

# DHDC 21-7399

## APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808  
DETROIT, MICHIGAN 48226

9/28/2021

### CERTIFICATE OF APPROPRIATENESS

Joel Smith, AIA  
Neumann/Smith  
400 Galleria Officentre Suite 555  
Southfield, MI 48034

**RE: Application Number 21-7399, 1445 Griswold, Capitol Park Historic District (AKA 1457 Griswold, Isaac Agree Downtown Synagogue)  
Project Scope: Redesign storefront/replace windows, new stairs/elevator penthouse**

Dear Applicant,

At the Special Meeting that was held on September 22, 2021, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on September 28, 2021, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

***Exterior rehabilitation including new storefront, windows, new stairs and elevator penthouse per submitted drawings, narrative, and documents.***

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or [landsbergg@detroitmi.gov](mailto:landsbergg@detroitmi.gov).

For the Commission:



Garrick Landsberg, Director/Staff  
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

DATE: 7/13/2021

## PROPERTY INFORMATION

ADDRESS(ES): 1457 Griswold AKA: Isaac Agree Downtown Synagogue

PARCEL ID: 02002002 HISTORIC DISTRICT: Capitol Park (21-2-224)

SCOPE OF WORK: (Check ALL that apply)

|   |  |  |   |  |                                   |
|---|--|--|---|--|-----------------------------------|
| <input checked="" type="checkbox"/> Windows/<br>Doors | <input checked="" type="checkbox"/> Walls/<br>Siding | <input checked="" type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/<br>Chimney             | <input checked="" type="checkbox"/> Porch/Deck/<br>Balcony                             | <input type="checkbox"/> Addition |
| <input checked="" type="checkbox"/> Demolition        | <input type="checkbox"/> Signage                     | <input type="checkbox"/> New<br>Building     | <input type="checkbox"/> Major Alteration<br>(3+ scope items) | <input type="checkbox"/> Site Improvements<br>(landscape, trees, fences, patios, etc.) |                                   |

BRIEF PROJECT DESCRIPTION: first floor. New elevator to the roof. Extended interior stairs to the roof  
first floor. New elevator to the roof. Extended interior stairs to the roof. New roof deck.

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner  Contractor  Tenant or  
Business Occupant  Architect/Engineer/  
Consultant

NAME: Joel Smith, AIA COMPANY NAME: Neumann Smith

ADDRESS: 400 Galleria Officentre Suite F CITY: Southfield STATE: MI ZIP: 48034

PHONE: 2483528310 MOBILE: 2483024680 EMAIL: jsmith@neumannsmith.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\*

- Completed Building Permit Application**  
(highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already  
applied for permits through ePLANS)

**Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by  
the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

**Description of existing conditions** (including materials and design)

**Description of project** (if replacing any existing material(s), include an explanation as to why  
replacement--rather than repair--of existing and/or construction of new is required)

**Detailed scope of work** (formatted as bulleted list)

**Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional  
documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-  
specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building  
permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO: [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

P2 - BUILDING PERMIT APPLICATION

Date: 7/13/2021

PROPERTY INFORMATION

Address: 1457 Griswold Floor: Suite#: Stories:
AKA: Isaac Agree Downtown Synagogue Lot(s): Subdivision:
Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
Foundation Only Change of Use Temporary Use Other:
Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Interior renovation on each floor. New storefront windows to replace brick and window on the first floor. New elevator to the roof.
Extended interior stairs to the roof. New roof deck with vestibule.

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No
(e.g. interior demolition or construction to new walls)

Use Group: A-3 and B Type of Construction (per current MI Bldg Code Table 601) IIA

Estimated Cost of Construction \$ 3,000,000 By Contractor By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area
Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area 10,360

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



**IDENTIFICATION** (All Fields Required)

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: Isaac Agree Downtown Synagogue Company Name: same

Address: 1457 Griswold City: Detroit State: MI Zip: 48226

Phone: (313) 962-4047 Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_ Email: ajfrank@downtownsynagogue.org

**Contractor**  Contractor is Permit Applicant

Representative Name: Jay McKee Company Name: Sachse Construction & Development Company, LLC

Address: 3663 Woodward Ave, Suite 500 City: Detroit State: MI Zip: 48201

Phone: 313-481-8200 Mobile: 313-498-6989 Email: jmckee@sachse.net

City of Detroit License #: 2102115879

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: Joel Smith State Registration#: 31120 Expiration Date: 10/16/2023

Address: 400 Galleria Officentre City: Southfield State: MI Zip: 48034

Phone: 248-352-8310 Mobile: 248-302-4680 Email: jsmith@neumannsmith.com

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: Joel Smith, AIA Signature: \_\_\_\_\_ Date: 07/14/2021  
(Permit Applicant)

Driver's License #: S 530 425 488 159 Expiration: 03-01-2024

Subscribed and sworn to before me this 14<sup>th</sup> day of JULY 2021 A.D. OAKLAND County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: 1-5-2027  
(Notary Public)

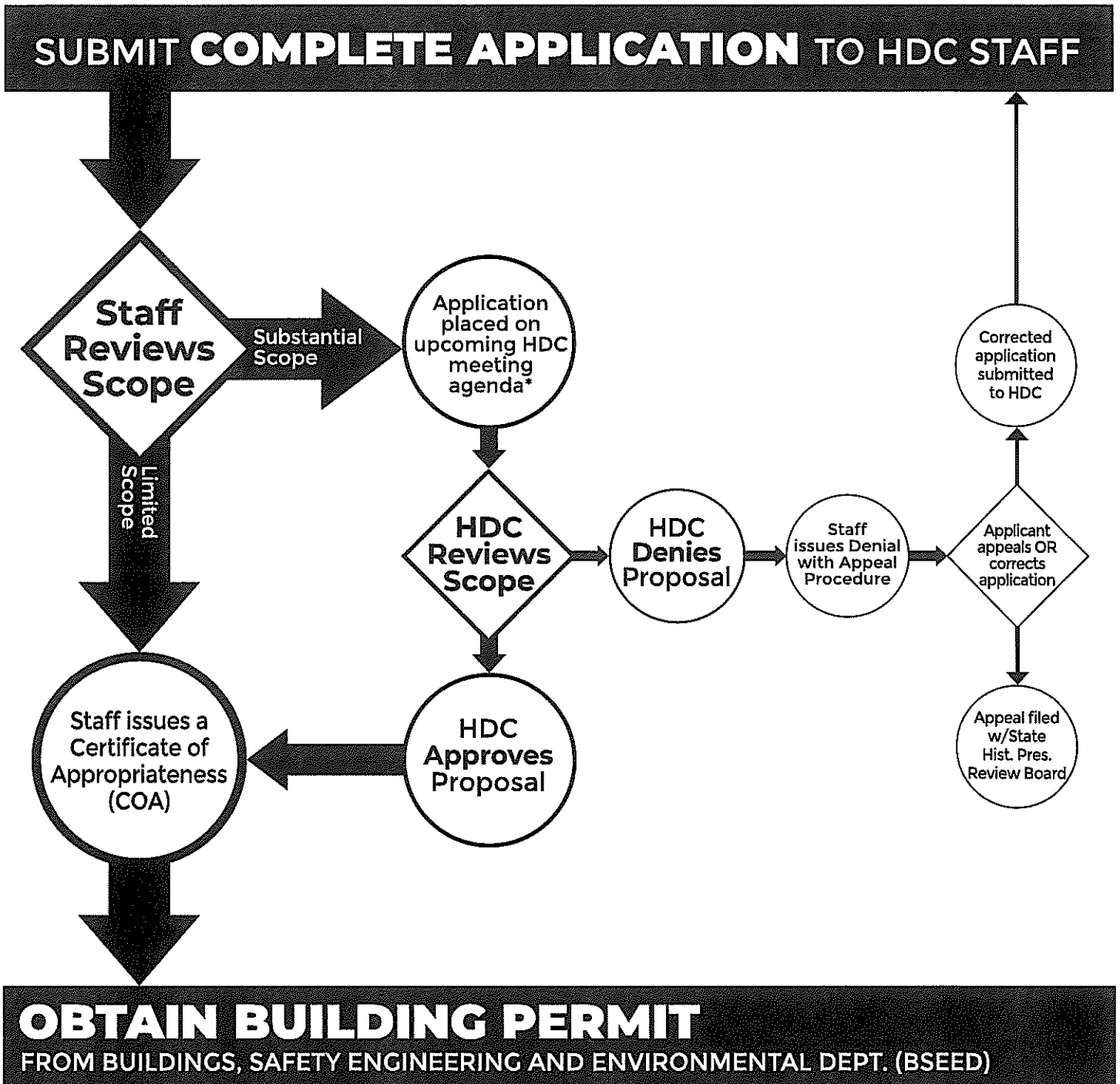
**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.

MELANIE S. JOHNSON  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES Jan 5, 2027  
ACTING IN COUNTY OF OAKLAND



# HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



\* THE **COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH**, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.  
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT: [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc)

## Historic District Commission Narrative

Date 7-13-2021  
To Historic District Commission  
Subject Project Description  
Project Name Isaac Agree Downtown Synagogue – 1457 Griswold, Detroit MI 48226

### History of the building.

1457 Griswold original building was built for Mary Lucking Apel by her father Joseph Lucking. The building was constructed in 1930 and was occupied by William Apel & Son Coal Inc, the husband of May Lucking Apel. The building went into liquidation and was occupied by a ladies' clothing store, beauty salon and medical offices during 1934 – 1937. In 1944 the Fingris Corporation bought the building and did extensive alterations to the interior and exterior. In 1953 additional changes happened to the interior when one of the tenants was a finishing school for girls. Isaac Agree Downtown Synagogue purchased the structure in 1964. It's believed that around this time in 1965 or 1966 is when the exterior changes happened to the first floor storefront and entry.

### Current Description of the Existing Building.

The pie shaped building is a four-story concrete frame that measures 36'-10" at the wide end and 10'-1" at the narrow end. The building measures 100'-0" in length and measures 51'-6" to the building parapet. The building is clad with limestone on the east and north with a granite base at the columns. The west and south elevations are clad in brick in-fill between the exposed concrete structure. The fenestrations on the fourth and third floor are wood double-hung windows. The windows on the fourth and third floor appear to be original to the building. The second floor openings are in-filled with aluminum frame with transparent colored textured acrylic panels. The windows on the second floor are not original to the building as of the most current photo taken in 1964. The first floor openings are in-filled with brick below aluminum frame and clear glass with transparent colored textured acrylic panels on the interior side of the opening. Again, the windows on the first floor are not original to the building as of the most current photo taken in 1964. The corrugated panel detailing between the fenestrations on the fourth and third floor looks to be original to the building and is need of refurbishing.

### Description of Project.

The project will include an added roof deck with new stairs and elevator penthouse. The exterior limestone cladding will be rehabilitated and cleaned. Any loose limestone panels will be resecured along with the existing steel support to be cleaned and painted to stop the deterioration of those steel supports. The first floor brick and aluminum frame windows will be removed and replaced with a similar look design that was original to the building back in 1964. The new aluminum storefront system will sit on new black granite base, flush with the existing walls. The storefront windows with transoms on the granite base that is similar in height and location to the original. The transom windows had originally been blanked off they will instead use colored transom windows. The existing colored transom windows are unique to the synagogue and will be salvaged during construction to be used within the design of the interior. In keeping with identification of those colored transom as a part of the synagogue the new design will also incorporate colored transoms. The vertical mullion spacing is an effort to match what rhythm and spacing happening

## **HDC NARRATIVE – ISAAC AGREE DOWNTOWN SYNAGOGUE.**

Project: Isaac Agree Downtown Synagogue

Date: 7-13-2021

Page 2

on the third and fourth floor windows. The design of the storefront windows with the black granite base is in keeping with the design back in 1964. The window will be ballistic glass on the lower section and the transom units above will be colored film on the interior side of a normal insulated glass unit with ballistic polycarbonate on the interior of the opening. As a goal of the synagogue, they are working to increase the congregante size with a stronger connection to the community. The opening of the first floor windows is an effort to increase the visibility of synagogue by exposing the different community activities happening in that space. The desire for the first floor is for it to be an inviting and welcoming experience. The removal of the brick wall is an effort to make that connection and to have that experience. The special attention paid to the history of the building and the effort to bring back what was original, with respect paid to the identity of Isaac Agree Downtown Synagogue, is what is being proposed.

### **Detailed Scope Of Work.**

- Remove current brick and aluminum frame window system within the first floor openings on the east and north elevations.
- Install new storefront window system with ballistic glass over new black granite base. The storefront window within existing openings will have a 2 to 1, transom over main window ratio with each vertical mullion division similar to the bay division on the fourth and third floors.
- The existing wood double hung windows on the third and fourth floors will be restored per the report by BlackBerry Window and Door Systems.
- Existing elevator penthouse to be removed.
- New elevator with new elevator penthouse to be installed. The penthouse is to be cladded in brick to match the existing.
- New stairs extension from the existing interior stairs. The new stair extension to the roof to be cladded in brick matching the existing.
- New roof deck to be installed with guardrail around the exterior perimeter of the deck.
- New roof Vestibule constructed with new aluminum storefront window system to enclose the doors to the elevator and stairs.
- The existing fire escape will be extended to the new roof deck.
- The existing windows along the west elevation, below the extended fire escape will be removed and bricked in to project occupants using the fire escape.

From

Jim Cummings

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Existing East Elevation



Existing North Elevation



Enlarged Image



Enlarged Image



Historical Image





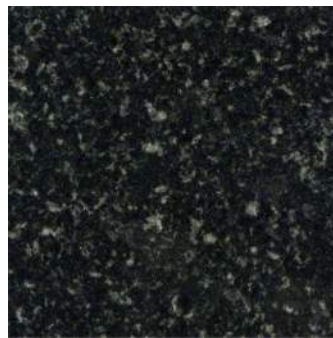
Ballistic Level 3 insulated glass unit transom with colored film on interior side.

Ballistic Level 3 insulated glass unit.

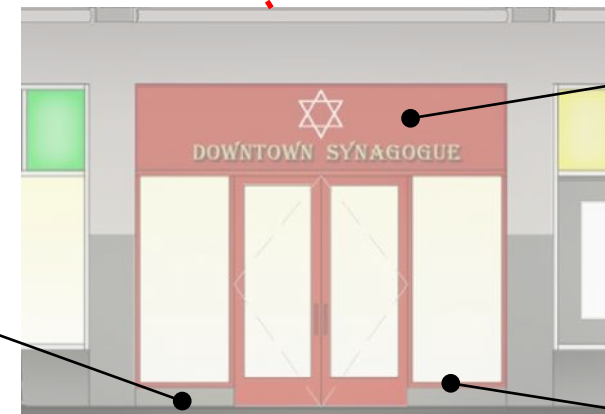
**RENDERING OF EAST ELEVATION**



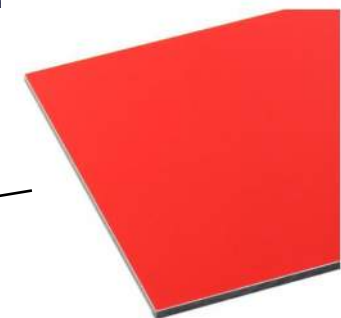
**NEW CLEAR ANODIZED STOREFRONT SYSTEM**



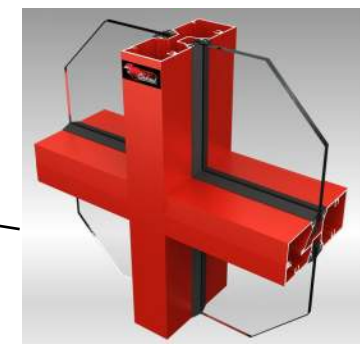
**BLACK GRANITE BASE BELOW NEW STOREFRONT.**



**PROPOSED NEW ENTRY.**



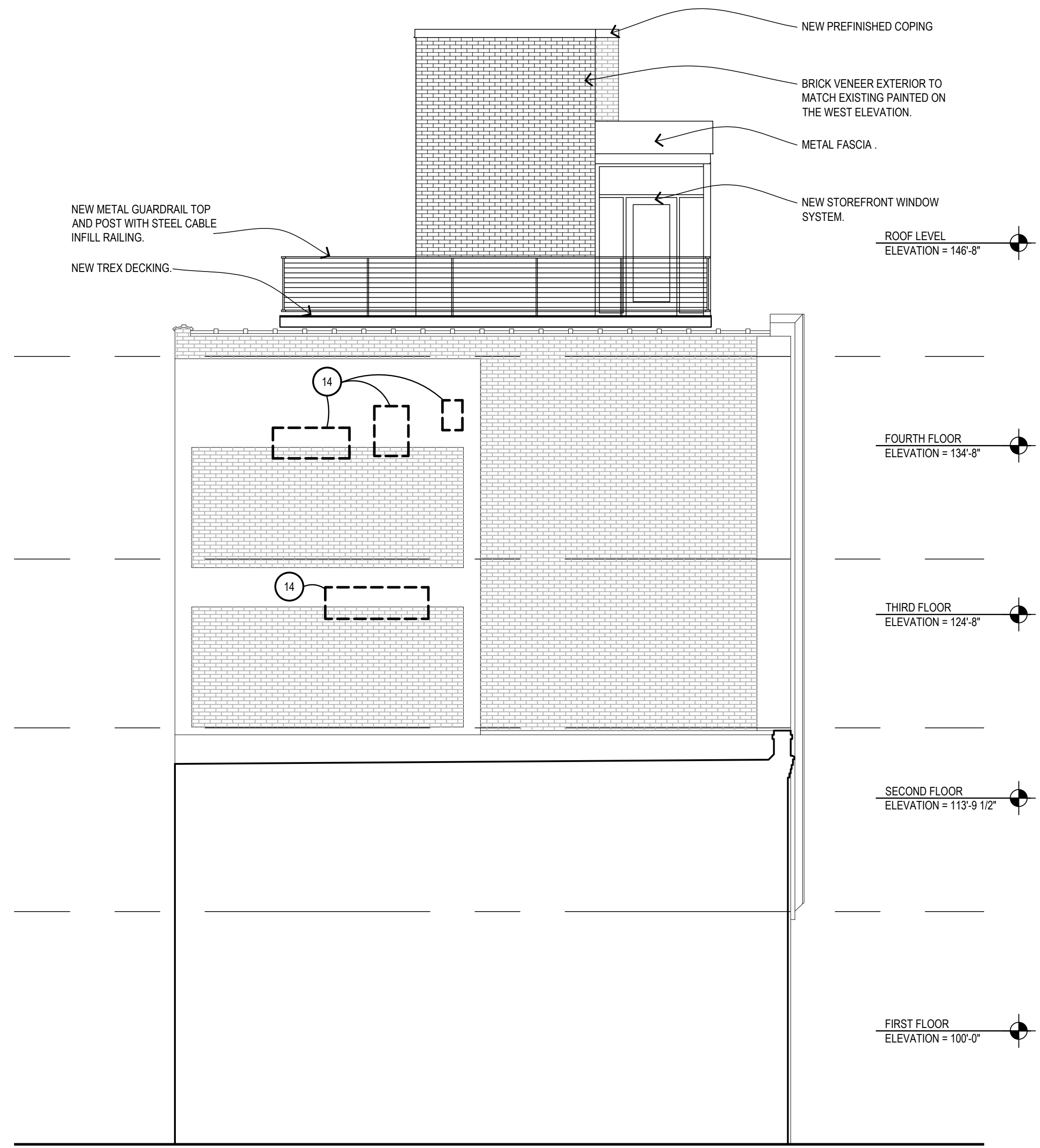
**RED ALUMINUM COMPOSITE PANEL**



**RED STOREFRONT SYSTEM**

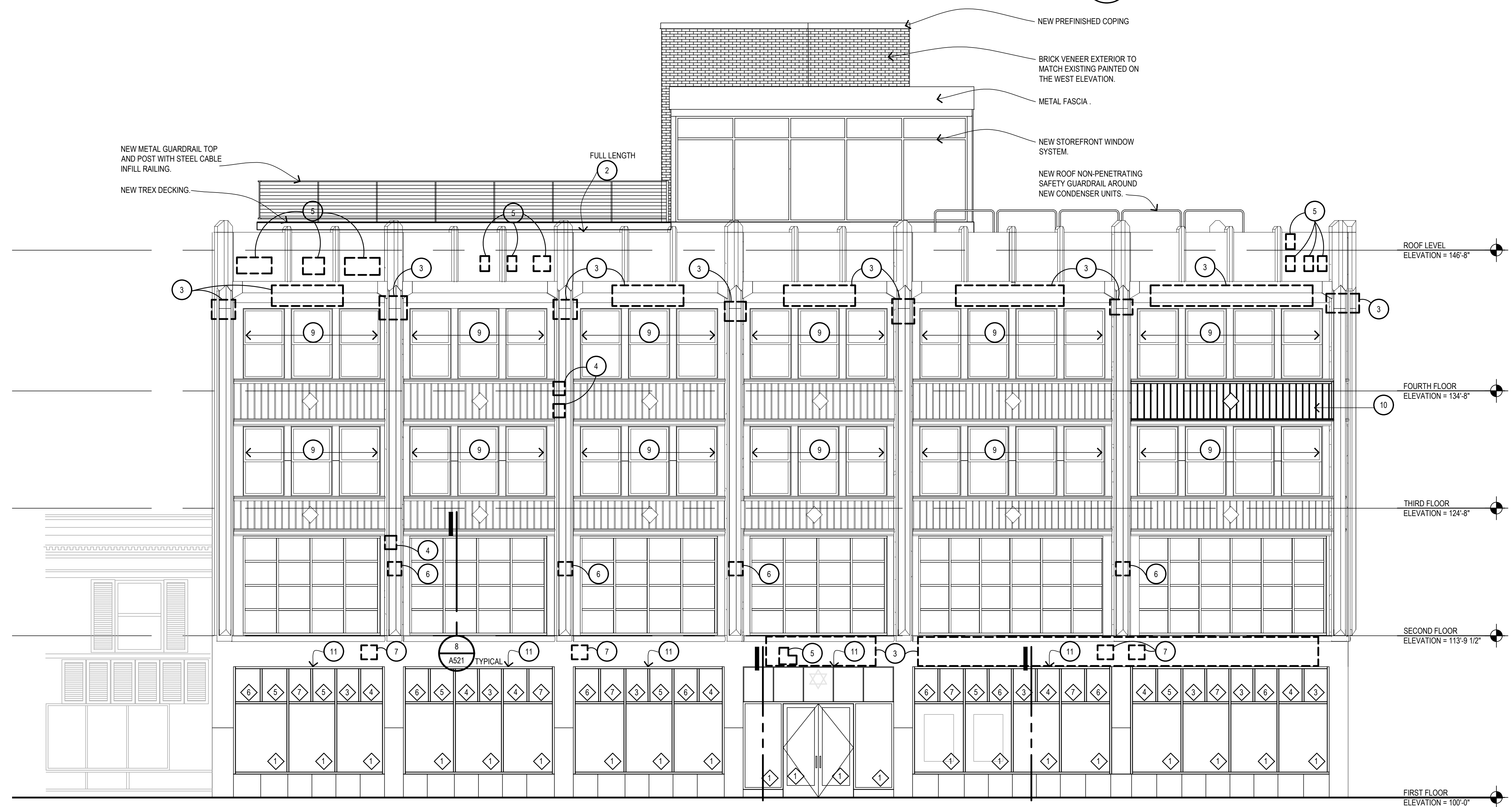


**Isaac Agree**  
 Downtown Synagogue  
 1457 Griswold  
 Detroit, Michigan



- EXTERIOR ELEVATION RENOVATION KEYNOTES**
- TUCKPOINT ALL JOINTS WITHIN INDICATED AREA.
  - REMOVE TOP PARAPET CAP JOINTS FULL LENGTH OF WALL. INSTALL BACKER RODS AND UV RESISTANT SEALANT.
  - REMOVE LIMESTONE PANELS. CLEAN RUSTED STEEL LINTEL. INSTALL RUST INHIBITIVE PRIMER, THEN EPOXY PAINT AND REINSTALL LIMESTONE PANELS.
  - REMOVE METAL BRACKET AND PATCH STONE.
  - PATCH STONE WITH CATHEDRAL STONE "RESTORATION MORTAR" (OR EQUAL PRODUCT). MATCH COLOR OF STONE.
  - DRAIN PIPE TO REMAIN.
  - INSTALL DUTCHMAN LIMESTONE PATCH AT FORMER ELECTRICAL BOX LOCATION.
  - DEMOLISH FIRST FLOOR BRICK INFILL AND TRANSOM GLAZING FOR INSTALLATION OF NEW STOREFRONT (INCLUDING ENTRANCE) - SEE DEMOLITION ELEVATIONS
  - REHABILITATE DOUBLE HUNG WOOD WINDOWS BY REGLAZING. TIGHTENING/GLUING OF ANY LOOSE JOINTS. INSTALL WEATHERSTRIPPING IN JAMBS. STRIP PAINT. INSTALL NEW SASH CHAINS. PRIME/PAINT. INSTALL EXTERIOR ALUMINUM STORM WINDOWS TO MATCH WINDOW COLOR.
  - INSTALL CUSTOM FIBERGLASS CORRUGATED SPANDREL PANEL TO MATCH ADJACENT EXISTING PANELS.
  - CLEAN EDGE AND LOWER FACE OF RUSTED STEEL LINTEL. APPLY RUST INHIBITIVE PRIMER, EPOXY PAINT.
  - REMOVE ELECTRICAL CONDUIT. PATCH AND ANCHOR HOLES IN STONE.
  - REPLACE DAMAGED BRICK.
  - PATCH CONCRETE BEAM/SPANDREL SURFACE.

**2**  
 A400  
 3/16" = 1'-0"  
**EXTERIOR ELEVATION RENOVATION - SOUTH**



- GENERAL EXTERIOR ELEVATION NOTES**
- REFER TO DOOR SCHEDULES AND DETAILS FOR ADDITIONAL INFORMATION.
  - ALL EXTERIOR SEALANT COLORS TO MATCH MATERIAL BEING SEALED AND CONFIRMED WITH THE ARCHITECT PRIOR TO SEALING.
  - CONTRACTOR TO COORDINATE LOCATION OF ALL EXHAUST AND INTAKE LOUVERS WITH THE MECHANICAL DOCUMENTS. ALL FRESH AIR INTAKES TO BE 4'-0" MINIMUM ABOVE FINISH GRADE AND 10'-0" MINIMUM FROM EXHAUST OPENINGS.
  - SEAL ALL PENETRATIONS, GAPS, SPACES, JOINTS, ETC. FOR ENTIRE EXTERIOR FACE OF THE BUILDING.
  - PROVIDE AND INSTALL FLASHING AND WEEP SLOTTES IN EXTERIOR MASONRY WALLS AT SLOPE ANGLES. LEDGES, WINDOW AND DOOR HEAD AND SILLS @ 24" O.C. AND AT ALL OTHER LOCATIONS INDICATED OR OTHERWISE REQUIRED.
  - FORM END DAMS AT HORIZONTAL FLASHING TERMINATIONS TO PREVENT MOISTURE ENTRY INTO THE WALL CAVITY. AT HEAD AND SILLS OF OPENINGS, TURN UP FLASHING NOT LESS THAN 2" TO FORM END DAMS.
  - REFER TO THE SPECIFICATIONS MANUAL FOR ADDITIONAL INFORMATION.
  - SURFACE MOUNTED BUILDING SIGNAGE SHOWN FOR REFERENCE ONLY. FINAL DESIGN SHALL BE SUBMITTED FOR REVIEW WITH SIGNAGE FABRICATION PACKAGE.
  - PROVIDE ADDITIONAL LAYER OF AIR BARRIER AND OVERLAP 2" MINIMUM EACH SIDE BETWEEN CONCRETE, STEEL AND EXTERIOR SHEATHINGS WITH INTEGRAL AIR BARRIER.
  - PROVIDE WATER STOP BETWEEN MEMBRANE AND METAL FLASHING. METAL COPING, ETC. IN WHICH THE ROOF MEMBRANE DOES NOT EXTEND UP MORE THAN 1'-0" VERTICALLY.
  - PROVIDE CLEANING FOR ALL EXISTING MASONRY TO REMAIN.
  - PROVIDE AND ALLOWANCE FOR TUCK POINTING OF MASONRY FOR (X) SQUARE FEET OF MASONRY IN THE BASE BID AND UNIT PRICING PER SQUARE FOOT OF TUCK POINTING BEYOND THE (X) SQUARE FEET.
  - REMOVE AND REPLACE ALL EXISTING SEALANT JOINTS ON THE EXISTING BUILDING TO REMAIN. JOINT REPLACEMENT TO INCLUDE BUT IS NOT LIMITED TO MASONRY CONTROL JOINTS/MOVEMENT JOINTS, WINDOW PERIMETER SEALANT, SIDEWALKS TO BUILDING JOINTS, ETC.
  - PROVIDE MASONRY SEALER ON ALL EXISTING EXTERIOR MASONRY TO REMAIN AFTER CLEANING. REFER TO PROJECT SPECIFICATIONS.

**GLASS TYPE**

|   |  |
|---|--|
| ◆ | INSULATED GLASS UNIT, BALLISTIC LEVEL 2                |
| ◆ | INSULATED GLASS UNIT                                   |
| ◆ | INSULATED GLASS UNIT WITH RED COLORED INTERIOR FILM    |
| ◆ | INSULATED GLASS UNIT WITH GREEN COLORED INTERIOR FILM  |
| ◆ | INSULATED GLASS UNIT WITH ORANGE COLORED INTERIOR FILM |
| ◆ | INSULATED GLASS UNIT WITH YELLOW COLORED INTERIOR FILM |
| ◆ | INSULATED GLASS UNIT WITH BLUE COLORED INTERIOR FILM   |

**1**  
 A400  
 3/16" = 1'-0"  
**EXTERIOR ELEVATION RENOVATION - EAST**

Issued for \_\_\_\_\_

**Preliminary - Not For Construction**

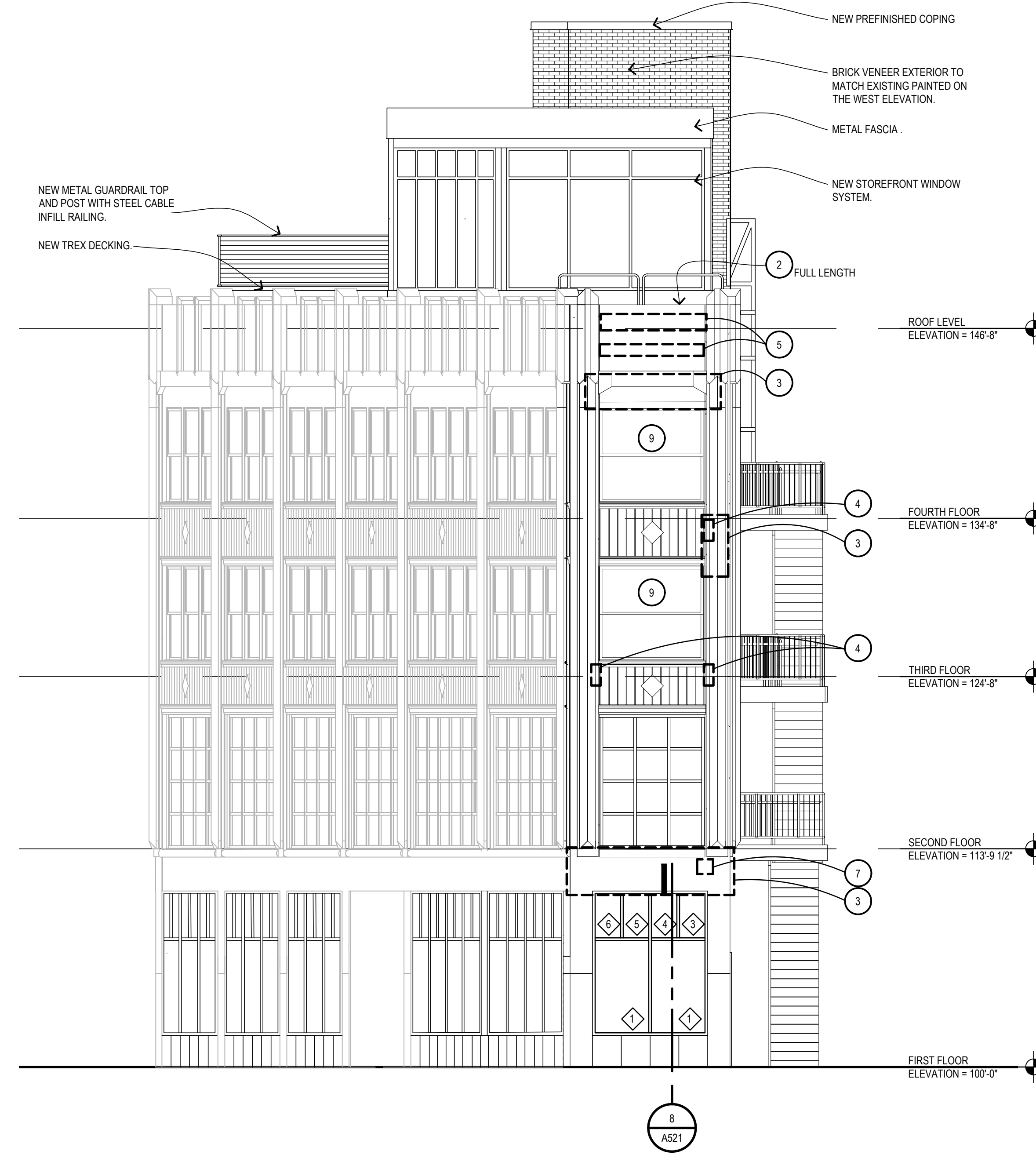
06-03-2021 75% DESIGN DEVELOPMENT

Drawn: JMC  
 Checked: MK  
 Approved: JS  
 Bidpak Number: \_\_\_\_\_

Preliminary  
 Construction  
 Record

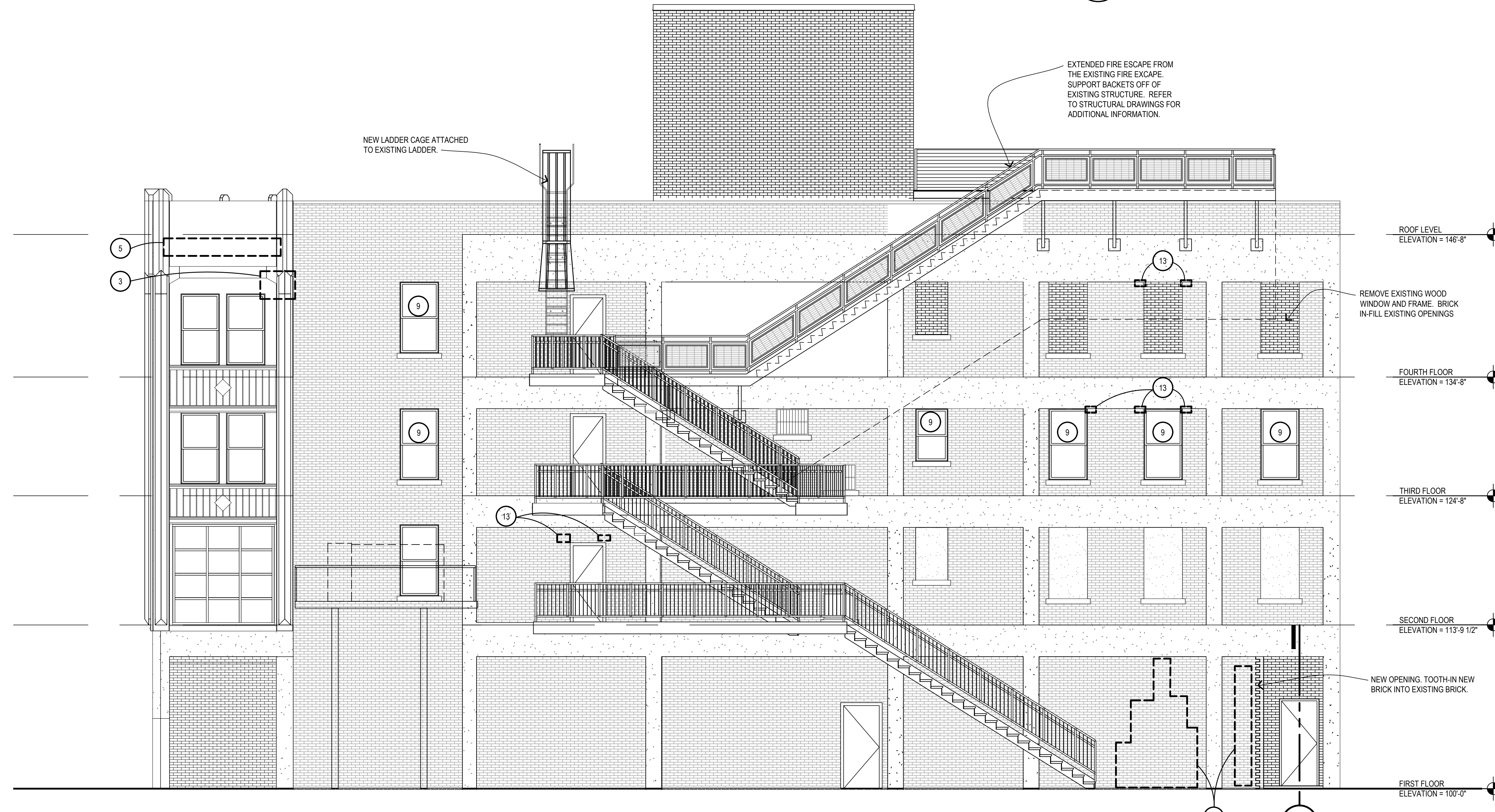
Do not scale  
 Use figured dimensions only

Job Number: **2018085**  
 Title: **EAST AND SOUTH EXTERIOR ELEVATION RENOVATION**  
 Sheet: **A400**



2  
A401  
3/16" = 1'-0"  
EXTERIOR ELEVATION RENOVATION - NORTH

- ### EXTERIOR ELEVATION RENOVATION KEYNOTES
- TUCKPOINT ALL JOINTS WITHIN INDICATED AREA.
  - REMOVE TOP PARAPET CAP JOINTS FULL LENGTH OF WALL. INSTALL BACKER RODS AND UV RESISTANT SEALANT.
  - REMOVE LIMESTONE PANELS, CLEAN RUSTED STEEL LINTEL. INSTALL RUST INHIBITIVE PRIMER, THEN EPOXY PAINT AND REINSTALL LIMESTONE PANELS.
  - REMOVE METAL BRACKET AND PATCH STONE.
  - PATCH STONE WITH CATHEDRAL STONE "RESTORATION MORTAR" (OR EQUAL PRODUCT). MATCH COLOR OF STONE.
  - DRAIN PIPE TO REMAIN.
  - INSTALL DUTCHMAN LIMESTONE PATCH AT FORMER ELECTRICAL BOX LOCATION.
  - DEMOLISH FIRST FLOOR BRICK INFILL AND TRANSOM GLAZING FOR INSTALLATION OF NEW STOREFRONT (INCLUDING ENTRANCE).
  - REHABILITATE DOUBLE HUNG WOOD WINDOWS BY REGLAZING, TIGHTENING/CLUNG OF ANY LOOSE JOINTS. INSTALL WEATHERSTRIPPING IN JAMBS, STRIP PAINT. INSTALL NEW SASH CHAINS. PRIME/PAINT. INSTALL EXTERIOR ALUMINUM STORM WINDOWS TO MATCH WINDOW COLOR.
  - INSTALL CUSTOM FIBERGLASS CORRUGATED SPANDREL PANEL TO MATCH ADJACENT EXISTING PANELS.
  - CLEAN EDGE AND LOWER FACE OF RUSTED STEEL LINTEL. APPLY RUST INHIBITIVE PRIMER, EPOXY PAINT.
  - REMOVE ELECTRICAL CONDUIT, PATCH AND ANCHOR HOLES IN STONE.
  - REPLACE DAMAGED BRICK.
  - PATCH CONCRETE BEAM/SPANDREL SURFACE.



1  
A401  
3/16" = 1'-0"  
EXTERIOR ELEVATION RENOVATION - WEST

- ### GENERAL EXTERIOR ELEVATION NOTES
- REFER TO DOOR SCHEDULES AND DETAILS FOR ADDITIONAL INFORMATION.
  - ALL EXTERIOR SEALANT COLORS TO MATCH MATERIAL BEING SEALED AND CONFIRMED WITH THE ARCHITECT PRIOR TO SEALING.
  - CONTRACTOR TO COORDINATE LOCATION OF ALL EXHAUST AND INTAKE LOUVERS WITH THE MECHANICAL DOCUMENTS. ALL FRESH AIR INTAKES TO BE 4'-0" MINIMUM ABOVE FINISH GRADE AND 10'-0" MINIMUM FROM EXHAUST DOWNDRAWS.
  - SEAL ALL PENETRATIONS, GAPS, SPACES, JOINTS, ETC. FOR ENTIRE EXTERIOR FACE OF THE BUILDING.
  - PROVIDE AND INSTALL FLASHING AND WEEP SCREWS IN EXTERIOR MASONRY WALLS AT SILL ANGLES, LEDGES, WINDOW AND DOOR HEAD AND SILLS @ 24" O.C. AND AT ALL OTHER LOCATIONS INDICATED OR OTHERWISE REQUIRED.
  - FORM END DAMS AT HORIZONTAL FLASHING TERMINATIONS TO PREVENT MOISTURE ENTRY INTO THE WALL CAVITY. AT HEAD AND SILLS OF OPENINGS, TURN UP FLASHING NOT LESS THAN 2" TO FORM END DAMS.
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  - PROVIDE WATER STOP BETWEEN MEMBRANE AND METAL FLASHING, METAL COPING, ETC. IN WHICH THE ROOF MEMBRANE DOES NOT EXTEND UP MORE THAN 1'-0" VERTICALLY.
  - PROVIDE CLEANING FOR ALL EXISTING MASONRY TO REMAIN.
  - PROVIDE AND ALLOWANCE FOR TUCK POINTING OF MASONRY FOR (X) SQUARE FEET OF MASONRY IN THE BASE BID AND UNIT PRICING PER SQUARE FOOT OF TUCK POINTING BEYOND THE (X) SQUARE FEET.
  - REMOVE AND REPLACE ALL EXISTING SEALANT JOINTS ON THE EXISTING BUILDING TO REMAIN. JOINT REPLACEMENT TO INCLUDE BUT IS NOT LIMITED TO MASONRY CONTROL JOINTS/MOVEMENT JOINTS, WINDOW PERIMETER SEALANT, SIDEWALKS TO BUILDING JOINTS, ETC.
  - PROVIDE MASONRY SEALER ON ALL EXISTING EXTERIOR MASONRY TO REMAIN AFTER CLEANING. REFER TO PROJECT SPECIFICATIONS.

- ### GLASS TYPE
- INSULATED GLASS UNIT, BALLISTIC LEVEL 2
  - INSULATED GLASS UNIT
  - INSULATED GLASS UNIT WITH RED COLORED INTERIOR FILM
  - INSULATED GLASS UNIT WITH GREEN COLORED INTERIOR FILM
  - INSULATED GLASS UNIT WITH ORANGE COLORED INTERIOR FILM
  - INSULATED GLASS UNIT WITH YELLOW COLORED INTERIOR FILM
  - INSULATED GLASS UNIT WITH BLUE COLORED INTERIOR FILM

architecture  
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Isaac Agree  
Downtown Synagogue  
1457 Griswold  
Detroit, Michigan

Issued for

**Preliminary - Not For Construction**

06-03-2021 75% DESIGN DEVELOPMENT

Drawn: JMC  
Checked: MK  
Approved: JS  
Bidpak Number: 2018085

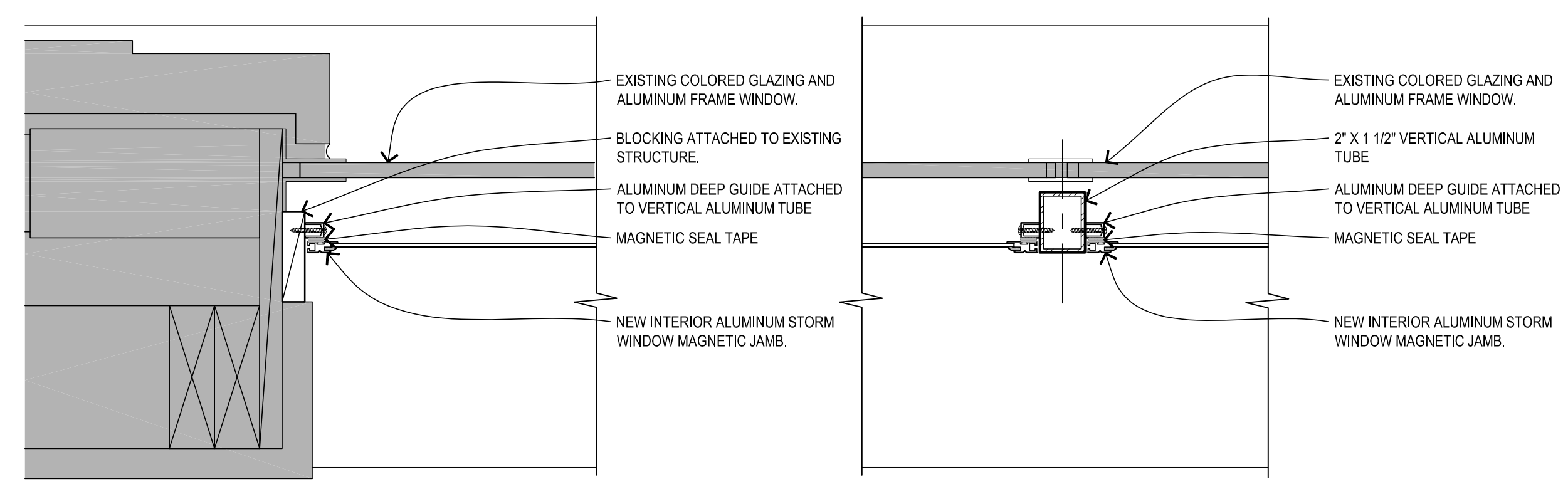
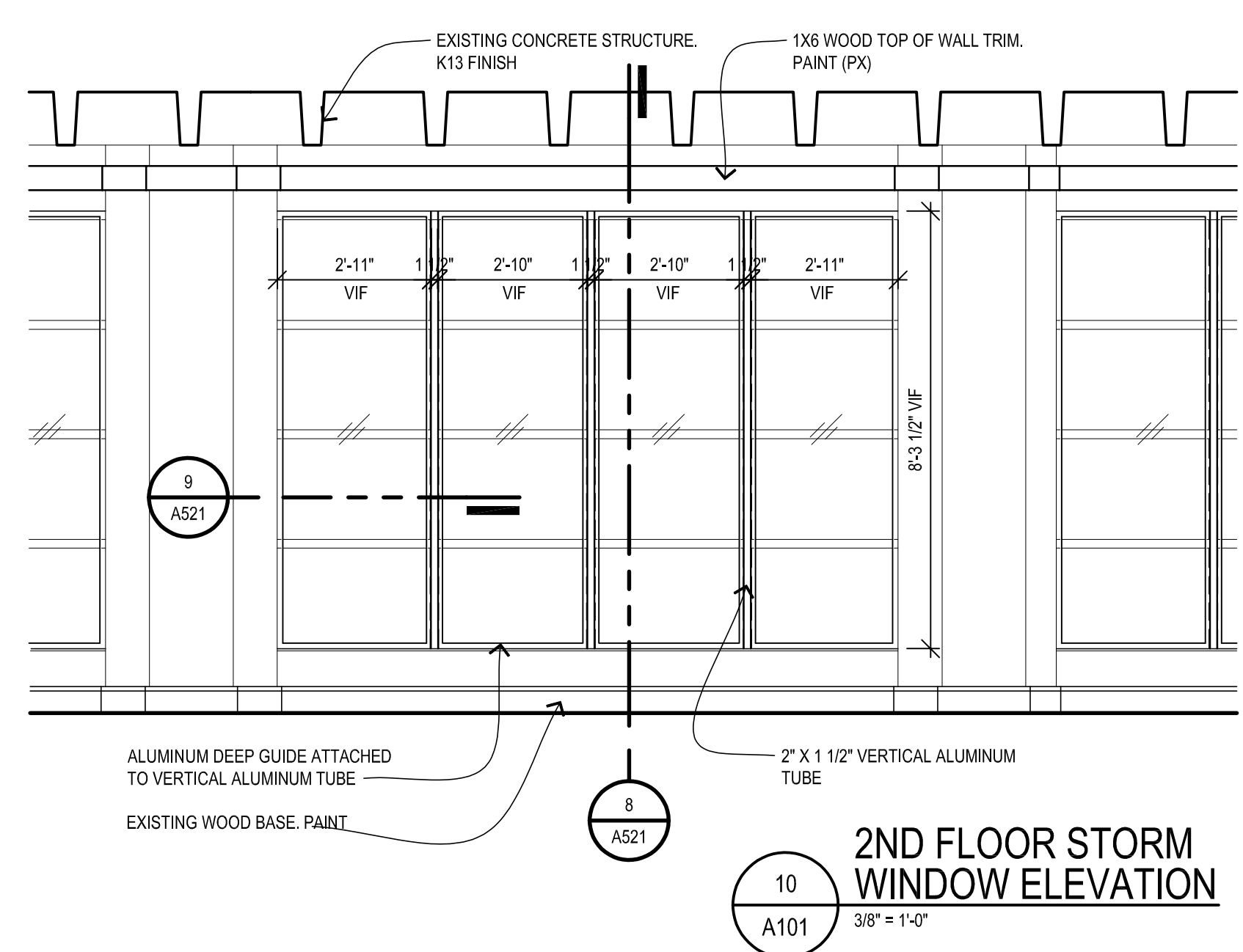
Job Number: 2018085  
Title: WEST AND NORTH EXTERIOR RENOVATION

Sheet: A401

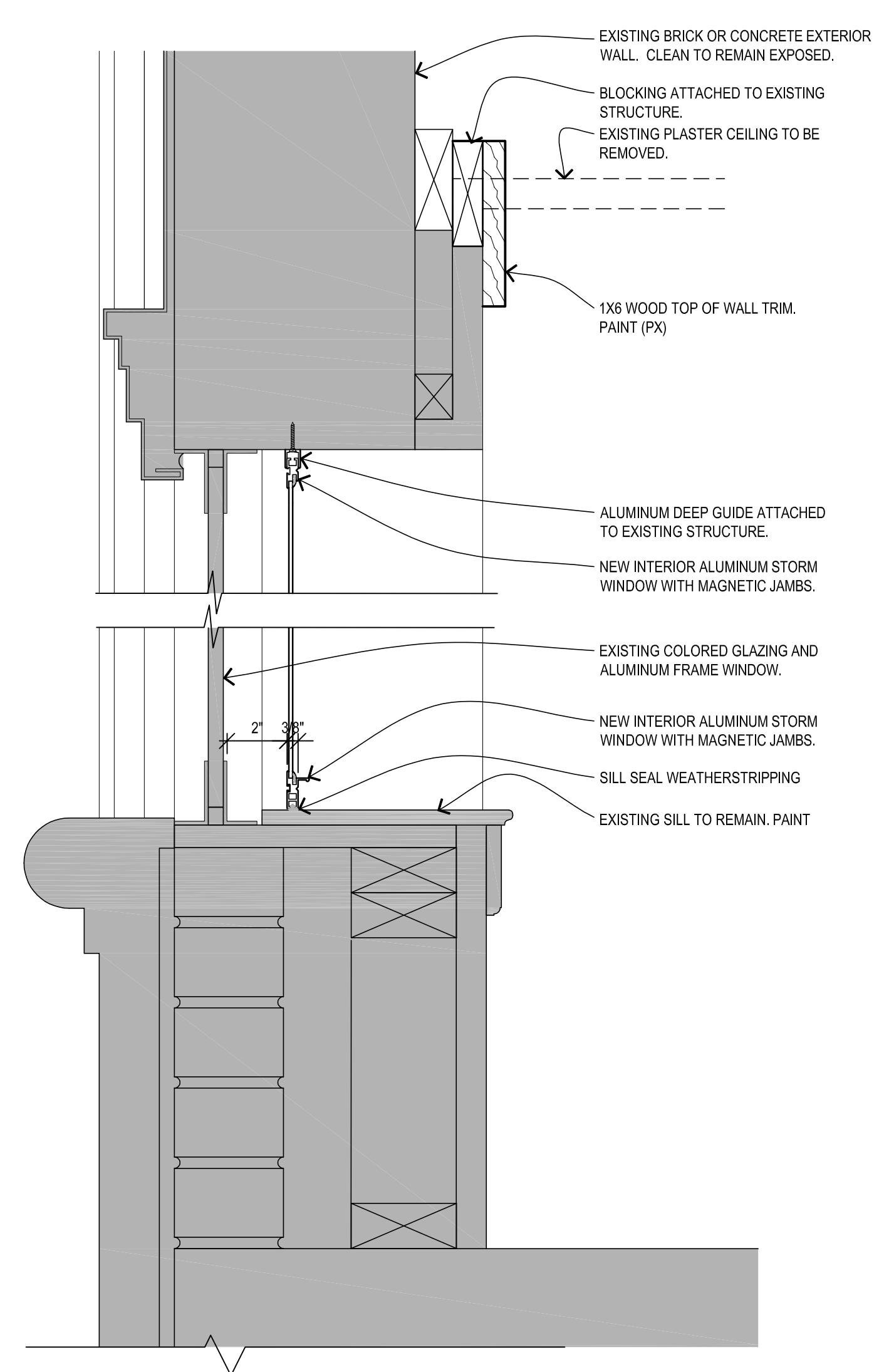
Legend:  
 Preliminary  
 Construction  
 Record  
 Do not scale Use figured dimensions only



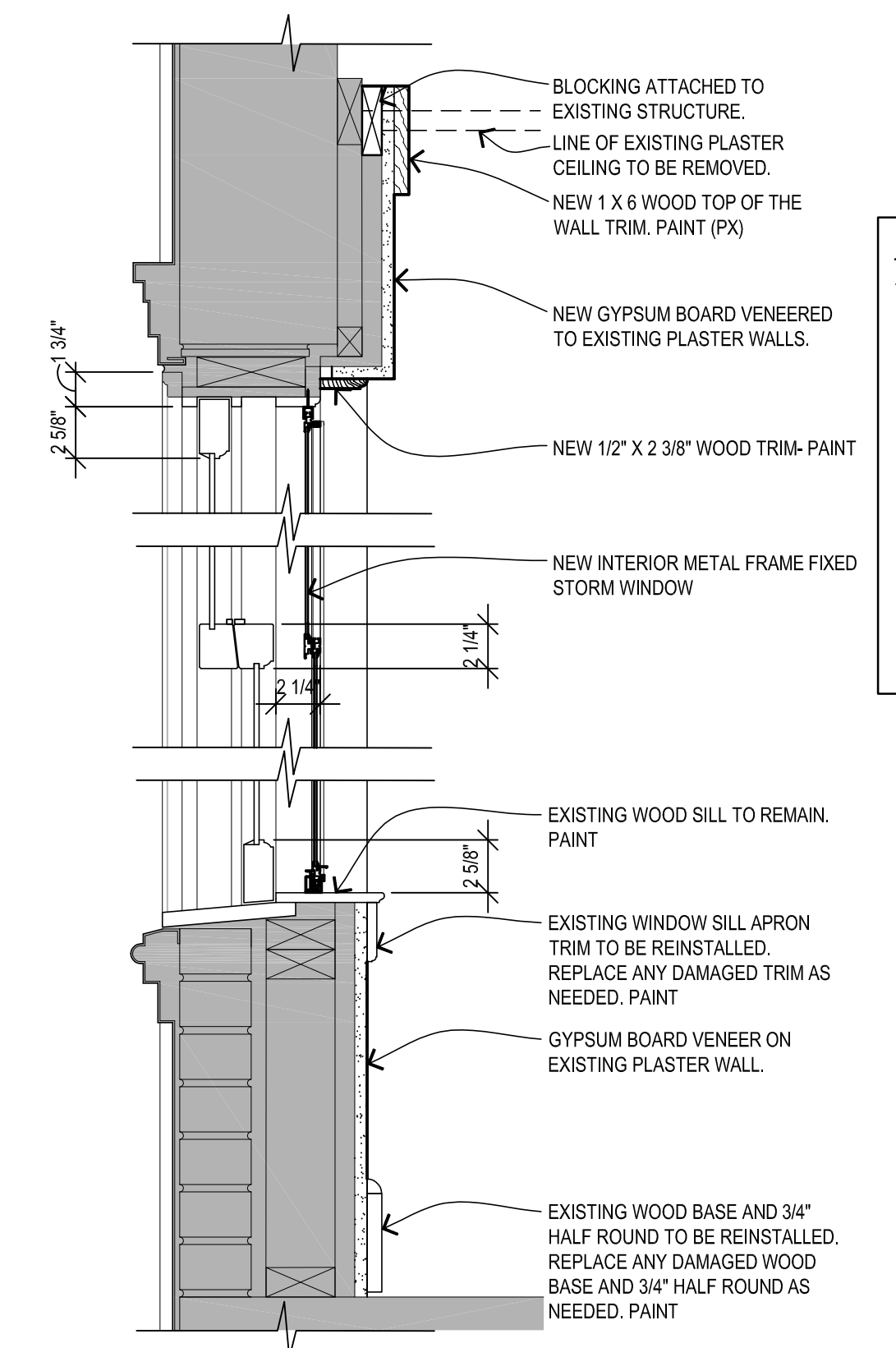
**Isaac Agree**  
 Downtown Synagogue  
 1457 Griswold  
 Detroit, Michigan



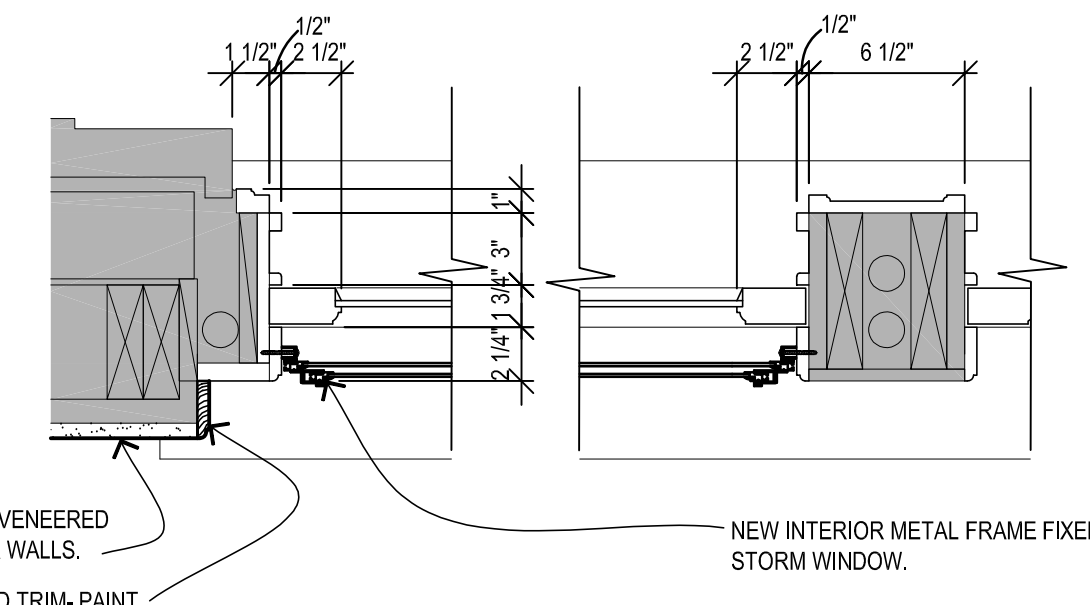
**2ND FLOOR STORM WINDOW PLAN**  
 9  
 A521  
 3\"/>



**2ND FLOOR STORM WINDOW SECTION**  
 8  
 A101  
 3\"/>

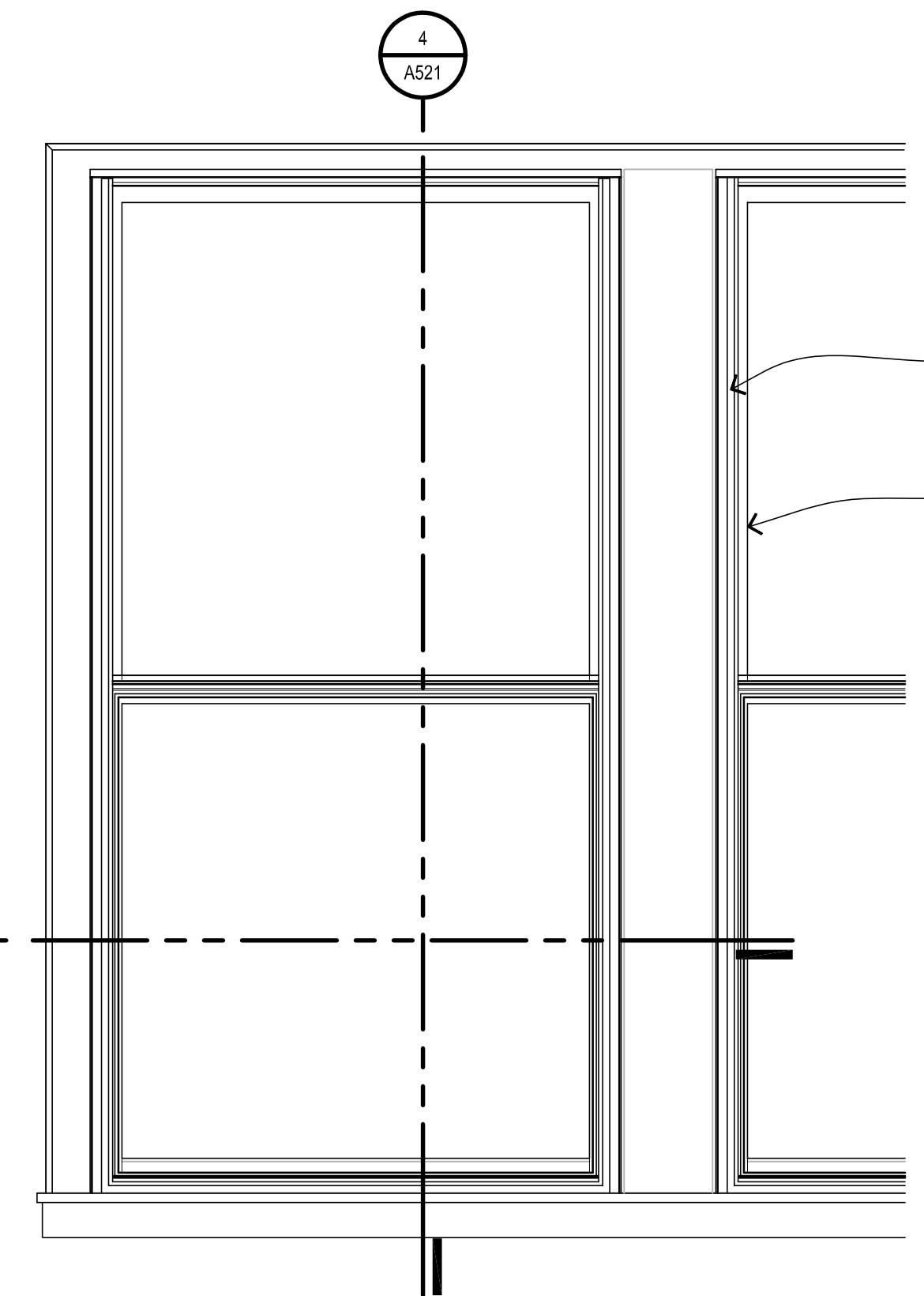


**EXISTING 3RD AND 4TH FLOOR WINDOW SECTION**  
 4  
 A521  
 1 1/2\"/>



**EXISTING 3RD AND 4TH FLOOR WINDOW PLAN**  
 3  
 A521  
 1 1/2\"/>

- EXISTING DOUBLE HUNG 3RD AND 4TH FLOOR WINDOW RESTORATION:**
- REMOVAL OF EXTERIOR PERIMETER CAULKING
  - STRIPPING OF ALL INTERIOR AND EXTERIOR PAINT
  - EPOXY REPAIR
  - ABATEMENT OF ACM IN PERIMETER CAULKING AND GLAZING COMPOUND
  - PRIME AND TWO COAT FINISHES
  - ALL SASHES TO BE REMOVED AND RESTORED
  - REGLAZING ALL SASHES AND PUTTY GLAZING
  - MASTER FRAMES AND BRICK MOULD TO BE RESTORED
  - ALL SASHES TO BE REBALANCED
  - NEW CHAIN AND RESTORE PULLEYS AND HARDWARE



**EXISTING 3RD AND 4TH FLOOR WINDOW ELEVATION**  
 1  
 A521  
 1\"/>

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|                |     |  |
|----------------|-----|--|
| Drawn          | JMC | <input checked="" type="checkbox"/> Preliminary    |
| Checked        | MK  | <input type="checkbox"/> Construction              |
| Approved       | JS  | <input type="checkbox"/> Record                    |
| Blotpak Number |     | <b>Do not scale</b><br>Use figured dimensions only |

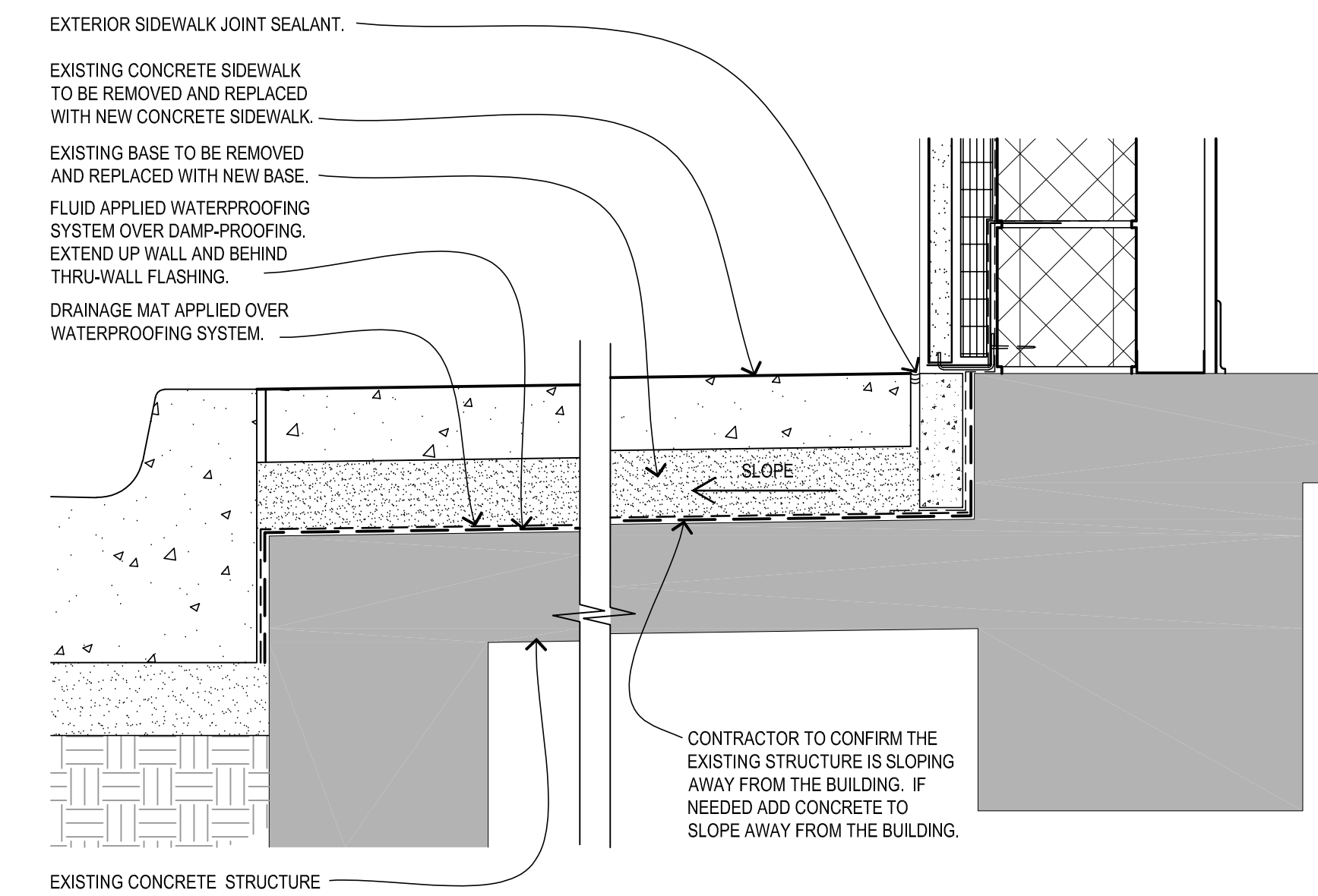
Job Number  
**2018085**

Title  
**SECTION AND DETAILS**

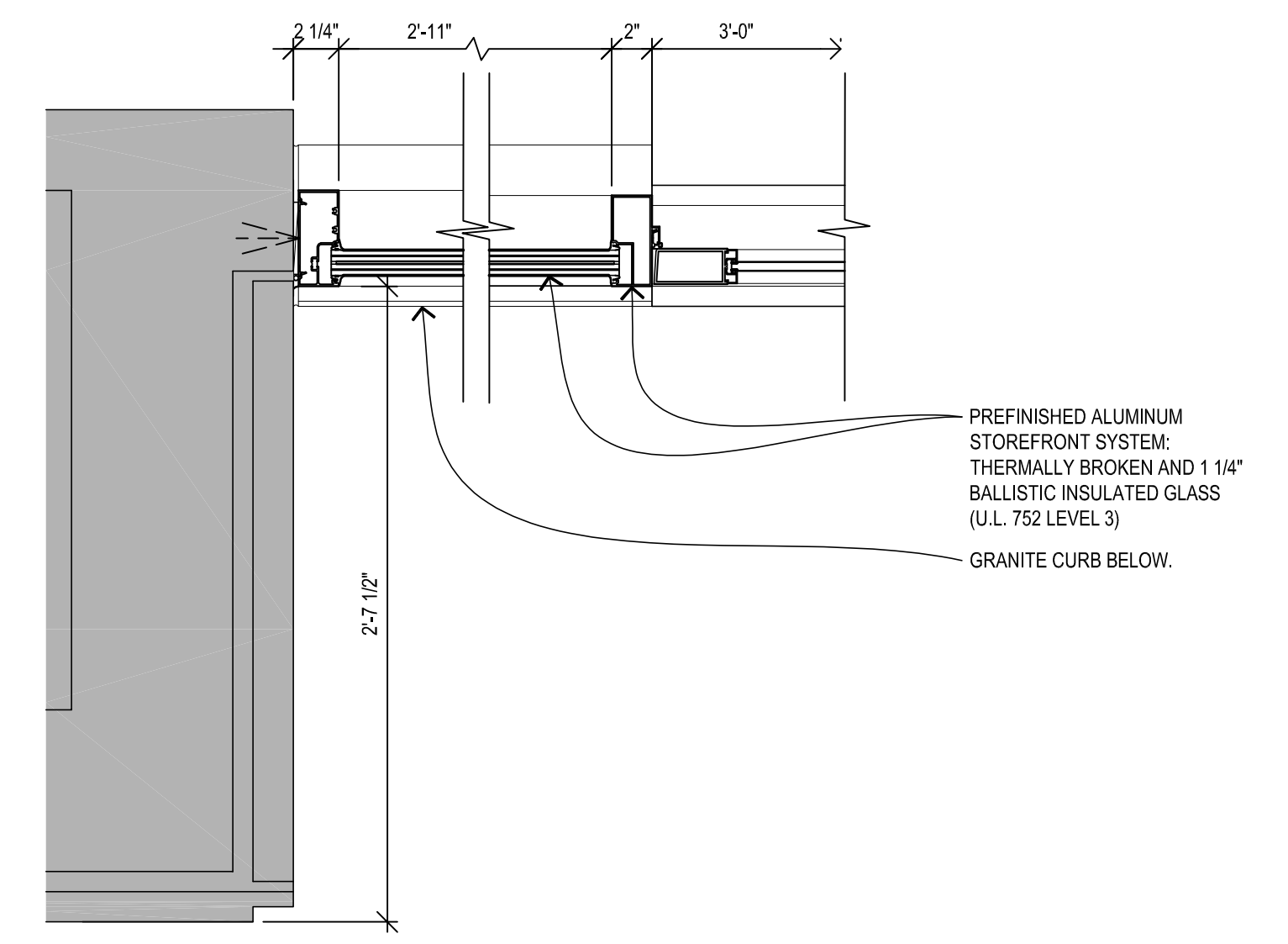
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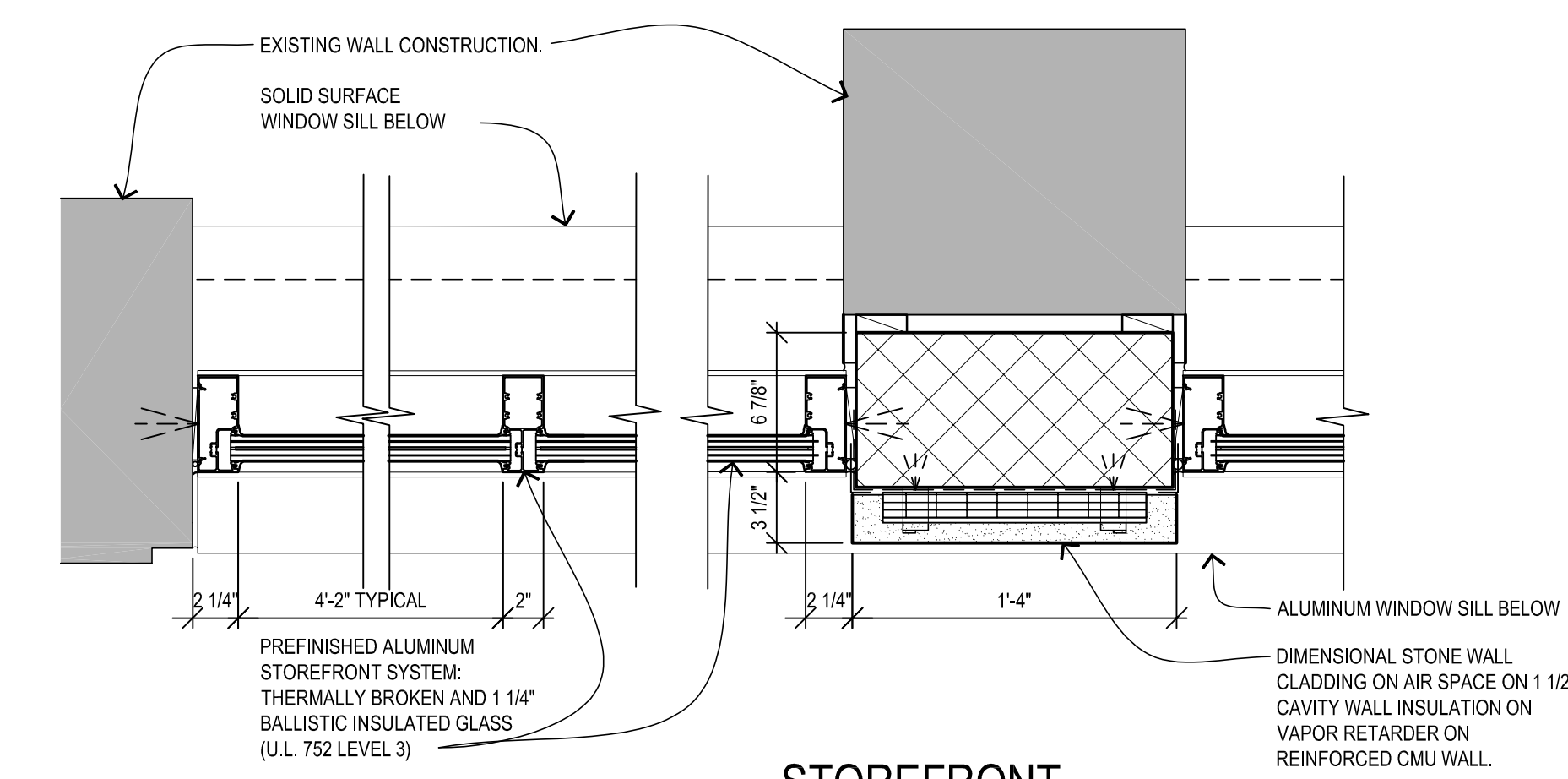
Isaac Agree  
Downtown Synagogue  
1457 Griswold  
Detroit, Michigan



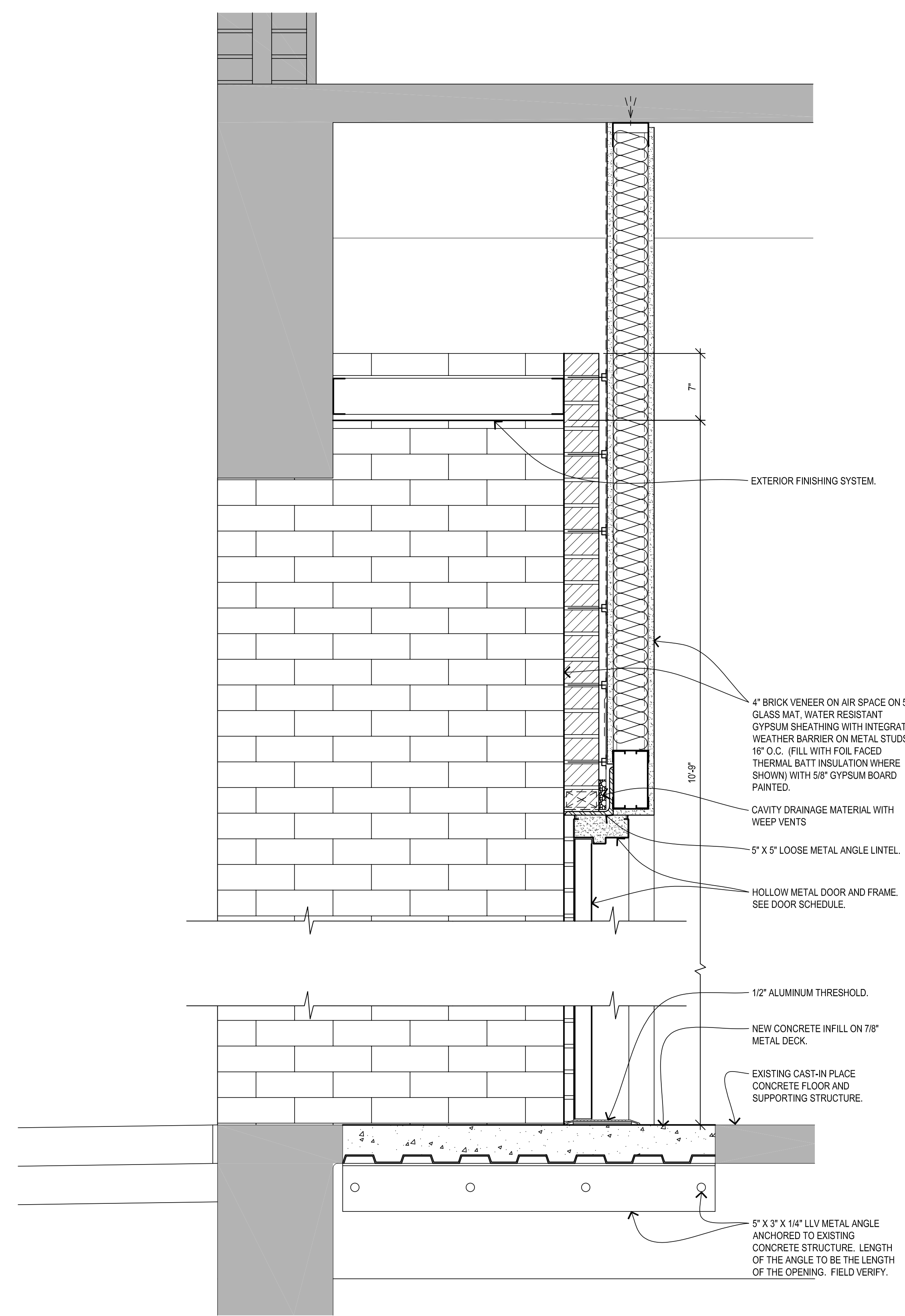
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A100  
STOREFRONT WATERPROOF DETAIL  
1 1/2" = 1'-0"



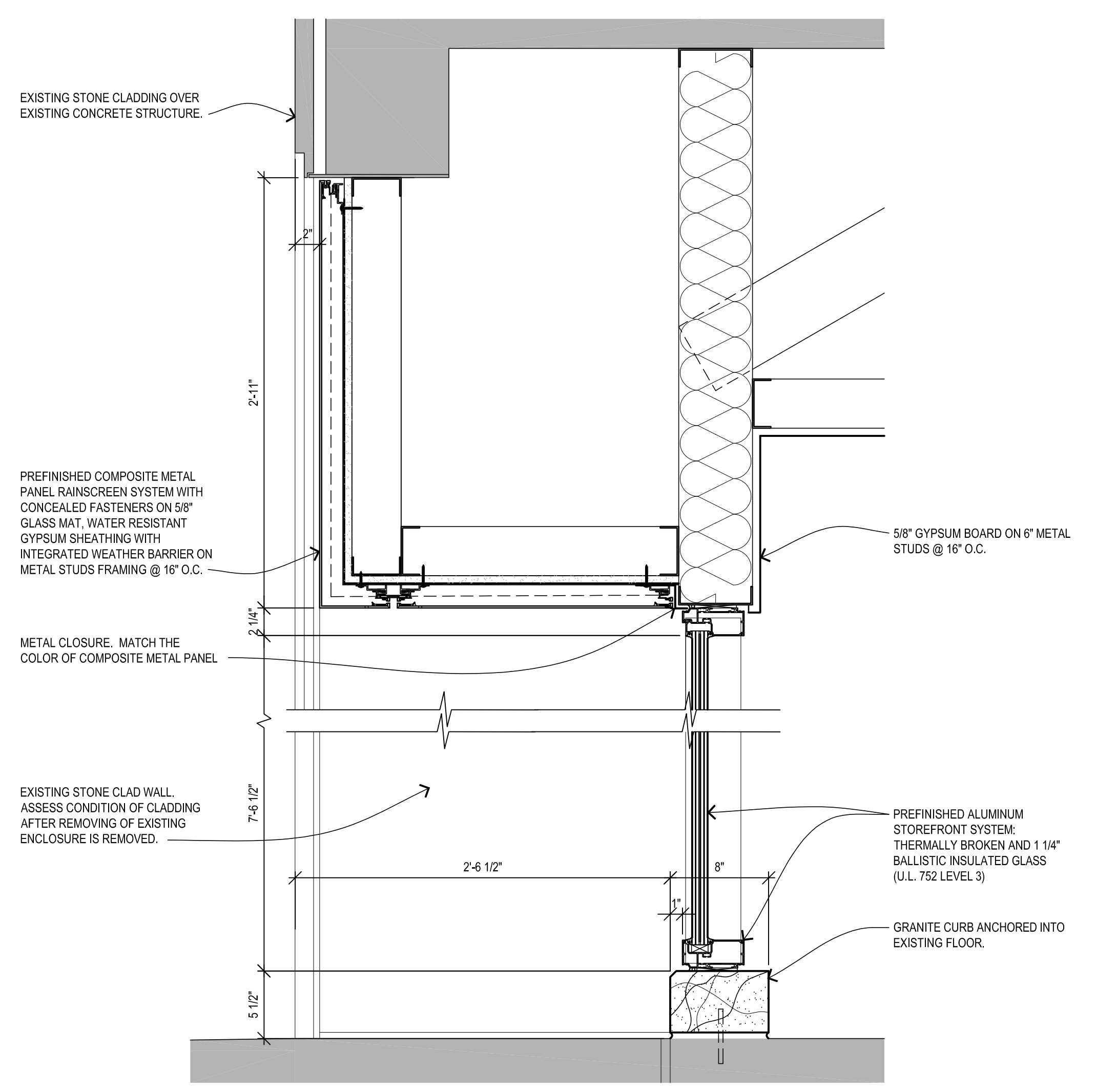
12  
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STOREFRONT WINDOW PLAN  
1 1/2" = 1'-0"



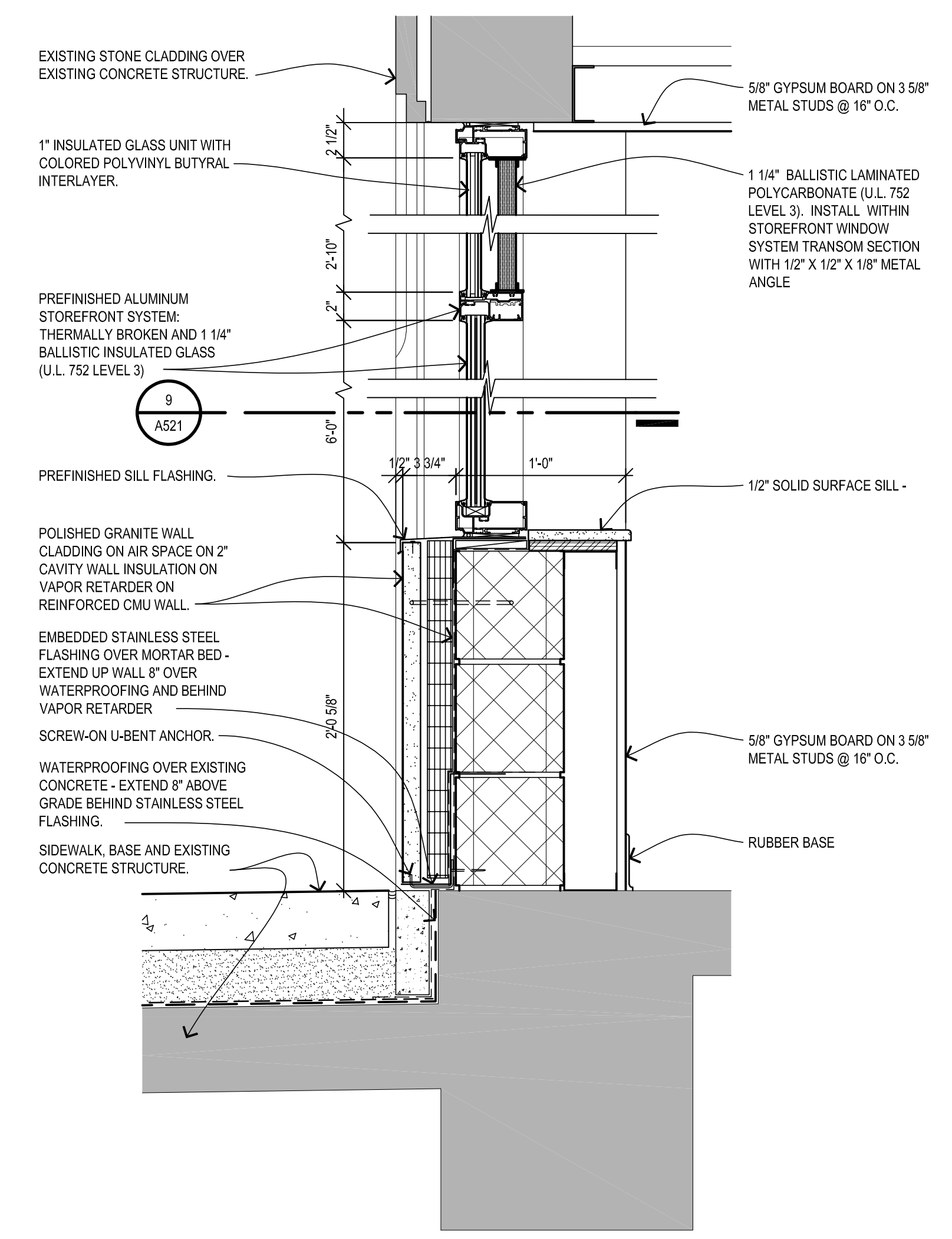
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A100  
STOREFRONT WINDOW PLAN  
1 1/2" = 1'-0"



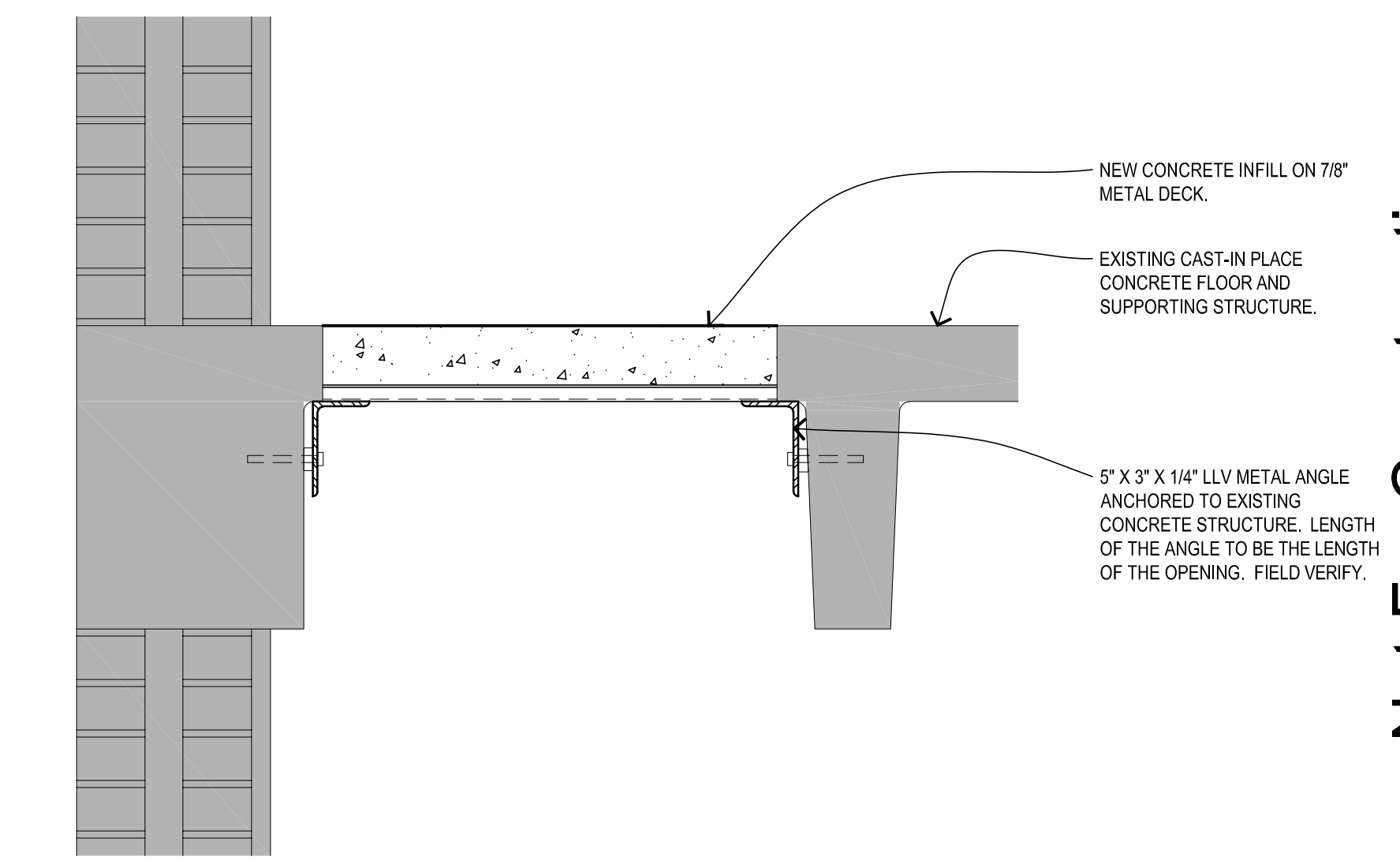
2  
A521  
WALL SECTION  
1 1/2" = 1'-0"



11  
A400  
STOREFRONT WINDOW SECTION  
1 1/2" = 1'-0"



8  
A400  
STOREFRONT WINDOW SECTION  
1 1/2" = 1'-0"



1  
A100  
A101  
A102  
EXISTING FLOOR INFILL  
1 1/2" = 1'-0"

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06-03-2021 75% DESIGN DEVELOPMENT

|                |   |
|----------------|---|
| Drawn          | <input checked="" type="checkbox"/> Preliminary |
| Checked        | <input type="checkbox"/> Construction           |
| Record         | <input type="checkbox"/> Record                 |
| Approved       | <input type="checkbox"/> Approved               |
| Blotpak Number |   |

Job Number  
**2018085**

Title  
**SECTION AND DETAILS**

Sheet  
**A522**

Do not scale  
Use figured  
dimensions only