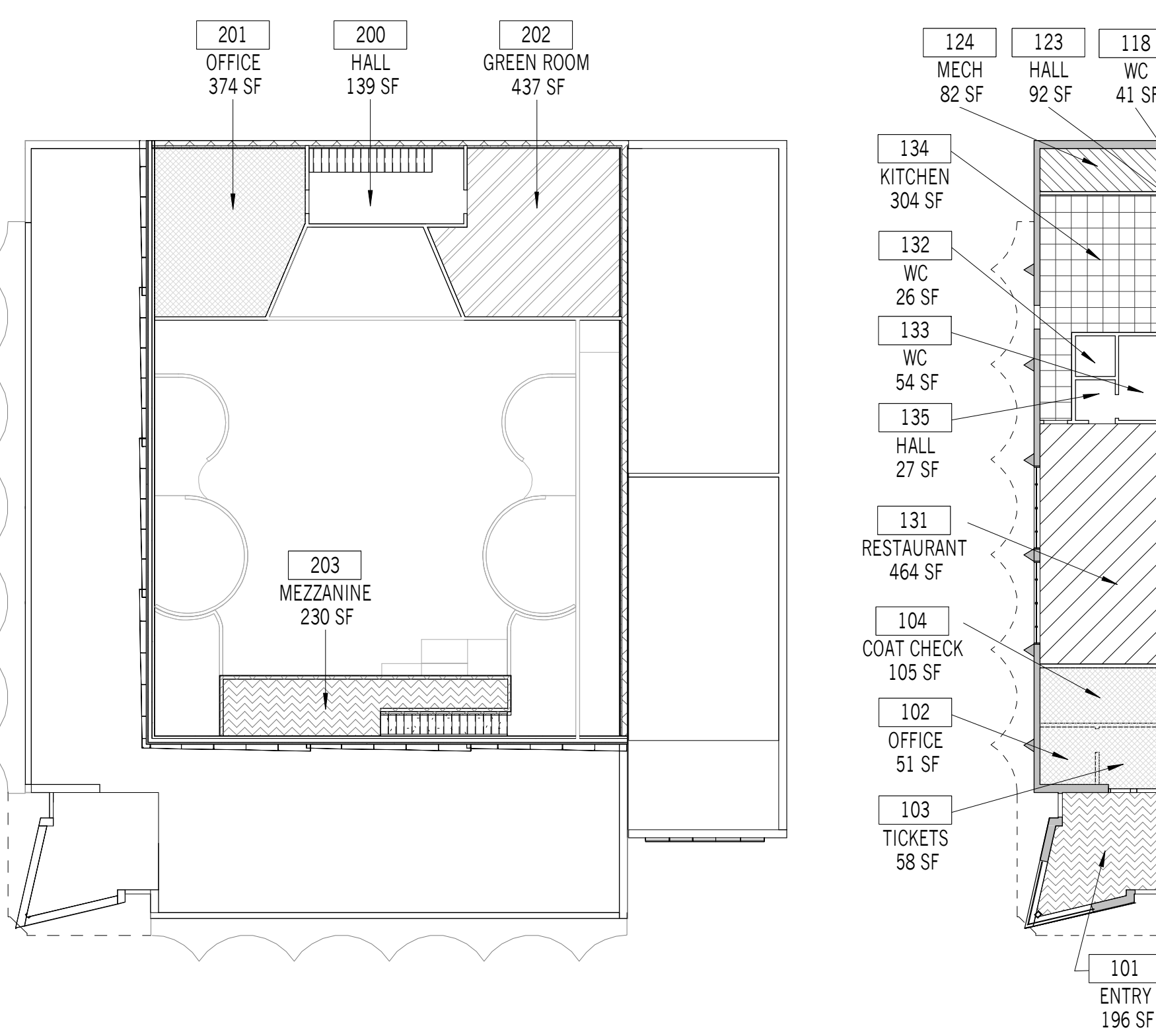
NOTE: NOT FOR CONSTRUCTION PURPOSES

TITLE SHEET

T-000

OCCUPANCY LOAD

ROOM #	ROOM NAME	FUNCTION OF SPACE	AREA	LOAD FACTOR	OCC LOAD
VENUE					
101	ENTRY	ASSEMBLY - STANDING SPACE	196 SF	5 SF	40
102	OFFICE	BUSINESS	51 SF	100 SF	1
103	TICKETS	BUSINESS	58 SF	100 SF	1
104	COAT CHECK	BUSINESS	105 SF	100 SF	2
105	RAISED VENUE FLR	ASSEMBLY - STANDING SPACE	953 SF	5 SF	191
106	VENUE FLOOR	ASSEMBLY - STANDING SPACE	1568 SF	5 SF	314
107	VIP AREA	ASSEMBLY - STANDING SPACE	117 SF	5 SF	24
108	VIP AREA	ASSEMBLY - STANDING SPACE	153 SF	5 SF	31
109	VIP AREA	ASSEMBLY - STANDING SPACE	116 SF	5 SF	24
110	VIP AREA	ASSEMBLY - STANDING SPACE	153 SF	5 SF	31
111	BAR	COMMERCIAL KITCHEN	362 SF	200 SF	2
112	STORAGE	ACCESSORY STORAGE	102 SF	300 SF	1
113	MAIN STAGE	STAGE	389 SF	15 SF	26
114	A/V BOOTH	BUSINESS	40 SF	100 SF	1
115	WING	BUSINESS	74 SF	100 SF	1
116	WING	BUSINESS	130 SF	100 SF	2
117	GREEN ROOM	ASSEMBLY - UNCONCENTRATED	164 SF	15 SF	11
118	WC		41 SF		
119	WC/SHOWER		52 SF		
120	HALL		236 SF		
121	HALL		114 SF		
122	HALL		230 SF		
123	HALL		92 SF		
124	MECH	ACCESSORY MECHANICAL	82 SF	300 SF	1
125	WC		684 SF		
200	HALL		139 SF		
201	OFFICE	BUSINESS	374 SF	100 SF	4
202	GREEN ROOM	ASSEMBLY - UNCONCENTRATED	437 SF	15 SF	30
203	MEZZANINE	ASSEMBLY - STANDING SPACE	230 SF	5 SF	46
RESTAURANT					
131	RESTAURANT	ASSEMBLY - UNCONCENTRATED	464 SF	15 SF	31
132	WC		26 SF		
133	WC		54 SF		
134	KITCHEN	COMMERCIAL KITCHEN	304 SF	200 SF	2
135	HALL		27 SF		
LOUNGE					
126	JANITOR'S		25 SF		
127	LOUNGE	ASSEMBLY - STANDING SPACE	669 SF	5 SF	134
128	BAR	COMMERCIAL KITCHEN	183 SF	200 SF	1
129	STORAGE	ACCESSORY STORAGE	70 SF		
130	HALL		122 SF		
VENUE FIRST FLOOR			6,262 SF		704
VENUE MEZZANINE			237 SF		48
VENUE SECOND FLOOR			950 SF		34
TOTAL VENUE			7,449 SF		786
TOTAL LOUNGE			1,069 SF		135
TOTAL RESTAURANT			875 SF		33
GRAND TOTAL			9,393 SF		954



04 SECOND FLOOR - OCCUPANCY PLAN
SCALE: 1/16" = 1'-0"

CODE REVIEW: CONSTRUCTION TYPE & FIRE RESISTANCE

CONSTRUCTION TYPE (MBC SECTION 602)
TYPE III-B

ALLOWABLE HEIGHT AND AREA* (MBC CH. 5)	REQUIRED	COMPLIANCE
ALLOWABLE HEIGHT	75' (S)	50' (EX. TOWER)
ALLOWABLE STORIES	3 (S)	2
ALLOWABLE AREA	28,500 SF	8,089 SF

FIRE RESISTANCE RATING REQUIREMENTS

BUILDING ELEMENTS (MBC TABLE 601):	REQUIRED	COMPLIANCE
PRIMARY STRUCTURAL FRAME	0 HOUR	
BEARING WALLS - EXTERIOR	2 HOUR	
BEARING WALLS - INTERIOR	0 HOUR	
NONBEARING INTERIOR WALLS & PARTITIONS	0 HOUR	
FLOOR CONSTRUCTION	0 HOUR	
ROOF CONSTRUCTION	0 HOUR	

EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (MBC TABLE 602):

X < 5	1 HOUR	COMPLIANCE
5 ≤ X < 10	1 HOUR	
10 ≤ X < 30	0 HOUR	
X ≥ 30	0 HOUR	

MAX. AREA OF EXTERIOR OPENINGS (MBC TABLE 705.8):

X < 3	UNPROTECTED, SP.	PROTECTED
3 ≤ X < 5	N.P.	N.P.
5 ≤ X < 10	15%	15%
10 ≤ X < 15	25%	25%
15 ≤ X < 20	45%	45%
20 ≤ X < 25	75%	75%
25 ≤ X < 30	NO LIMIT	NO LIMIT
X ≥ 30	NO LIMIT	NO LIMIT

CORRIDORS (MBC TABLE 1020.1)

CORRIDORS (>30 OCC. SPRINKLERED)	REQUIRED	COMPLIANCE
	0 HOUR	YES

FIRE SEPARATION REQUIREMENTS (MBC TABLE 508.4)
NONE REQUIRED BETWEEN SEPARATE A-ASSEMBLY OCCUPANCIES
B-BUSINESS USE OF OFFICE IS ACCESSORY OCCUPANCY - NO SEPARATION REQUIRED

PLUMBING FIXTURES

	FIXTURE TYPE	OCC. COUNT	QUANTITY REQUIRED	PROVIDED
VENUE & LOUNGE				
A-2	MALE WC	921	1 PER 40	23
	FEMALE WC			19
	LAVATORIES		1 PER 75	12
	DRINKING FOUNTAIN		1 PER 500*	0*
	SERVICE SINK		1 SERVICE SINK	1
RESTAURANT				
A-2	MALE WC	33+45 OUTDOOR SEATS	1 PER 75	2
	FEMALE WC			2
	LAVATORIES		1 PER 200	1
	DRINKING FOUNTAIN		1 PER 500*	0*
	SERVICE SINK		1 SERVICE SINK	1

* DRINKING WATER WILL BE PROVIDED FOR FREE (MICHIGAN PLUMBING CODE SEC. 410.4)

INTERIOR FINISHES (MBC TABLE 803.11)

VERTICAL EXITS & PASSAGEWAYS	B (S)	COMPLIANCE
CORRIDORS & ENCLOSURES	B (S)	
ROOMS AND ENCLOSED SPACES	C (S)	

CODE REVIEW: FIRE PROTECTION

FIRE PROTECTION
PER MBC 903.2.1.2: GROUP A-2: AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR FIRE AREAS CONTAINING GROUP A-2 OCCUPANCIES AND INTERVENING FLOORS OF THE BUILDING WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:
1. THE FIRE AREA EXCEEDS 5,000 SQUARE FEET (464.5 M2). - YES
2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE. - YES
3. THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE. - YES

AUTOMATIC SPRINKLER SYSTEM REQ'D? REQUIRED

STANDPIPES
PER MBC SEC. 905.3.2: GROUP A. CLASS I AUTOMATIC WET STANDPIPES SHALL BE PROVIDED IN NONSPRINKLERED GROUP A BUILDINGS HAVING AN OCCUPANT LOAD EXCEEDING 1,000 PERSONS.
STANDPIPES NOT REQUIRED

PORTABLE FIRE EXTINGUISHERS (MBC SEC. 906.1)
IN GROUP A, PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

FIRE ALARM AND DETECTION SYSTEMS (MBC SEC. 907.2.1)
IN GROUP A, FIRE ALARM SHALL BE INSTALLED WHERE OCC. LOAD ≥ 300
REQ'D

CODE REVIEW: EGRESS

EGRESS REQUIREMENTS	REQUIRED	COMPLIANCE
VENUE - EXITS REQUIRED (MBC SEC 1006.2.1)	3	5 - COMPLIES
DISTANCE BETWEEN (MBS SEC. 1007.1)	1/3 DIAG.(S)	COMPLIES
DOOR SWING IN (MBC SEC 1010.1.2.1)	DIR. OF TRAVEL	Y - COMPLIES
PANIC HARDWARE REQUIRED (MBC SEC. 1010.1.10)	YES	Y - COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT IN AREAS WHERE COMBUSTIBLE LIQUIDS ARE STORED ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION
COMPLIES

LOUNGE - EXITS REQUIRED (MBC SEC 1006.2.1) 2 2 - COMPLIES
DISTANCE BETWEEN (MBS SEC. 1007.1) 1/3 DIAG.(S) COMPLIES
DOOR SWING IN (MBC SEC 1010.1.2.1) DIR. OF TRAVEL Y - COMPLIES
PANIC HARDWARE REQUIRED (MBC SEC. 1010.1.10) YES Y - COMPLIES

RESTAURANT - EXITS REQUIRED (MBC SEC 1006.2.1) 1 1 - COMPLIES
DISTANCE BETWEEN (MBS SEC. 1007.1) N/A N/A
DOOR SWING IN (MBC SEC 1010.1.2.1) N/A N/A
PANIC HARDWARE REQUIRED (MBC SEC. 1010.1.10) NOT REQ'D N/A

EXIT ACCESS DISTANCE

REQUIRED	COMPLIANCE
MAX. COMMON PATH OF TRAVEL (MBC TABLE 1006.2.1)	75' COMPLIES
MAXIMUM TRAVEL DISTANCE (MBC TABLE 1017.2)	250' (S) COMPLIES
DEAD END CORRIDOR LENGTH (MRCB SEC 805.6)	35' COMPLIES
TRAVEL DIST. STORIES W/ ONE EXIT (MBC TABLE 1006.3.2(2))	75' COMPLIES

EGRESS WIDTH (MBC SEC. 1005.3.2)

REQUIRED	COMPLIANCE
VENUE - STAIRWAYS @ 0.3" *OCC	93.5" (2/5 EXITS) 104" - COMPLIES
VENUE - DOORS @ 0.2" * OCC	155.8" (5 EXITS) 180" - COMPLIES
VENUE - HALLWAYS @ 0.2" * OCC	62.3" (2/5 EXITS) 104" - COMPLIES

LOUNGE - DOORS @ 0.2" * OCC 27" (2 EXITS) 72" - COMPLIES
LOUNGE - HALLWAYS @ 0.2" * OCC 13.5" (1/2 EXITS) 60" - COMPLIES

RESTAURANT - DOORS @ 0.2" * OCC 6.6' (1 EXIT) 72" - COMPLIES

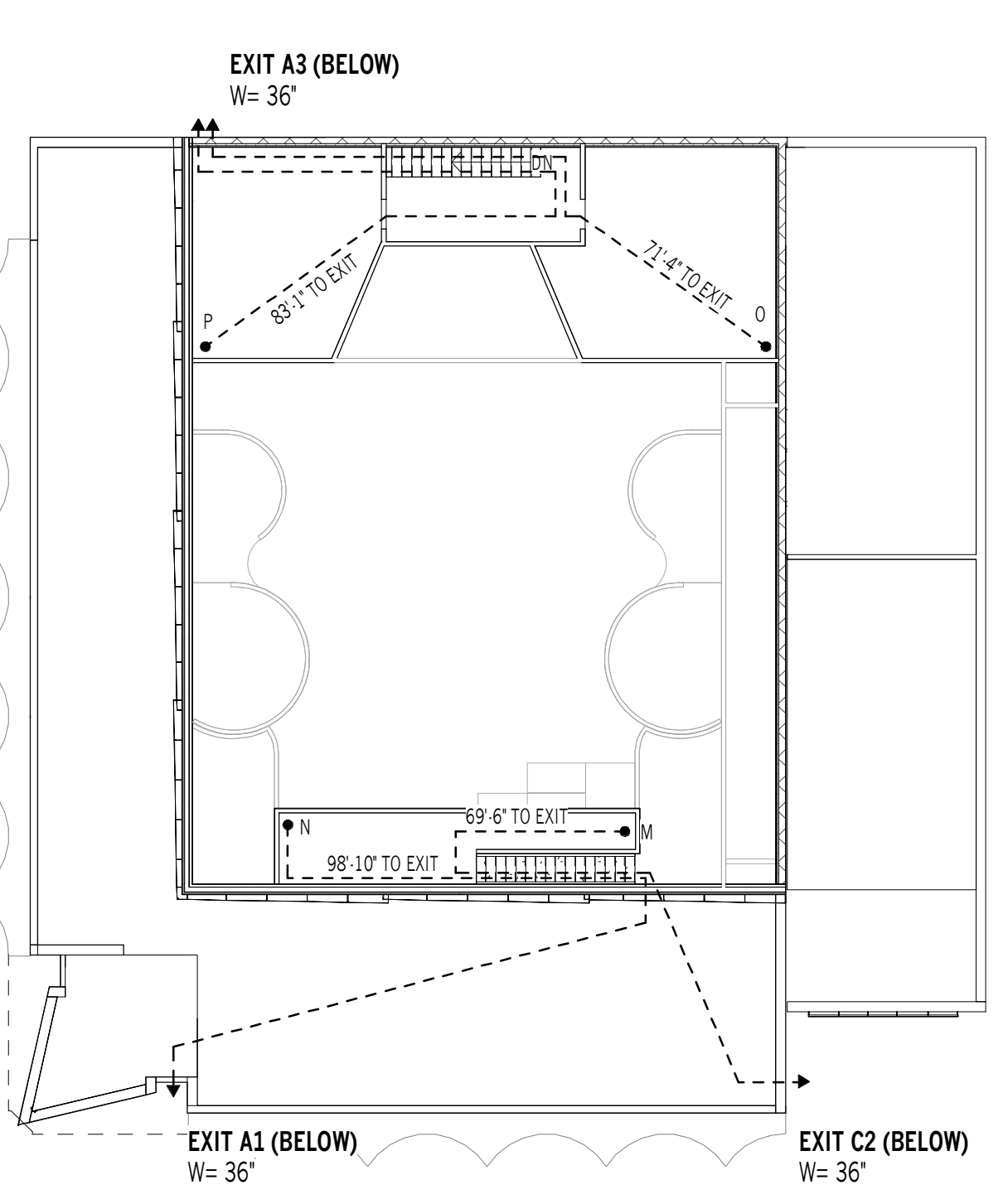
DISTANCE BETWEEN EXITS (MBC SEC. 1007.1)
VENUE - 1/3 MAX. DIAG. (S) 129' 10" / 3 = 43'-3" 85'-5" - COMPLIES
LOUNGE - 1/3 MAX. DIAG. (S) 53'-4" / 3 = 17'-8" 21'-4" - COMPLIES
RESTAURANT N/A - 1 EXIT N/A

EGRESS THROUGH INTERVENING SPACES
PER MBC SECTION 1016.2 - 2. EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS AND THE AREA SERVED ARE ACCESSORY TO ONE OR THE OTHER, ARE NOT A GROUP H OCCUPANCY AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT.
COMPLIES

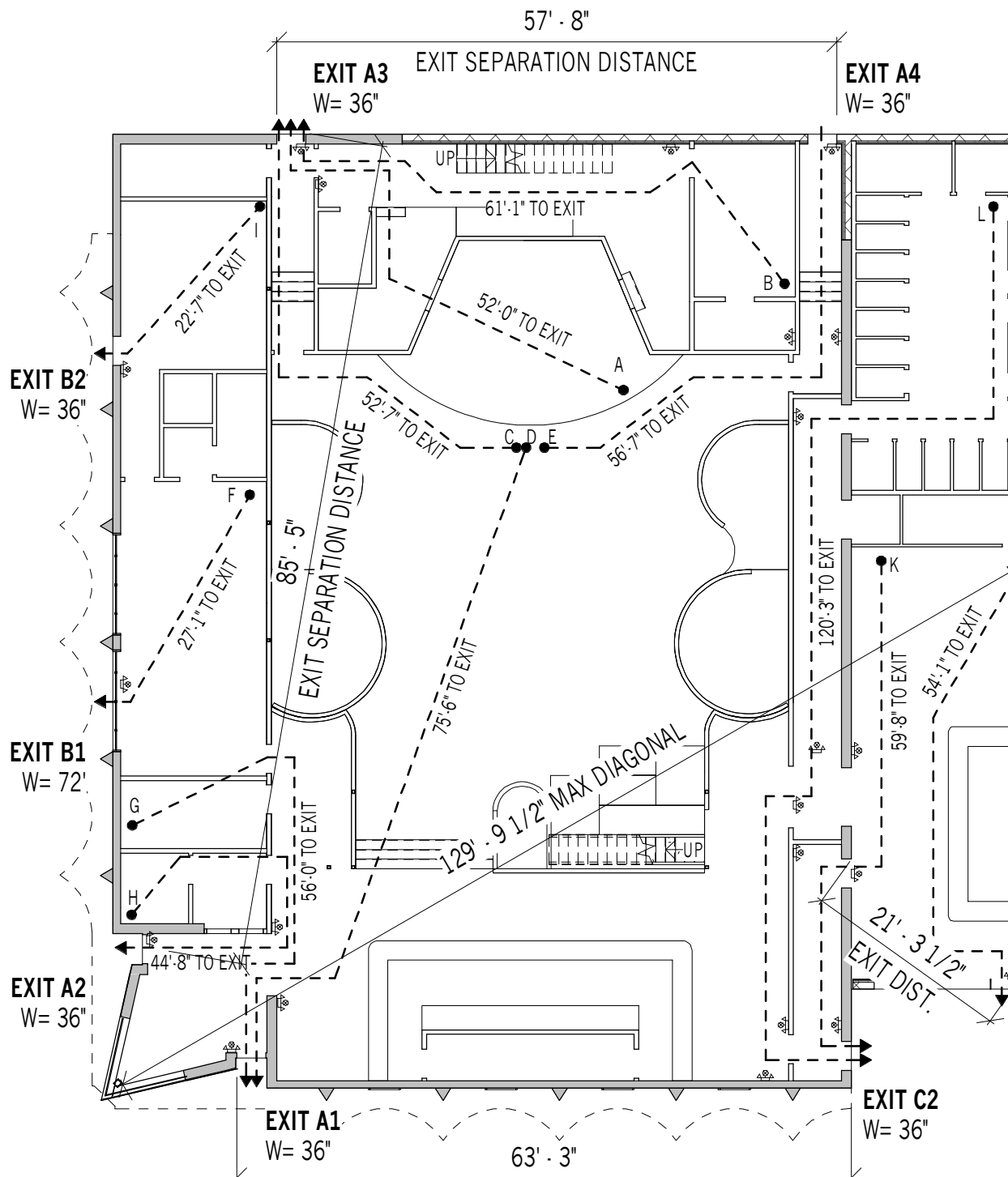
ACCESSIBLE ENTRANCES & EXITS

REQUIRED	COMPLIANCE
ACCES. ENTRY (MBC SEC 1105.1) - VENUE	60% 2/2 - COMPLIES
ACCES. ENTRY (MBC SEC 1105.1) - LOUNGE	60% 1/1 - COMPLIES
ACCES. ENTRY (MBC SEC 1105.1) - RESTAURANT	60% 1/1 - COMPLIES

ACCES. EXITS (MBC SEC 1009.1) - VENUE 2* 2 - COMPLIES
ACCES. EXITS (MBC SEC 1009.1) - LOUNGE 2 2 - COMPLIES
ACCES. EXITS (MBC SEC 1009.1) - RESTAURANT 1* 1 - COMPLIES



02 SECOND FLOOR - EGRESS & LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



01 FIRST FLOOR - EGRESS & LIFE SAFETY PLAN
SCALE: 1/16" = 1'-0"



END STUDIO, LLC
2000 Brooklyn Street
Detroit, MI 48226
313.626.7073
e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS.

STANLEY'S
249 EAST BALTIMORE AVE
DETROIT, MI 48202


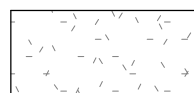
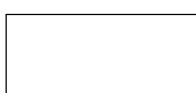
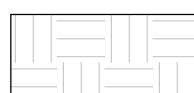
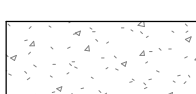
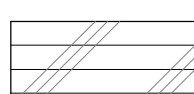









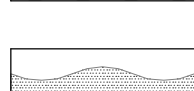

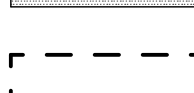
NO. ISSUE/REV. DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

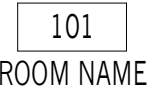

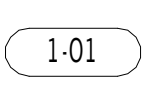

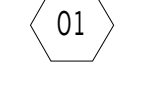

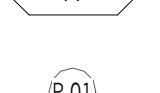

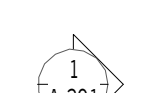

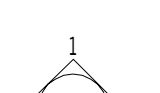
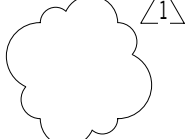
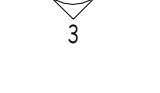
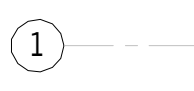

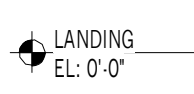
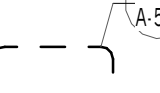


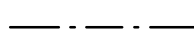

CODE REVIEW

G-000

MATERIAL KEY

 EXISTING WALL TO REMAIN	 DRYWALL / PLASTER
 NEW WALL CONSTRUCTION	 EARTH / SOIL
 CAST IN PLACE CONCRETE	 PLYWOOD
 CONCRETE MASONRY UNIT (CMU)	 WOOD
 BRICK MASONRY	 WOOD - DIMENSIONAL LUMBER
 CRUSHED STONE	 WOOD - BLOCKING
 STEEL	 BATT INSULATION
 ALUMINUM	 SPRAY FOAM INSULATION
 RIGID INSULATION	 DEMO WALL

























DRAWING SYMBOL KEY

 ROOM TAG	 FLOOR
 DOOR TAG	 WALL
 WINDOW TAG	 CEILING
 WALL TYPE	 BASE
 PLUMBING/EQUIP TAG	 TRIM
 EXTERIOR ELEVATION DWG NUMBER SHEET NUMBER	 REVISION TAG
 INTERIOR ELEVATION(S)	 STRUCTURAL GRID LINE
 SECTION DWG NUMBER SHEET NUMBER	 ELEVATION MARKER
 DETAIL CALL OUT	 LOT LINE
	 SETBACK
	 ONE HOUR WALL
	 TWO HOUR WALL

ABBREVIATIONS

ABV ABOVE	COL COLUMN	ENCL ENCLOSURE	GC GENERAL CONTRACTOR	INT INTERIOR	MFR MANUFACTURER	PLUM PLUMBING	SF SQUARE FOOT	W/O WITHOUT
ACOUS ACOUSTICAL	CONC CONCRETE	ENG ENGINEER	GLZ GLAZING		MH MANHOLE	PLY PLYWOOD	SHT SHEET	WAT WATER
ACC ACCESSORY	CONST CONSTRUCTION	EQ EQUAL	GR GRADE	JBOX JUNCTION BOX	MIN MINIMUM	PNT PAINT	SIM SIMILAR	WC WATER CLOSET
ACCES ACCESSIBLE	CONT CONTINUOUS	EQUIP EQUIPMENT	GUT GUTTER	JC JANITORS CLOSET	MIR MIRROR	POL POLISHED	SPEC SPECIFICATION	WD WOOD
ADA AMERICANS WITH DISABILITIES ACT	COORD COORDINATE	EST ESTIMATE(D)	GWB GYPSUM WALL BOARD	JST JOIST	MISC MISCELLANEOUS	PRTN PARTITION	SQ SQUARE	WP WATERPROOFING
ADD ADDITIONAL	CORR CORRIDOR	EXH EXHAUST		JNT JOINT	MMR MOISTURE & MOLD RESISTANT	PSF POUNDS PER SQUARE FOOT	SS STAINLESS STEEL	WPT WORKING POINT
ADJ ADJACENT	CPT CARPET	EXP JT EXPANSION JOINT	H/C HANDICAPPED		MO MASONRY OPENING	PT PRESSURE TREATED	STD STANDARD	WT WEIGHT
AFF ABOVE FINISHED FLOOR	CTR CENTER	EXIST EXISTING	HALG HALOGEN	KIT KITCHEN	MTL METAL	PTD PAINTED	STL STEEL	
ALT ALTERNATE	CW COLD WATER	EXT EXTERIOR	HB HOSE BIB		MUL MULLION		STR STAIR	&, + AND @ AT
ALW ALLOW			HC HOLLOW CORE	L LENGTH		QUAL QUALITY	STRUC STRUCTURE	
ALWB ALLOWABLE	DBL DOUBLE	F&I FURNISH AND INSTALL	HD HEAD	LAM LAMINATE	NFC NOT FOR CONSTRUCTION	QTY QUANTITY	SUP SUPPLY	
ALUM ALUMINUM	DEMO DEMOLITION	FAB FABRICATE	HDF HIGH DENSITY FIBER BOARD	LAV LAVATORY	NIC NOT IN CONTRACT		SUSP SUSPENDED	
ANOD ANODIZED	DIA DIAMETER	FBO FURNISH BY OWNER		LBS POUNDS	NO NUMBER	R RISER	SYM SYMMETRICAL	
ARCH ARCHITECT	DEG DEGREE	FLDR FLOOR DRAIN	HDWR HARDWARE	LF LINEAR FEET	NOM NOMINAL	RD ROOF DRAIN	SYST SYSTEM	
ASMB ASSEMBLY	DIM DIMENSION	FIN FINISH(ED)	HM HOLLOW METAL	LN LINEAR	NTS NOT TO SCALE	RECT RECTANGULAR		UL UNDERWRITERS LABORATORY UNLESS OTHERWISE NOTED
	DW DRYWALL	FLG FLOORING	HR HOUR	LT LIGHT	OC ON CENTER	REF REFERENCE		
	DISP DISPENSER	FLR FLOOR	HT HEIGHT		OD OUTSIDE DIAMETER	REINF REINFORCED		
BLDG BUILDING	DN DOWN	FLUOR FLUORESCENT	HVAC HEATING, VENTILATION & AIR CONDITIONING	MACH MACHINE	OPNG OPENING	REQD REQUIRED		
BLT-IN BUILT-IN	DR DOOR	FND FOUNDATION		MAS MASONRY	OPP OPPOSITE	REV REVISION		
BTW BETWEEN	DSPT DOWNSPOUT	FP FIRE PROOFING		MAX MAXIMUM	OPT OPTION(AL)	RF ROOF		
B/W BETWEEN	DTL DETAIL	FO FACE OF	HW HOT WATER	MC MECHANICAL	OPT CONTRACTOR	RM ROOM		
	DWG DRAWING	FT FOOT/FEET	HWH HOT WATER HEATER	CONTRACTOR	OZ OUNCE	RO ROUGH OPENING		
	EA EACH	FTG FOOTING		MDF MEDIUM DENSITY FIBER BOARD				
CAB CABINET	EC ELECTRICAL CONTRACTOR		ID INSIDE DIAMETER		PH PENTHOUSE	SAN SANITARY		
CEM CEMENT	EL ELEVATION	GA GAUGE	IN INCH		PL PROPERTY LINE	SCHED SCHEDULE		
CIP CAST IN PLACE	ELEC ELECTRICAL	GALV GALVANIZED	INCAND INCANDESCENT	MECH MECHANICAL	PLAS PLASTIC	SECT SECTION		
CL CENTER LINE	ELEV ELEVATOR	GAR GARAGE	INSUL INSULATION	MEMB MEMBRANE				
CLG CEILING				MFTD MANUFACTURED				
CLO CLOSET								
CMU CONCRETE MASONRY UNIT								
















POWER & DATA KEY

SYMBOL	DESCRIPTION
	DUPLEX
	DUPLEX - SPECIFIC MOUNTING HT.
	DUPLEX - GFCI
	DUPLEX - WATERPROOF
	DUPLEX - SWITCHED
	DENOTES EXISTING
	QUADPLEX
	DUPLEX IN FLOOR / COUNTER
	DUPLEX IN CEILING
	SWITCH
	DIMMER SWITCH
	THREE-WAY SWITCH
	THREE-WAY DIMMER SWITCH
	JAMB SWITCH
	SWITCH WITH OCC. SENSOR
	TELEPHONE
	DATA
	TELEPHONE & DATA
	TELEVISION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SPEAKER LOCATION
	SPEAKER INPUT
	CAMERA


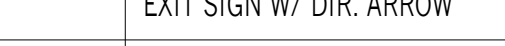
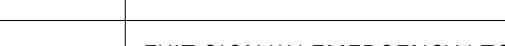


MECHANICAL KEY

SYMBOL	DESCRIPTION
	EXHAUST FAN
	FLOOR/CLNG SUPPLY REGISTER
	FLOOR/CLNG RETURN GRILLE
	WALL/HORIZ. SUPPLY REGISTER
	WALL/HORIZ. RETURN REGISTER
	CEILING GRID SUPPLY REGISTER
	CEILING GRID RETURN GRILLED
	ROUND SUPPLY REGISTER







LIGHTING KEY

SYMBOL	DESCRIPTION
	RECESSED FIXTURE
	WALL MOUNTED SCNCE
	PENDANT FIXTURE
	FLUSH MOUNT FIXTURE
	LED STRIP LIGHT
	TRACK LIGHT
	LINEAR LENSED FIXTURE
	TROFFER FIXTURE
	MOTION SENSOR FLOOD LIGHT
	EXTERIOR FLOOD LIGHT
	DENOTES WET-RATED FIXTURE
	DENOTES EXISTING FIXTURE
	CEILING FAN
	REC. LIGHT VENT FAN COMBO
	EMERGENCY LIGHTING

LIFE SAFETY KEY

SYMBOL	DESCRIPTION
	EXIT SIGN W/ ONE LIGHT
	EXIT SIGN W/ DIR. ARROW
	EXIT SIGN W/ TWO LIGHTS
	EXIT SIGN W/ EMERGENCY LTG
	PORTABLE FIRE EXTINGUISHER

PLUMBING KEY

SYMBOL	DESCRIPTION
	COLD WATER
	HOT WATER
	DRAIN
	FLOOR DRAIN
	ROOF DRAIN
	FLOOR DRAIN

GENERAL NOTES

- THIS APPLICATION IS BEING FILED FOR THE INTERIOR RENOVATION OF AN EXISTING COMMERCIAL SPACE.
- CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, INCIDENTALS, AND ANY OTHER ITEMS REQUIRED FOR THE COMPLETION OF THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS, AND ANY OTHER APPLICABLE REGULATIONS INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- NOTIFY ARCHITECT FOR CLARIFICATION IN CASE OF ANY DISCREPANCIES, CONFLICTS, OR OMISSIONS IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS. AN ADDENDUM TO THE CONTRACT DOCUMENTS WILL BE PROVIDED AS NECESSARY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- DIMENSIONING RULES:
 - DIMENSIONS ARE TAKEN FROM FACE OF FINISHED SURFACE TO FACE OF FINISHES SURFACE, UNLESS OTHERWISE NOTED.
 - DIMENSIONS MARKED "VERIFY", "VERIFY IN FIELD" OR "VIF" SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND DISCUSSED WITH THE ARCHITECT IF DISCREPANCIES ARISE.
 - DIMENSIONS MARKED "CLEAR" OR "CLR" OR "HOLD" MUST BE PRECISELY MAINTAINED
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL BY ARCHITECT UNLESS MARKED "+/-"
 - DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT FOR CLARIFICATION IF WRITTEN DIMENSION IS NOT SHOWN IN DRAWINGS.
- CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES.
- ABBREVIATIONS ON THE DRAWINGS ARE AS NOTED IN THE KEY. NOTIFY ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- MAINTAIN A FREE AND SAFE PASSAGE TO AND FROM CONSTRUCTION AREA AND ADJACENT BUILDING AREAS AT ALL TIME. REQUIRED EXITS SHOULD NOT BE BLOCKED AT ANY TIME.
- SUBMIT SHOP DRAWINGS, MOCK UPS, SAMPLES, AND OTHER REQUIRED SUBMITTALS IN A TIMELY FASHION AND ALLOW ARCHITECT SUFFICIENT TIME, MINIMUM OF (5) WORKING DAYS, FOR REVIEW PRIOR TO FABRICATION OR ORDER PLACEMENT.

DEMOLITION NOTES

- DEMOLITION SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY, AND ENVIRONMENTAL PROTECTION.
- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE PROVIDE BRACING OR SHORING AS REQUIRED TO SUPPORT THE STRUCTURE DURING DEMOLITION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER. REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- COORDINATE DEMOLITION REQUIRED TO PERFORM NEW WORK WITH CONTRACT DOCUMENTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- REMOVE ABANDONED HVAC EQUIPMENT, DUCTWORK, ELECTRICAL, AND PLUMBING BACK TO THEIR PRIMARY SOURCE OR AS DIRECTED. DISCONNECT, CAP, AND IDENTIFY ALL UTILITIES IN AREAS OF DEMOLITION. MAINTAIN UTILITIES TO ALL OCCUPIED AREAS OF THE BUILDING AND COORDINATE TEMPORARY DISRUPTION WITH OWNER AND ANY OTHER AFFECTED PARTIES.
- CAREFULLY REMOVE, PROTECT, AND STORE FOR REINSTALLATION OR SALVAGE ALL: LIGHT FIXTURES, PLUMBING FIXTURES, DOORS, FIRE SAFETY & EMERGENCY FIXTURES.
- PROVIDE ENCLOSURE AND PROTECTION AS REQUIRED TO CONTAIN SPREAD OF ALL DUST, FUMES, ETC. PRODUCED DURING DEMOLITION AND CONSTRUCTION.
- REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OR CONSTRUCTION. IN OCCUPIED AREAS, CLEAN AND DISPOSE OF MATERIALS DAILY.
- REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE AREAS AND SITE BROOM SWEEPED, ORDERLY, AND IN CONDITION ACCEPTABLE FOR CONSTRUCTION.

PLAN NOTES

- LAYOUT PARTITIONS AS NOTED ON DRAWING. CUT AND FIT COMPONENTS OF EXISTING WORK AS REQUIRED TO INSTALL NEW WORK. ALL NEW FINISHES ARE TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION. WHERE NEW GYPSUM BOARD ALIGNS WITH EXISTING PLASTER. ALIGN THE PARTITION STUD TO CREATE FLUSH SURFACE.
- TYPICAL DETAILS ARE KEYED AND NOTED "TYPICAL AND ARE USUALLY REPRESENTATIVE OF TYPICAL CONDITIONS THROUGHOUT. IN CASE OF QUESTION OR DISCREPANCY, NOTIFY ARCHITECT.
- PROVIDE EXTRA STUD FOR SWITCH OR POWER OUTLETS AS REQUIRED. REINFORCE DOOR AND WINDOW JAMBS WITH EXTRA STUD AS REQUIRED.
- PROVIDE FIRE DAMPERS AT ALL DUCT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- ALL FIRE RATED DOORS AND WINDOWS SHALL BE LABELED AS REQUIRED BY CODE. TEMPERED GLASS TO BE INSTALLED WITH MANUFACTURER'S SEAL IN BOTTOM CORNER.

FINISH NOTES

- FINISHES SHALL BE CONTINUOUS THROUGHOUT UNLESS OTHERWISE NOTED. APPLY FINISHES AND COVERINGS SO SURFACE IS DIVIDED WITH A MINIMUM NUMBER OF SEAMS AND EQUAL WIDTH PANELS, UNLESS OTHERWISE NOTED.
- ALL FINISH MATERIALS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
- PROVIDE LEVELING COMPOUND AS REQUIRED SO THAT FLOORING TRANSITIONS ARE SMOOTH FROM ONE SURFACE TO THE NEXT. FEATHER TRANSITIONS AT 1" PER 20" MAXIMUM. ALL TRANSITIONS BETWEEN FLOOR FINISHES TO BE LOCATED DIRECTLY UNDER CENTER OF DOOR, UNLESS OTHERWISE NOTED. PROVIDE TRANSITION STRIPS AS REQUIRED, COORDINATE FINISH & LOCATION WITH ARCHITECT.

RCP, MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

- UNLESS OTHERWISE NOTED, ALL MECHANICAL, ELECTRICAL, AND PLUMBING FIXTURES SHALL BE LOCATED AS SHOWN IN THE TYPICAL MOUNTING RULES DIAGRAM. ACCESS PANELS SHALL BE PROVIDED AS REQUIRED BY CODE AND PER MANUFACTURER'S INSTRUCTIONS FOR MAINTENANCE AND REPAIRS.
- IF EXISTING LOCATIONS DO NOT CONFLICT WITH CODE OR MAXIMUM/MINIMUM REACH HEIGHTS, RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING RULES DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE GANGED IN BANKS. SWITCHES, FIXTURES, AND RECEPTACLES WITH DISSIMILAR MOUNTING HEIGHTS SHOWN ADJACENT ON PLAN SHALL BE STACKED VERTICALLY.
- EXISTING OUTLETS, FIXTURES, AND SWITCHES NOT SHOWN ON PLAN TO REMAIN AND BE REUSED.
- ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.
- OUTLETS AND SWITCHES SHOULD NOT BE INSTALLED BACK-TO-BACK WITHOUT SEPARATING STUD OR INSULATION.
- PROVIDE GFCI OUTLETS AND WET-RATED FIXTURES IN ALL WET AREAS, OUTDOOR AREAS, AND ANY OTHER LOCATION REQUIRED BY CODE.
- ALL SWITCH PLATES AND OUTLETS COVERS, ETC., SHOULD BE INSTALLED AFTER PAINTING AND WALL COVERINGS ARE INSTALLED. PROTECTIVE COVERINGS ON ALL FIXTURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED. DAMAGED FIXTURES SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- PROVIDE EMERGENCY LIGHTING AND EXIT SIGNAGE AS REQUIRED BY CODE.
- COORDINATE LIGHT FIXTURE AND MECHANICAL REGISTER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. IF ANY CONFLICT OCCURS BETWEEN THE WORK OF SEPARATE TRADES OR BETWEEN DRAWINGS AND EXISTING CONDITIONS, COORDINATE WITH ARCHITECT IN FIELD.
- WHERE ACOUSTICAL TILES ARE REQUIRED TO BE CUT, CUT TO MAINTAIN A SHARP AND NEAT EDGE. INSTALL ALL LIGHTS, REGISTERS, SIGNAGE, AND OTHER FIXTURES AND EQUIPMENT IN THE CENTER OF TILE UNLESS OTHERWISE NOTED.



END STUDIO, LLC
 2000 Brooklyn Street
 Detroit, MI 48226
 313.626.7073
 e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS.

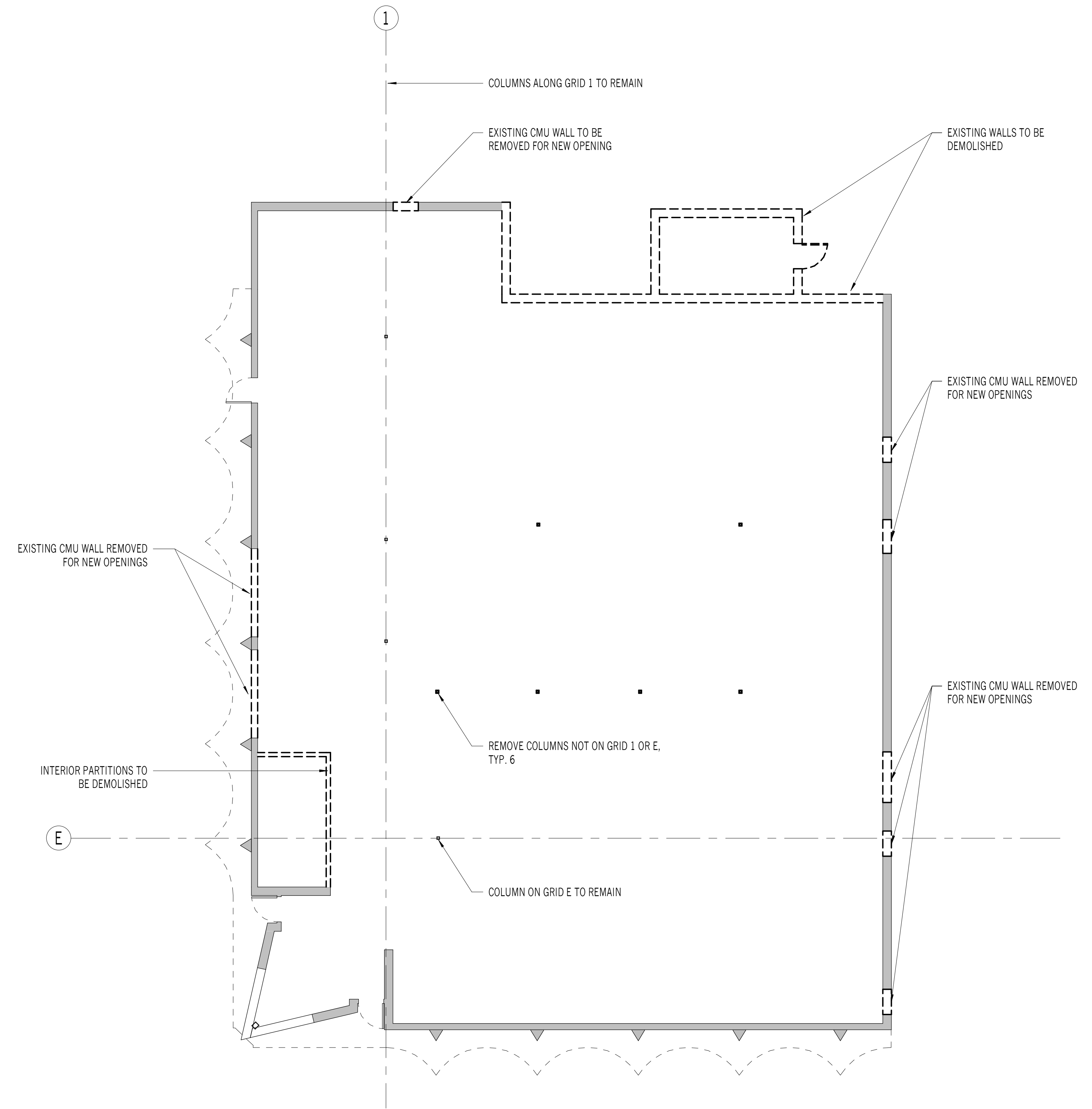
STANLEY'S
 249 EAST BALTIMORE AVE
 DETROIT, MI 48202

NO. ISSUE/REV. DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

GENERAL NOTES

G-001



01 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

STANLEY'S
249 EAST BALTIMORE AVE
DETROIT, MI 48202

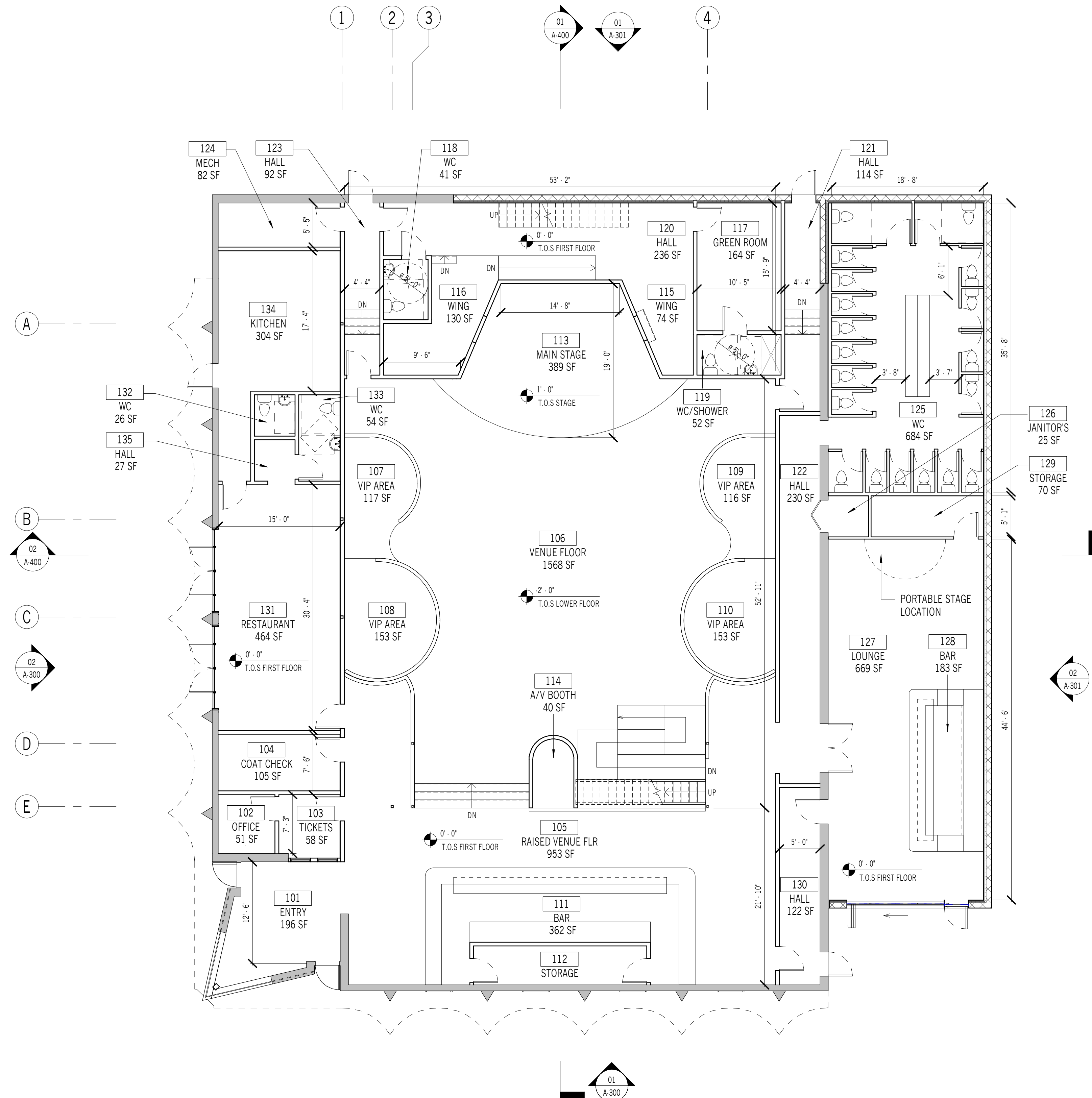
NO. ISSUE/REV. DATE

NO.	ISSUE/REV.	DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

DEMOLITION PLAN

D-100



01 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

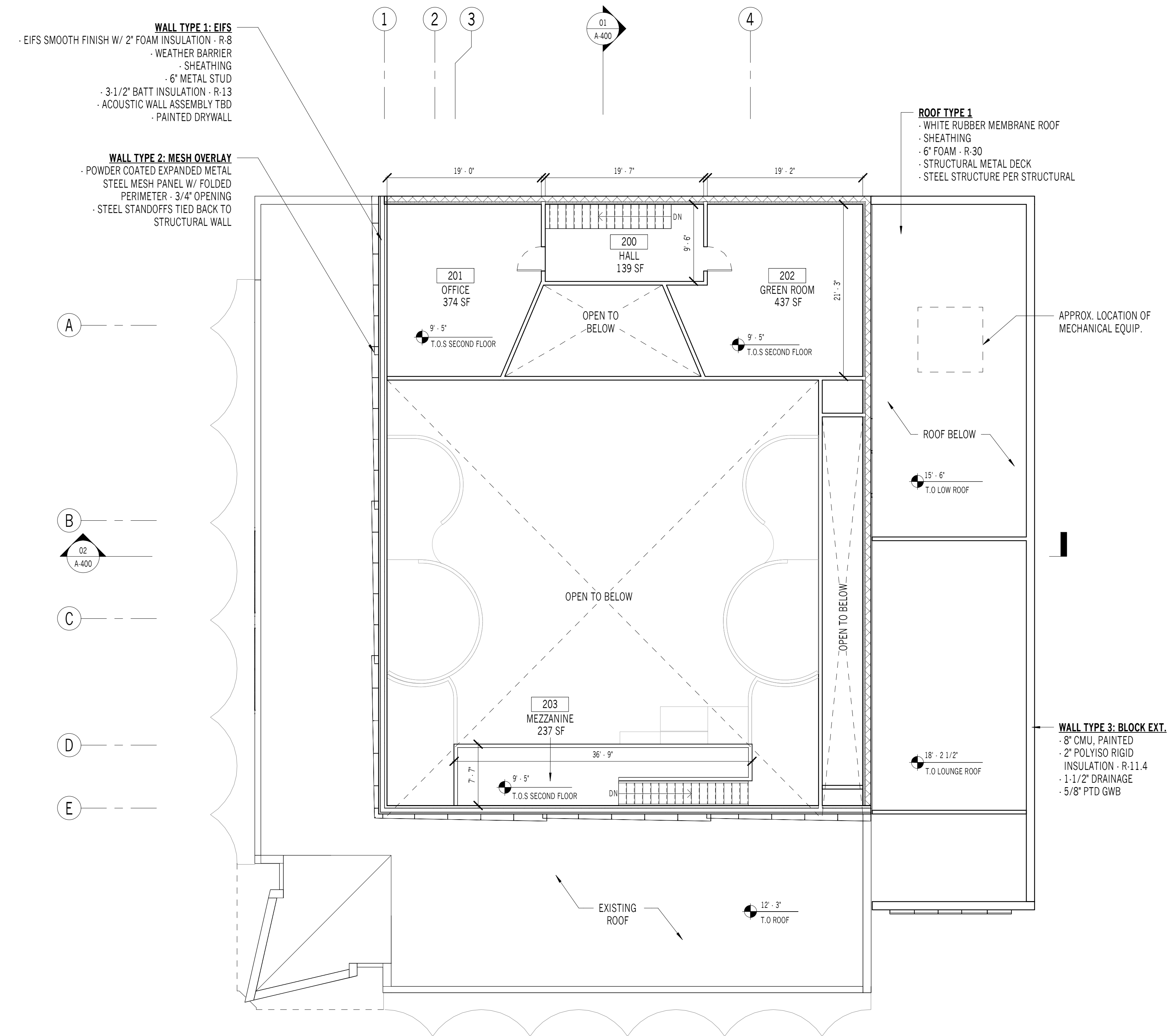
STANLEY'S
 249 EAST BALTIMORE AVE
 DETROIT, MI 48202

NO.	ISSUE/REV.	DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

FIRST FLOOR PLAN

A-101



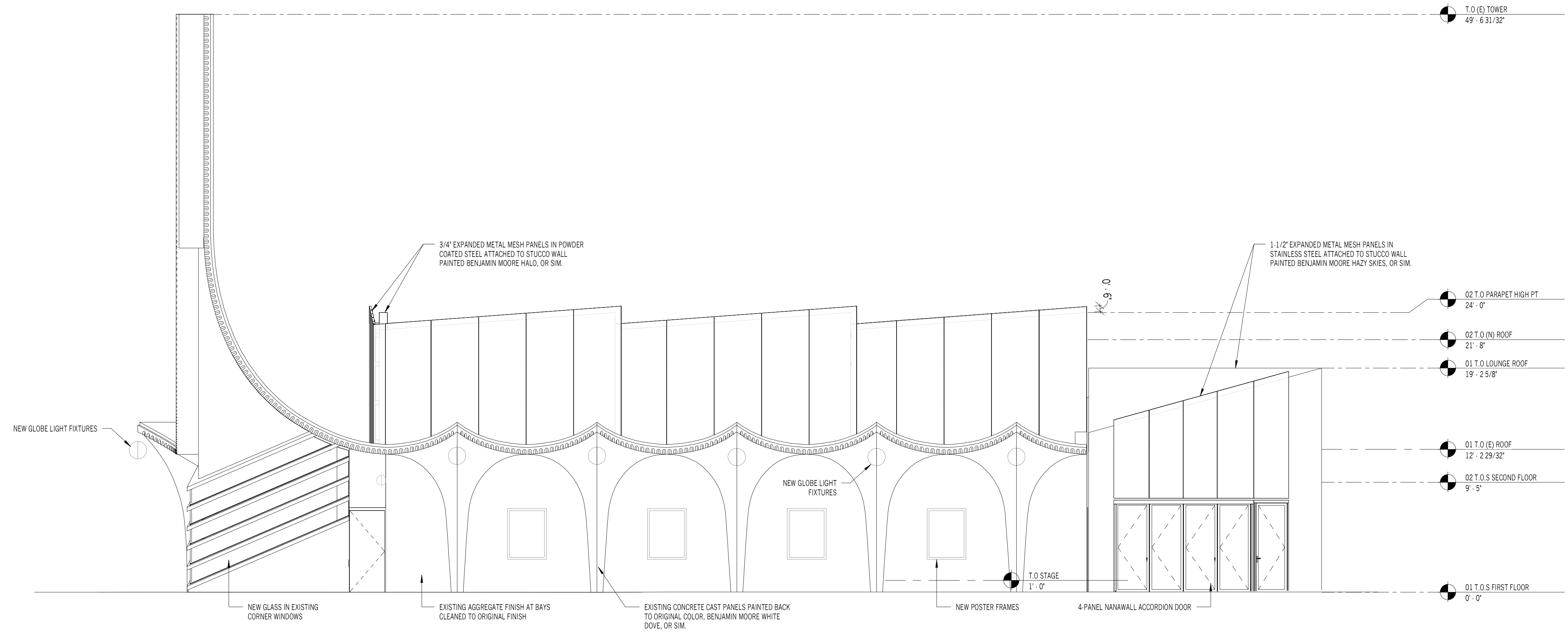
01 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

STANLEY'S
 249 EAST BALTIMORE AVE
 DETROIT, MI 48202

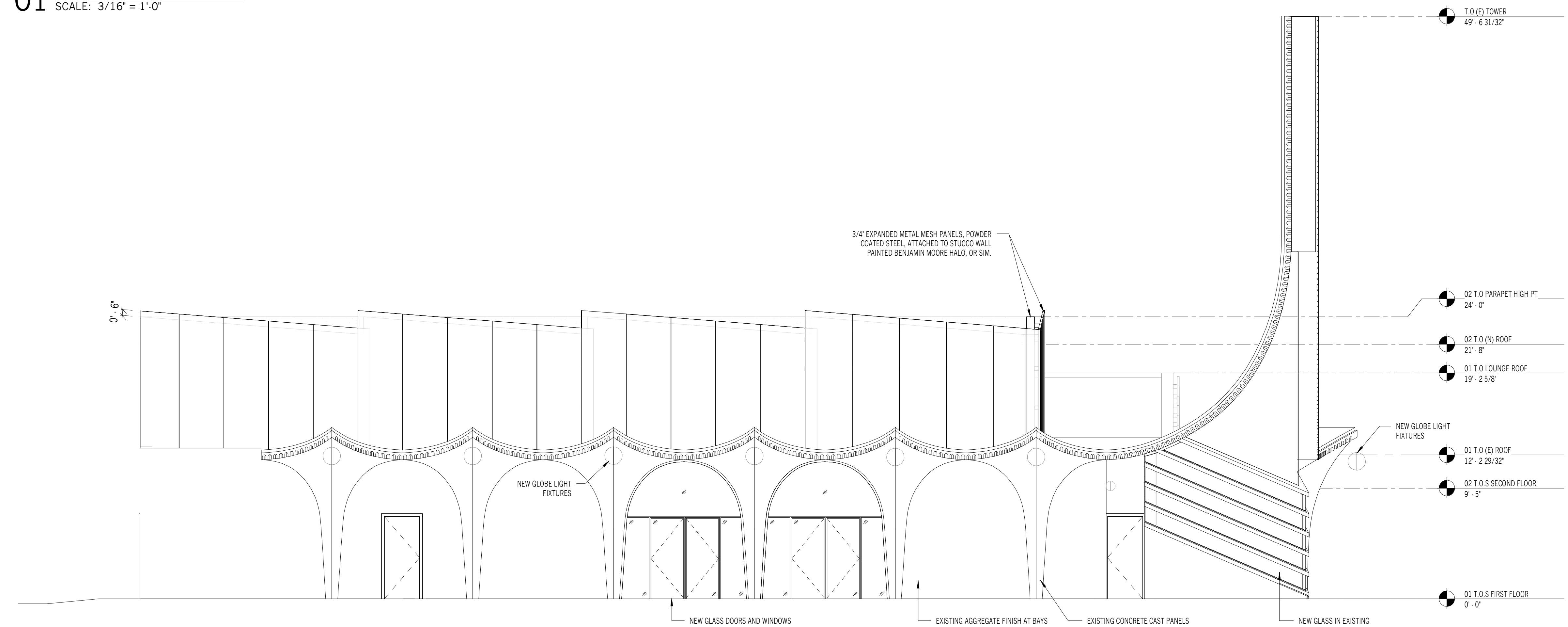
NO.	ISSUE/REV.	DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

SECOND FLOOR PLAN



01 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



02 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

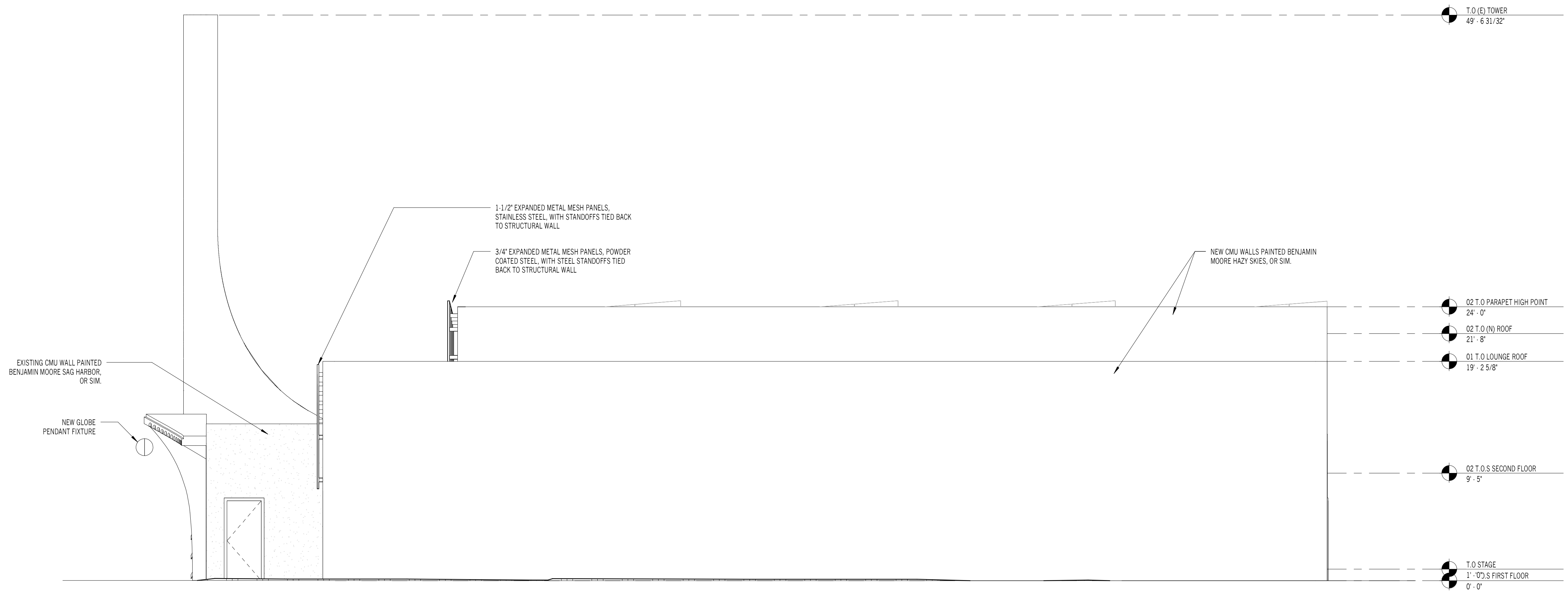
STANLEY'S
 249 EAST BALTIMORE AVE
 DETROIT, MI 48202

NO. ISSUE/REV. DATE

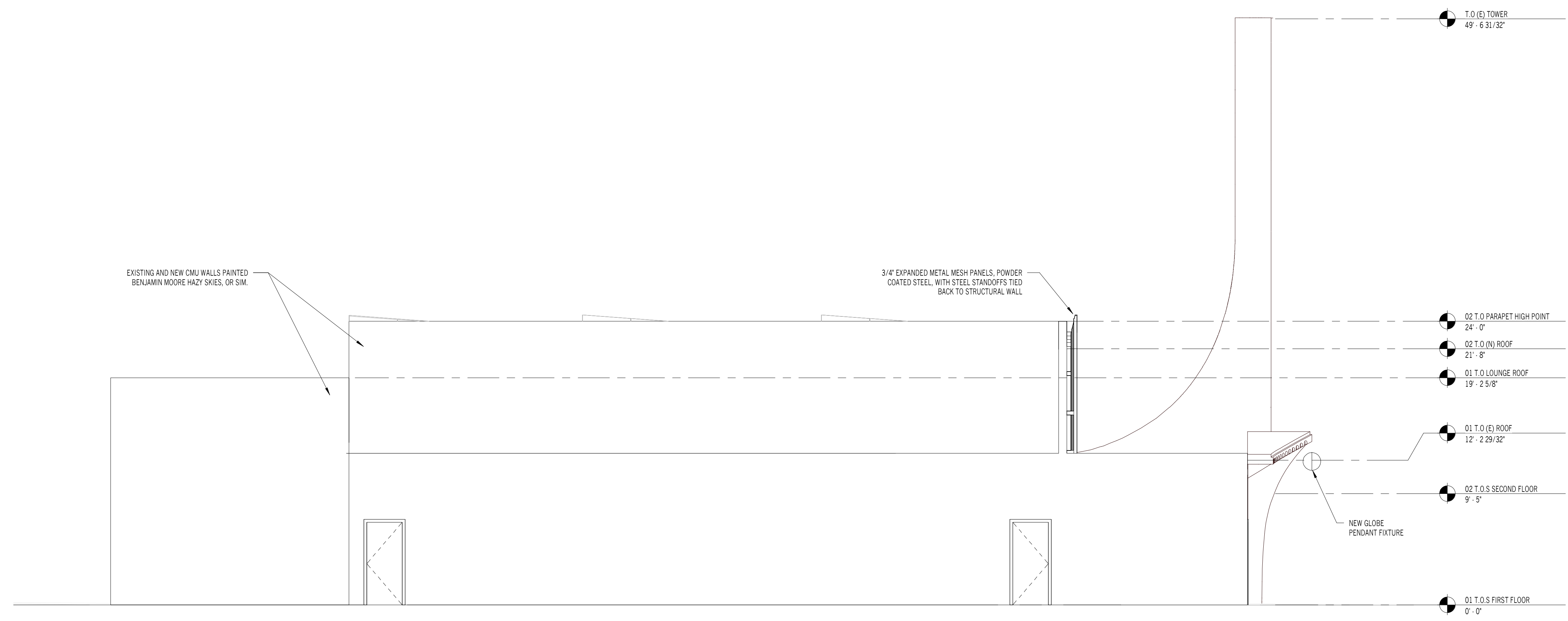
NOTE: NOT FOR CONSTRUCTION PURPOSES

EXTERIOR ELEVATIONS

A-300



02 EAST ELEVATION
 SCALE: 3/16" = 1'-0"



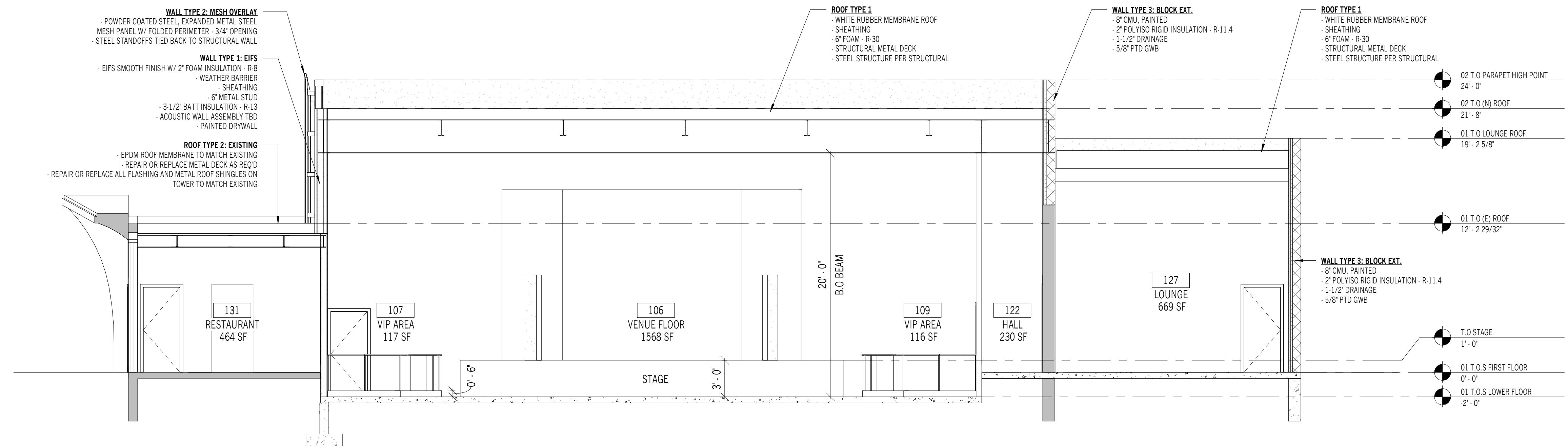
01 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

STANLEY'S
 249 EAST BALTIMORE AVE
 DETROIT, MI 48202

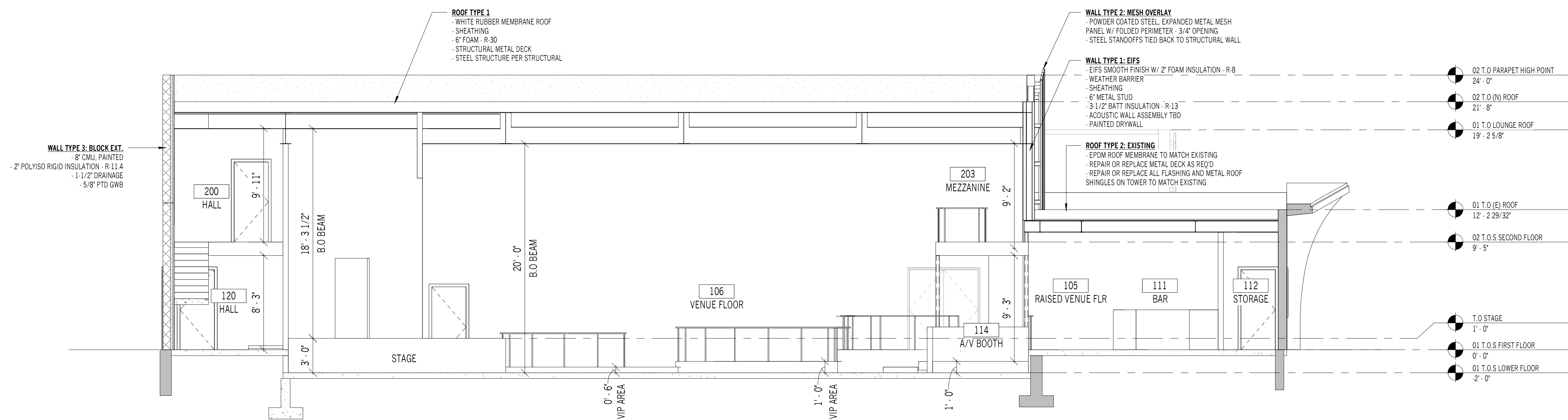
NO. ISSUE/REV. DATE

NOTE: NOT FOR CONSTRUCTION PURPOSES

EXTERIOR ELEVATIONS



02 SECTION
 SCALE: 3/16" = 1'-0"



01 SECTION
 SCALE: 3/16" = 1'-0"

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS(ES): _____ AKA: _____

PARCEL ID: _____ HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration (3+ scope items)	<input type="checkbox"/> Site Improvements (landscape, trees, fences, patios, etc.)	

BRIEF PROJECT DESCRIPTION: _____ RENOVATION INTO MUSIC VENUE WITH 2,266 SF GROUND FLOOR
ADDITION AND 1,352 SF SECOND FLOOR & MEZZANINE ADDITION IN EXTENDED ROOF PORTION OF VENUE

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

Completed Building Permit Application (highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Photographs of ALL sides of existing building or site

Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: **HDC@DETROITMI.GOV**

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

_____ MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____

Driver's License #: _____ Email: _____

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

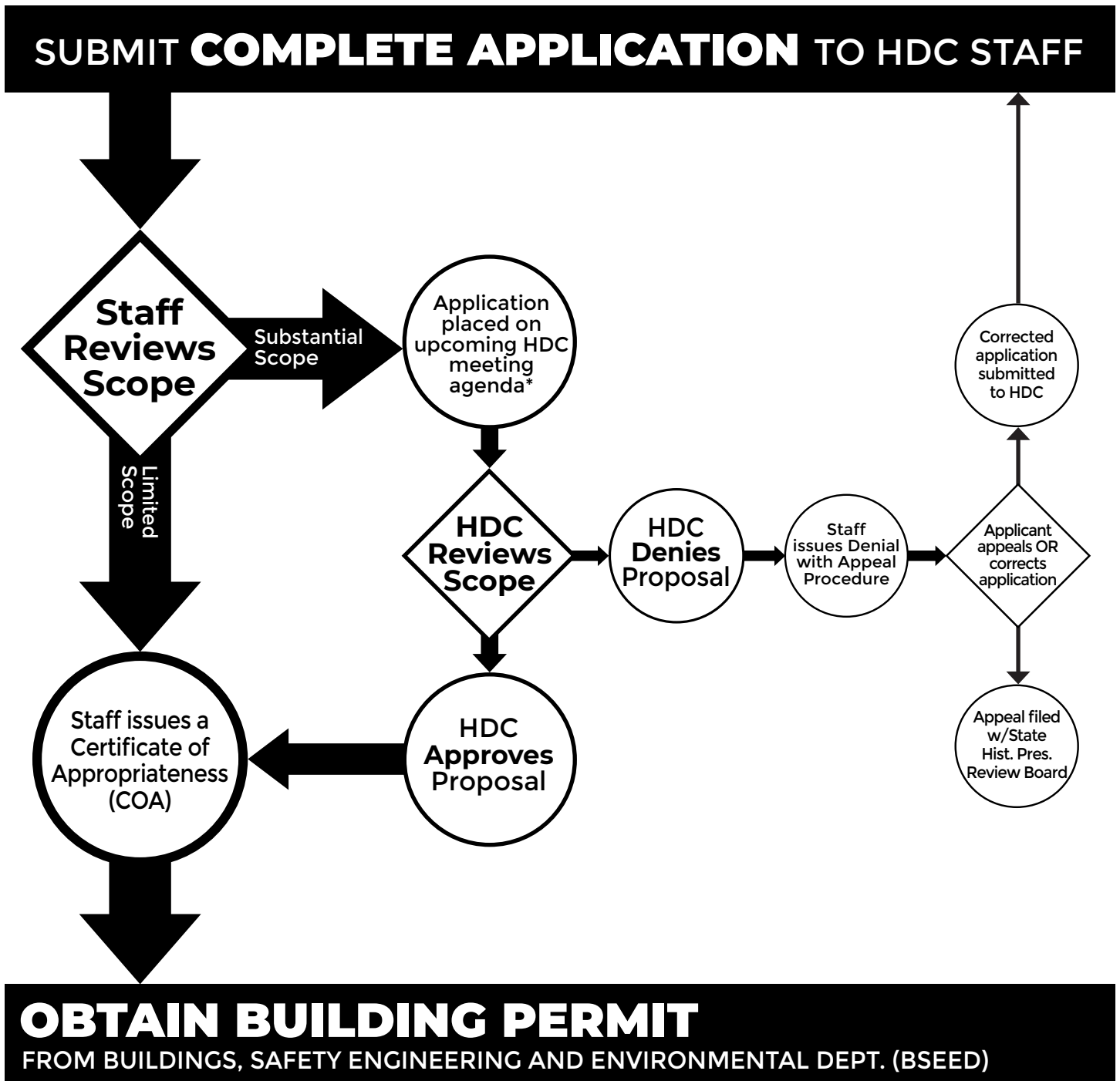
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT: www.detroitmi.gov/hdc