

November 16, 2021

CERTIFICATE OF APPROPRIATENESS

Ms. Rebecca Kenderes
9710 & 9730 Outer Dr.
Detroit, MI 48223

RE: Application Number 21-7582 and 21-7583; 9710 & 9730 Outer Dr. (15770 Minock); Rosedale Park Historic District

Dear Ms. Kenderes:

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Sections. 21-2-57 and 21-2-73 of the 2019 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA), effective as of November 16, 2021.

Staff finds the exterior work as per the attached drawings, narrative scope, and below-outlined work items meet the defined Elements of Design for the **Rosedale Park Historic District** and the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (36 CFR Part 67):

All listed items refer to both buildings unless noted. See also applicant photos and attachments:

1. Restore the existing masonry (brick), utilizing repointing, tuckpointing, and cleaning as necessary
2. Replace the existing leaky (non-historic) asphalt shingle roof in kind
3. Replace the existing deteriorated wood and steel windows with double hung thermally-broken aluminum windows and install thermally-broken windows at new openings for new Level 00 units
4. Install new accessible ramp and railing at 9730 new accessible entry
5. Replace existing 9710 steel & wood canopy in kind, and install similar new canopy at new 9730 accessible entry; install downspout at both canopies for water mitigation
6. At 9730 front entry, remove & replace existing concrete landing in kind & restore historic light fixture
7. Replace all other light fixtures at entrances with new; install new exterior sconce at new accessible entry; remove building-mounted security lights; install new security lighting at parking lot & ramp
8. Repair existing historic woodwork at front entries of 9710 & 9730
9. Scrape and paint all exterior doors, wood features, and gutters; paint and install new 8"x8" brick vents per res. unit in brick facades (avoid front facade) where brick vent is not already existing.
10. Install new security fence at perimeter of parking lot and ramp with pedestrian swing gate and remote operated vehicular gates; existing sections of fence on-site to remain.
11. Remove & replace narrow gray concrete pathway between buildings with accessible path (5'-0"W)
12. Re-stripe (to 90 degree spaces & (2) accessible spaces) and reconfigure curbs at existing parking lot to match unit count; remove and replace concrete as needed at parking lot to properly grade
13. Repair pathway and sidewalk near 9730 front entry; remedy utility cap trip hazard at 9710 front entry
14. Regrade site to slope away from buildings where necessary; remove existing landscaping in order to regrade and replace with similar
15. Construct new masonry dumpster enclosure to house (3) 2 yd dumpsters to serve both buildings
16. Install (35) condensing units at grade (1 per unit); install metal panel enclosure to secure and screen ten (10) condensing units to service 9710; install ACBAndit (or similar) security cages at remaining condensing units and plant living screens around each condensing unit cluster
17. Restore any disturbed areas with lawn; remove two (2) trees to accommodate ramp, install parking lot & site deciduous trees (Red Sunset Maple, Autumn Brilliance Serviceberry, American Hophornbeam); other new plantings (crosshatch) include shrubs (Annabelle Hydrangea, Kelseyi Dwarf Dogwood, Dense Yew, Hicks Yew) and perennials (Happy Returns Daylily, Pardon Me Daylily, Russian Sage)

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:

A handwritten signature in black ink, appearing to read "D. Rieden". The signature is fluid and cursive, with a prominent initial "D" and a long, sweeping underline.

Daniel Rieden

Staff

Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS(ES): _____ AKA: _____

PARCEL ID: _____ HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Walls/ Siding	<input type="checkbox"/> Painting	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/Deck/ Balcony	<input type="checkbox"/> Addition
<input type="checkbox"/> Demolition	<input type="checkbox"/> Signage	<input type="checkbox"/> New Building	<input type="checkbox"/> Major Alteration <i>(3+ scope items)</i>	<input type="checkbox"/> Site Improvements <i>(landscape, trees, fences, patios, etc.)</i>	

BRIEF PROJECT DESCRIPTION: _____ The renovation seeks to celebrate the historic occupancy and features of these two buildings, while increasing functionality and introducing accessibility. _____

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: Grandmont Rosedale Park Collective

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: becki@grandmontrosedale.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

Completed Building Permit Application
(highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Current Photographs: Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____
 AKA: _____ Lot(s): _____ Subdivision: _____
 Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____
 Current Legal Use of Property: _____ Proposed Use: _____
 Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
 Foundation Only Change of Use Temporary Use Other: _____
 Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
 Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____
 Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____
 Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____
 Zoning District: _____ Zoning Grant(s): _____
 Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____

Driver's License #: _____ Email: _____

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.





Nicole Fricke <nicole@intotostudio.com>

9710 & 9730 W Outer Dr - Upcoming HCD Submission

7 messages

Nicole Fricke <nicole@intotostudio.com>

Wed, Aug 4, 2021 at 4:22 PM

To: rossj@detroitmi.gov

Cc: Benjamin Ellefson <ben@intotostudio.com>, Christoph Ibele <christoph@intotostudio.com>

Good Afternoon Jennifer,

We are working on a renovation project in the Rosedale Park Historic District with the Grandmont Rosedale Park Collective and are looking to submit a project review request on August 16th to the Historic District Commission.

The renovation revolves around two multifamily residential buildings, 9710 and 9730 W Outer Dr. The occupancy isn't changing and most renovations will occur in the interiors. Exterior renovations consist of window replacement, exterior lighting fixture replacement, and brick restoration. A couple existing units are being retrofitted into accessible units which necessitate the addition of a ramp at the back of 9730 W Outer Dr.

Kristine Kidorf is consulting on this project as we are pursuing historic tax credits. We've had a preliminary meeting with Robb from SHPO to review the design as well.

We're wondering if you could please let us know what we'll need to provide along with the project review request. It would be great to have a conference call to discuss. Please let us know of your availability.

Thank you very much!

--

NICOLE FRICKE

(313)400-6419

nicole@intotostudio.com

www.intotostudio.com

Jennifer Ross <rossj@detroitmi.gov>

Thu, Aug 5, 2021 at 3:48 PM

To: Nicole Fricke <nicole@intotostudio.com>

Cc: Benjamin Ellefson <ben@intotostudio.com>, Christoph Ibele <christoph@intotostudio.com>, "Historic District Commission (Staff)" <hdc@detroitmi.gov>

Hi Nicole,

Thanks for reaching out. The following info is required for your application.

-Completed HDC Project Review Request Form. Specifically, please complete the top two sections on page 1 and complete the highlighted portions of pages 2 and 3. Also please provide the info outlined in the checklist at the bottom of page 1:

https://detroitmi.gov/sites/detroitmi.localhost/files/forms/2021-07/01_HDC%20Project%20Review%20Request.pdf.

-For the windows which are proposed for replacement, please provide the following:

Photos - PDF or JPEG:

From: [Christoph Ibele](#)
To: [Dan Rieden](#)
Cc: [Nicole Fricke](#)
Subject: [EXTERNAL]Re: [EXTERNAL]Re: HDC: 9710 & 9730 W Outer Dr
Date: Thursday, October 28, 2021 6:07:54 PM

Hi Dan,

- Question 1: by split we mean that the sill has completely separated - that it has split through. Fissure means that there are deep grooves in the sill that have opened up along the grain at least 0.125" wide and 0.25" deep, but that the sill has not yet split through completely
- Question 2: as far as I can tell, the only existing replacement is window S16, Type O1, which is a mulled unit on the east (Outer Dr) elevation of 9730 at the garden level. So in other words, 9710 (which is 60% wood and 40% steel) is 100% original windows; 9730 (which is 100% steel) is 100% original windows on the north, west and south elevations, and 96% original windows on the east (Outer Dr) elevation
- Questions 3 and 5: the products we're proposing are used regularly for historic projects, and some of the required profiles (brick mould, muntin, mullion, etc), require a proposed custom die. So we're still waiting for a drawing of these custom profiles to be created - I can provide these drawings as soon as they're available. In the meantime I've added exterior views of the base products on pages 13, 14 and 16. Not all sections will not be 1 over 1; they will match the existing muntin patterning shown on the Window Types & Schedules sheet (A4.0.1), p262 of the document. Muntins will be 3-part simulated divided lites (SDL) with an external muntin bar on both the outside and inside of the window
- Question 4: please see link below to updated pdf - hopefully this clears up the confusion
- Question 6: we intend to replace mullions with factory-mulled units to help ensure the best possible fit and thermal performance

Here is the link to download the revised file:

<https://we.tl/t-tlEgFP7sBB>

Any questions feel free to let me know
Thanks,

Christoph Ibele
intotostudio.com
313-474-2758

On Tue, Oct 26, 2021 at 1:11 PM Nicole Fricke <nicole@intotostudio.com> wrote:

Good Afternoon Dan,

We've received your requests for further information and will respond by the end of the day Thursday.

Thank you,

On Tue, Oct 26, 2021 at 12:54 PM Dan Rieden <riedenda@detroitmi.gov> wrote:

Good morning Nicole,

We have a few questions after an initial review. Most of these questions refer to the PDF titled "HDC supporting docs".

- Can you define the difference between "split" and "fissure" as cited on page 11.
- Please provide a list of what percentage of windows are original, per building, per elevation. Please break it down by original wood windows and original metal windows. We'd like to have a total of what is the total number of original windows per building.
- Please provide an exterior view of the proposed windows, particularly those that match the sill detail on page 13. This can be a catalogue image that matches what is being proposed.
- Page 15 is an example where some headers don't appear to match the content. The header says "wood" the content says "steel". Also, not clear on the existing vs proposed sections on the steel drawing. Need clear labels. So as to not confuse the Commission, please review the document for these labels, correct and resend PDF.
- These section profiles appear to be missing the muntins and mullions. We'd like to see the existing and proposed profiles for these too. All sections appear to be 1 over 1... is this true?
- With regards to mullions, are you retaining existing mullions or replacing them as a factory mullion unit, as might be shown in B1 on page 261. Please clarify.

These are the questions we have to date, would you be able to respond by end of day Thursday?

Thank you!

Daniel Rieden PLA/ASLA

Lead Landscape Architect | Historic Preservation Team

Planning & Development Department | City of Detroit

Coleman A. Young Municipal Center, 2 Woodward Avenue, Suite 808, Detroit, MI 48226

Phone: 313.224.1357

Email: riedenda@detroitmi.gov

Website: Detroitmi.gov/pdd

Michael E. Duggan, Mayor

In order to ensure your safety and ours during the COV-ID 19 pandemic, the Historic Preservation Team will be working remotely.

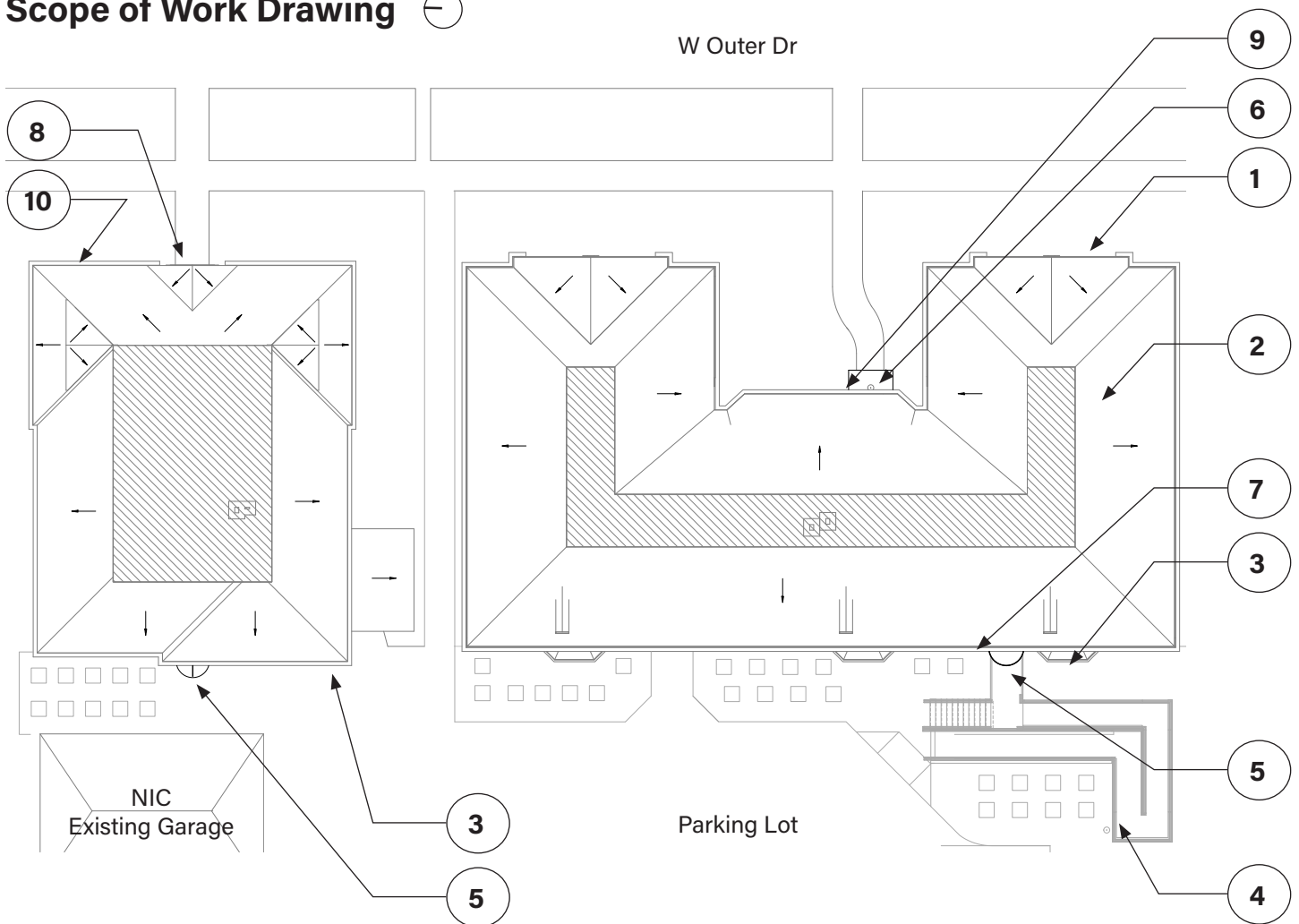
Description of Project_Permit Work List

This project a rehabilitation being undertaken by Grandmont Rosedale Park Collective. The goal of the project is to celebrate the historic presence, features, and use of the buildings, while updating systems, increasing functionality, and introducing accessibility.

The scope of work includes the following; notes pertain to both buildings U.N.O:

1. Restore the existing masonry (brick), utilizing repointing, tuckpointing, and cleaning as necessary
2. Replace the existing leaky (non-historic) asphalt shingle roof in kind
3. Replace the existing deteriorated wood and steel windows with double hung thermally-broken aluminum windows and install thermally-broken windows at new openings for new Level 00 units
4. Install new accessible ramp and railing at 9730 new accessible entry
5. Replace existing 9710 steel & wood canopy in kind, and install similar new canopy at new 9730 accessible entry; install downspout at both canopies for water mitigation
6. At 9730 front entry, remove & replace existing concrete landing in kind & restore historic light fixture
7. Replace all other light fixtures at entrances with new; install new exterior sconce at new accessible entry; remove building-mounted security lights; install new security lighting at parking lot & ramp
8. Repair existing historic woodwork at front entries of 9710 & 9730
9. Scrape and paint all exterior doors, wood features, and gutters; paint and install new 8"x8" brick vents per res. unit in brick facades (avoid front facade) where brick vent is not already existing

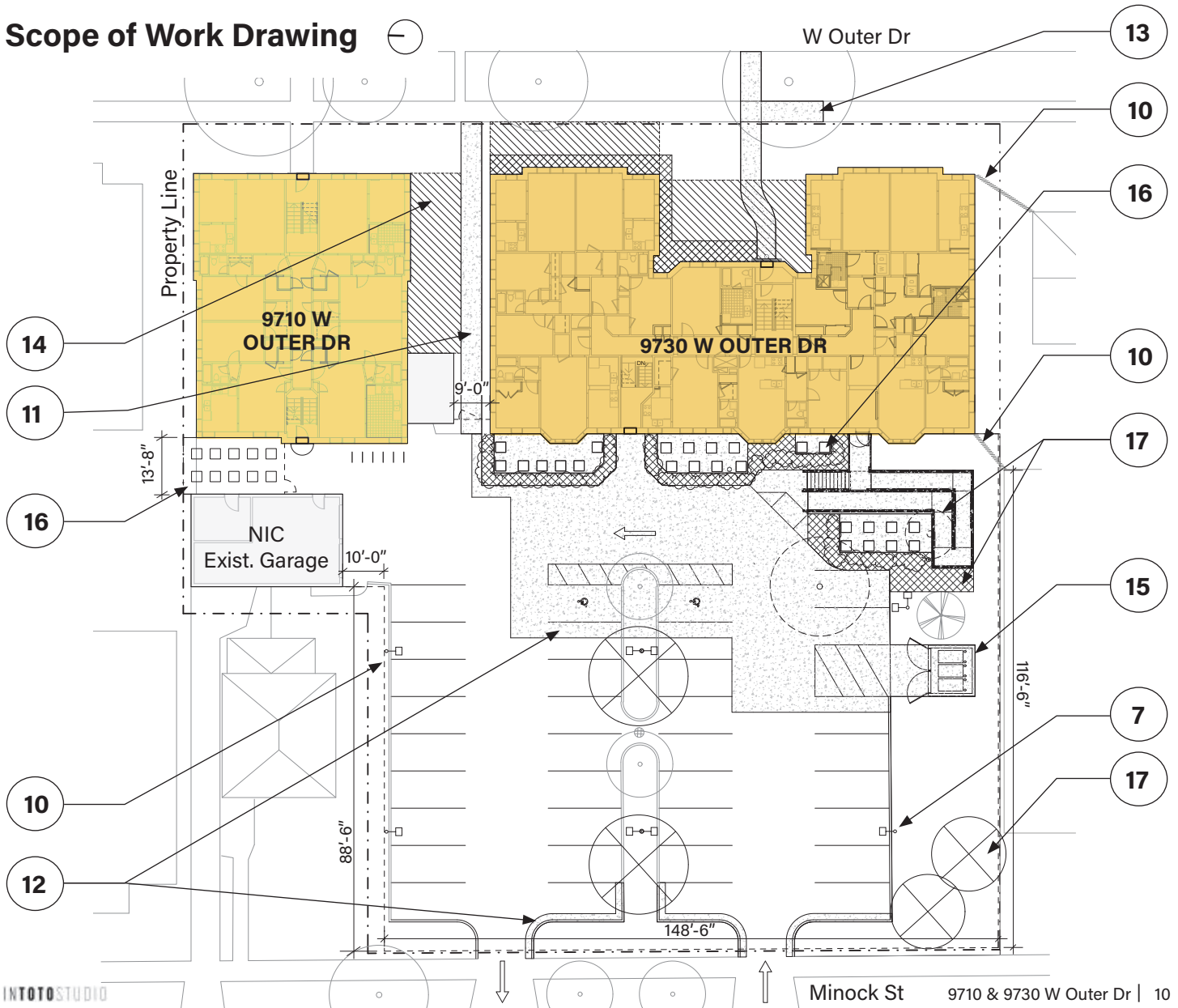
Scope of Work Drawing



Description of Project Cont_Permit Work List

10. Install new security fence at perimeter of parking lot and ramp with pedestrian swing gate and remote operated vehicular gates; existing sections of fence on-site to remain
11. Remove & replace narrow gray concrete pathway between buildings with accessible path (5'-0"W)
12. Re-stripe (to 90 degree spaces & (2) accessible spaces) and reconfigure curbs at existing parking lot to match unit count; remove and replace concrete as needed at parking lot to properly grade
13. Repair pathway and sidewalk near 9730 front entry; remedy utility cap trip hazard at 9710 front entry
14. Regrade site to slope away from buildings where necessary; remove existing landscaping in order to regrade and replace with similar
15. Construct new masonry dumpster enclosure to house (3) 2 yd dumpsters to serve both buildings
16. Install (35) condensing units at grade (1 per unit); install metal panel enclosure to secure and screen (10) condensing units to service 9710; install ACBandit (or similar) security cages at remaining condensing units and plant living screens around each condensing unit cluster
17. Restore any disturbed areas with lawn; remove (2) trees to accommodate ramp, install parking lot & site deciduous trees (Red Sunset Maple, Autumn Brilliance Serviceberry, American Hophornbeam); other new plantings (crosshatch) include shrubs (Annabelle Hydrangea, Kelseyi Dwarf Dogwood, Dense Yew, Hicks Yew) and perennials (Happy Returns Daylily, Pardon Me Daylily, Russian Sage)

Scope of Work Drawing



Detailed Scope of Work

Existing Wood Window Replacement

See Appendix for Window Assessment from Blackberry



9710 W Outer Dr existing conditions, wood windows

9710 W Outer Dr Existing Wood Windows
Wood construction with steel lintels and stone sills, *highlighted in red*, save for bathroom and Level 00 windows of steel construction.

Cause for Replacement

- Some exterior sills are split, allowing water to enter the building envelope
- The majority of sills are fissured, causing dry rot and material breakdown
- The operability of the windows ranges from inconsistent to very difficult
- They use a tape balance system that is not readily replaced without potential damage to the master frame
- The jamb liner/weatherstrip is in poor conditions and is not a product that is available for replacement
- All windows require re-glazing with new glazing compound, and existing material is unable to be removed without damage to the sashes and breaking the glass
- The glazing compound is falling out and breaking down on all sashes
- The paint is peeling
- The caulking is failing and falling out
- The storm windows are in poor condition with many broken track guides and failing corner joinery, allowing water to get trapped on the exterior sills, and dry rot and decay in 30-40% of the openings
- A true restoration process is not able to be implemented for these windows. Painting and Glazing Repair can be done; however, this approach does not address the described window issues.

Replacement Method

- All existing window components to be removed and disposed of; abatement may be required. Wood blocking to be set in the jamb cavity to fill the weight box void.
- New windows to be set with exterior aluminum brickmould and sill components replicating historic exterior casework. New Double Hung or Single Hung windows would be set and fastened in place. Prior to this install all cavities would be insulated.
- Windows would be cleaned, adjusted, and the perimeter caulked at the masonry intersection. New casework would be installed and finished.

Cost Estimate Comparison (all windows)

- Replacement:
\$94k [wood] + \$45k [9710 steel] + \$261k [9730 steel]
+ \$19k [new openings] + \$10k [repair fixed decorative windows]
= **\$429,000** [total]
- Paint & Glazing Repair:
\$49.5k [wood] + \$37k [9710 steel] + \$165k [9730 steel]
+ \$19k [new openings] + \$10k [repair fixed decorative windows]
= **\$280,500** [total]

* Note: Cost estimate includes material, tax on material, labor (non-union, non-prevailing wage), employment cost, insurance, staging, shop drawings & supervision. Cost estimate does NOT include new casework or associated painting in replacement est; neither interior painting, balance repair, or new storms in painting & glazing repair

Detailed Scope of Work

Existing Steel Window Replacement

See Appendix for Window Assessment from Blackberry



9710 W Outer Dr existing conditions, steel windows

9710 & 9730 W Outer Dr Existing Steel Windows
Steel construction set in wood framed, masonry opening with stone sills, *highlighted in red*; include all bathroom, Level 00, & 9730 windows.

Cause for Replacement

- The weather stripping is rusted and the tape balancers are typically bent, crimped, or torn, making the operation and sash movement stiff and resistant
- There isn't a tight seal at the points of weatherstripping between the sash and master frame causing air infiltration and condensation, which has caused corrosion on the interior painted surfaces
- The exterior paint is worn, peeling, and/or allowing rust and corrosion to bleed thru to the surface
- The butt joint tubular steel framing has mild-to-heavy corrosion at the exterior sill, the sash, and frame joinery
- The storm windows have many broken track guides and failing corner joinery, trapping water on the exterior sill creating rust and corrosion
- The glazing compound is falling out and failing on all sashes
- The exterior perimeter caulking is failing and coming loose from the masonry
- The locks are bent/broken in over 80% of all windows
- These windows do not lend themselves to restoration, as the components are in poor condition and no replacement parts are available; leaving the sashes in place will not resolve the described issues

Replacement Method

- All existing window components to be removed and disposed of; abatement may be required. Wood blocking to be set in the jamb cavity.
- Repair fixed decorative windows in the common area stairs wells only.
- New windows to be set directly in the masonry openings and anchored to the wood blocking. Prior to this installation all voids would be insulated.
- Interior plaster returns to be repaired.
- Perimeter caulking to be applied on the interior and exterior, and windows to be cleaned and adjusted.

Cost Estimate Comparison (all windows)

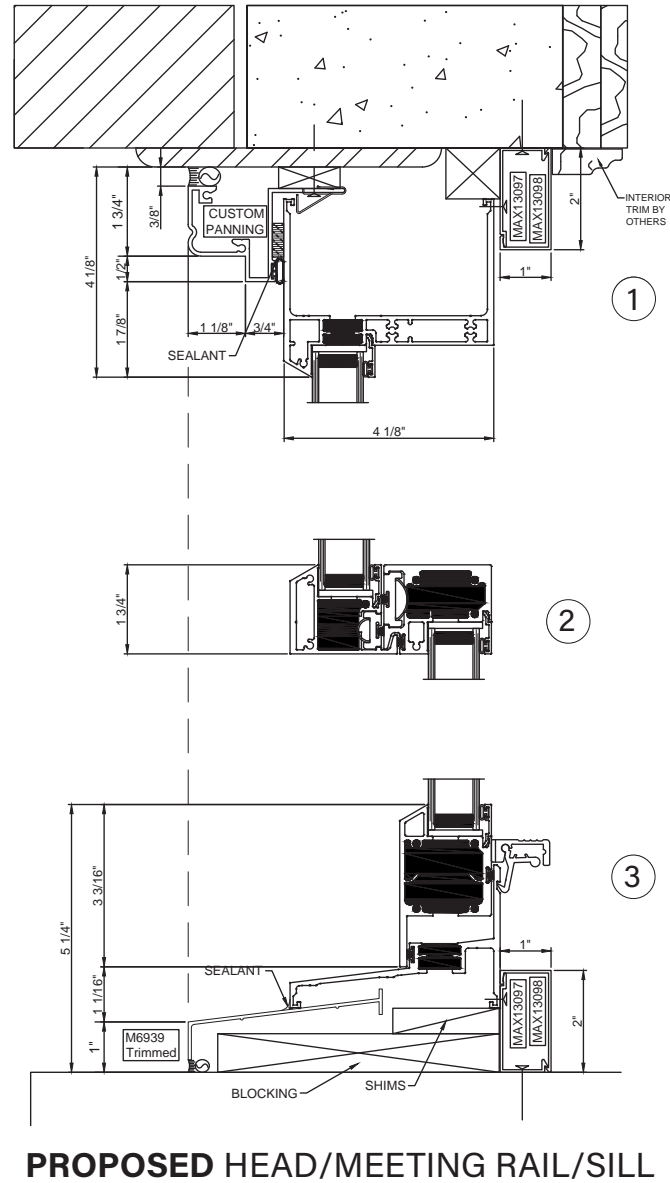
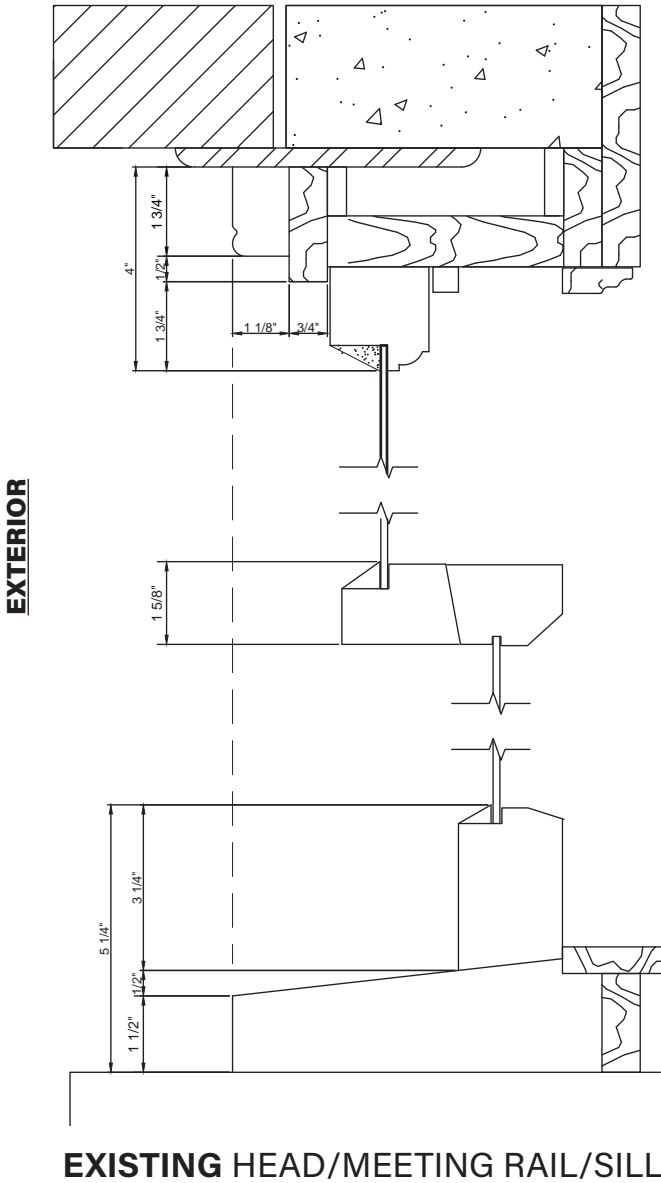
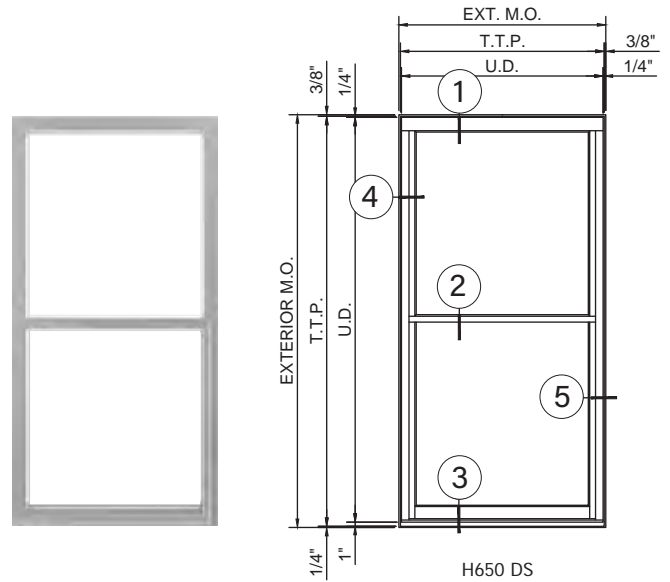
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- Paint & Glazing Repair:
\$49.5k [wood] + \$37k [9710 steel] + \$165k [9730 steel]
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= **\$280,500** [total]

* Note: Cost estimate includes material, tax on material, labor (non-union, non-prevailing wage), employment cost, insurance, staging, shop drawings & supervision. Cost estimate does NOT include new casework or associated painting in replacement est; neither interior painting, balance repair, or new storms for painting & glazing repair est.

Existing Wood Window Replacement

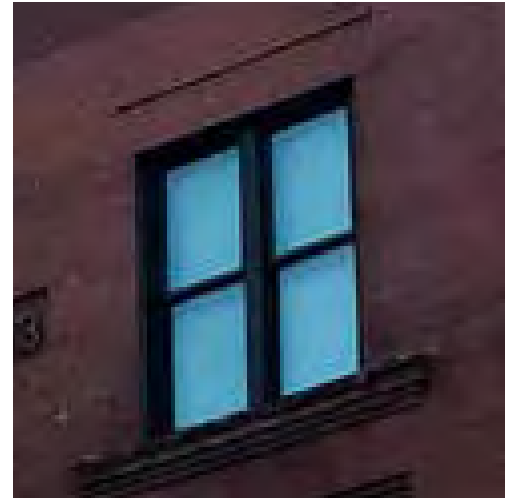
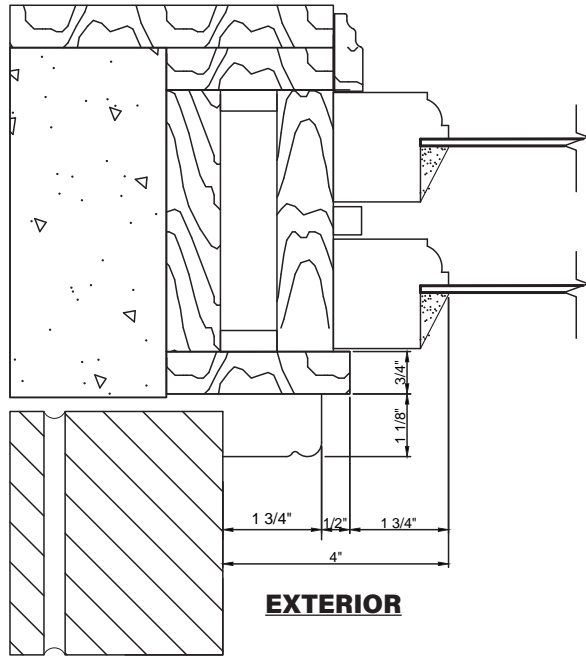
Existing & Proposed Details

Proposed wood window replacement: Quaker H650 DS, thermally-broken aluminum window with custom brick mould, muntins (3-part SDL, pattern to match existing) and mullions (where applicable). This approach will provide a well-functioning, energy efficient replication of the original windows.



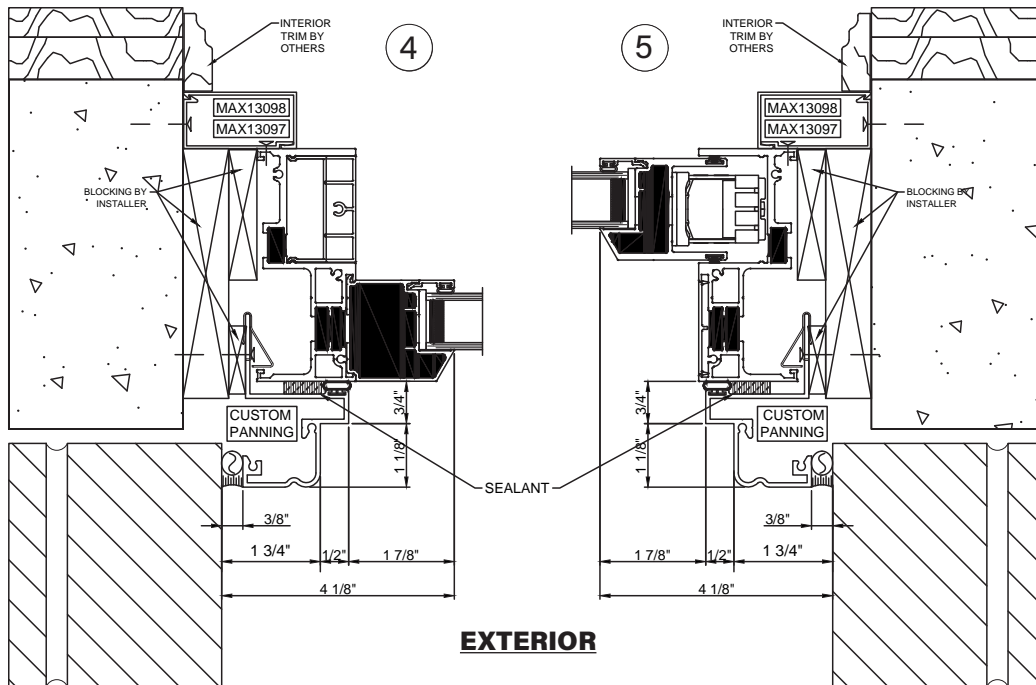
Existing Wood Window Replacement

Existing & Proposed Details Cont.



Exterior view, Quaker Series H650 (Asteri Apts, Utica NY)

EXISTING JAMB

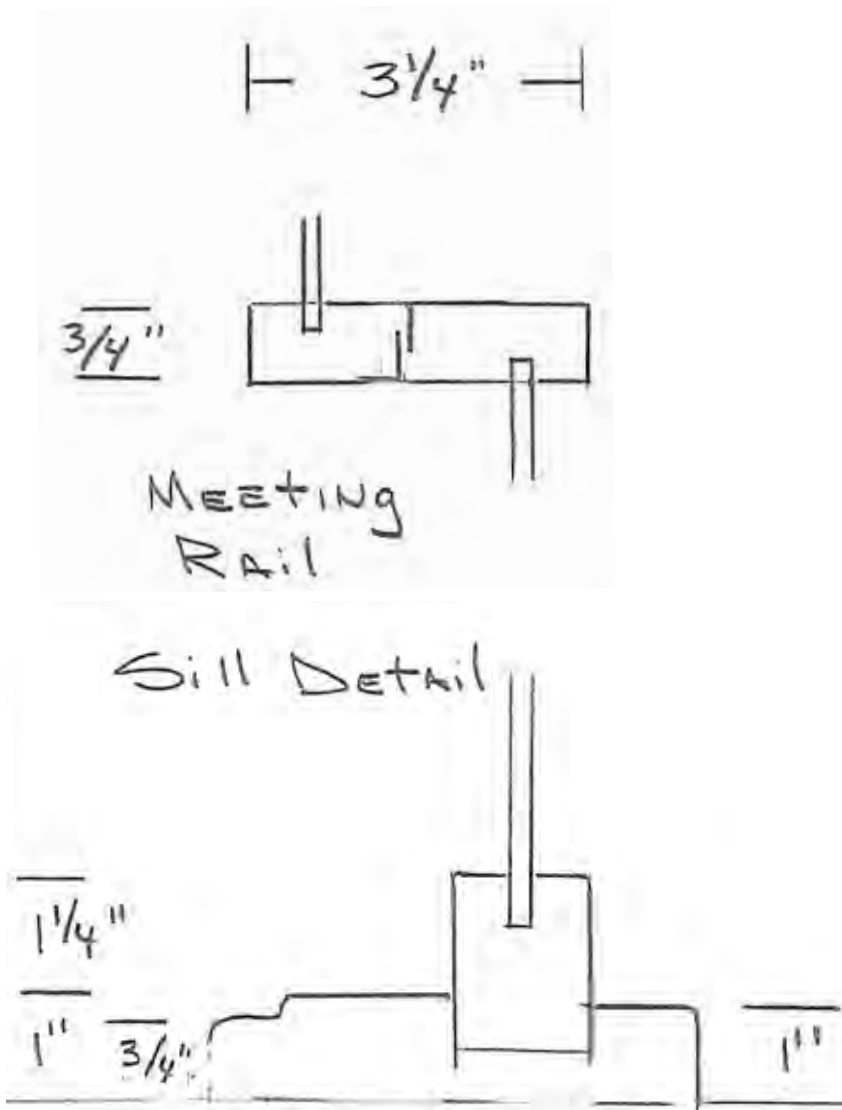


PROPOSED JAMB

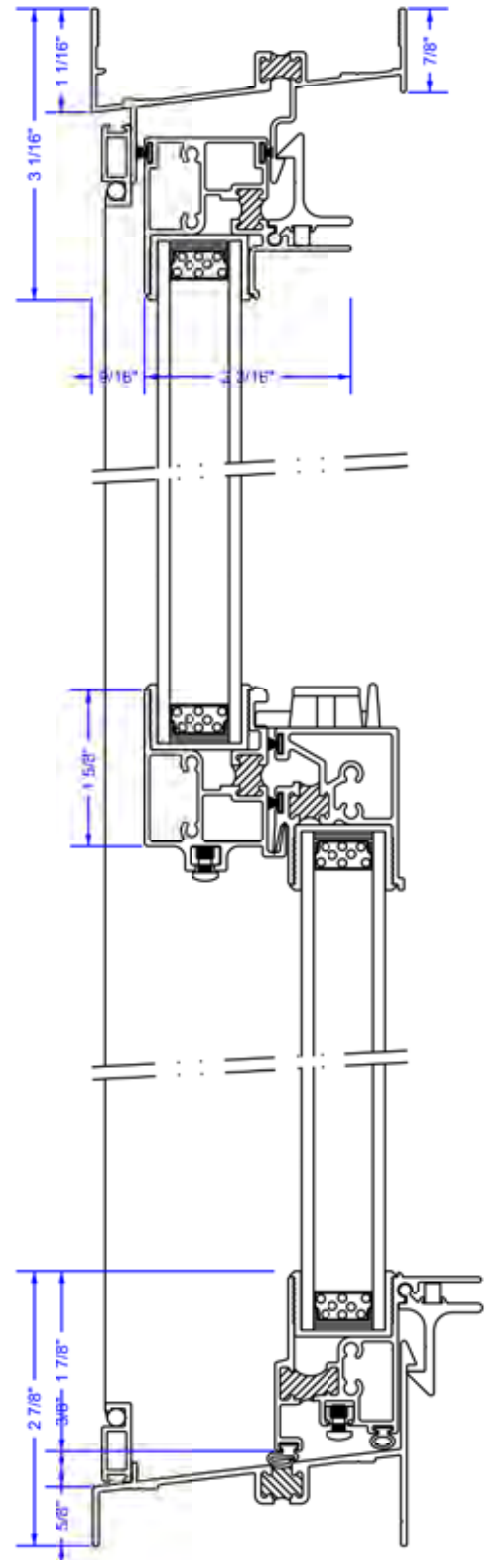
Existing Steel Window Replacement

Existing & Proposed Details

Proposed steel window replacement:
 Thermal Windows, Inc. Series 700 double hung
 thermally broken aluminum window with custom
 brick mould, muntins (3-part SDL, pattern to
 match existing) and mullions (where applicable).
 This approach will provide a well-functioning,
 energy efficient replacement of the original
 windows with the closest available profile to
 existing. See appendix.



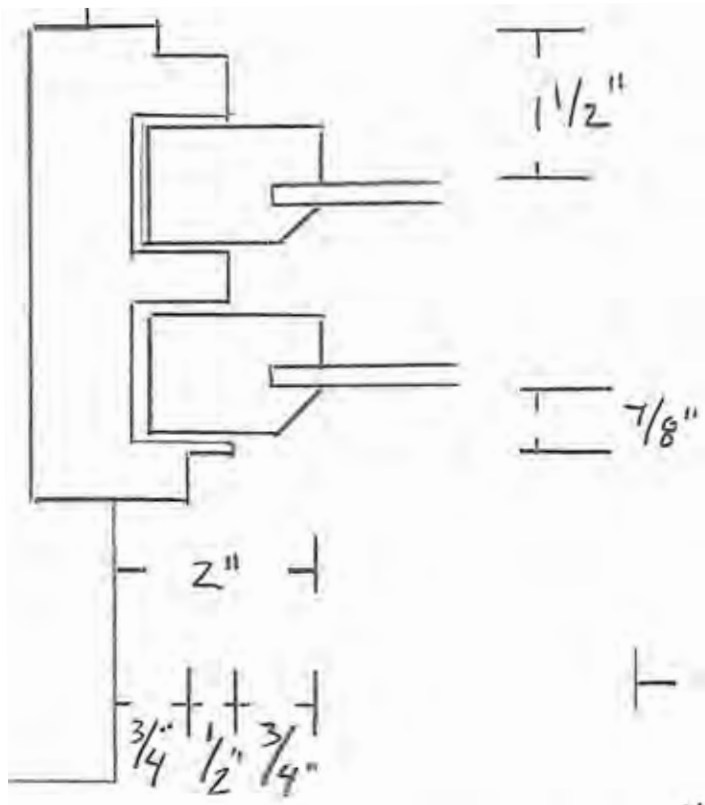
EXISTING HEAD/MEETING RAIL/SILL



PROPOSED HEAD/MEETING RAIL/SILL

Existing Steel Window Replacement

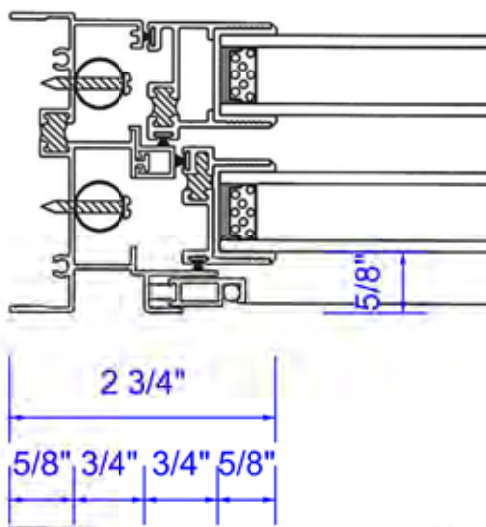
Existing & Proposed Details Cont.



EXISTING JAMB



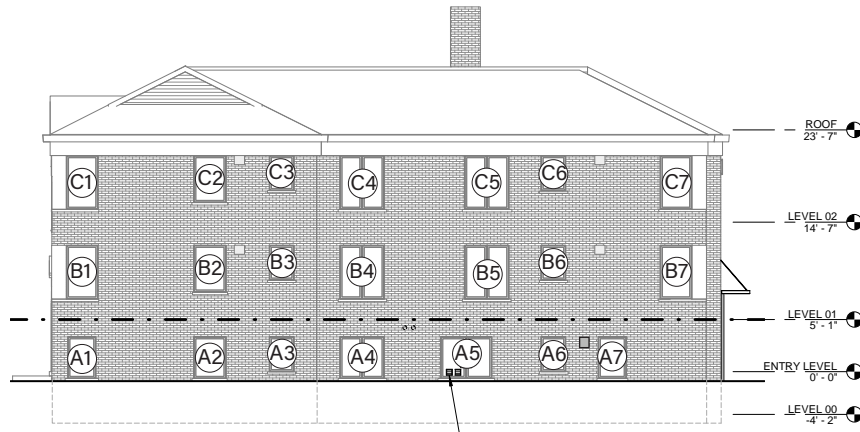
Exterior view, Thermal Windows Series 700
(Palace Apts, Tulsa OK)



PROPOSED JAMB

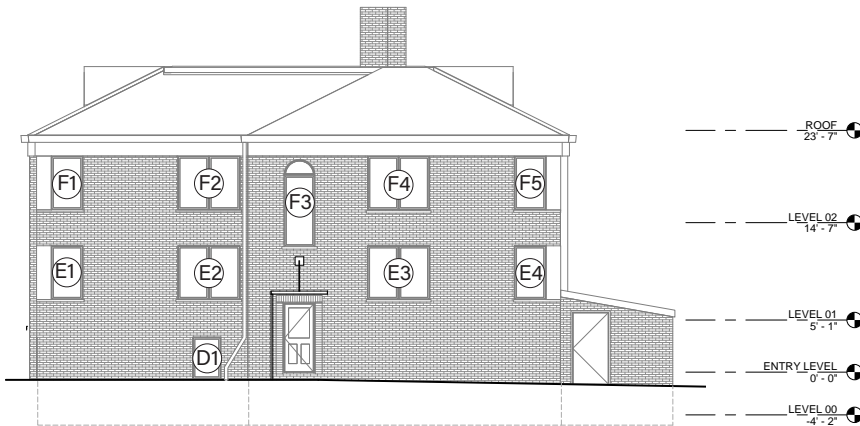
Window Replacement

9710 W Outer Dr Elevations - Existing + New



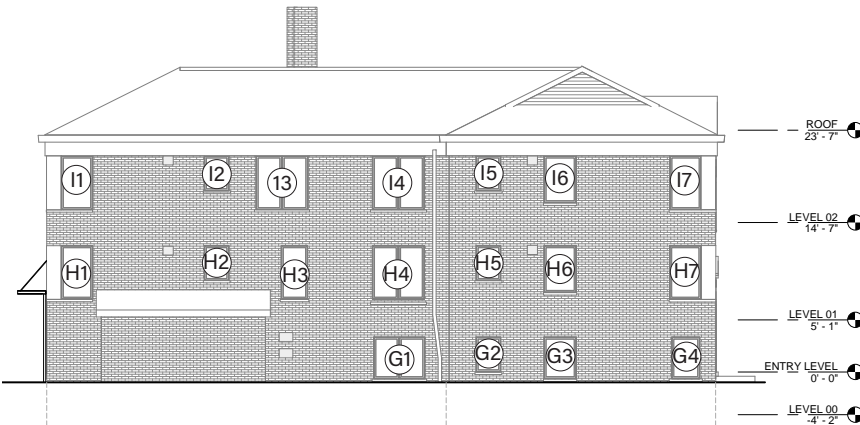
North Elevation

- All existing wood and steel windows to be replaced
- All window locations to remain as existing
- No new window openings
- New louvered dryer vents at A5 for new W/D at Laundry
- Existing brick vents to remain & new vent added for mech.



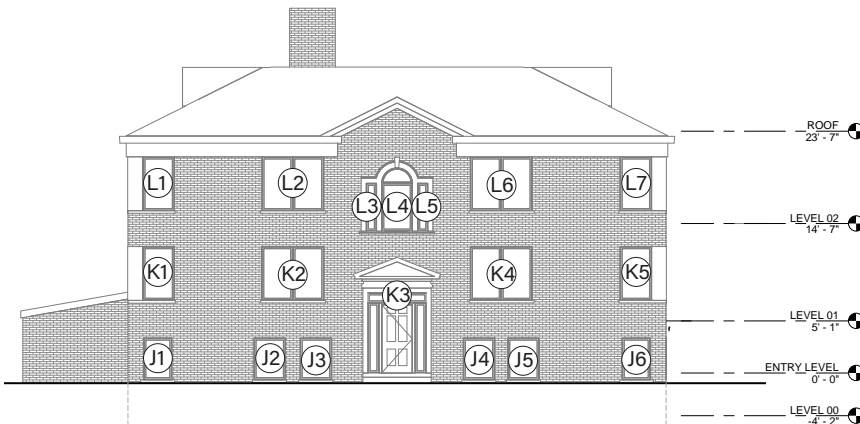
West Elevation

- All existing wood and steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- All window locations to remain as existing
- No new window openings



South Elevation

- All existing wood and steel windows to be replaced
- All window locations to remain as existing
- No new window openings
- Existing brick vents to remain

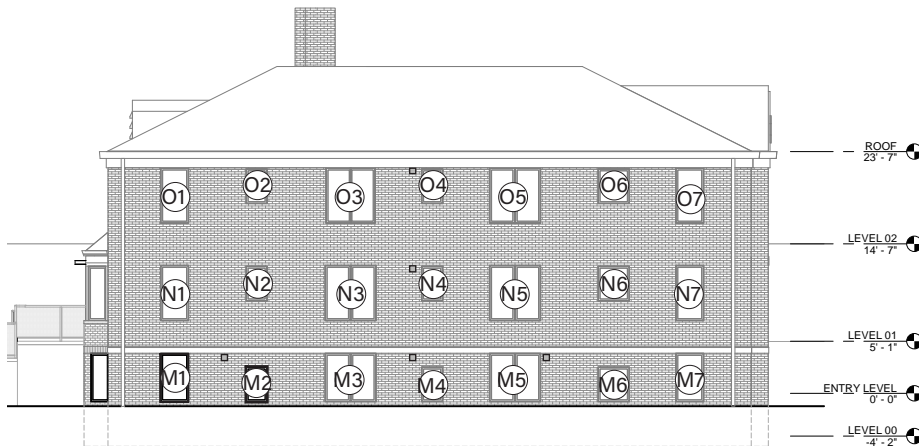


East Elevation

- All existing wood and steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- All window locations to remain as existing
- No new window openings

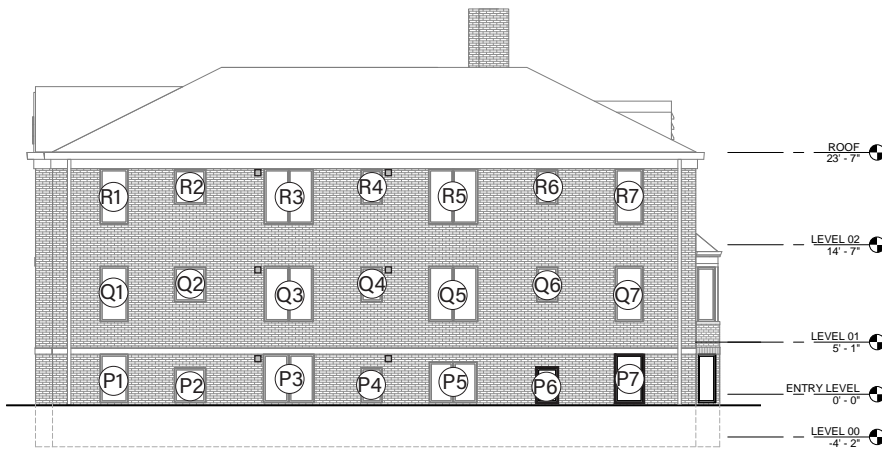
Window Replacement

9730 W Outer Dr Elevations - Existing + New



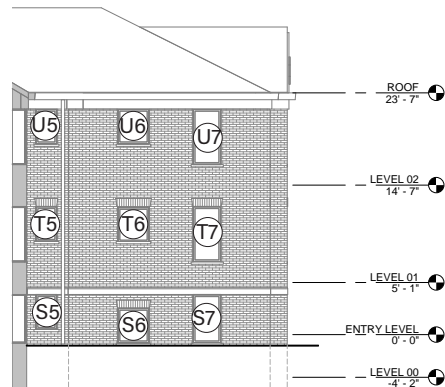
South Elevation

- All existing steel windows to be replaced & existing window locations to remain
- New window openings at M1 & M2 at existing masonry wall (see photos, pg 3) Remove existing masonry for openings
- New brick vents installed



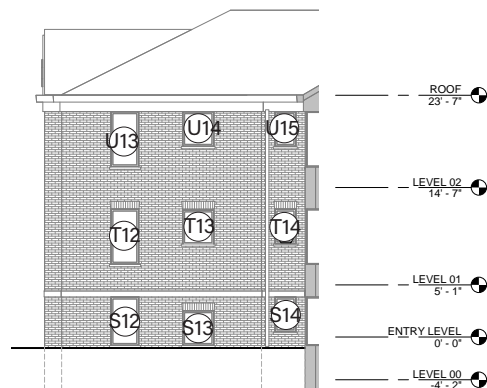
North Elevation

- All existing steel windows to be replaced & existing window locations to remain
- New window openings at P6 & P7 at exist. masonry wall (see photos, pg 3)
- Remove existing masonry to create openings
- New brick vents installed



South Courtyard Elevation

- All existing steel windows to be replaced & existing window locations to remain
- No new window openings

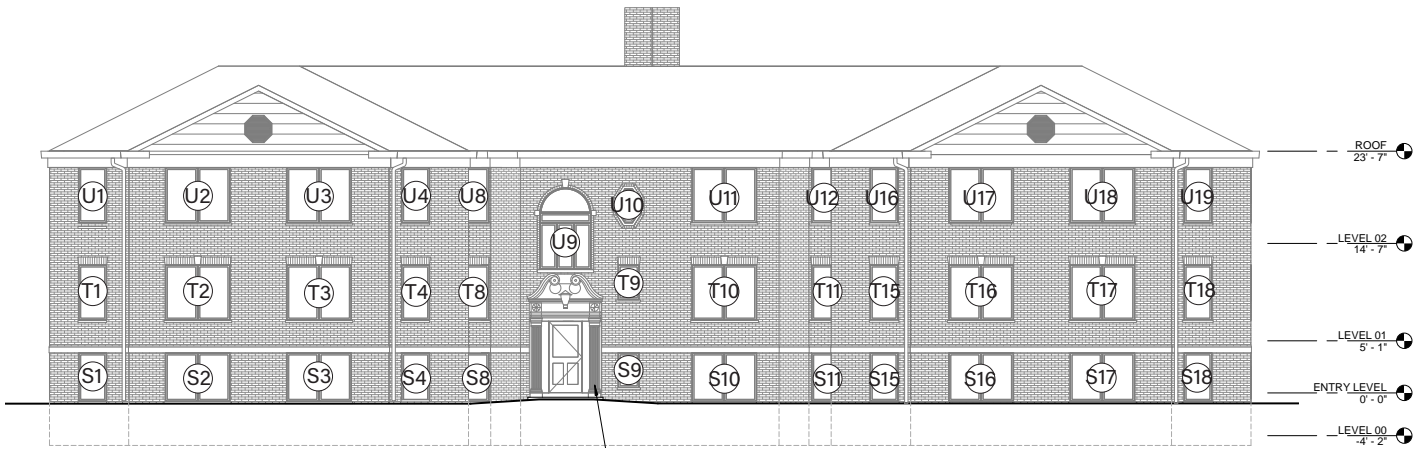


North Courtyard Elevation

- All existing steel windows to be replaced & existing window locations to remain
- No new window openings

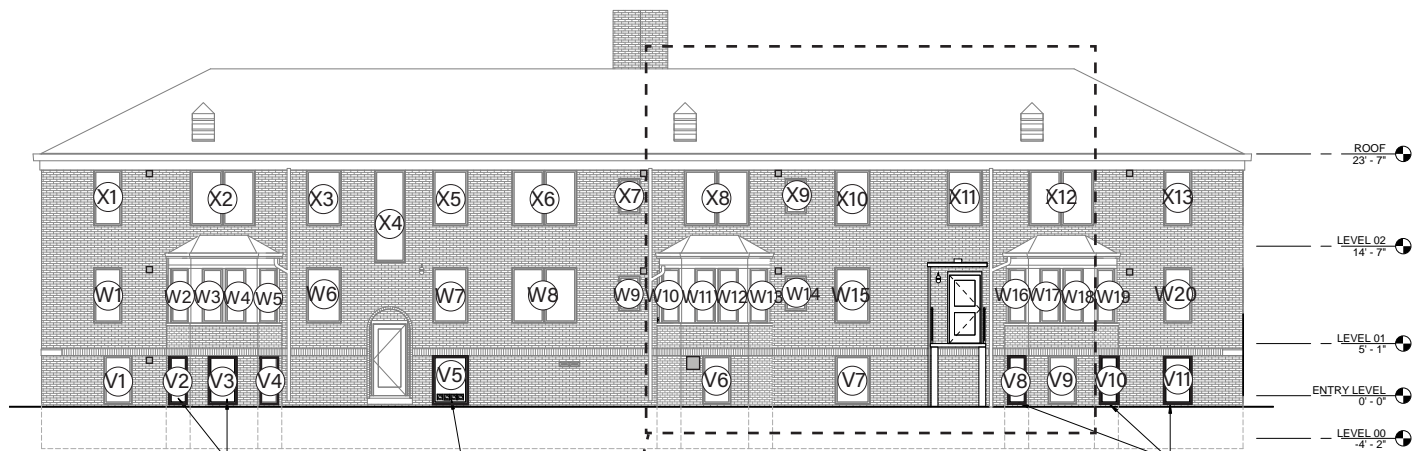
Window Replacement

9730 W Outer Dr Elevations - Existing + New



East Elevation

- All existing steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- No new window openings & existing window locations to remain



West Elevation

- All existing steel windows to be replaced; exception: existing fixed steel window at stairwell to be repaired
- Existing window locations to remain as existing, excluding (2) existing windows to be demolished for new accessible entry & ramp (see Demo Elevation & pg 1)
- New window openings at V2, V3, V4, V5, V8, V10, V11 & new door at existing masonry wall (see photos, pg 1)
- Remove existing masonry for openings
- New brick vents installed

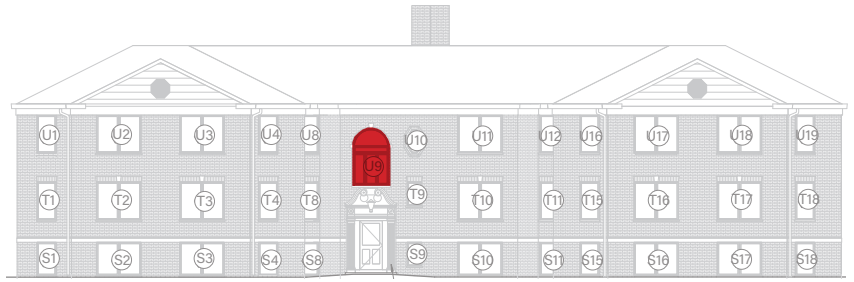


Demolition Elevation
@ New Accessible Entry

See Appendix for Structural Assessment

Window Repair

Existing Conditions Detail Photos



9730 W Outer Dr - East Elevation



Window U9, Type S5

- Existing Fixed Window at Common Area Stairwell to be repaired
- See Appendix for Window Schedule & Measurements
- See Window Assessment & Survey by Blackberry in appendices for further details and information



Detailed Scope of Work

Roof Replacement



Level 02 ceiling, water damage proposed asphalt shingle type

Shingle Roof Replacement

- Due to existing roof leaks in multiple locations and the age of the existing roof, the gray asphalt shingle roof will be replaced in kind
- See photo of one of several instances of water damage caused by roof leaks (left)
- See photo of existing roof color & materials (top)



Gutters

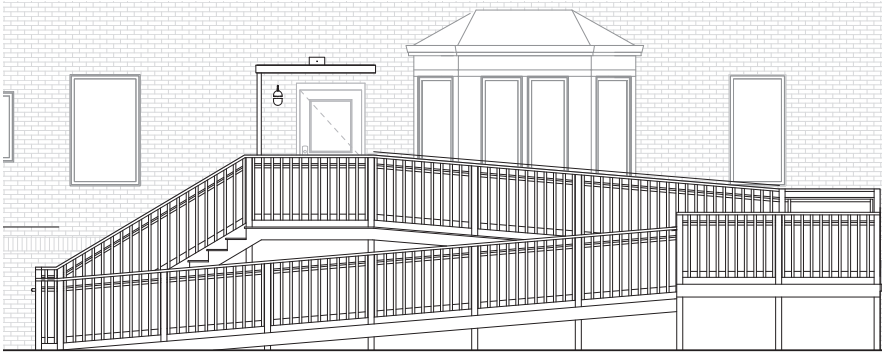
- Repair existing gutters where separating and replace fascia where deteriorated (see photo of existing condition, left)
- Clean and paint



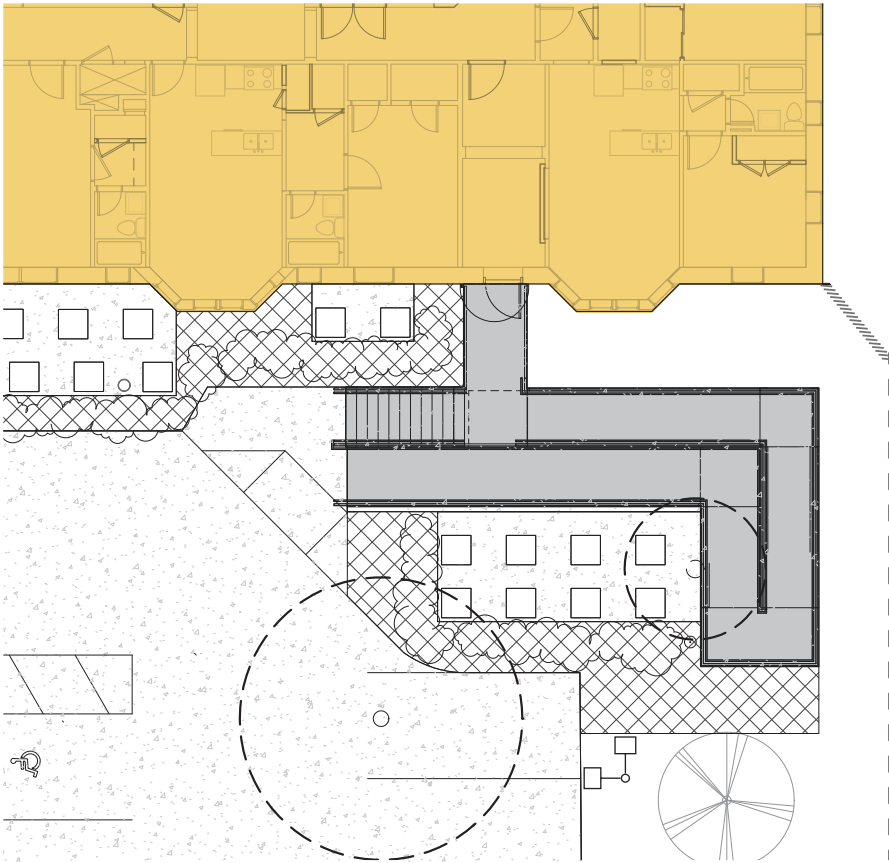
Dormers

- Repair existing dormers (see photo of existing condition, left)
- Scrape and paint

Detailed Scope of Work



proposed elevation



proposed plan

New Accessible Ramp

- New barrier free, wood construction ramp (highlighted in gray in plan) with wood railing and stair
- Railing verticals play contrastingly off of masonry horizontals of the historic buildings



proposed new canopy at 9730 W Outer Dr

Canopies

- Reconstruct existing tie back canopy at 9710 of like materials: flat metal canopy
- Construct new canopy of similar materials: flat metal canopy
- Install canopy into mortar joints
- Install & paint new aluminum downspouts at both canopies for proper drainage

Detailed Scope of Work

Exterior Light Fixtures



existing conditions



9730 Front Entry

- Fixture Restoration
- Rewire and replace bulb with 3000K LED



existing conditions



proposed

9710 Front Entry

- New fixture; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6"W X 7.25"H
- See appendix for cut sheet



existing conditions



proposed

9730 Back Entry

- New fixture at back entry door; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Niveous LED Outdoor Flush-mount by dweLED, Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 45000 hours, White Aluminum, Mouth Blown Etched Glass, Dimensions: 6"H, 6" Diameter, Weight 2.38Lbs
- See appendix for cut sheet

Detailed Scope of Work

Exterior Light Fixtures



existing conditions



proposed

9710 Back Entry

- New fixture; original is missing
- Replace bulb with 3000K LED
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6" W X 7.25" H
- See appendix for cut sheet



proposed sketch



proposed

New Accessible Entry

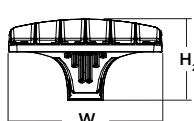
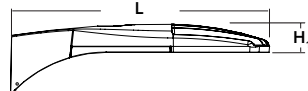
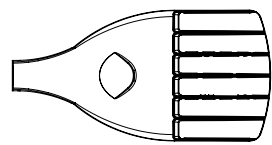
- New wall sconce at new entry
- Proposed Product: Generation Lighting, 8753EN3-15 One Light Outdoor Wall Lantern, 9.3 Watt, 3000K LED bulb, 800 Lumens, White Glass, Black Polycarbonate finish, Dimensions: 6" W X 7.25" H
- See appendix for cut sheet



existing conditions

Parking Lot Islands

- New LED Shoebox fixtures at perimeter of parking lot and positioned to light the ramp
- Proposed Product: D-Series Size 0 LED Area Luminaire, EPA: 0.95 sf, 16 lbs, Dimensions: 26" L x 13" W x 3" H - 7" H
- See appendix for cut sheet



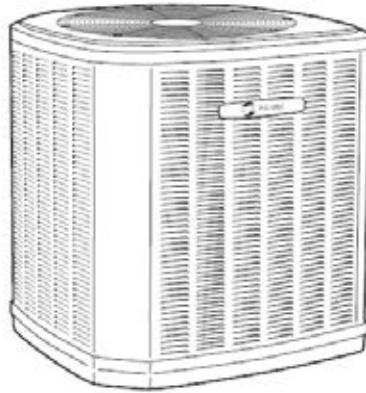
proposed

Detailed Scope of Work

Proposed Condensing Units, Screens, & Fences



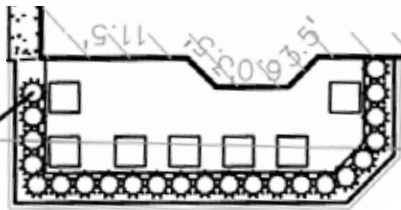
proposed security cage



proposed condensing unit



living screen, Hicks Yew



proposed cond. unit plan

Cond. Units & Security Cages

- Proposed one new air-to-air condensing unit per residential unit; air conditioning is not existing
- ACBandit security cages (pictured, left) or similar, bolt condensing units to concrete using steel straps to discourage theft
- See pgs 9&10 for location on-site

Living Screens

- Hicks Yew functions as living screens at perimeter of clusters of condensing units
- See pgs 9&10 for location on-site



proposed security fence

New Security Fence & Screened Enclosure

Install new security fence at perimeter of parking lot and ramp, abutting existing chain link fence (neighbor). Product: Riverdale Mills, WireWall, cut to 6'H, 10.5G Steel, Black PVC Coating, Welded Wire Mesh system

Install new 6'H metal panel enclosure to screen & secure & allow ventilation to (10) condensing units at 9710: McNICHOLS Wire Mesh, Carbon Steel, Cold Rolled, Mill Finish, Woven-Lockcrimp Weave, 1/2" x 1/2" Opening (Square), 0.120" (11 Gauge) Thick Wire Diameter, 65% Open Area, Hot Dip Galvanized, welded 2x2 HSS frame



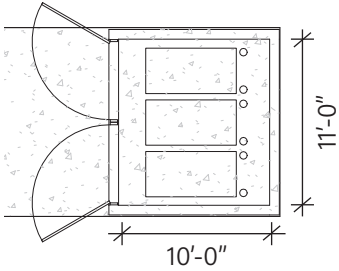
proposed screen panel effect

See scope of work drawing on pg 10 and Appendix for cut sheets.

Detailed Scope of Work



proposed CMU color



proposed enclosure plan



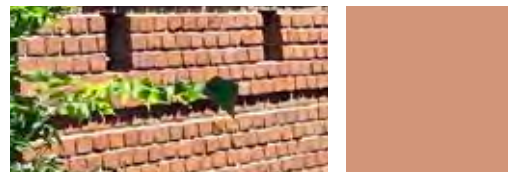
proposed gate

New Dumpster Enclosure

- New 6'H masonry dumpster enclosure with opaque doors on 6" concrete pad to house (3) 2-yard dumpsters
- Dumpster Enclosure Gates: Ametco, Shadow 100, double swing gates, electro-forged welded steel fencing, fixed louver design, 1 31/32" X 1/16" formed main bar & 5/32" round cross bar to provide 100% direct visual screening, includes posts, frame, hinges, panels, pad-lockable slide and cane bolts, Galvanized and Powder Coated Light Gray, Overall Dimensions: 11' X 6', 3.5 lbs
- Masonry to be Fendt 8x4x16 CMU, smooth finish, color 4076 (inspired by existing stone detail of buildings) mortar to be of like color

Exterior Paint

- Paint exterior woodwork, exterior doors, dormers, gutters, fascia, downspouts
- The selected dark blue hue enhances the buildings' presence, grounding and highlighting trim and detailing
- Color: Inkwell SW 6992



- Paint brick vents (see photo of brick color and existing recessed brick vents)
- Color: SW to match "cleaned" brick color



General Paint Specs

Primers: SW exterior grade All Surface Enamel Latex Primer - A41W01210
 Sherwin Williams (SW) Exterior Latex Wood Primer - B42W08141

Paint: SW Duration Exterior Acrylic Latex - K32W00251; Sheen: Satin

Surface preparation: Protect surfaces not to be painted; clean surfaces by removing dirt, existing paint, rust, and other foreign matter with rag or brush; clean steel and aluminum surfaces in accordance with SSPC SP1 (solvent cleaning). Completely dry surfaces before painting.

Application: Apply primer and paint per manufacturer's recommendations; apply one coat of primer on all unpainted surfaces and two paint finish coats on all surfaces; allow recommended dry time between coats; ensure coating is uniform and free from drips, runs, waves, brush marks or variation in color, texture, or finish.

Detailed Scope of Work

Brick Restoration & Cleaning

Exterior brick walls are generally in good condition: masonry is generally uncracked; mortar joints appear sound; no evidence of excessive repointing; bricks don't appear to be distressed. General cleaning of the brick is needed as well, evidenced by discoloration. The gentlest, least invasive means possible to be used to clean the existing brick. A 9' x 9' area to be tested with water and natural bristle brush cleaning first. Water or steam may be used. Extra low pressure (i.e. no more than 100 psi) to be used first. If this doesn't work, the pressure may be increased up to 400 psi. If these methods don't work, Prosoco EK Restoration Cleaner (Enviro Klean), a mild pH neutral detergent cleaner may be used. If this method doesn't work either, Prosoco Sure Klean, a mild acidic cleaner may be used, but only after successfully testing an area of brick and stone with this cleaner.



Tuckpointing

- Tuckpointing is needed in small areas throughout the brick facades of both buildings
- Examples of areas in need of tuckpointing_9710 W Outer Dr
- (see photos of existing conditions, left)



Repointing

- Repointing is required at 9730 at the chimney (see photo of existing condition, left)
- Repointing is required at water damaged section of masonry at 9710 back entry (see photo of existing condition, left)
- Mortar will match existing in strength, color, and profile

Appendix to Follow

- CUT SHEETS
- STRUCTURAL ASSESSMENT
- WINDOW ASSESSMENT, SCHEDULES & DETAILS

9710 W OUTER DRIVE

9730 W OUTER DRIVE

W OUTER DRIVE

DEVELOPMENT PROPERTY LINE

NEW SECURITY FENCE @ PARKING LOT
DEVELOPMENT PROPERTY LINE

REMOVE &
REPLACE
EXISTING
SIDEWALK

PATCH &
REPAIR
EXISTING
PATH

REFURBISH
(E) FIXTURE
(E) ENTRY

(E) ENTRY

(E) ENTRY

(E) UTILITY POLE (3)

(N) ENTRY &
(N) CANOPY

EXISTING HOUSE

EXISTING APARTMENTS

EXISTING 3 STORY BUILDING

EXISTING 3 STORY BUILDING

(10) CONDENSING UNITS

NIC
EXISTING GARAGE

PERFORATED METAL
PANEL ENCLOSURE TO
SCREEN AND SECURE
CONDENSING UNITS

EXISTING HOUSE

EXISTING APARTMENTS

MINOCK STREET

- GENERAL SITE PLAN NOTES:**
- A. REFER TO SHEET E-01 FOR ELECTRICAL LEGEND.
 - B. ALL ITEMS INDICATED ON THIS PLAN ARE NEW UNLESS OTHERWISE NOTED.
EX. - INDICATES EXISTING ITEM TO REMAIN.
 - C. COORDINATE WITH ARCHITECT/OWNER FOR ANY DEMOLITION WORK REQUIREMENTS.

- KEYED SITE PLAN NOTES:**
- ① EXACT LOCATION FOR NEW UTILITY TRANSFORMER BE VERIFIED WITH DTE AND ARCHITECT/OWNER. MAINTAIN THE REQUIRED CLEARANCES AROUND THE TRANSFORMERS AND AWAY FROM THE BUILDING. PROVIDE (2)
 - ② ELECTRICAL CONTRACTOR SHALL PROVIDE BASE BID PRICE FOR FURNISHING AND INSTALLING ELECTRICAL AND TELEPHONE/CABLE TV UNDERGROUND SERVICE RUNS (2)-4" C FOR EACH, FROM UTILITY SERVICE POINTS. THE EXACT SERVICE POINT IS TO BE DETERMINED BY THE UTILITY COMPANIES. PROVIDE ADDITIONAL ADD AND DEDUCT PER LINEAR FOOT UNIT PRICES FOR SERVICE RUN LENGTHS GREATER THAN AND LESS THAN THE 100FT.
 - ③ COORDINATE WITH DTE FOR WORK RELATED TO THE EXISTING UTILITY POLE.

**Grandmont Rosedale
Park Collective II**

**9710 - 9730 W Outer
Dr. Detroit, MI 48223**



OWNER
GRPC 4 Limited Dividend Housing Association
Limited Partnership, a Michigan limited partnership
19300 Grand River
Detroit, MI 48223
313-387-4732 phone
313-387-5158 fax
www.grandmontrosedale.com

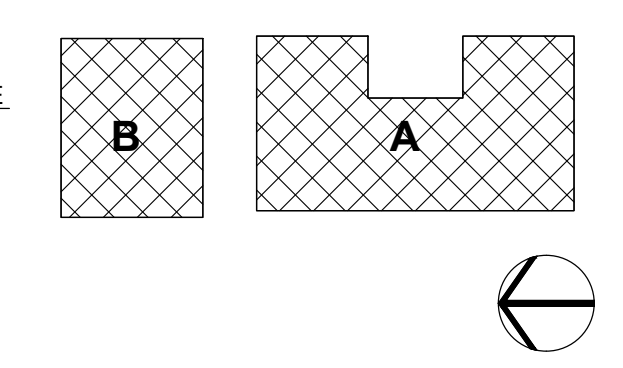
ARCHITECT
INTOTO STUDIO LLC
6505 Woodward Ave
Suite 200
Detroit, MI 48202
313-395-5030 phone
www.intotostudio.com

CIVIL ENGINEERING
PEA GROUP
45 W. Grand River Ave.
Suite 501
Detroit, MI 48226
313-769-5770 phone
www.peagroup.com

MEP ENGINEERING
MA ENGINEERING
400 S. Old Woodward Ave
Suite 100
Birmingham, MI 48009
248-258-1610 phone
www.ma-engineering.com

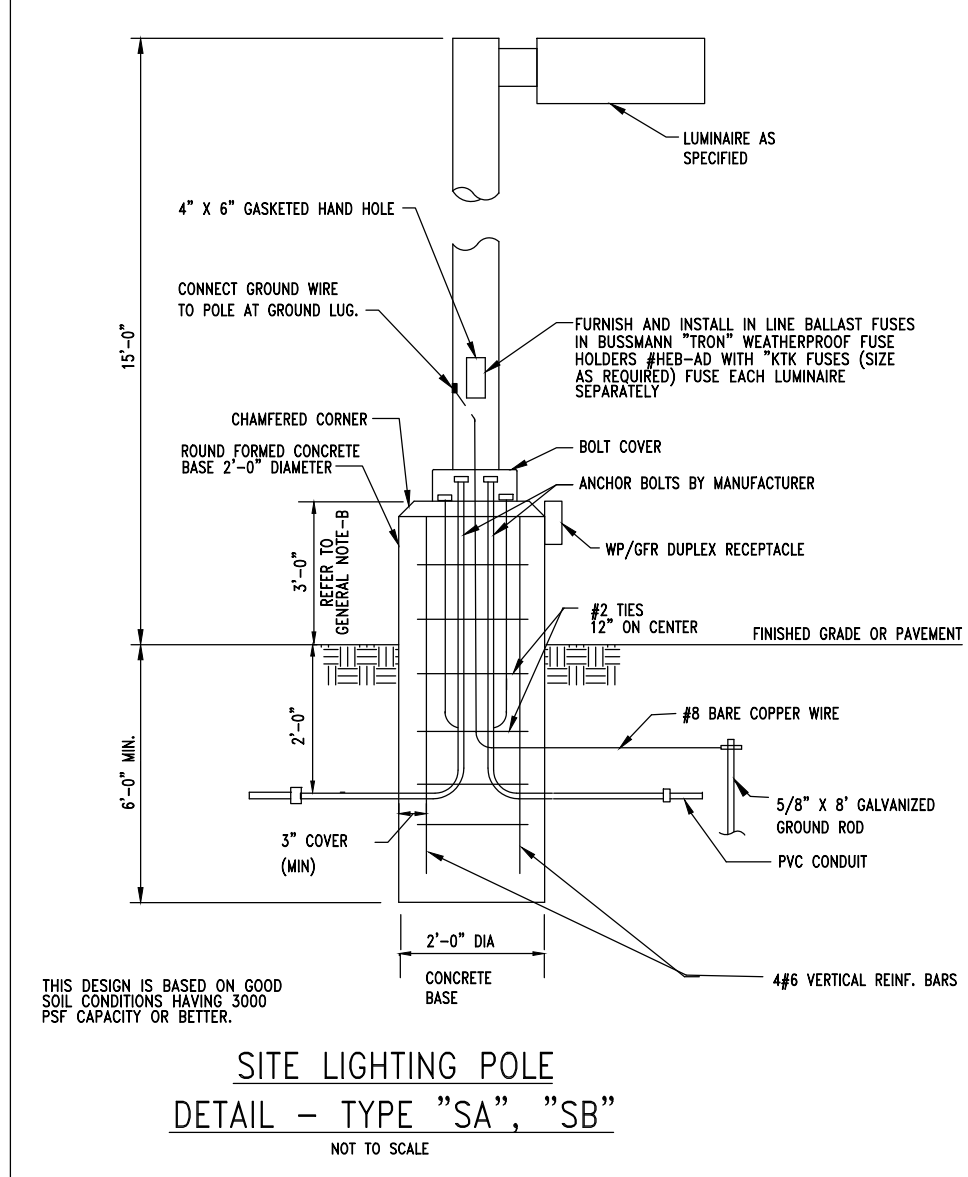
STRUCTURAL ENGINEERING
RESURJET ENGINEERING
4219 Woodward Ave.
Suite 306
Detroit, MI 48201
313-315-3290 phone
www.resurjet-engineering.com

Key Plan



Registration Seal

**NOT FOR
CONSTRUCTION**



No.	Date	Description
1	08/11/2021	Design Development

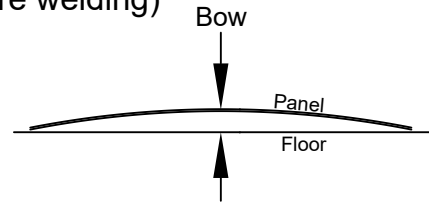
Project Number: 20.005.02
 Drawn By: _____ Approved By: _____
 Scale: _____ As Noted
 Drawing Title
**SITE PLAN -
ELECTRICAL**
 Drawing No:



Production Specifications:

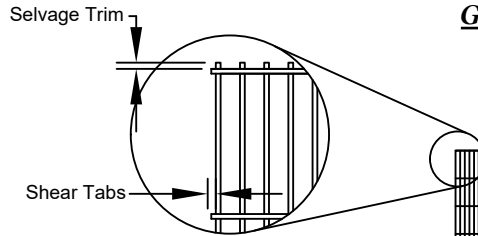
- Core Wire: Nominal 10.5g (0.128" +/- 0.002" before welding)
- Dimensional Tolerance: +/- 1/4"
- Spacing Tolerance: +/- 1/16"
- Permissible Vertical Bow: 2" →
- Permissible Wire Straightness Deviation: 1/16"
- Selvage Trim: 0 min / 1/32" max
- Shear Tabs: 0 min / 1/8" max
- Est. weight per panel: 134.35 lbs

Panel dimensions and spaces expressed as center-to-center of wires.



Customer Drawing Approval:

Name: _____ Date: _____

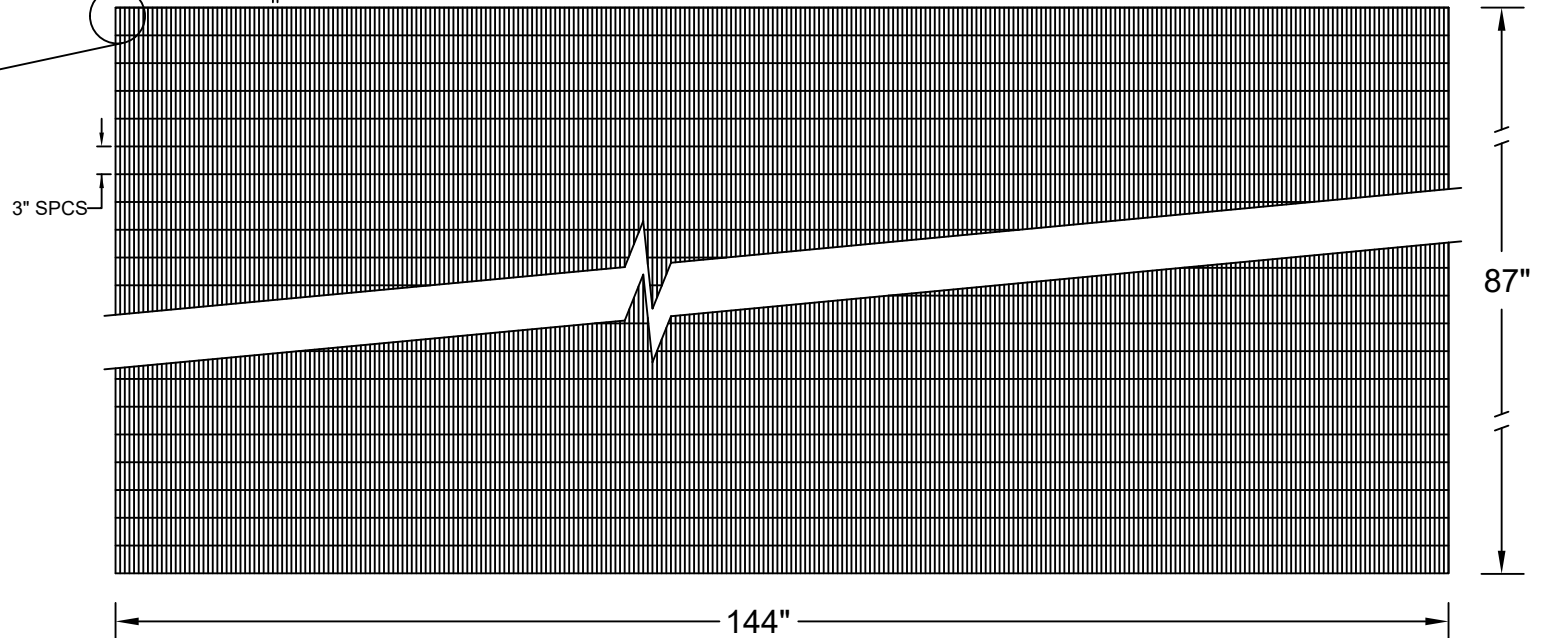


Galvanized - Compliant to ASTM A-641

PVC Coating - Compliant to ASTM

A-974

→ 0.5" SPCS



Production
←
Direction

IF IN DOUBT-ASK

		LTR	REVISION		ECN	APP	DATE
THIS DRAWING IS THE PROPERTY OF RIVERDALE MILLS CORPORATION AND CONTAINS PROPRIETARY INFORMATION PROTECTED BY COPYRIGHT AND/OR TRADE SECRET LAWS. NEITHER THIS DRAWING NOR ITS CONTENTS MAY BE DISCLOSED OR REPRODUCED BY ANY MEANS WHATSOEVER, IN WHOLE OR IN PART, WITHOUT THE PRIOR, WRITTEN CONSENT OF RIVERDALE MILLS CORP.	MATERIAL	10.5G PLAIN STEEL, GAW, BLACK PVC WELDED WIRE MESH	DRAWN	DATE	RIVERDALE RIVERDALE MILLS CORPORATION NORTHBRIDGE, MA 01534		
			JMH	6/6/18			
	CUSTOMER		CHECKED	APPROVED	TITLE	87" x 144" Black PVC Panel	
FILE: P053010587012F1	DIMENSIONS SHOWN ARE AFTER PLATING OR FINISHING.		SCALE	NTS	DWG NO.	P053010587012F1	REV.
			DO NOT SCALE DWG				



SKU
BVE808

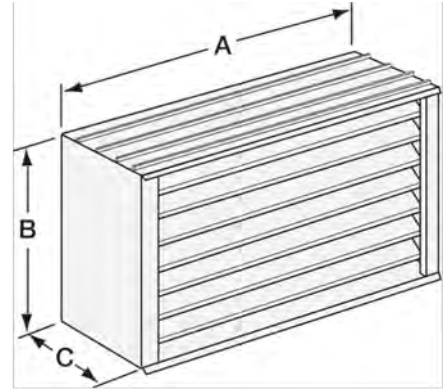
Job Name:
Mark:
Submitted By:
Date: 10/18/2021

Extruded Aluminum Brick Vent, 8 In Sq



Brick vents provide a permanent means of ventilation for crawl spaces, hung ceilings, incinerator rooms, chimney flues, foundations, pipe spaces and corridors. Extruded construction provides a quality finished appearance. A high water stop at the rear and deep overlapping blades with storm stops provide maximum resistance to rain and weather.

- Anodized aluminum construction
- Built in aluminum mesh insect screen



A	B	C
8.125 in	7.75 in	4 in

Performance Characteristics

No Fan Curve Available.

Construction Features

Frame Material	Heavy gauge extruded 6063T5 aluminum
Frame Gauge	0.125
Frame Type	No Flange
Blade Material	Heavy gauge extruded 6063T5 aluminum
Blade Gauge	0.125

California Residents

⚠ WARNING

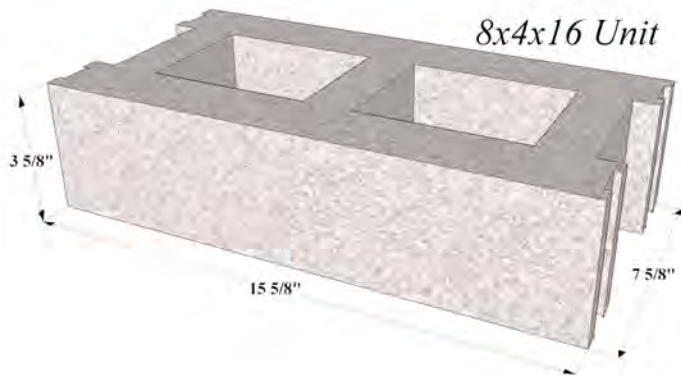
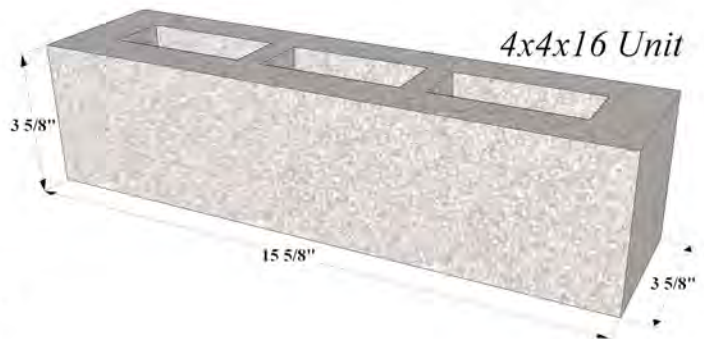
This product can expose you to chemicals including cadmium used in the processing of corrosion resistant metal and fasteners, which is known to the State of California to cause cancer and birth defects or other reproductive harm. For more information visit www.P65Warnings.ca.gov

DESIGN SPECIFICATIONS

Smart Brick CMU's are manufactured to exceed existing ASTM specifications for compressive strength, absorption, dimensions, and aggregates. Consult your Fendt sales representative for specific information.

SHAPES & SIZES

Smart Brick CMU's are manufactured in a variety of thicknesses and shapes to facilitate proper masonry construction. See diagrams and listings for dimensions and available fittings.



COLORS

Smart Brick CMU's are manufactured in a variety of colors, including standard grey, solid colors, and blended colors. Custom colors are available where project size warrants. Color selection should be made from actual block chip/sample, and should take into account permissible shade variations that are inherent with concrete masonry products.

WATER REPELLENCY

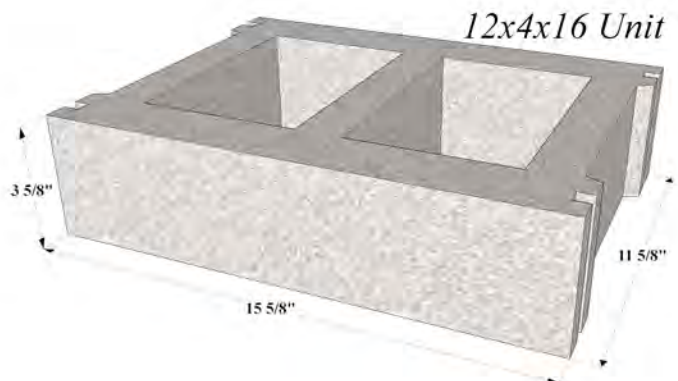
Various water repellent systems are available for concrete masonry units, including integral repellents and exterior surface-applied sealants. Contact your Fendt sales representative for more information.

CLEANING

All specialty concrete masonry units shall be cleaned with a mild solution of a masonry cleaner to remove normal stains and any efflorescence which may occur with any new masonry construction.

INSULATION

Smart Brick CMU's are available with factory-installed polystyrene inserts, or may be insulated on-site with granular-fill insulation. Contact your Fendt sales representative for more information.



AVAILABLE SIZES

- 4" x 4" x 8"
- 4" x 4" x 12"
- 4" x 4" x 16"
- 8" x 4" x 16"
- 12" x 4" x 16"

FIRE RATINGS

Fendt Builder's Supply, Inc. will provide written certification verifying the fire-rating on any unit, in compliance with the design criteria accepted by the Michigan State Fire Marshall, outlined in the Michigan Masonry Council's Tech Bulletin 1.1, Oct. 1977, "Recommended Practices for the Specification of Fire Resistance Ratings".



FARMINGTON HILLS LOCATION

22005 GILL RD
 FARMINGTON HILLS, MI 48335
 OFFICE (248) 474-3211
 FAX (248) 474-8110



ANN ARBOR LOCATION

3285 W LIBERTY RD
 ANN ARBOR, MI 48103
 OFFICE (734) 663-4277
 FAX (734) 663-6515

GENERATION LIGHTING

8753-34: One Light Outdoor Wall Lantern



Dimensions:

Width:	6"	Extends:	7"
Height:	7 1/4"	Wire:	6 1/2"
Weight:	1.1 lbs.	Mounting Proc.:	Center Lock-Up
		Connection:	Mounted To Box

Bulbs:

1 - Medium A19 60w Max. 120v - Not included

Features:

- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 24 compliant if used with Joint Appendix (JA8) approved light bulbs listed in the California Energy Commission Appliance database.

Material List:

1 Body - Polycarbonate - Black

Safety Listing:

Safety Listed for Wet Locations

Instruction Sheets:

Trilingual (English, Spanish, and French) (990W8301-875_)

Collection: Outdoor Wall

Black Polycarbonate and White Glass Outdoor Lantern Globe.

Single Light Outdoor Wall Lantern with Black Polycarbonate finish and White Glass globe.

Featured in the decorative Outdoor Wall collection

1 A19 Medium 60 watt light bulb

white glass diffuser

Easily converts to LED with optional replacement lamps

Meets Title 24 energy efficiency standards

UPC #:785652875335

Finish: Black (12)

Shade / Glass / Diffuser Details:

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	White	1					6				

Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate	4 3/4	4 1/2	5 1/2		2 1/4	5

Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Fr. Class	UPS Ship
Individual	8753-34	1	785652875335	10.25	7.25	7.25	0.312	1.5	175	Yes
Master Pack	8753-34	12	10785652875332	24.25	15.5	21.25	4.622	19.45	175	Yes
NJ Pallet		180		48	40	69.25	76.944	306		No
NV Pallet		252		48	40	5	5.556	401.1		No



D-Series Size 0 LED Area Luminaire

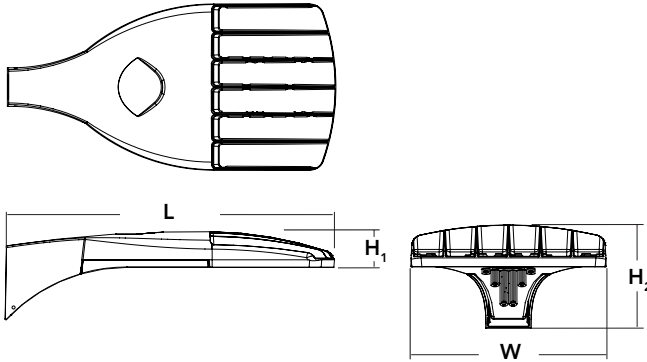


Buy American

d^{series}

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics	P1 P5 P2 P6 P3 P7 ¹ P4 ¹	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short ³	T5S Type V short ³ T5M Type V medium ³ T5W Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ^{5,6} XVOLT (277V-480V) ^{7,8,9} 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²
	Rotated optics	P10 ² P12 ² P11 ² P13 ^{1,2}					

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PER5 Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20}		
PIRHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20}		
PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20}		
PIRHN1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20}		
FAO Field adjustable output ²¹		



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.95 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 0 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 0 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C to 50°C ambient with HA option. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Niveous LED Outdoor Flushmount/Wall Sconce

By dweLED

Niveous LED Outdoor Flushmount/Wall Sconce

By dweLED

Product Options

Size: Small , Medium , Large

Color Temperature: 2700 , 3000 , 3500

Details

- Can be installed as a ceiling fixture or a wall sconce
- Aluminum canopy construction
- Rated for use in closets
- No transformer required
- Designed in 2016
- Finish: White
- Material: Aluminum
- Shade Material: Mouth Blown Etched Glass
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100 - 10%
- Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

Dimensions

Small Option Fixture: Height 6", Diameter 6", Weight 2.38Lbs

Medium Option Fixture: Height 9", Diameter 9", Weight 4.89Lbs, 5.07Lbs

Large Option Fixture: Height 12.75", Diameter 12", Weight 8.22Lbs

Lighting

- Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 2700K Lifespan: 45000 hours
- Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 3000K Lifespan: 45000 hours
- Small Option: 9.5 Watt (800 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 3500K Lifespan: 45000 hours
- Medium Option: 18 Watt (1600 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 2700K Lifespan: 45000 hours
- Medium Option: 18 Watt (1600 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 3000K Lifespan: 45000 hours
- Medium Option: 18 Watt (1600 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 3500K Lifespan: 45000 hours
- Large Option: 24 Watt (2229 Lumens) 120 Volt Integrated LED: CRI: 90
Color Temp: 3000K Lifespan: 45000 hours

Additional Details

Product URL:

<https://www.lumens.com/niveous-led-outdoor-flushmount-wall-sconce-by-dweled-WACP122458.html>

Rating: ETL Listed Wet

Product ID: WACP122458



Notes:

Prepared by:

Prepared for:

Project:

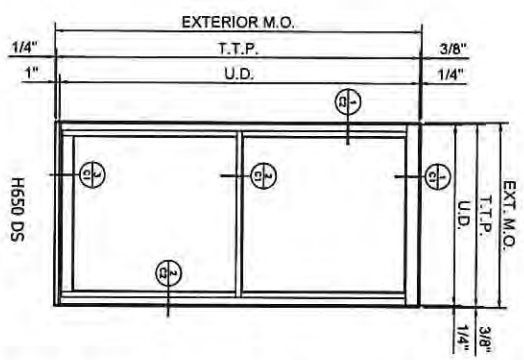
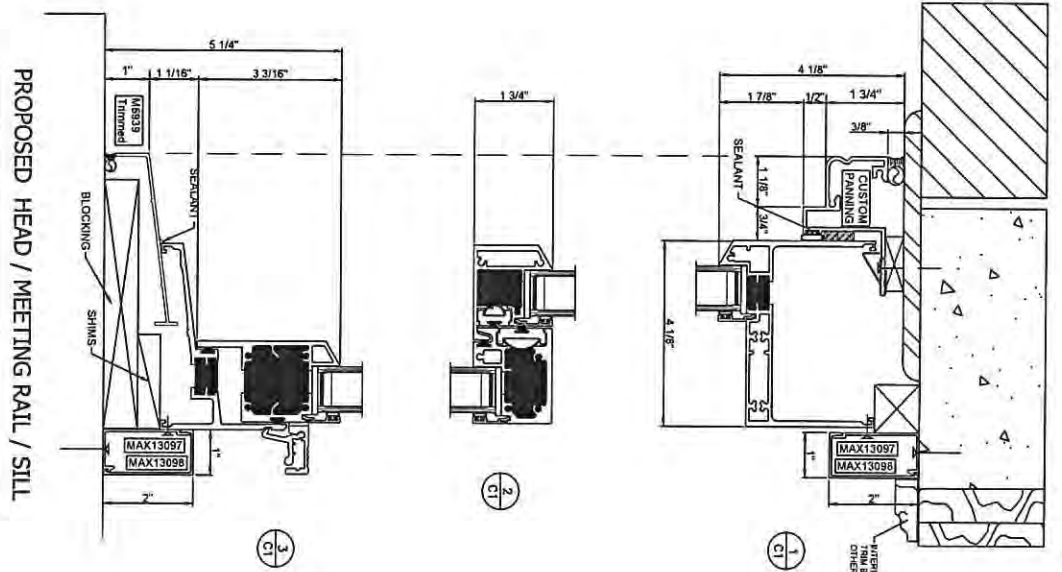
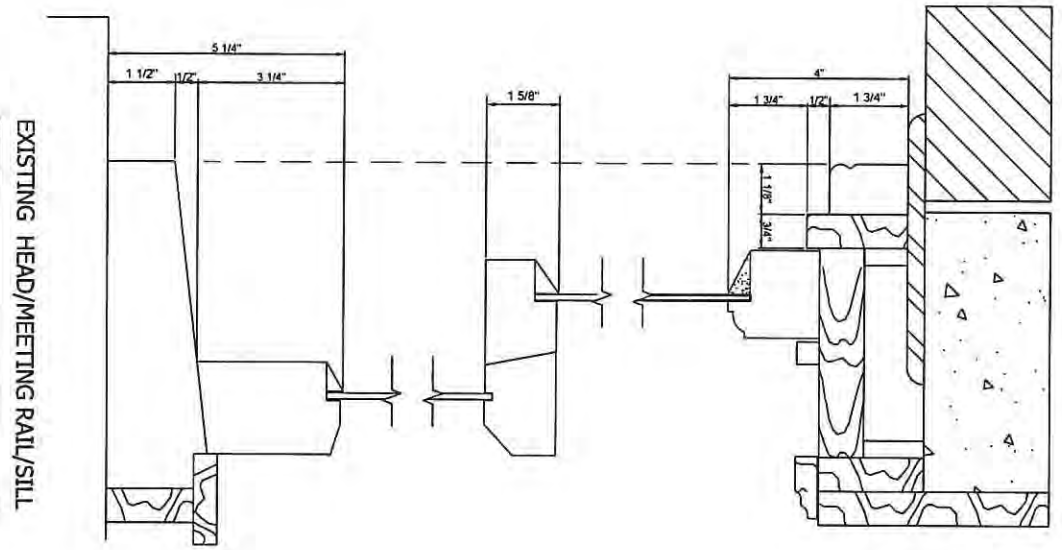
Room:

Placement:

Approval:



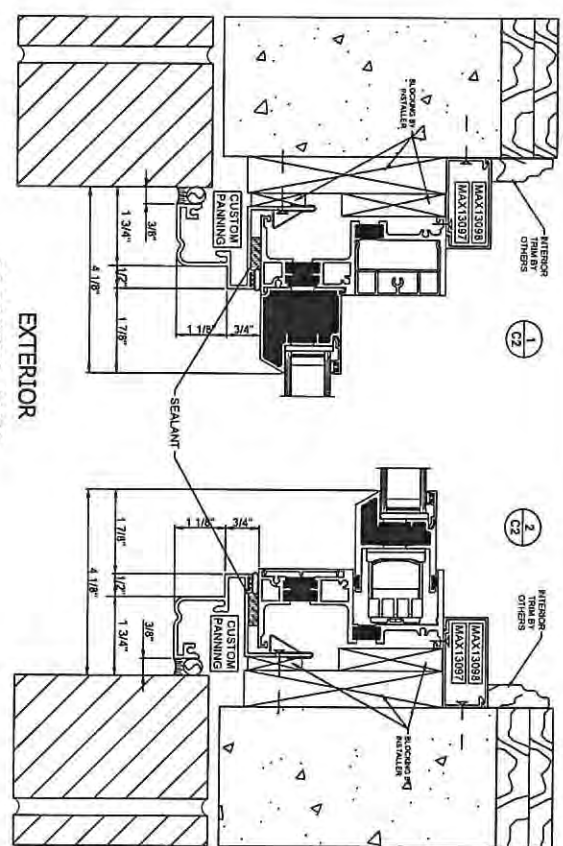
EXTERIOR



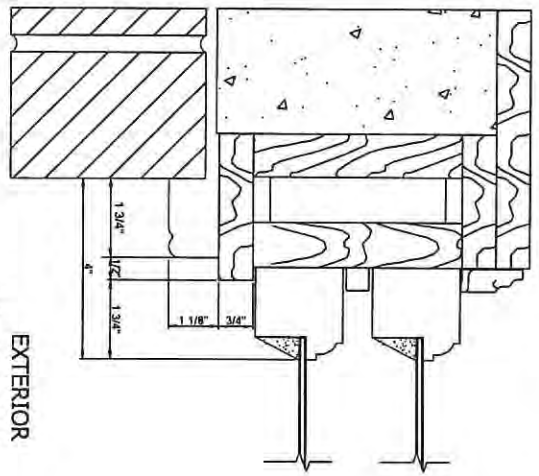
INSTALLER AND/OR OWNER MUST VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WINDOW AND SILL BEFORE INSTALLATION. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. THE ENTIRE WINDOW FRAME TO GO TO SILL SHALL BE ASSEMBLED AND TESTED IN PLACE.

NOTICE:
QUAKER WINDOW PRODUCTS ARE NOT RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS OR INJURY TO PERSONS OR PROPERTY CAUSED BY THE USE OF QUAKER WINDOW PRODUCTS UNLESS OTHERWISE NOTED.
SEALANT/FASTENERS ON EXCEED:
SEALANT/FASTENERS ON EXCEED SHALL BE INSTALLED TO PROTECT THE SILL OF THE WINDOW FROM WALL DETAILS.

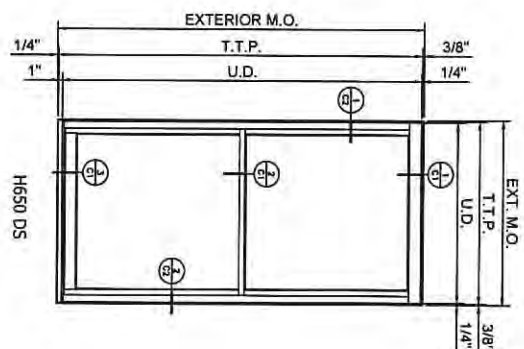
<p>PHONE (573)-744-5211 FAX (573)-744-5586 COMMERCIAL FAX (573)-744-5822 aenrcmr@quakerwindows.com</p>	<p>Drawn By: DG Checked By: AGN</p>	<p>Scale: 3/8"=1" Sheet #: C1</p>	<p>Description: CUT DETAILS</p> <p>QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.</p>	<p>Project Name: OUTER DRIVE COMPARISONS 9710 - 9730</p>



EXTERIOR
PROPOSED JAMB



EXTERIOR
EXISTING JAMB



NOTICE:
QUAKER DOES NOT SHIP ANY PARTS, SHIMS, BRACKETS, OR SEALANTS, UNLESS OTHERWISE NOTED.
VERIFY INSTALLATION
VERIFY WALL DETAILS
SEALANT ADJUSTMENT ON EXCEEDINGLY SPECIFICITY
PROVIDE ADEQUATE BLOCKING TO SUPPORT THE SILL OF THE WINDOW
MAKING FLANGES AND DRIP CAPS INTEGRAL OR APPLIED SO NOT TAKE THE PLACE OF WINDOW FLASHING
DOOR MUST BE PROPERLY MAINTAINED AND SEALED WITH AN APPROPRIATE SYSTEM FOR PROTECTION AGAINST WATER AND AIR INTRUSION AROUND THE WINDOW
SEALANT MUST BE APPLIED TO PROTECT AGAINST AIR INTRUSION AND PROPERTY DAMAGE

<p>PHONE (573)-744-5211 FAX (573)-744-5566 COMMERCIAL FAX (573)-744-5822 abcuner@quakerwindows.com</p>	<p>Scale: 3/8"=1"</p>		<p>Description: CUT DETAILS</p> <p>QUAKER WINDOW PRODUCTS WILL NOT BE RESPONSIBLE FOR FIELD MEASUREMENT, QUANTITIES, & INSTALLATION DESIGN. CONTRACTOR MUST VERIFY ALL DIMENSIONS.</p>	<p>Project Name: OUTER DRIVE COMPARISONS 9710 - 9730</p>
	<p>Drawn By: DG</p> <p>Checked By: AGN</p>	<p>504 Highway 63 South Freeburg, MO 65035</p>		

Series 700 Double Hung

CSI Division 08 51 13 - Aluminum Windows

12805 E. 31st St.
Tulsa, OK 74146
Phone: (800) 259-7580
Fax: (918) 665-2197

Style • Quality • Performance

Standard Features

- 3 1/4" frame depths available
- 14 standard powder coat colors
- Full range of Anodized and AAMA 2605 finishes available
- Lock-out tilt latches
- Operable sashes tilts in for easy cleaning
- Sealed 7/8" insulated glass for optimum thermal efficiency
- Extruded screen frame
- Carbon Steel spiral sash balances
- High-density pile weatherstripping with mylar fin
- Center camp locks plus hidden security locks

Performance

- AAMA Rating: CW-PG-30 Size: 56x91
- Air Infiltration (CFM): 0.16
- Water Resistance (PSF): 6.06
- Structural (PSF): 60.15
- STC range: 30-34
- *U-Factor: .49 / .41
- *SHGC: .28 / .26
- *VT: .51 / .47
- CRF: 59 / 56

*NFRC simulation results from certified testing labs.
Variety of glazing combinations available.



The Palace Apartments
Tulsa, OK
Bone White Powder Coat



Albertville High School
Albertville, AL
Bone White Powder Coat



Bennett Hall
Stillwater, OK
Creme Powder Coat