CITY OF DETROIT HISTORIC DISTRICT COMMISSION

September 14, 2021

#### 2 WOODWARD, SUITE 808 DETROIT, MICHIGAN 48226 PHONE 313-224-6536 FAX 313-224-1310

#### **CERTIFICATE OF APPROPRIATENESS**

Jozef Olszewski 1772 Seyburn Detroit, MI 48214

#### RE: Application Number 21-7396; 1772 Seyburn; West Village Historic District

Dear Mr. Olszewski:

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Sections. 21-2-57 and 21-2-73 of the 2019 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA), effective as of September 14,2021.

Staff finds the exterior work as per the attached drawings, narrative scope, and below-outlined work items meet the defined Elements of Design for the West Village Historic District and the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (36 CFR Part 67):

#### **Exterior Work**

- Demolition of garage, as per attached plan.
- Repair of roof, front porch, walls, siding, windows, front and rear doors, as per attached plan.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:

". KIESEN )

Daniel Rieden Staff Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

DATE:

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

### **PROPERTY INFORMATION**

ADDRESS(ES):			АКА:		
PARCEL ID:		HISTORIC DISTR			
SCOPE OF WORK: (Check ALL that apply)	Windows/ Walls/ Doors Siding	Painting New Building	Roof/Gutters/         Chimney         Major Alteration         (3+ scope items)	Porch/Deck/ Balcony Site Improver (landscape, tree	Addition ments res, fences, patios, etc.)
BRIEF PROJECT D					
Property Owner Homeowner	Contractor	Bu	nant or Isiness Occupant NY NAME:		Architect/Engineer/ Consultant
				ATE:	ZIP:
			•••		ZIF
PROJECT RE	VIEW REQUEST CH	ECKLIST			
*PLEASE KEEP FILE	ollowing documentation t SIZE OF <u>ENTIRE</u> SUBMISSIO uilding Permit Applicatio	N UNDER 30MB*	_	on the scope	of work, additional l
ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)		ا I See ww	I I See www.detroitmi.gov/hdc for scope- I specific requirements.		

**Current Photographs:** Including the front of the building & detailed photographs of the area(s) affected by the proposed work. All photographs must be labeled or captioned, e.g. "west wall", "second floor window," etc.

Description of existing conditions (including materials and design)

**Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEtED) to perform the work.

## SUBMIT COMPLETED REQUESTS TO: HDC@DETROITMI.GOV

### **P2 - BUILDING PERMIT APPLICATION**

PROPERTY INFORMATION	N		
Address:		Floor:Su	ite#:Stories:
АКА:			
Parcel ID#(s):			
Current Legal Use of Property: _		_ Proposed Use: _	
Are there any existing buildings	or structures on this parce	el? Yes	No No
PROJECT INFORMATION			
Permit Type: New	Alteration Addition	n Demolitio	n Correct Violatior
Foundation Only Chan			
Revision to Original Permit #:			
<b>Description of Work</b> (Describe i			
		IBC use change [	No MBC use change
Included Improvements (Chec	k all applicable; these trade are	eas require separate p	ermit applications)
HVAC/Mechanical Ele	ectrical Plumbing	Fire Sprinkler	System Fire Alar
Structure Type			
New Building Existing	Structure Tenant Sp	bace 🗌 Garac	ge/Accessory Building
Other: Size			
Construction involves changes to			No
(e.g. interior demolition or constructior			
Use Group: Typ	pe of Construction (per curre	ent MI Bldg Code Tab	le 601)
Estimated Cost of Construction			
Structure Use	By Contractor		By Department
Residential-Number of Units:	Office-Gross Floor Area	a Indu	strial-Gross Floor Area
Commercial-Gross Floor Area:	Institutional-Gross Floc	or Area O	ther-Gross Floor Area
Proposed No. of Employees:			
Proposed No. of Employees: PLOT PLAN SHALL BE submitted	List materials to be stored in on separate sheets and sha	the building:	nts and measurements
Proposed No. of Employees: PLOT PLAN SHALL BE submitted (must be correct and in detail). SH	List materials to be stored in on separate sheets and sha IOW ALL streets abutting l	all show all easeme	nts and measurements f lot, show all buildings,
Proposed No. of Employees: PLOT PLAN SHALL BE submitted (must be correct and in detail). SH existing and proposed distances t	List materials to be stored in on separate sheets and sha HOW ALL streets abutting l to lot lines. (Building Permit	all show all easeme ot, indicate front o	nts and measurements f lot, show all buildings,
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### **IDENTIFICATION** (All Fields Required) Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant Name: Company Name: Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_Zip: \_\_\_\_\_ Mobile: Phone: Driver's License #: Email: **Contractor** Contractor is Permit Applicant Representative Name: Company Name: City: State: Zip: Address: Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_ City of Detroit License #: TENANT OR BUSINESS OCCUPANT Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_ ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant Name: State Registration#: Expiration Date: City: State: Zip: Address: Email: Mobile: Phone: HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.) I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit. Print Name: \_\_\_\_\_\_ Signature: \_\_\_\_\_\_ Date: \_\_\_\_\_ Subscribed and sworn to before me this \_\_\_\_\_day of \_\_\_\_\_20 \_\_\_\_A.D. \_\_\_\_County, Michigan Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_ PERMIT APPLICANT SIGNATURE I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be (Permit Applicant) Print Name: Driver's License #: Expiration: Subscribed and sworn to before me this \_\_\_\_\_day of \_\_\_\_\_20 \_\_\_\_A.D. \_\_\_\_\_County, Michigan Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_ Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines. This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information. P2 - BUILDING PERMIT

#### PROPOSAL

The applicant provided a complete application for the proposed scope items:

Demolition of Garage:

- Complete dismantle and removal of wood frame garage.
- Terminate all utilities at source.
- Remove concrete slab and mechanics hole of garage
- Backfill, grade and seed.

Roof: Shingles, (DARK BROWN) edges, gutters and downspouts-(WHITE)

- LOCATIONS? Extent of work? PHOTOS?
- Remove all existing shingles down to the roof boards.
- Install 7/16 inch Oriented Strand Board.
- Install new Dimensional 30 year asphalt shingle roofing, including 15 lb.,
- Install asphalt saturated felt, over entire roof, ice and water shield at all eaves and valleys, and aluminum T-drip at all edges of roof.
- Match shingles to existing color and design. Black brown or gray.
- Install new aluminum gutters and rectangular downspouts on entire dwelling.
- (Cut sheets of shingles, gutters/downspouts showing product material, size and color)
- Repair of damaged wood components, where necessary (soffits, fascia, rake, frieze, gable, trim board) in kind to match existing.
- Paint wood components: Wet, scrape, prime any bare areas and repaint these surfaces with two coats of exterior grade, 20 year paint. Color to match existing.
- Replacement of rear flat roof with bituminous roofing material. Color: flat black.

Porches/ Balconies: Front Porch-WHITE

- LOCATION? Extent of work? PHOTOS?
- Repair of damaged wood components, where necessary (b-board ceiling, ceiling beam, soffits, fascia, COLUMNS-ADD other Components) in kind to match existing.
- Paint wood components: Wet, scrape, prime any bare areas and repaint these surfaces with two coats of exterior grade, 20 year paint. Color to match existing.
- Repair steps? NOT REPAIRING THE STEPS

Walls: Repair Exterior walls, and Roof Dormer Siding:

- LOCATIONS? Extent of work? PHOTOS? FRONT DORMER
- Repair in kind of all exterior wood components: dormer siding, dormer soffits, fascia, rake, frieze, gable, trim boards.
- Paint wood components: Wet, scrape, prime any bare areas and repaint these surfaces with two coats of exterior grade, 20 year paint. Color to match existing.
- Repair exterior stucco components where holes are present. Add new stucco of same strength and composition.
- Stucco?: previously filled with cement? Describe work on this portion. AND ADDENDUM WILL BE ISSUED TO DELETE THE REAR STUCCO REPAIR AND IT WILL INCLUED TO REPAIR THE STUCCO ON THE FRON OF THE DWELLING
- Stream course: Where brick has been painted in some elevations of the house no new paint will be added on the masonry.

#### Windows: Repair Original Wood Windows (29), Awnings and storm windows (WHITE)

- See also attached "Window Assessment Form" provided by applicant for location and exterior photos of the 29 windows.
- Temporarily remove storm windows, awnings, upper and lower window sashes.
- Remove interior stops and save (or discard and replace with in kind material).
- Paint wood components: wet scrape and fully apply Eco-Bond Lead Defender, or equivalent, to all painted surfaces of the jambs and troughs. Repaint these surfaces with two coats of exterior grade, 20 year paint. Color to match existing.
- Determine track shape, most wood sashes have either a square-shaped groove or a "V" shaped groove. Install jamb liners to manufacturer's recommendations.
- Reinstall sashes and stops that match existing in like and kind.

#### Windows: Cellar Windows (7)

- LOCATION? PHOTOS? BASEMENT SENT PHOTOS
- Remove and dispose of basement windows and all framing of 7 cellar windows.
- Install new framing to receive glass block windows complete with metal vent.
- Mortar and caulk (low VOC).

#### Doors: Front (Wall A) and Rear (Wall C)

- PHOTOS?
- Remove and keep existing door (Front). Remove existing stop. (Same treatment for rear door? Also, two Wall A doors in BID sheet.)
- Plane all edges of door to prevent friction/impact surfaces. Perform substrate stabilization on doors and all remaining door trim. Wet scrape and fully apply Eco-Bond Lead Defender, or equivalent, to doors, jamb, and interior/exterior casing.
- Install new equivalent primed stop.
- Reinstall existing door.
- Replace weather-stripping, if necessary, to provide an airtight seal.
- Color of front door/ trim: ?? WHITE
- Paint wood components: Wet, scrape, prime any bare areas and repaint these surfaces with two coats of exterior grade, 20 year paint. Color to match existing.

#### Other Site work:

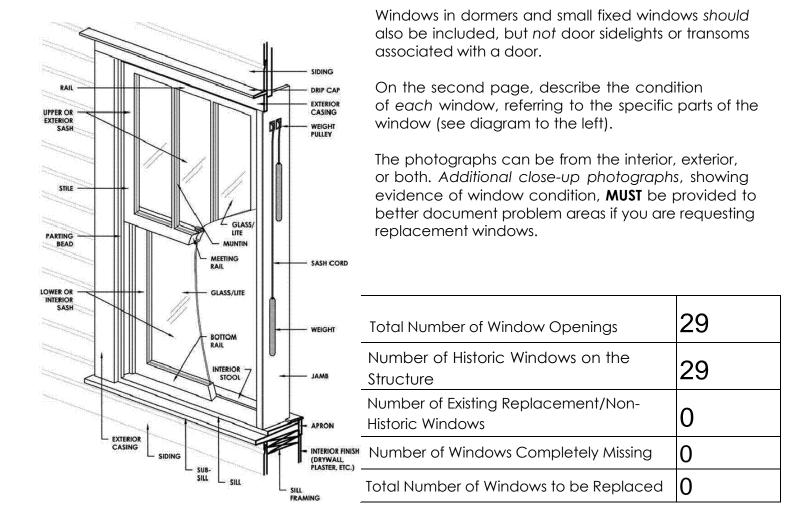
• None

I WILL SEND YOU THE CUT SHEETS FOR THE ROOF AND GUTTER THIS AFTERNOON...

### Window Assessment Form

Basic Requirements
1. Photographs or drawing of each elevation of the structure, with all the window openings on each elevation numbered.
2. Photographs of each window opening <i>numbered</i> corresponding to the photographs or drawings from #1.
3. Condition Evaluation of each window (see reverse).
4. Proposed window design (casement, fixed, etc.), pattern (3/1, 6/6, 1/1, etc.), materials (wood, vinyl, clad, etc.), etc. Specify if different for certain openings.
5. Attach proposed window product brochure/information that includes the company's depiction or photograph of actual windows. We need to know what they look like on the exterior.
6. Other EBL Investigation Window Map and Report (Windows: -WOOD- Windows will be wet scraped and painted to match existing color).

**ALL window openings** on the structure should be assigned a **number** and **described** under the same number on the back of this sheet. Even those not being replaced should be assigned a number, however a photograph of those windows is not necessary, note on the second page that you aren't looking to replace that window number.



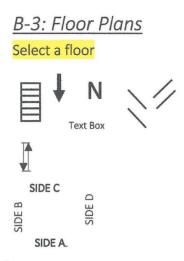
Address: <u>1772 Seyburn</u> Inspector : <u>Martha H. Delgado</u>

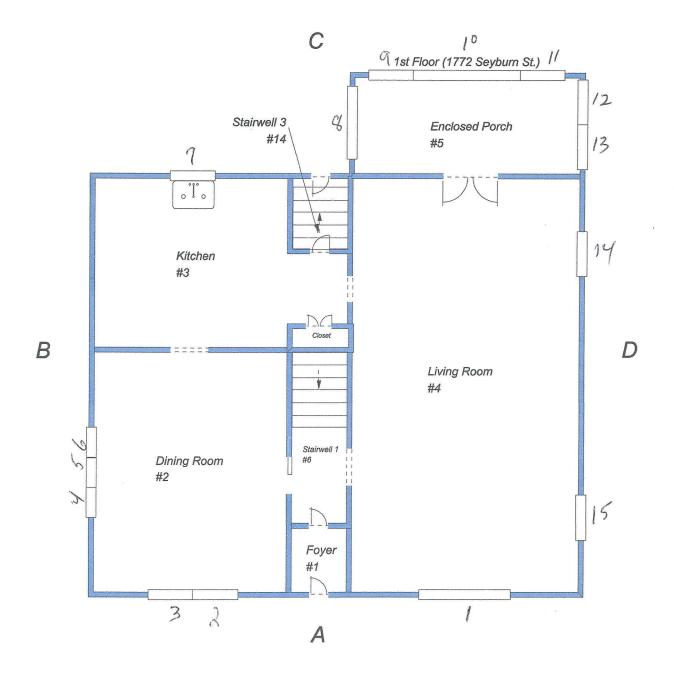
Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

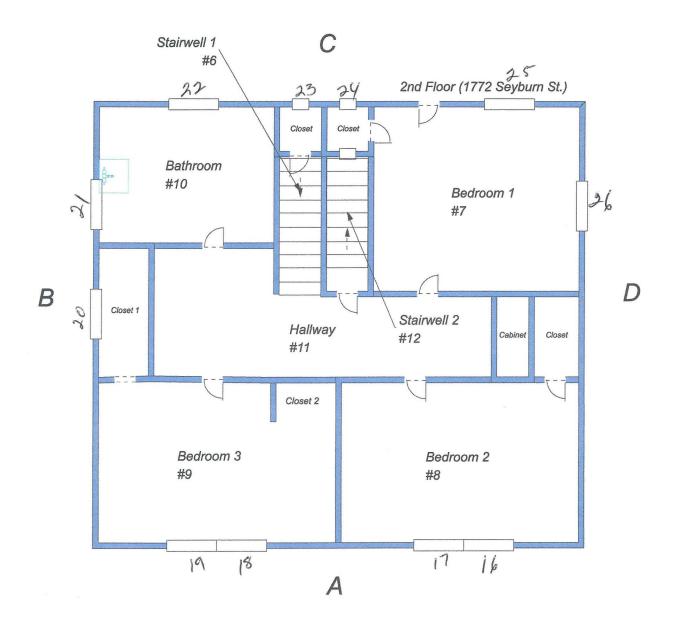
### Window Survey Form—Window Condition Report

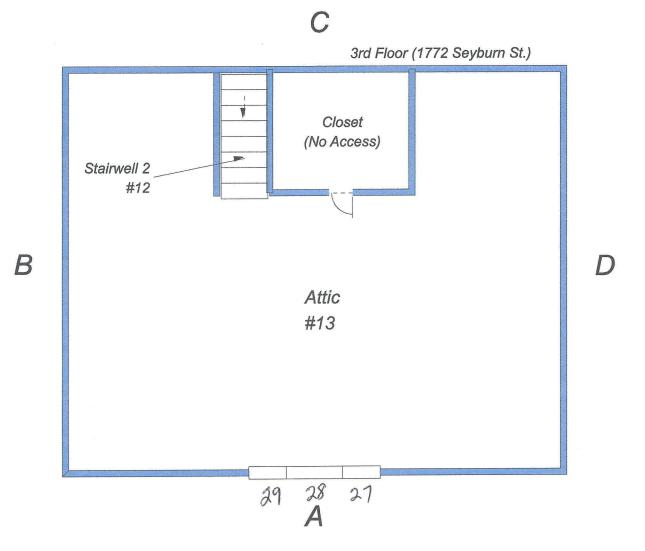
Window	Window Condition
# 1	LV-Picture-Wood—Fair
2	Din-DH-WoodPoor
3	Din -DH-WoodPoor
4	Din-Lead Glass-Wood-Fair
5	Din-Lead Glass-WoodFair
6	Din-Lead Glass-WoodFair
7	Kitchen-DH-WoodPoor
8	Enclosed Porch-Wood- Poor
9	Enclosed Porch-Wood-Poor
10	Enclosed Porch-Wood- Poor
11	Enclosed Porch-Wood-Poor
12	Enclosed Porch-Wood-Poor
13	Enclosed Porch-Wood-Poor
14	Lv-Fix-Wood-Fair
15	Lv-Fix-WoodFair
16	Bed-2-DH-WoodPoor
17	Bed 2-DH-Wood Poor
18	Bed 3 DH- WoodPoor
19	Bed 3-DH-WoodPoor
20	Closet -Fix-Wood-Fair

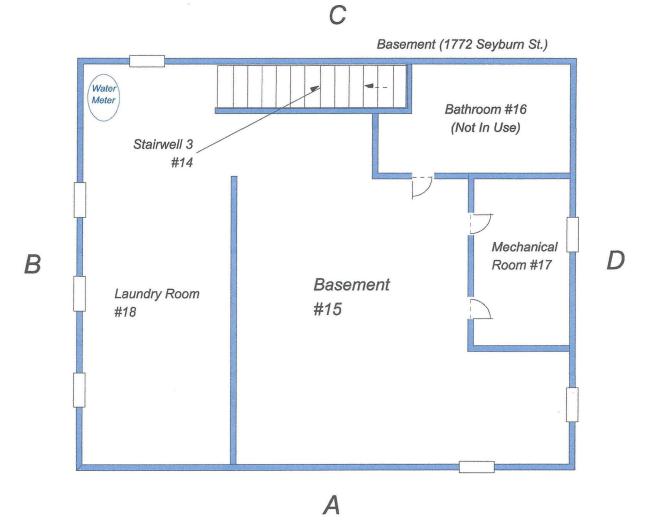
r	
Window	Window Condition
#	
21	
	Bathroom-DH-WoodPoor
22	
	Bathroom-DH-WoodPoor
23	
20	Closet-DH-Wood-Fair
24	
27	Closet DH-Wood-Fair
25	
25	Bed 1-DH-WoodPoor
0/	
26	Bed 1-DH-WoodPoor
27	Attic-WoodPoor-
28	Attic-WoodPoor
29	Attic-Wood-Poor
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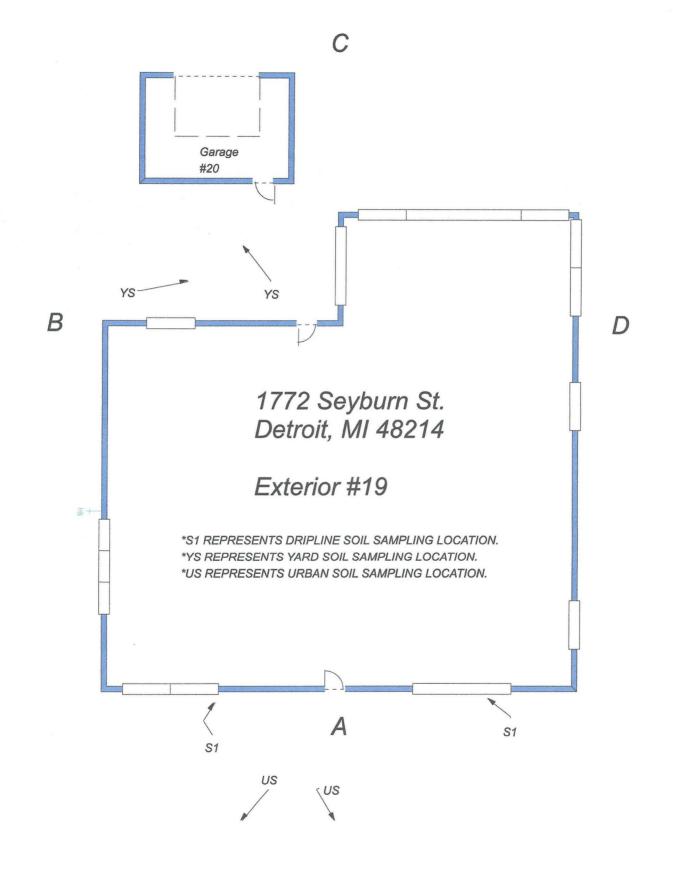


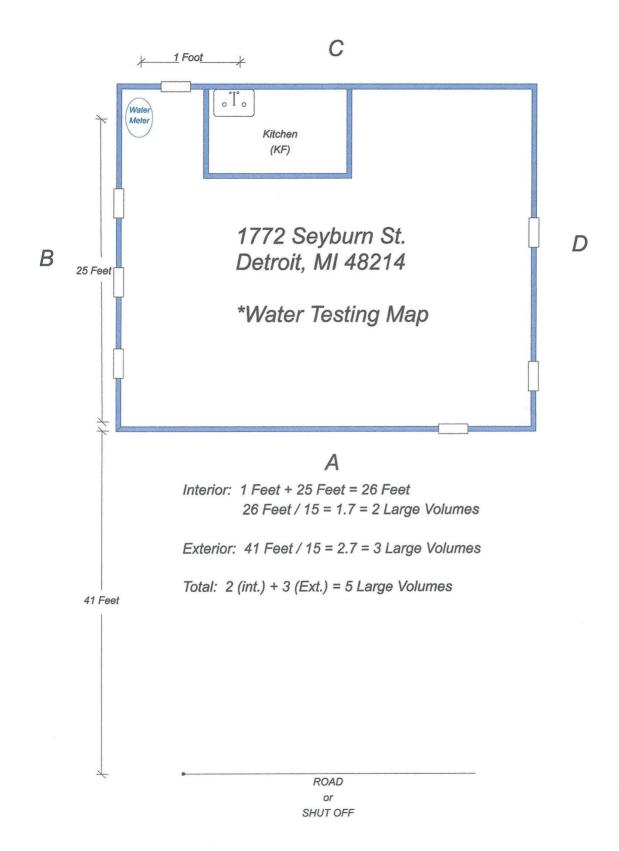












### <u>B-4: Photos</u>



Side A



Side B



Side C



Side D



Garage



Roof Soffit Damage



Possible Foundation Damage (Wall A)



Possible Foundation Damage (Wall B)



Deteriorated Exterior Walls



Damaged Gutter



Damaged Gutter Downspout Pic 1



Damaged Gutter Downspout Pic 2



Porch Step Damage (Side A)



Wall A Roof Dormer



Urban Soil (Side A)



Deteriorated Exterior Door Jamb, Lintel & Casing

















































## Hole in the garage floor









## GAF Timberline<sup>®</sup> High Definition Shingles Brochure

(**RESTL100HD**) Updated: 7/16



gaf.com



Quality You Can Trust...From North America's Largest Roofing Manufacturer!™



#### gaf.com

Made to protect your home. Your story. And those of over **50 million** of your fellow Americans!

Shown: Timberline Ultra HD® in Weathered Wood

# Install Peace Of Mind

Whether you install the ultra-dimensional Timberline Ultra HD® Shingles or the ever-popular Timberline HD® Shingles, you'll be getting all the benefits that only a genuine Timberline® roof can provide!

### Install To Protect.

When you install GAF Timberline<sup>®</sup> High Definition<sup>®</sup> Shingles with **Advanced Protection<sup>®</sup>** Shingle Technology, you're getting the very best combination of weight and performance that modern manufacturing technology can deliver. In fact, you won't find a shingle that surpasses Timberline<sup>®</sup> on:

✓ Toughness ✓ Wind uplift resistance Flexibility Fire resistance



That's why every Timberline® High Definition® Shingle comes with GAF's transferable Lifetime Itd. warranty\*—for your peace of mind!—plus the backing of the Good Housekeeping Seal.\*\*



Since ★ 1909

\*See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

\*\*Timberline® High Definition® Shingles have earned the prestigious Good Housekeeping Seal, which means that Good Housekeeping stands behind these products. (Refer to Good Housekeeping Magazine for its consumer protection policy. Applicable in U.S. only.)

### Install To Invest.

Your roof can represent up to 40% of your home's "curb appeal." Timberline<sup>®</sup> High Definition<sup>®</sup> Shingles not only protect your most valuable asset but also beautify your home for years to come-and add to its resale value.

Recently, an independent research firm surveyed U.S. homeowners about the brand of architectural shingles they preferred based on appearance. The result: more homeowners preferred the look of Timberline<sup>®</sup> High Definition<sup>®</sup> Shingles to the other leading brands.<sup>1</sup>

In fact, according to a recent survey conducted by the National Association of REALTORS<sup>®</sup>, you can increase the value of your home by an average of 5% with a new Timberline® roof!<sup>2</sup>

So why settle for anything less than a genuine Timberline® roof?

<sup>1</sup>Based on a 2014 survey of U.S. homeowners commissioned by GAF comparing the appearance of two popular Timberline® High Definition® Shingle colors to the comparable colors of other leading brands.

<sup>2</sup>2013 National Association of REALTORS® survey commissioned by GAF of REALTOR® Appraisers and Non-Appraisers in the U.S.; response based on REALTOR® Appraisers that have had professional experience buying or selling a home with Timberline® Shingles in the three years preceding the survey and felt they could provide an estimated value increase for a home with a Timberline® roof as compare to a home with a basic three-tab shinale roof.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

### Install To Impress.

Timberline<sup>®</sup> High Definition<sup>®</sup> Shingles are unlike any others, thanks to our proprietary shadow bands. Each shadow band is applied using a sophisticated, computer-controlled "feathering" technique. When combined with our randomly blended top layer, it results in a shingle with exceptional depth and dimension—and a striking look unmatched by any other brand.

But don't just take our word for it. See for yourself. When you compare Timberline<sup>®</sup> High Definition<sup>®</sup> Shingles to typical architectural shingles, it's easy to see why they'll look sharper and more beautiful on your roof-while enhancing the resale value of your home.

Whatever you're looking for, there's a Timberline® Shingle to fit your taste and your budget.

Here's What Female Homeowners Have To Say...

GAF recently received the Women's Choice Award for being the brand that is a "gold standard when it comes to meeting high standards of quality and service," as rated by female homeowners in the U.S.



GAF



Weathered Wood



The color blends on Timberline<sup>®</sup> High Definition<sup>®</sup> Shingles are sharp and well defined—to give your roof maximum dimensionality and depth. Color shown: Hickory





# Timberline Ultra HD® Shingles

## Our thickest, most dimensional Timberline<sup>®</sup> Shingle.

Timberline Ultra HD® Shingles will cost you just pennies-a-day more than standard architectural shingles. In return, you can enjoy a thicker, ultra-dimensional wood-shake look for your roof.

Extra-thick layers make Timberline Ultra HD® Shingles up to 53% thicker than standard architectural shingles for a natural dimensional beauty that you'll notice and appreciate.\*

(Not to mention they can increase the resale value of your home!)

\*Comparison refers to Timberline HD® Shingles. Thickness varies by plant; see actual shingles for comparison.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.





## Timberline HD® Shingles

(Regional color)

**Timberline® HD:** North America's **#1-selling shingle** 

More homeowners in North America choose Timberline HD® Shingles than any other brand. They offer just the right combination of beauty, performance, and reliability—and are the best value in roofing today.

When you install Timberline HD® Shingles, you'll be installing the brand that professional installers have long preferred for its rugged, dependable performance—thanks to **Advanced Protection® Shingle** Technology. And you'll be getting your own genuine Timberline® roof!





Timberline Ultra HD<sup>®</sup> and Timberline HD® Shingles Provide These Unique Benefits

- Beautiful Look... Features GAF's proprietary color blends and enhanced shadow effect for a genuine wood-shake look.
- Highest Roofing Fire Rating... UL Class A, Listed to ANSI/ UL 790.
- High Performance... Designed with Advanced Protection<sup>®</sup> Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS/to learn more).
- Stays In Place... Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph.<sup>1</sup>
- Peace Of Mind... Lifetime Itd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.<sup>2</sup>
- Perfect Finishing Touch... Use Timbertex<sup>®</sup> Premium Ridge Cap Shingles or Ridglass® Premium Ridge Cap Shingles.<sup>3</sup>
- This wind speed coverage requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.
- <sup>2</sup> See GAF Shingle & Accessory Ltd. Warranty See GAT Similar & Accessory Lia. Warran for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] was the original water where the displacement. owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.
- <sup>3</sup> These products are not available in all areas. See www.gaf.com/ridgecapavailability for details.

**NOTE:** It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.





## HICKORY

**Hickory** is an inviting brown shade that has the added element of a red undertone, giving it a rich look. It's an excellent companion to both brick and stone homes that have shades of red or terra cotta. You'll also love how this color looks on homes with warm neutrals of brown and beige as well as with yellows and golds.

## "It looks GREAT! My wife loves the color, and I love the Lifetime ltd. warranty."

-Kevin McGrath, Dawsonville, GA

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Color Availability

### Most Popular (Available Nationwide)



We can help you choose the right shingle for your roof!

Try GAF's Virtual Home Remodeler at gaf.com. Visualize GAF Shingles on a house like yours - or upload and decorate your own house. Try different siding, trim, and brick colors. It's fun!



### **Regional** (See Color Availability Chart On Next Page For Details)



NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

<sup>1</sup> Rated by the Cool Roof Rating Council (CRRC), can be used to comply with Title 24 roofing product requirements, and meets the Los Angeles Green Building Code. <sup>2</sup> Limited availability

<sup>3</sup> Timberline HD<sup>®</sup> White is ENERGY STAR<sup>®</sup> certified (U.S. only).



## Availability Chart



Dallas/Ennis

_	Ask your contractor which of these GAF plants supplies the shingles in your area						
	Baltimore/ Myerstown	Dallas/ Ennis	Michigan City	Minneapolis	Shafter	Tampa	Tuscaloosa
Most Popular Colors:							
Barkwood							
Charcoal							
Hickory		•				•	•
Hunter Green		•	•		•	•	•
Shakewood		•					
Slate				•			
Weathered Wood				• 🔺			
Regional Colors:							
Birchwood <sup>1</sup>			•	•		•	•
Biscayne Blue							
Copper Canyon <sup>1</sup>					•		
Driftwood						•	•
Fox Hollow Gray			•				
Golden Amber <sup>1,2</sup>					•		
Mission Brown	•	•	•	•	•		
Oyster Gray	•						
Patriot Red							
Pewter Gray		•			• <sup>2</sup>		
Sunset Brick						• 0	
White <sup>1,3</sup>						•	•
Williamsburg Slate	•		•				

#### Product Kev: ● – Timberline HD® ▲ – Timberline Ultra HD®

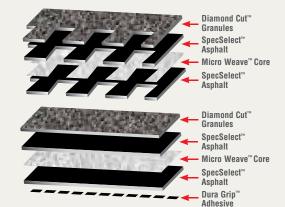


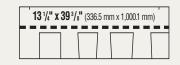
Rated by the Cool Roof Rating Council (CRRC), can be used to comply with Title 24 roofing product requirements, and meets the Los Angeles Green Building Code.

<sup>2</sup> Limited availability

<sup>3</sup> Timberline HD<sup>®</sup> White is ENERGY STAR<sup>®</sup> certified (U.S. only). For complete product specifications, visit gaf.com

### The many protective layers of a **Timberline**® High Definition® Shingle





- Fiberglass asphalt shingle
- Lifetime ltd. transferable warranty<sup>1</sup>
- Smart Choice<sup>®</sup> Protection for the first 10 years<sup>1</sup>
- 130 mph ltd. wind coverage<sup>2</sup> • UL Listed to ANSI/UL 790 Class A
- Passes ASTM D7158, Class H
- ASTM D3161, Type 1, Class F
- StainGuard<sup>®</sup> protection<sup>3</sup>
- ENERGY STAR® certified (White only)4
- CSA A123.5<sup>5</sup>
- ASTM D3018, Type 1
- ASTM D34626
- Miami-Dade County Product Control approved<sup>7</sup>
- Florida Building Code approved
- Texas Department of Insurance<sup>7</sup>
- ICC approved
- Classified in accordance with ICC-ES AC438
- Approximately 64 Pieces/Square
- Approximately 3 Bundles/Square (Timberline HD®)
- Approximately 4 Bundles/Square (Timberline Ultra HD<sup>®</sup>)
- Approximately 256 Nails/Square
- 5 5/8" (142.88 mm) exposure

<sup>1</sup> See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

Requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details

- <sup>3</sup> StainGuard<sup>®</sup> protection applies only to shingles with StainGuard<sup>®</sup>-labeled packaging. See GAF Shingle & Accessory Ltd. Warranty for complete
- coverage and restrictions. <sup>4</sup> ENERGY STAR<sup>®</sup> certified in U.S. only.
- 5 Refers to shingles sold in Canada only.
- <sup>6</sup> Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.
- Applies to some plants.



## Expert Advice By Patricia Verlodt

The color and style of your shingle are important! After all, your roof represents up to 40% of your home's curb appeal, so it will always have a big impact on your home's overall look.

When you look at home exterior color trends, you'll notice that they're typically much more muted than the color trends you see in fashion; for example, if bold greens are in the fashion magazines, you might see the introduction of new home exterior palettes in warm, earthy green tones. Why? Because bold green might not be "in" two years from now (likely not), but you will still have the same roof. Color choices in exteriors are long-term decisions, so make sure the palette that you select is not only one that fits your personality and taste today but also one that you'll enjoy ten years down the road.

- Observe how much of your roof is visible from the street or common view. A larger roof looks best in neutral tones. If the roof angle is normal or slight, you can use more colorful shingles or interesting patterns.
- Use colors in the same color family as the body of your house for a simple, non-accented combination. An example is a gray roof on a gray house, whether light or dark gray. Trim in white or black will keep it understated.
- Use bright colors to make a design statement. For example, a green roof on a red brick house or a red roof on a gray house.
- And remember, follow your instinct. Choose the color and style that make you comfortable. After all, you're the one looking at it every time you come home!

and Gardens, and Forbes.

"Color & style go hand in hand when considering what shingle to use on your roof"

When it comes to the style of your shingle, it's important to think about the overall look and shape of your home. If your roof has a low pitch, the shingle profile will be more important than the shape; for a roof with a steep pitch, a unique design or color pattern may be more important. If you have a large roof surface, you don't want the color pattern of your shingle to be too busy (it can be overwhelming!). On the other hand, a larger surface gives you a great opportunity to really change your home's look. So, make sure the design and color you select integrate extremely well with the rest of your house.

- Choose a shingle that complements your home's architectural style. For example, for a Colonial home, select a shingle with a clean line that complements the home's design. A Victorian house could take on a more colorful or complex design.
- The use of colors and textures can create a comfortable feel for your residence. For example, if focusing on the exterior of a Shingle Style home, adding color and textured design elements make the home much more approachable.



Quality You Can Trust...From North America's Largest Roofing Manufacturer!

## More Than Just Coverage On Your Shingles! Get Automatic Lifetime Protection On Your Entire GAF Roofing System!\*

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#### When you install any GAF Lifetime Shingle and at least 3 qualifying GAF accessories, you'll automatically get:

- A Lifetime ltd. warranty on your shingles and all qualifying GAF accessories!\*
- Non-prorated coverage for the first 10 years!\*





**HI** 

LIFETIME

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Lifetime Shingle choices, including **Timberline**<sup>®</sup> Shingles with Advanced Protection<sup>®</sup> Shingle Technology. They're the #1-selling shingles in North America!

Advanced Protection® Shingle Technology provides excellent protection for your home while reducing the use of precious natural resources. That's better for your home—and better for

the environment!

To learn more about why Advanced Protection® Shingles are your best choice, visit gaf.com/APS/.

GAF offers you many great

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"See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Litetime" refers to the length of coverage provided by the GAF Shingle & Accessory Ltd. Warranty and means as long as the original individual owner(s) of a single-family detached residence (or the second owner(s) in certain circumstances) owns the properly where the shingles and accessories are installed. For owners/structures not meeting the above criteria, Litetime coverage is notapplicable. Litetime ltd. warranty on accessories equires the use of at least three qualifying GAF accessories and the use of Litetime Shingles.

#### Cobra® Attic Ventilation

GAF

Helps remove excess heat and moisture from your attic to promote energy efficiency in your home and help extend the life of your roof.

#### **Roof Deck** Protection

GAE

Provides an exceptionally strong layer of protection against wind-driven rain; some even allow moisture to escape from your attic. Also, lies flatter for a better-looking roof.

#### Leak **Barrier**

Provides exceptional protection against leaks caused by roof settling and extreme weather. Ideal upgrade at all vulnerable areas

(including at the

eaves in the North<sup>†</sup>).



#### **Starter Strip** Shingles

Saves time, eliminates waste, and reduces the risk of blow-off...and may even help qualify for upgraded wind warranty coverage (see GAF Shingle & Accessory Ltd. Warranty for details).

## GAF

#### **Ridge Cap** Shingles

Enhances the beauty of your home'while guarding against Teaks at the hips and ridges.



SALES OFFICES: CENTRAL





The GAF Lifetime Roofing System has earned the prestigious Good Housekeeping Seal, which means that Good Housekeeping stands behind the products in this system. (Reiter to Good Housekeeping Magazine for its consumer protection policy. Applicable in U.S. only.)



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CANADA 855-492-8085

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NORTHFAST

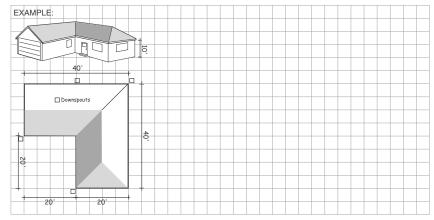
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RESTL100HD

#### **INSTALLING METAL GUTTER SYSTEMS**

#### **PLANNING - Measure Roof Line and Locate Downspouts**

Use chart to fill in quantity of each item needed to complete your job. (Note: Stores may not stock every item listed below)



Description

Gutter Guard and Cover 3 ft. & 4 ft.

FLEX-A-SPOUT® - Extends to 55 in.

Sheet Metal Screws - 8 pack

Wide Flange Outlet Metal or Plastic

Hinged Gutter Guard

Drip Edge - 10 ft.

Splashblock

Dripper Flipper

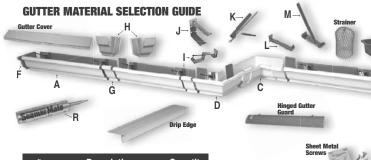
Strainer

Quantity

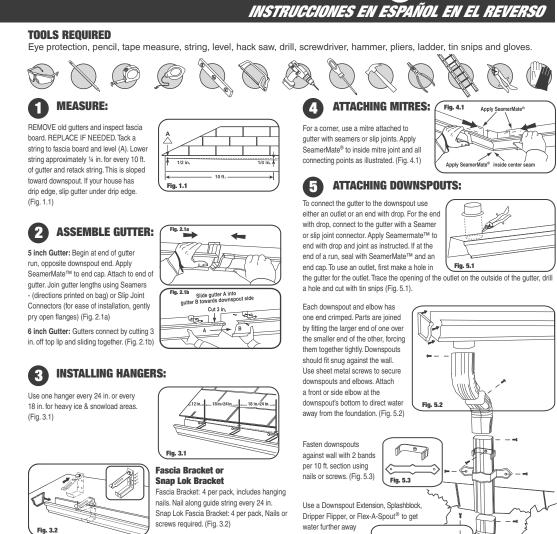
OR

OR-

OR-



#	Description	Quantity
Α	Gutter - 10 ft.	
В	Downspout - 10 ft. (2x3 or 3x4)	
С	Inside Mitre	
D	Outside Mitre	
Е	Right End Cap	
F	Left End Cap	
G	Seamer - 2/pack Easiest, best way to connect gutters	-OR-
Н	Slip Joint Connector For ease of instal- lation, gently pry open flanges	-UK
1	Hidden Hanger with Screw	OR
J	Fascia Bracket or Snap Lok Fascia Bracket	
К	Screw or Spike & Ferrule	— OR — — OR —
L	Hidden Hanger	-
М	Hidden Hanger with Roof Strap	-OR
Ν	End Drop	
0	Front "A" Elbow (2x3 or 3x4)	
Р	Side "B" Elbow (2x3 or 3x4)	
Q	Downspout Band Metal or Plastic	
R	SeamerMate®	
S	Downspout Extension	



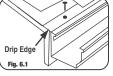
Power drive 1/4 in, hex head screw into fascia board. (Fig. 3.3)

Hidden Hanger: Requires nails or screws. Hidden Hanger with Roof Strap: Only use when no fascia board exists. (Fig. 3.4)

#### Screw or Spike and Ferrule

Insert ferrule into gutter and fasten screw or spike through gutter, ferrule and fascia board. (Fig. 3.5)





(800) 347-2586 www.amerimax.com

screws required. (Fig. 3.2) Hidden Hanger with Screw

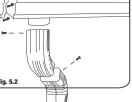
51

Fig. 3.3

Fig. 3.4

Fia. 3.5

**Hidden Hanger or Hidden Hanger with Roof Strap** 



water further away from the foundation. (Fig. 5.4)

#### NOTE:

- Fig. 5.4 2" x 3" downspouts drain 186 gallons per minute
- 3" x 4" downspouts drain 434 gallons per minute

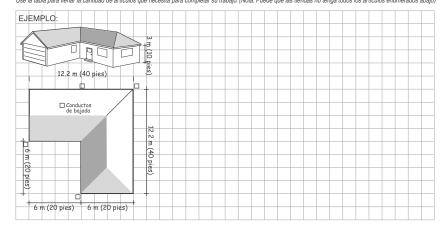
Increasing the size of downspouts or number of downspouts is recommended for wide roof areas, heavy downpour areas, and for gutter systems that overflow.



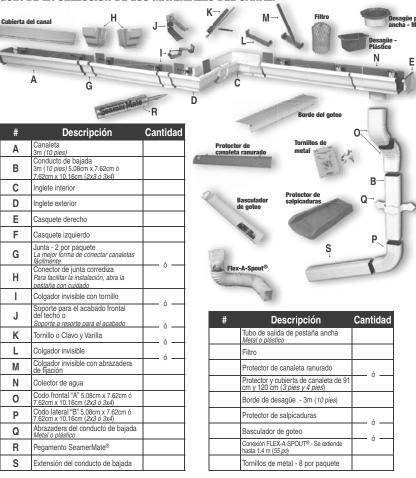
Help direct roof run-off into gutters. To install, lift shingles and insert drip edge under shingles. Push back until drip edge projects approx. 1/2 in. beyond fascia. Nail under shingles every 5 ft. (Fig. 6.1)

#### CÓMO INSTALAR CANALES DE DESAGÛE DE METAL

#### PLANEAMIENTO - Medición De La Línea Del borde del techo Y Ubicación De Los Conductos De Baiada Use la tabla para llenar la cantidad de artículos que necesita para completar su trabajo. (Nota: Puede que las tiendas no tenga todos los artículos enumerados abajo)



#### GUÍA DE LA SELECCIÓN DE LOS MATERIALES DEL CANAL



#### HERRAMIENTAS:

2

3

(Fig. 3.1)

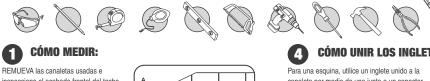
Fig. 3.2

Fig. 3.3

Fig. 3.4

Fia. 3.5

Protección ocular, lápiz, cinta métrica, cuerda, nivel, sierra del corte, taladro, destornillador, martillo, alicates, escalera, tijeras para hojalata y guantes



inspeccione el acabado frontal del techo. REMPLACE SI FUERA NECESARIO. Clave una cuerda en el acabado y nivele (A). Baie la cuerda aproximadamente 6 mm (1/4 po) por cada 3 m (10 pies) de canaleta y vuelva a clavar la cuerda. Ésta se inclina hacia el conducto de baiada. Si el techo tiene bordes de desagüe, deslice la canaleta debajo del borde. (Fig. 1.1)

Canaleta de 12.7 cm (5 po): Empiece por el

extremo de la canaleta, opuesto al extremo del

conducto de bajada. Aplique SeamerMate® al

casquete. Fije al extremo de la canaleta. Una

instrucciones impresas en la bolsa) o conectores

de juntas corredizas (para facilitar la instalación.

las canaletas utilizando Seamers (siga las

abra suavemente las pestañas), (Fig. 2.1a)

Canaleta de 15 cm (6 po): Las canaletas se

conectan cortando 7.5 cm (3 po) del borde

Utilice un colgador cada 61 cm (24 po)

o cada 46 cm (18 po) en las áreas que

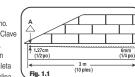
reciben mucha nieve o mucho hielo.

51

superior v deslizando una en la otra. (Fig. 2.1b)

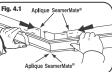
CÓMO ENSAMBLAR LA CANALETA:

CÓMO INSTALAR LOS COLGADORES:



#### CÓMO UNIR LOS INGLETES:

canaleta por medio de una junta o un conector de juntas corredizas. Aplique SeamerMate® a la junta del inglete interior y a todos los puntos de conexión, tal como se ilustra en la, (Fig. 4.1)



#### **UNIENDO LOS CONDUCTOS DE BAJADA:** 5

Para conectar la canaleta al conducto de baiada, utilice ya sea un tubo de salida o un colector de agua. Para un colector de aqua, una la canaleta utilizando una junta o un conector de juntas corredizas. Aplique Seamermate® al colector de agua y una siguiendo las instrucciones. Si está al final del conducto, selle con SeamerMate® y un casquete. Si utiliza un tubo de salida, primero haga un hueco en la canaleta. Dibuje la apertura de salida en la

Fig. 5.1

parte exterior de la canaleta, perfore un hueco y corte con tijeras para hojalata. (Fig. 5.1).

Cada conducto de bajada tiene un extremo plegado. Las partes se unen fijando el extremo más grande en el extremo más pequeño del otro conducto, aiustándolos bien. Los conductos de bajada deben ajustarse sin holgura contra la pared. Utilice tornillos de metal para asegurar los conductos de bajada y los codos. Coloque un codo frontal o un codo lateral en la parte baja del conducto de bajada para dirigir el agua lejos de los cimientos.(Fig. 5.2)

Fig. 5.2

Cada 3 m (10 pies), ajuste los conductos de bajada contra la pare con dos abrazaderas utilizando clavos o tornillos. (Fig. 5.3) Fig. 5.3 Utilice una extensión de conducto de bajada

un protector de salpicaduras, un basculador de goteo o una conexión Flex-A-Spout® para dirigir el agua lejos de los cimientos. (Fig. 5.4) Fig. 5.4

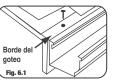
#### NOTA:

 Los conductos de bajada de 5 cm x 7.5 cm (2" x 3") drenan 186 galones por minuto Los conductos de bajada de 7.5 cm x 10 cm (3" x 4") drenan 434 galones por minuto En caso de áreas techadas muy amplias, de áreas baio fuertes lluvias o para canales de desagüe que rebalsan, se recomienda aumentar el tamaño o la cantidad de conductos de baiada.

#### CÓMO INSTALAR LOS BORDES DE DESAGÜE: 6

Ayuda a dirigir el agua a la canaleta. Para instalar, levante las tejas e inserte el borde de desagüe debajo de éstas. Empuje hasta que el borde de desagüe sobresalga aproximadamente 1.25 cm (1/2 po) del acabado frontal del techo. Coloque un clavo baio las teias cada 1.5 m (5 pies), (Fig. 6.1)

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## Fig. 3.1

Deslice la canaleta A en la canaleta I hacia el lado del conducto de bajad

Corte 7.5 cm (3po)

49.

Fig. 2.1b

#### Soporte para el acabado frontal del techo o soporte a resorte

lo largo de la cuerda cada 60 cm. Soporte a resorte: 4 por paquete. Requiere clavos o tornillos. (Fig. 3.2)

#### Colgador invisible con tornillo

Coloque un tornillo de cabeza hexagonal de 6 mm (1/4 po) en el acabado frontol del techo. (Fia. 3.3)

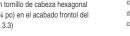
#### invisible con abrazadera de fijación

Colgador invisible: Se requiere clavos o tornillos. Colgador invisible con abrazadera de fijación: Utilice solamente si el techo no tiene acabado frontal. (Fig. 3.4)

#### Tornillo o Clavo y Varilla

Inserte la varilla en la canaleta y ajuste con un





tornillo o clavo a través de la canaleta, varilla y el acabado frontal del techo. (Fig. 3.5)

## Soporte: 4 por paquete, incluye clavos. Clave a







#### OVER FOR INSTRUCTIONS IN ENGLISH