

05/18/21

**CERTIFICATE OF APPROPRIATENESS**

Joel Smith, AIA  
Neumann/Smith Architecture  
1610 Church Street  
Southfield, MI 48034

**RE: Application Numbers 21-7253, 21-7254, 21-7255, 21-7256, 21-7257; 1501-1567 Church; Corktown  
Historic District  
Project Scope: Erect new parking structure**

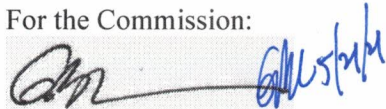
Dear Applicant,

At the Regular Meeting that was held on May 12, 2021, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission hereby issues a Certificate of Appropriateness for the following work, effective on May 18, 2021, as it meets the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

***Erect new parking structure on vacant parcels at 1501-1541 Church, per the submitted documents and drawings.***

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-1762.

For the Commission:



Garrick Landsberg  
Director/Staff  
Detroit Historic District Commission

05/18/21

**CERTIFICATE OF APPROPRIATENESS**

Joel Smith, AIA  
Neumann/Smith Architecture  
1610 Church Street  
Southfield, MI 48034

**RE: Application Numbers 21-7258, 21-7259, 21-7260, 21-7261; 1606-1622 Church; Corktown Historic District**  
**Project Scope: Erect new attached townhouses**

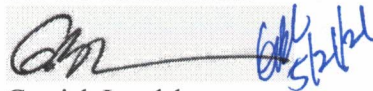
Dear Applicant,

At the Regular Meeting that was held on May 12, 2021, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission hereby issues a Certificate of Appropriateness for the following work, effective on May 18, 2021, as it meets the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

***Erect new attached townhouses on vacant parcels at 1606-1622 Church, per the submitted documents and drawings.***

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-1762.

For the Commission:



Garrick Landsberg  
Director/Staff  
Detroit Historic District Commission

# Corktown Sites 1&2

HDC DESIGN  
MAY 12, 2021

THE FORBES COMPANY

  
Hunter Pasteur  
HOMES

Oxford  
Capital Group, LLC

  
NEUMANN  
SMITH  
architecture

ELKUS | MANFREDI  
ARCHITECTS

  
giffels  
webster





HISTORIC DISTRICT EXTENTS

MICHIGAN AVE

11TH ST

1

10TH ST

CHURCH ST

2

TRUMBULL AVE.

8TH ST

LEVERETTE ST

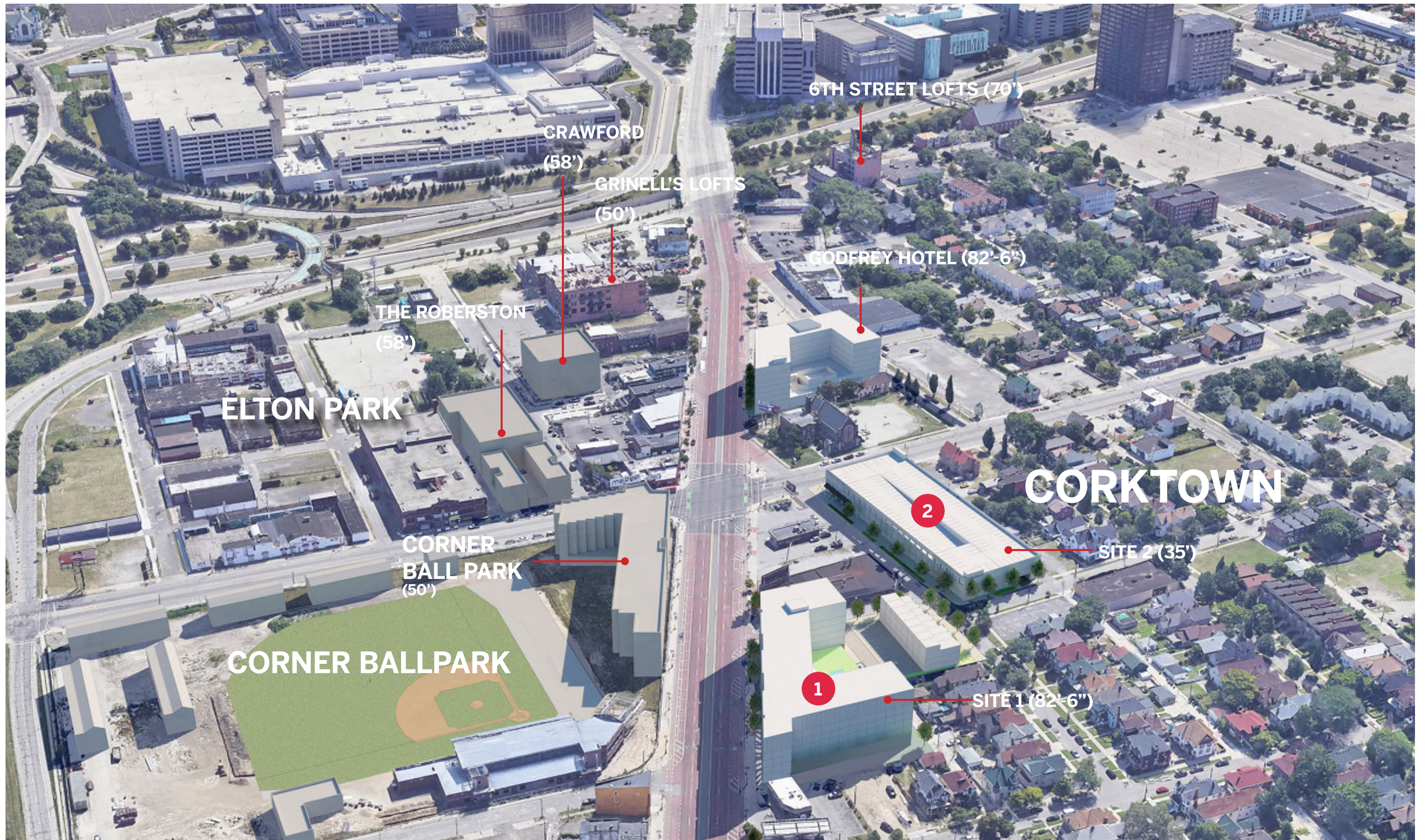
**SITE 1 : RESIDENTIAL**

- Michigan Ave. Building
  - 7 stories / 82' 6" high
  - 9,385 SF Retail
  - 188 Units
  - 29 parking spaces
- 10th Street Townhouses
  - 7 Units
  - 3 stories / 35' high plus patially enclosed 4th floor roof deck
  - 17 Parking Spaces

**SITE 2 : GARAGE**

- 3 stories / 35' high
- 3,066 SF Retail
- 401 Garage Parking Spaces

**SITE PLAN**



**MASSING : AERIAL VIEW LOOKING EAST**

**CORKTOWN** › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › **SITES 1&2**

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

# SITE 1



Residential

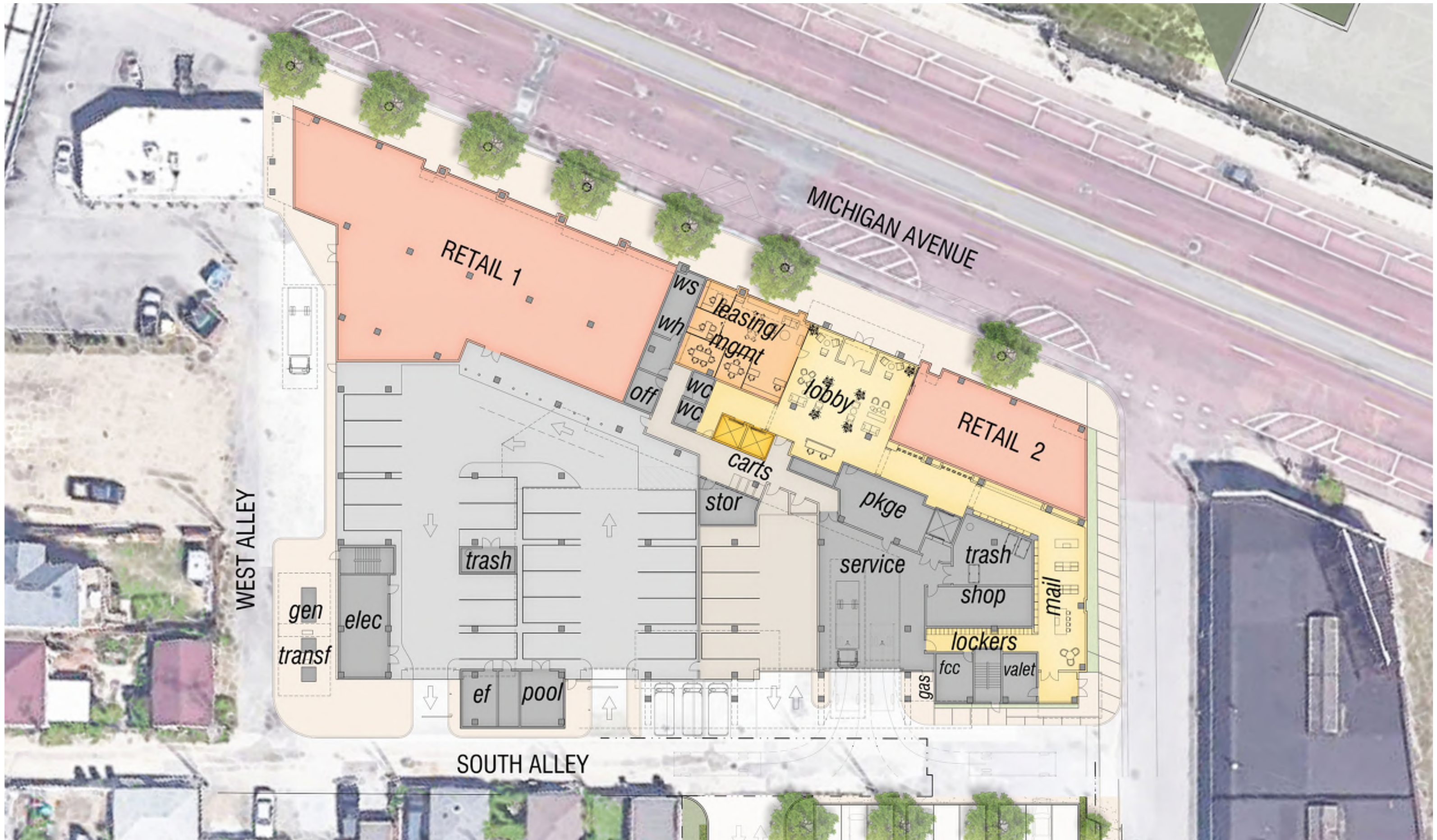
Michigan Ave. Building

- 7 stories / 82' 6" high
- 188 Units
- 29 spaces

## SITE 1: SITE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



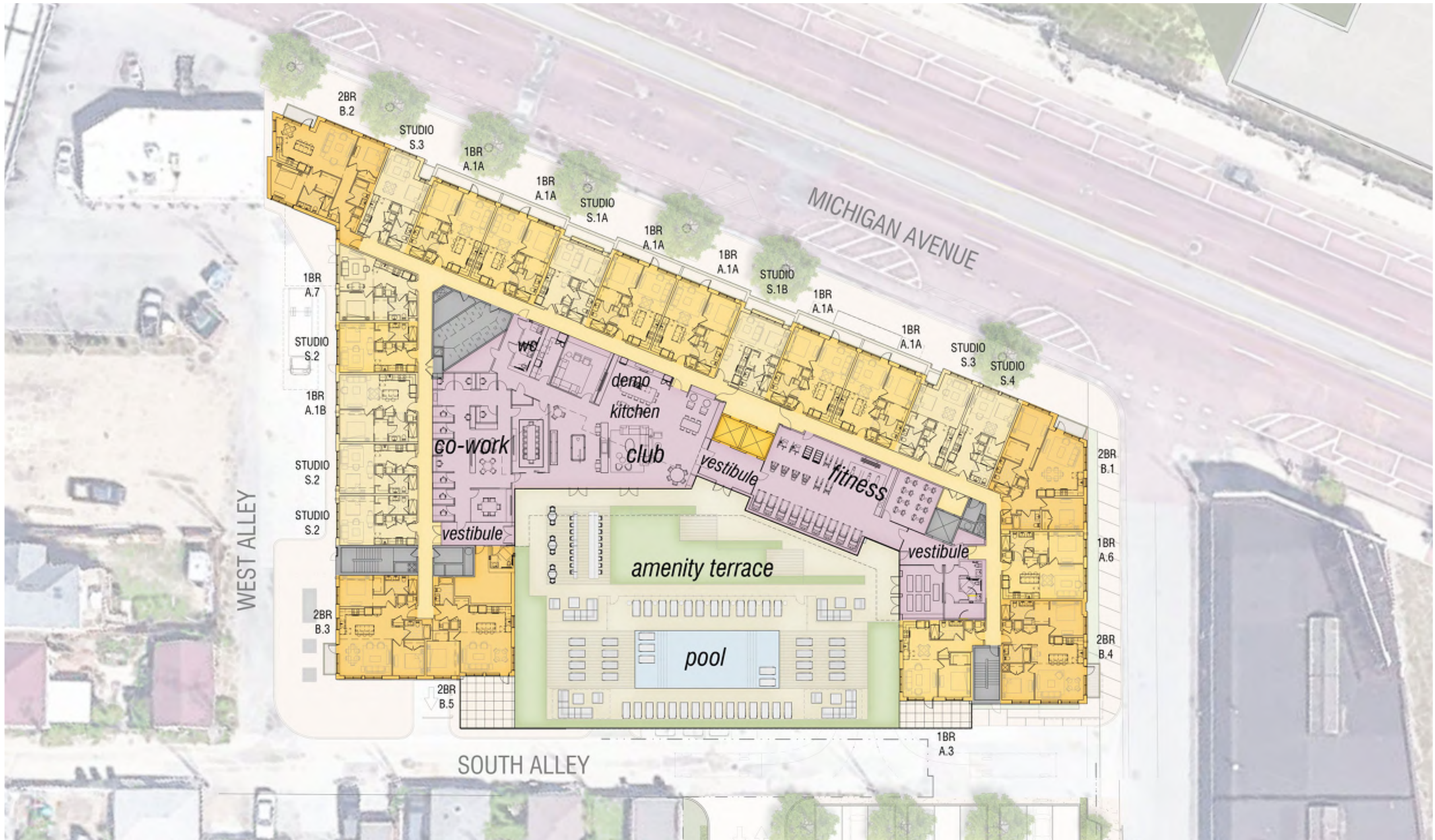
**SITE 1: LEVEL 01 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 15' 30'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1: LEVEL 02 PLAN**

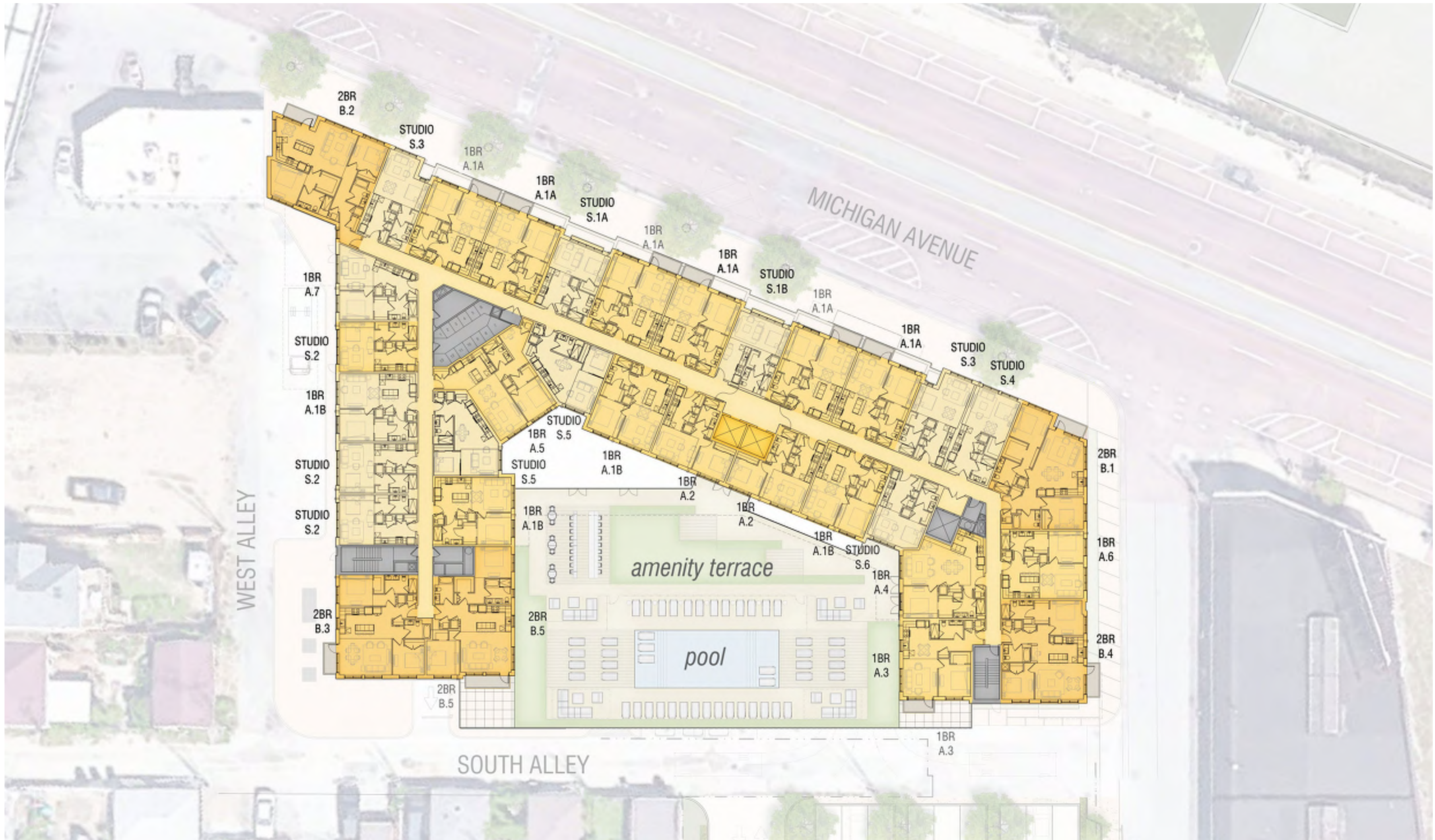
CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 15' 30'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





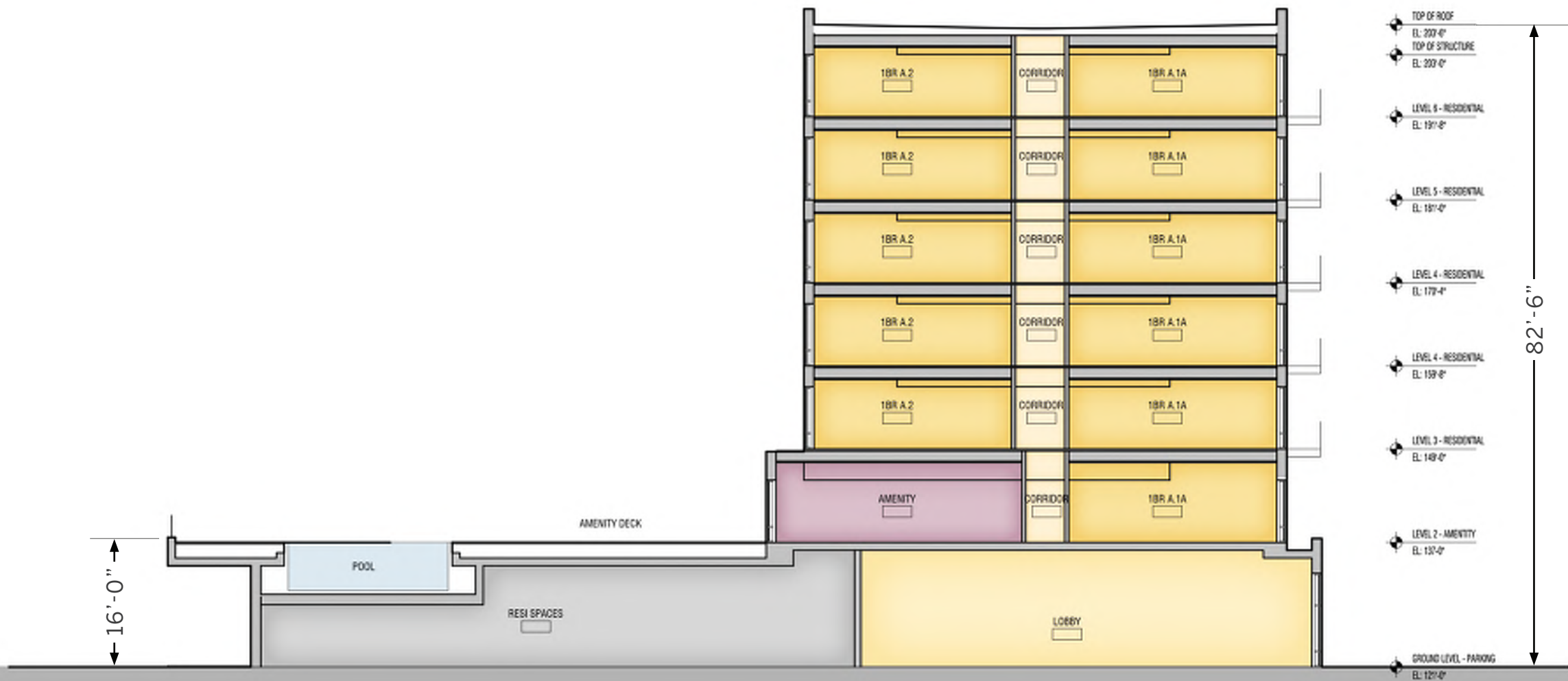
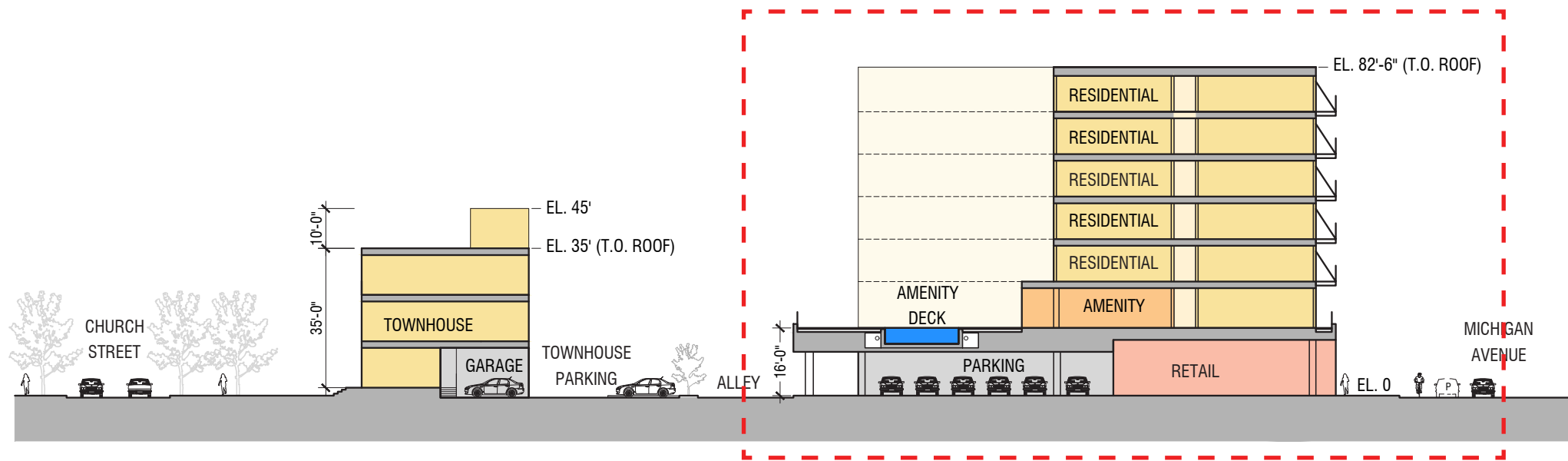
**SITE 1: LEVEL 03-07 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 15' 30'



THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG



**SITE 1: BUILDING SECTION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

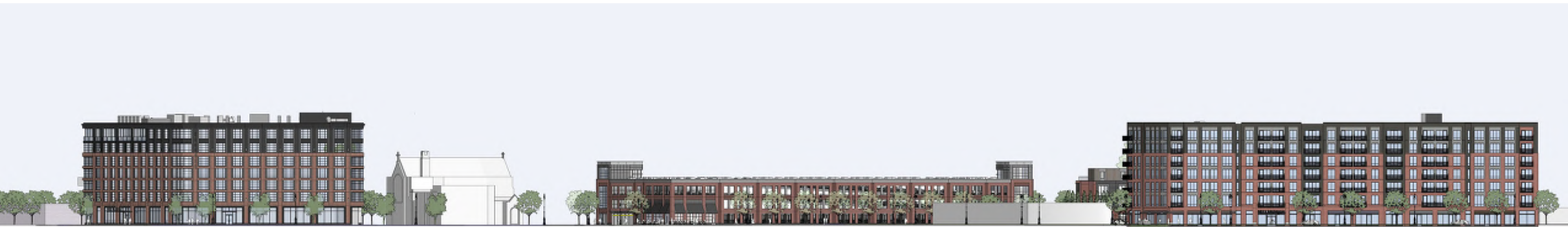
THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG



© ELKUS MANFREDI ARCHITECTS

**SITE 1 APARTMENTS: MICHIGAN AVE VIEW**

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



## SITE 1: CONTEXT ELEVATION

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



- 1 BRICK
- 2 METAL #1 DARK GREY
- 3 METAL #2 MEDIUM GREY
- 4 METAL #3 WHITE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW
- 7 GLASS #2 STOREFRONT

**SITE 1 APARTMENTS: MICHIGAN AVE ELEVATION**



10TH STREET

MICHIGAN AVENUE

- 1 BRICK
- 2 METAL #1  
DARK GREY
- 3 METAL #2  
MEDIUM GREY
- 4 METAL #3  
WHITE
- 5 STONE BASE
- 6 GLASS #1  
RESIDENTIAL  
WINDOW
- 7 GLASS #2  
STOREFRONT

**SITE 1: EAST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



TOWNHOUSE  
OUTLINE

10TH STREET

- 1 BRICK
- 2 METAL #1  
DARK GREY
- 3 METAL #2  
MEDIUM GREY
- 4 METAL #3  
WHITE
- 5 STONE BASE
- 6 GLASS #1  
RESIDENTIAL  
WINDOW
- 7 GLASS #2  
STOREFRONT
- 8 CMU BASE

**SITE 1: SOUTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



MICHIGAN AVENUE

1

3

6

2

6

1

- 1 BRICK
- 2 METAL #1  
DARK GREY
- 3 METAL #2  
MEDIUM GREY
- 4 METAL #3  
WHITE
- 5 STONE BASE
- 6 GLASS #1  
RESIDENTIAL  
WINDOW
- 7 GLASS #2  
STOREFRONT

**SITE 1: WEST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

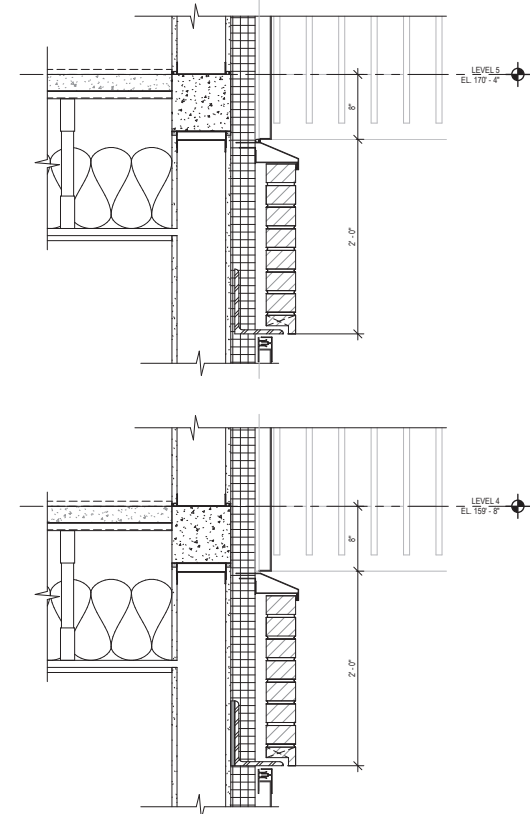
THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



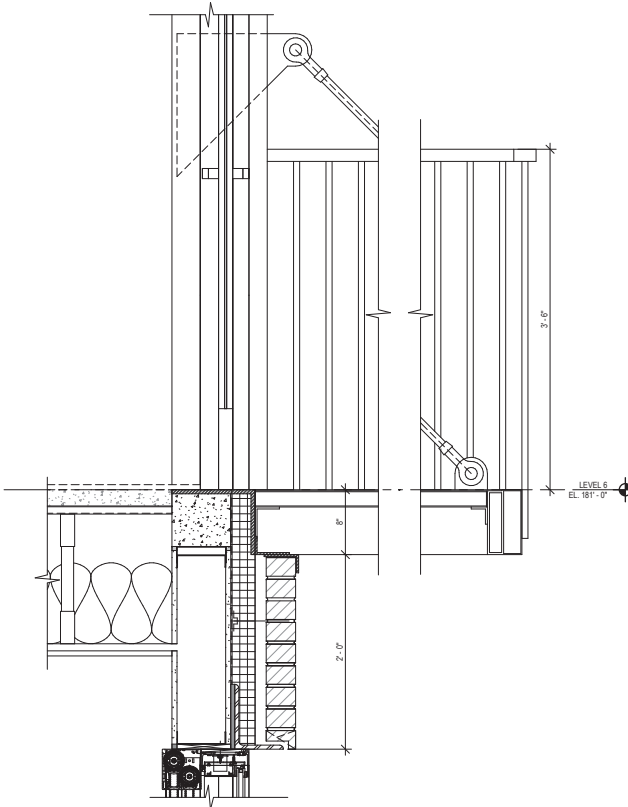


**SITE 1: VIEW FROM CHURCH & 11TH**

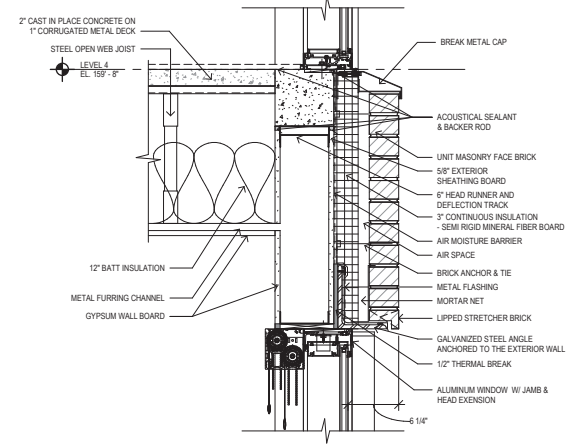
**CORKTOWN** › DETROIT, MICHIGAN › FEBRUARY 17, 2021



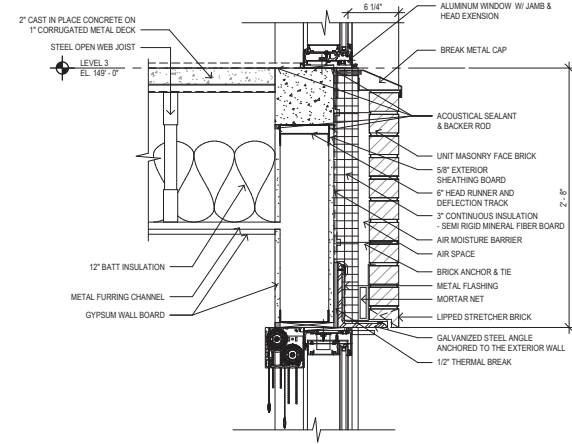
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A421



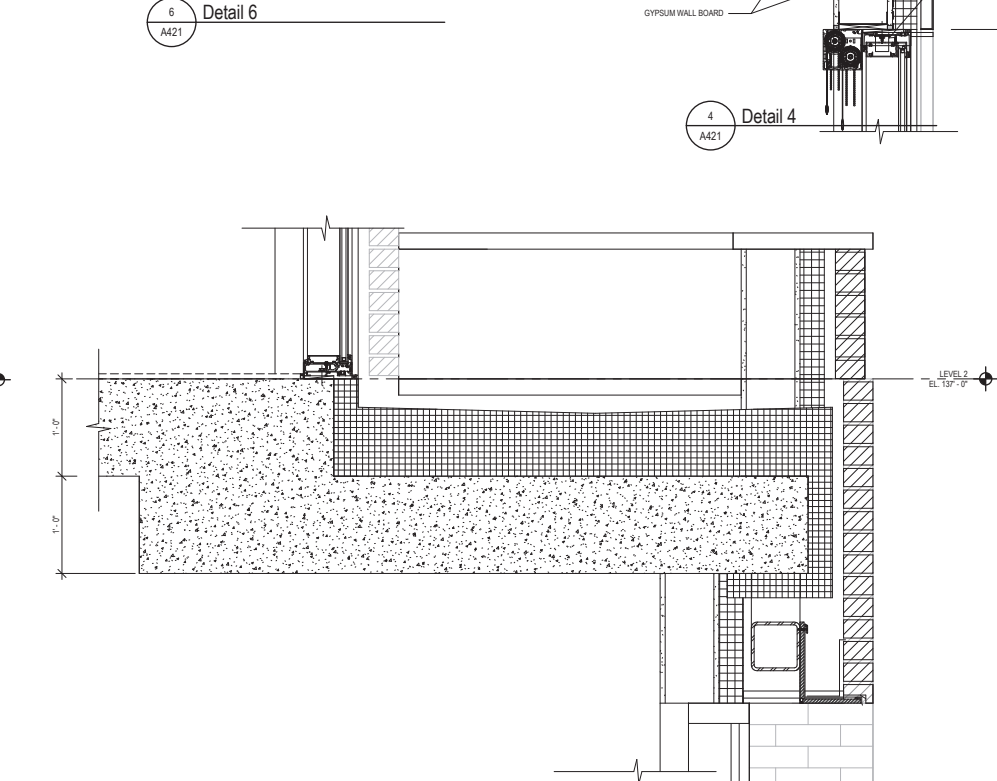
7 Detail 7  
A421



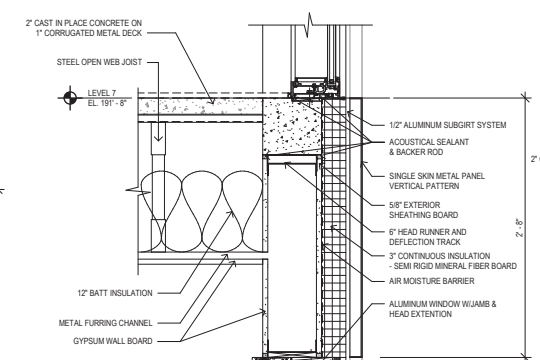
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A421



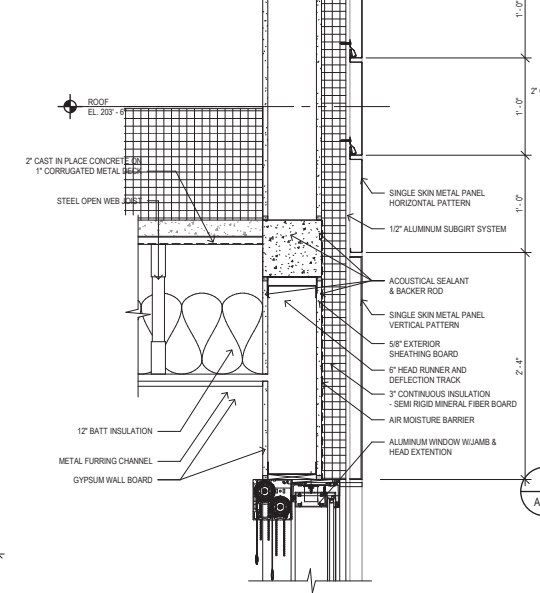
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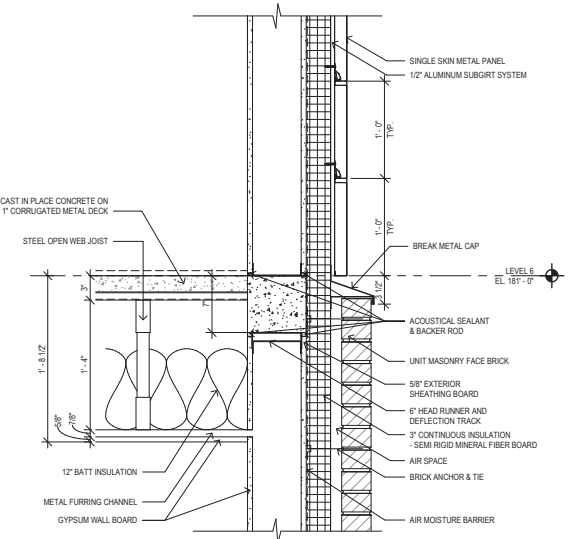
4 Detail 4  
A421



3 Detail 3  
A421



2 Detail 2  
A421

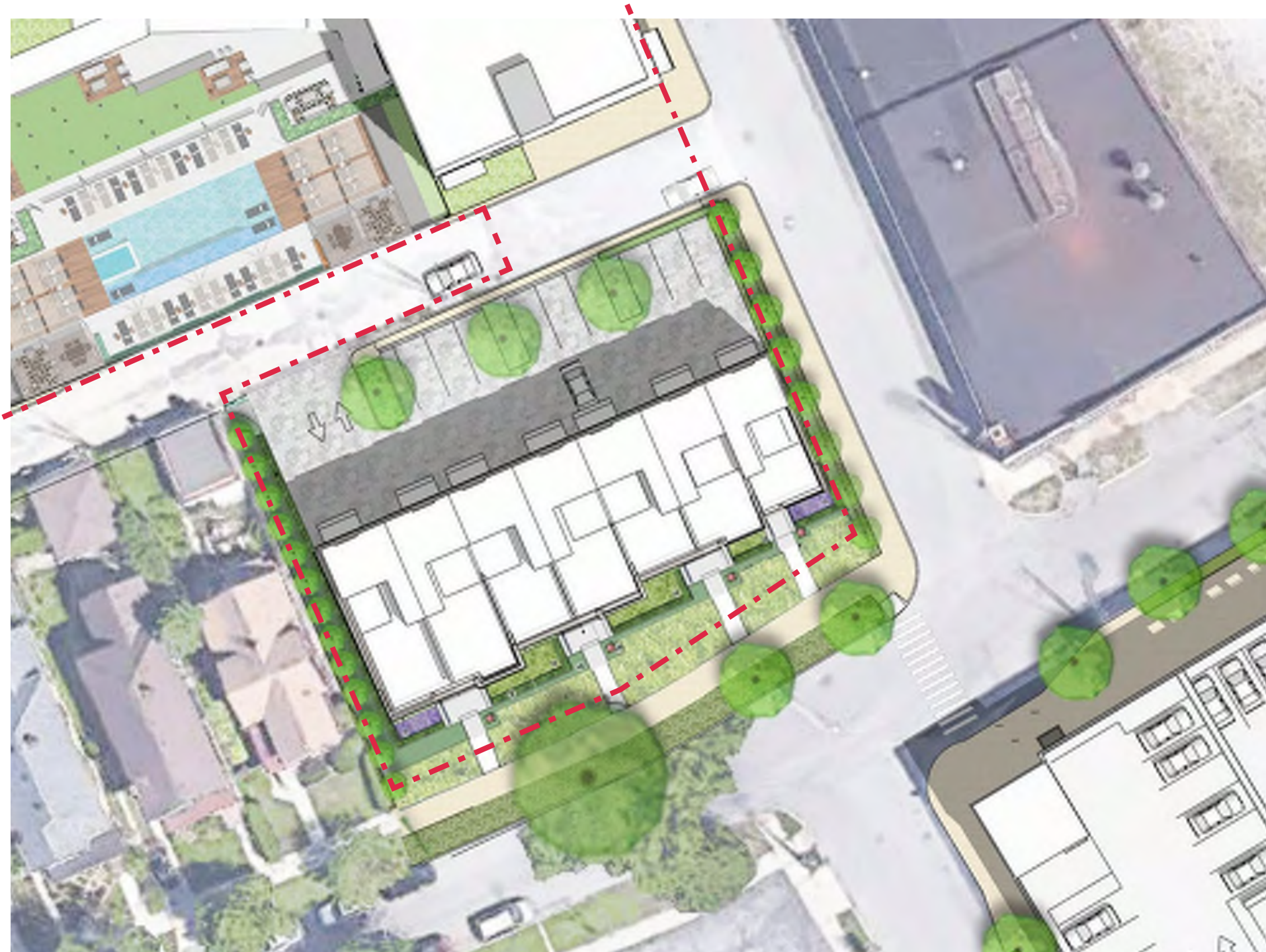


1 Detail 1  
A421

**SITE 1: EXTERIOR DETAILS**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



# SITE 1 TOWNHOUSES

## 10th Street Townhouses

- 3 stories / 35' high plus partially enclosed 4th floor roof deck.
- 7 Units
- 17 Spaces

## SITE 1 TOWNHOUSES: SITE PLAN

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1 TOWNHOUSES: LEVEL 01 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1 TOWNHOUSES: LEVEL 02 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



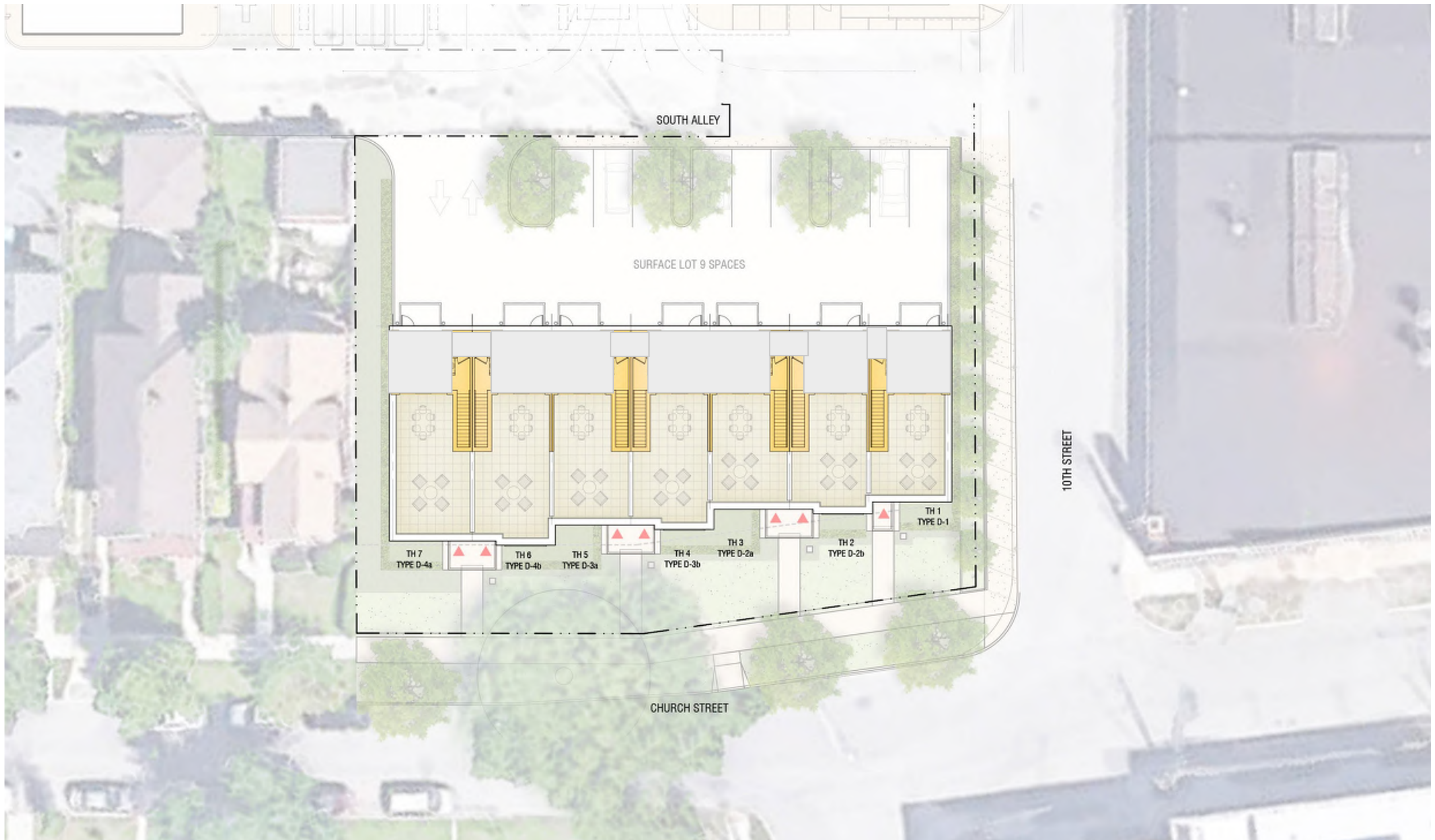
**SITE 1 TOWNHOUSES: LEVEL 04 PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



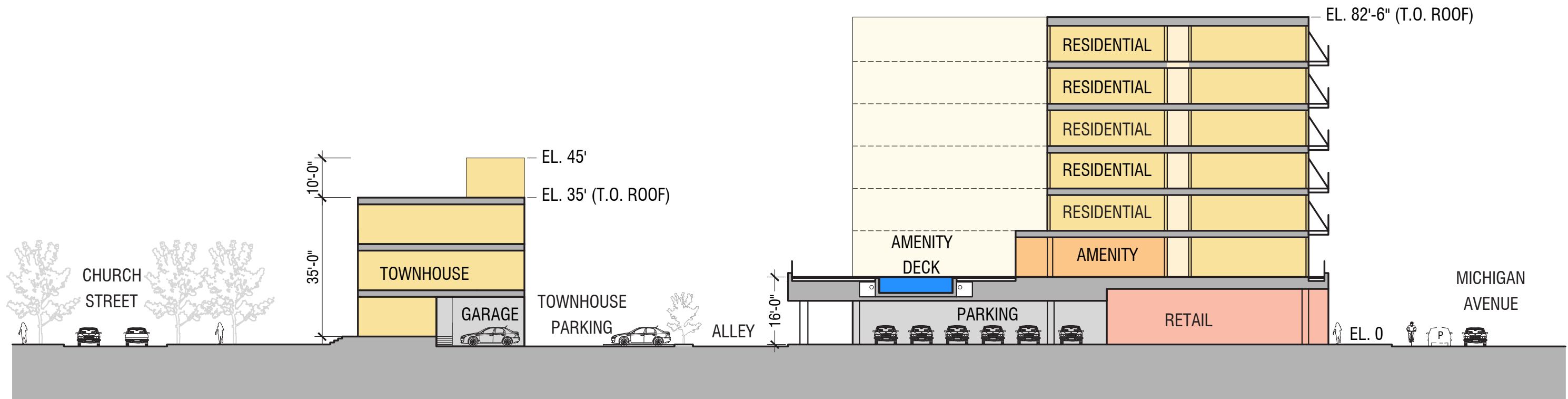
**SITE 1 TOWNHOUSES: LEVEL ROOF PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

0 8' 16'



THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1 : OVERALL SECTION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG





© ELKUS MANFREDI ARCHITECTS

## SITE 1 TOWNHOMES: VIEW FROM GARAGE

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



© ELKUS MANFREDI ARCHITECTS

## SITE 1 TOWNHOMES: VIEW FROM CHURCH STREET

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



10TH STREET

- 1** BRICK
- 2** METAL #1 MEDIUM GREY
- 3** METAL #2 DARK GREY
- 4** METAL #3 BRONZE
- 5** STONE BASE
- 6** GLASS #1 RESIDENTIAL WINDOW

**SITE 1 TOWNHOUSES: SOUTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › SITES 1

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



1

2

4

- 1 BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY

- 4 METAL #3 BRONZE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW

**SITE 1 TOWNHOUSES: EAST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › SITES 1

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



10TH STREET

**SITE 1 TOWNHOUSES: NORTH ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



1

4

2

CHURCH STREET

- 1 BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY
- 4 METAL #3 BRONZE
- 5 STONE BASE
- 6 GLASS #1 RESIDENTIAL WINDOW

**SITE 1 TOWNHOUSES: WEST ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 1 TOWNHOUSES: CHURCH STREET ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › SITES 1

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**Note Key**

- 1. Concrete Sidewalk
- 2. Concrete Planter Curb
- 3. Bollard Light
- 4. Townhome Porch
- 5. Existing Tree to Remain
- 6. Deciduous Shade Tree
- 7. Deciduous Columnar Tree
- 8. Evergreen Hedge - 24" ht.
- 9. Ornamental Grass - 15" ht.
- 10. Evergreen Groundcover - 6" ht.
- 11. Flowering Perennial - 30" ht.
- 12. Ornamental Grass - 36" ht.
- 13. Lawn
- 14. Accent Planter with Annual Flower Display



**SITE 1 TOWNHOUSES: LANDSCAPE PLAN**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER > RESURGENT ENGINEERING > IMEG



# SITE 2

## Garage

- 3 stories / 35' high
- 3,066 SF Retail
- 401 Garage Parking Spaces

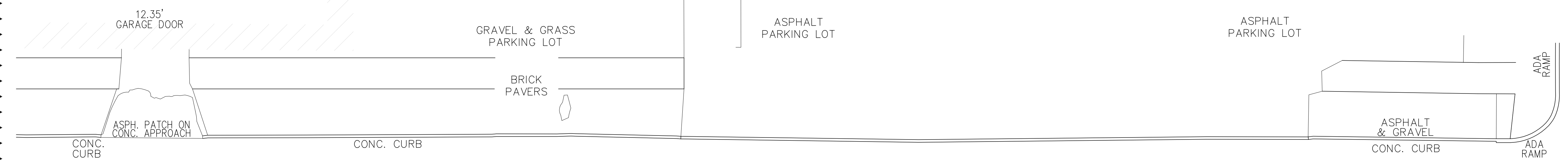


## SITE 2 : SITE PLAN

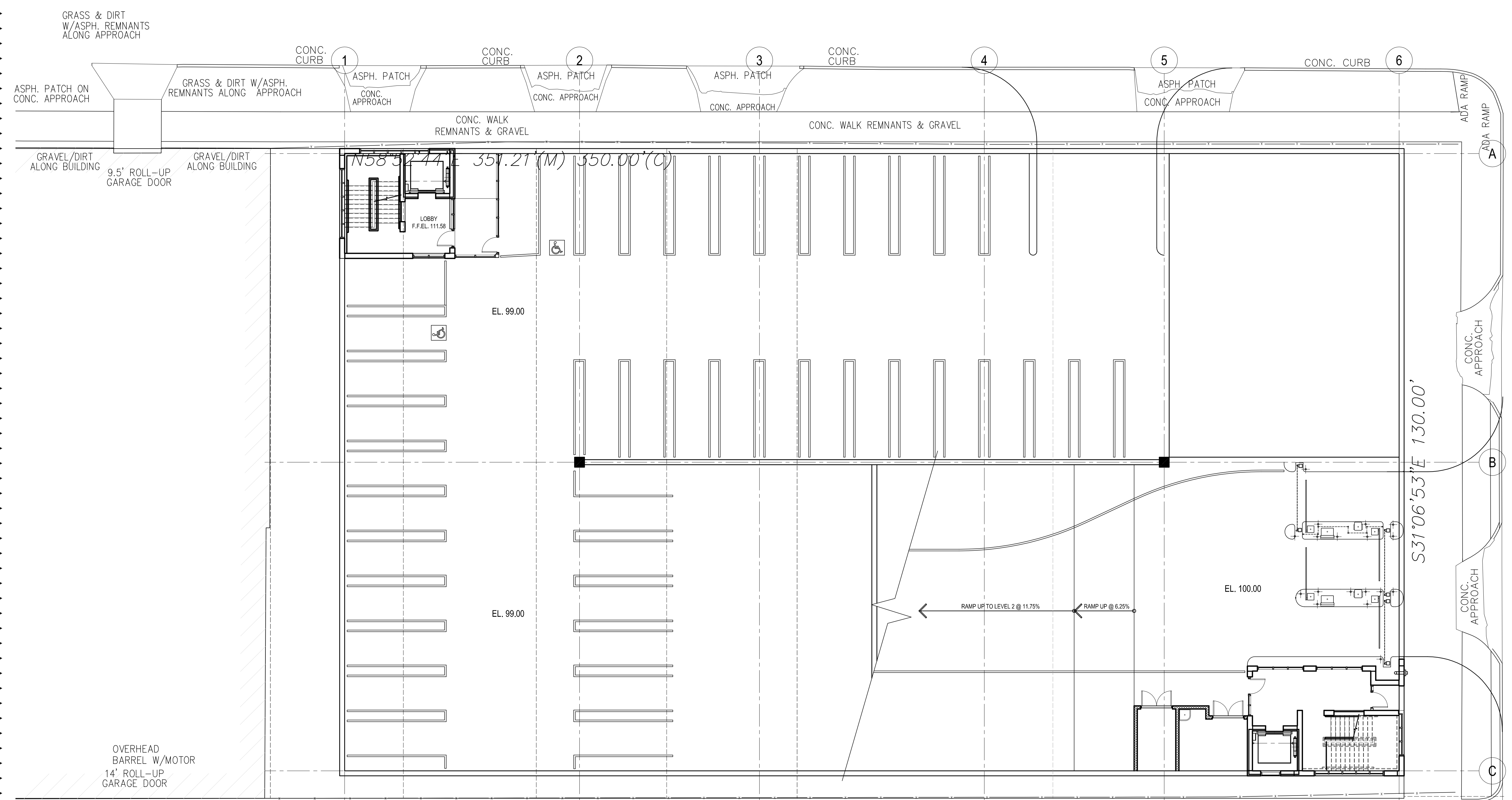
CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

CAR COUNT SUMMARY					
LEVELS	STANDARD STALLS	ACCESSIBLE STALLS	COMPACT STALLS	RESIDENTIAL STALLS	TOTAL
01	38	2	0	0	40
02	60	4	0	0	64
03	79	0	0	0	79
04	33	0	0	0	33
<b>TOTALS</b>	<b>210</b>	<b>6</b>	<b>0</b>	<b>0</b>	<b>216</b>



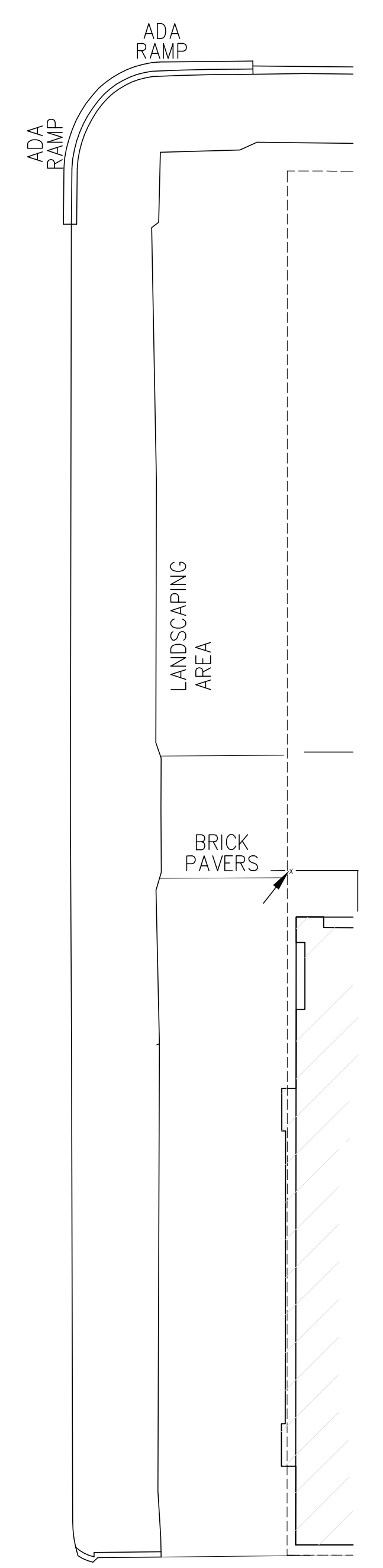
CHURCH ST. (60' WIDE - PUBLIC)



TRUMBULL AVE (100' WIDE - PUBLIC)

TRUMBULL AVE (100' WIDE - PUBLIC)

S58°52'44"W 351.21'(M) 350.00'(C) PUBLIC ALLEY (20' WIDE)



LEVEL 01 PLAN  
 3/32" = 1'-0"

Issued for

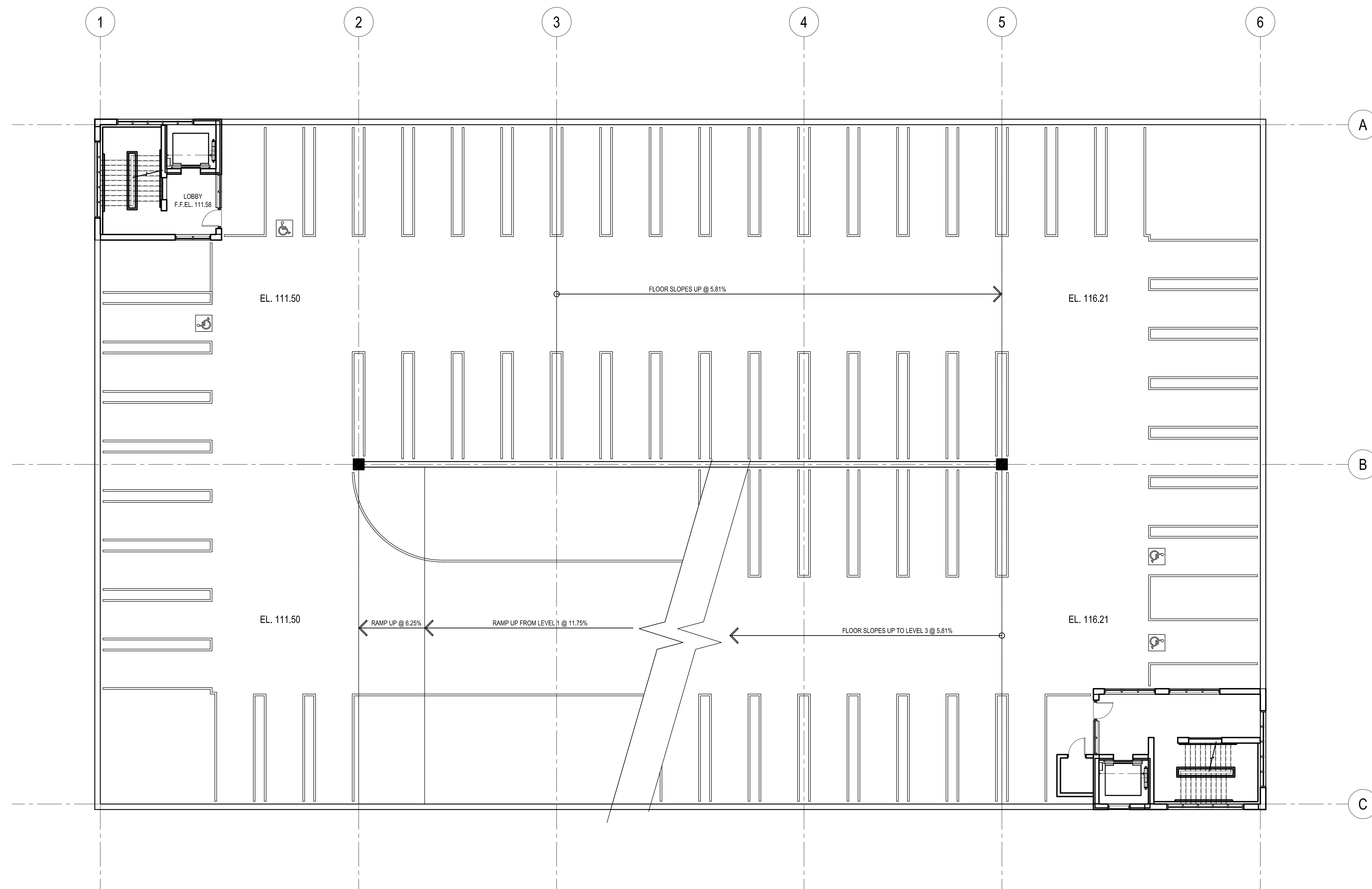
Drawn:  Preliminary  
 RWK  Construction  
 Checked:  Record  
 Approved:  Do not scale  
 Use figured dimensions only  
 Blk/pak Number

Job Number  
**2020009**  
 Title  
**LEVEL 01  
 STRIPING PLAN**

Sheet  
**A1**

**CORKTOWN  
 PARKING DECK**

1501 Church Street  
 Detroit, MI 48216



Issued for \_\_\_\_\_

Drawn  Preliminary  
 RWK  Construction  
 Checked  Record

Approved \_\_\_\_\_ **Do not scale**  
 Use figured dimensions only

Block Number \_\_\_\_\_

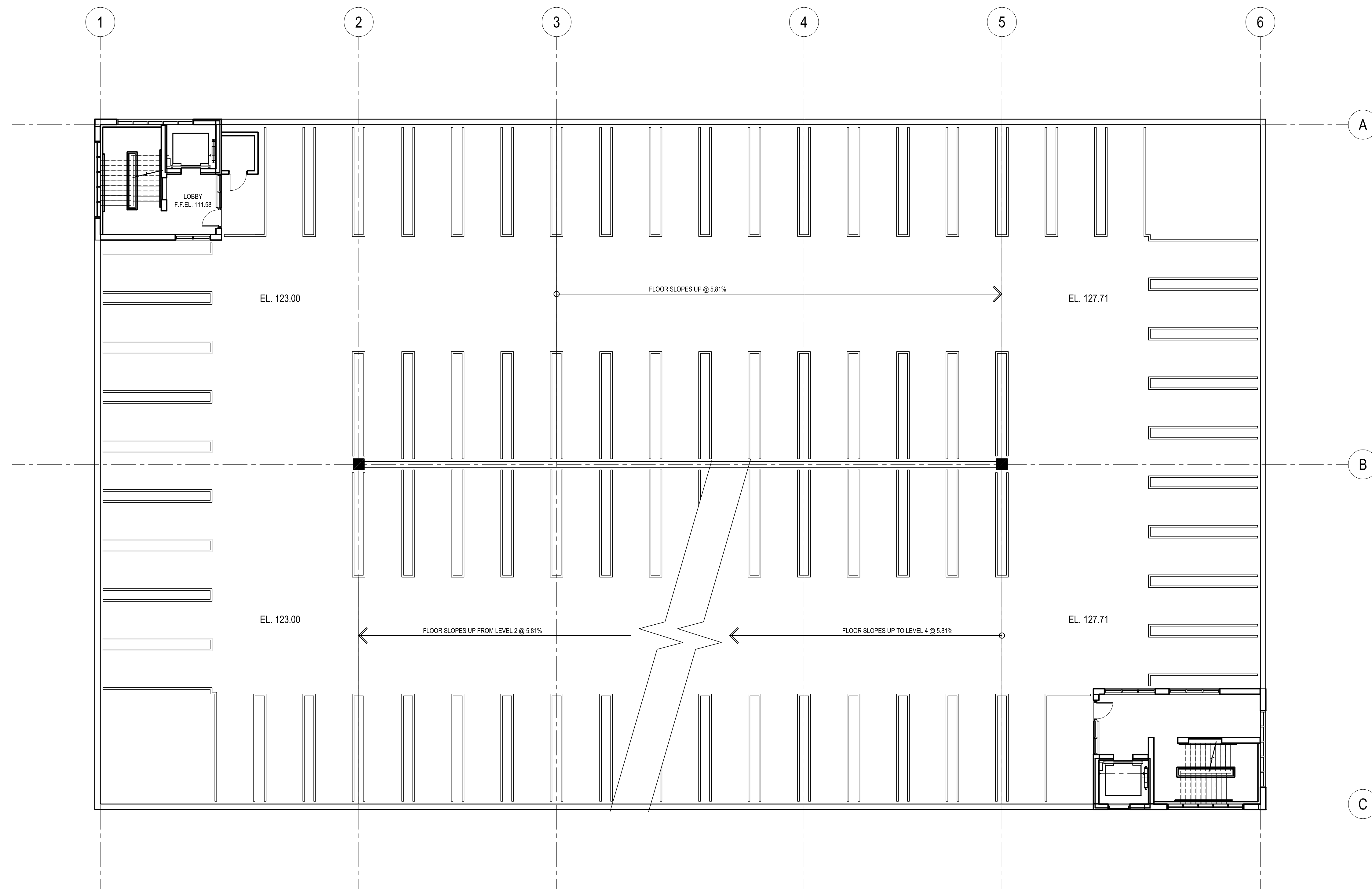
Job Number  
**2020009**  
 Title  
**LEVEL 02  
 STRIPING PLAN**

LEVEL 02 PLAN  
 3/32" = 1'-0"

Sheet  
**A2**

**CORKTOWN  
 PARKING DECK**

1501 Church Street  
 Detroit, MI 48216



Issued for \_\_\_\_\_

Drawn  Preliminary  
 RWK  Construction  
 Checked  Record  
 Approved \_\_\_\_\_  
 Bldgpak Number \_\_\_\_\_  
 Do not scale  
 Use figured  
 dimensions only

Job Number  
**2020009**  
 Title  
**LEVEL 03  
 STRIPING PLAN**

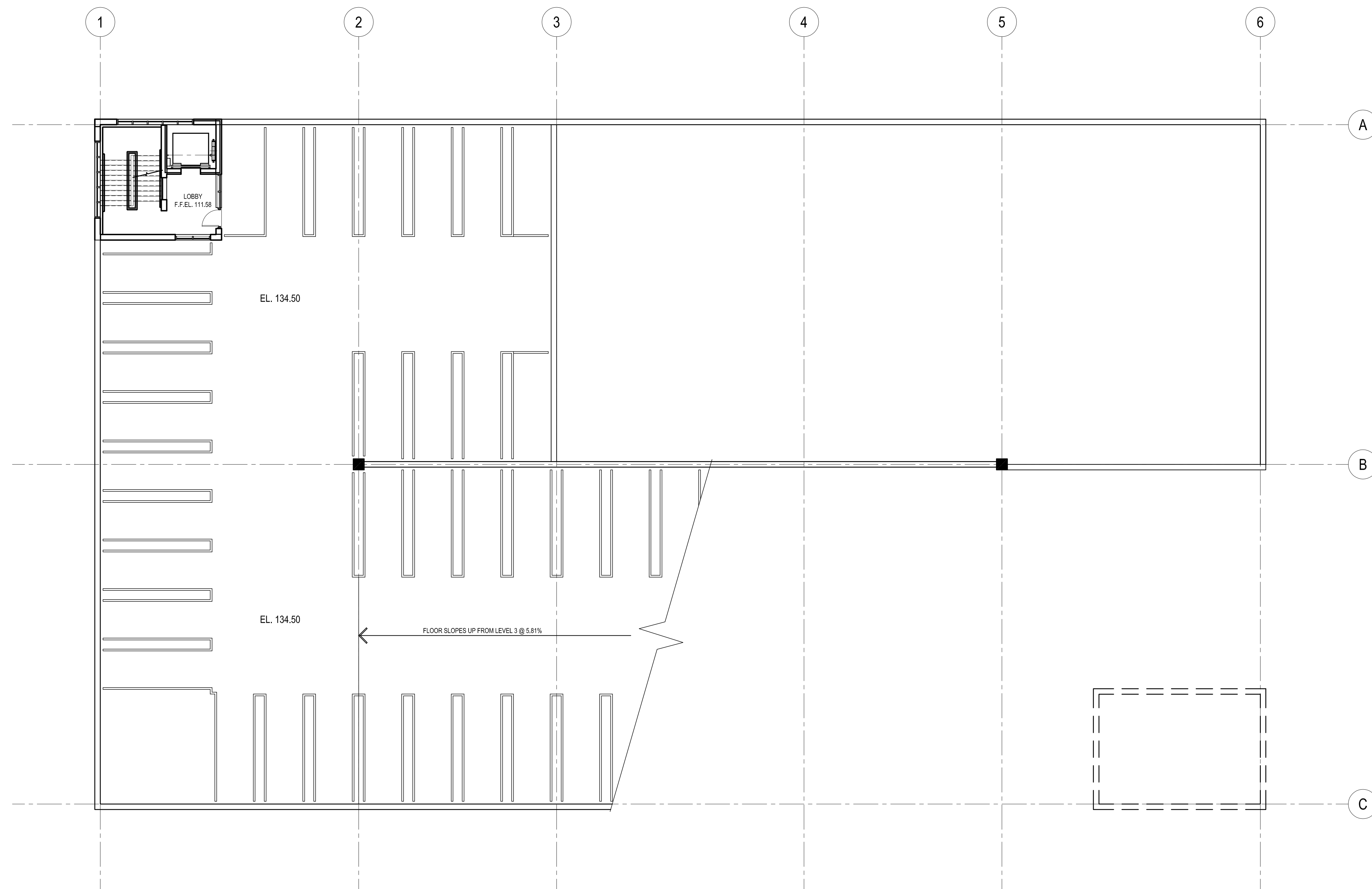
LEVEL 03 PLAN  
 3/32" = 1'-0"

Sheet  
**A3**

**CORKTOWN  
 PARKING DECK**

1501 Church Street  
 Detroit, MI 48216

**RICH & ASSOCIATES**  
 PARKING CONSULTANTS  
 ARCHITECTS • ENGINEERS • PLANNERS  
 26677 NORTHWESTERN HWY.  
 SUITE 208  
 SOUTHFIELD, MI 48033  
 SOUTHFIELD, MI LUTZ, FL  
 (248) 353-5580 (813) 949-8860  
 WWW.RICHASSOC.COM



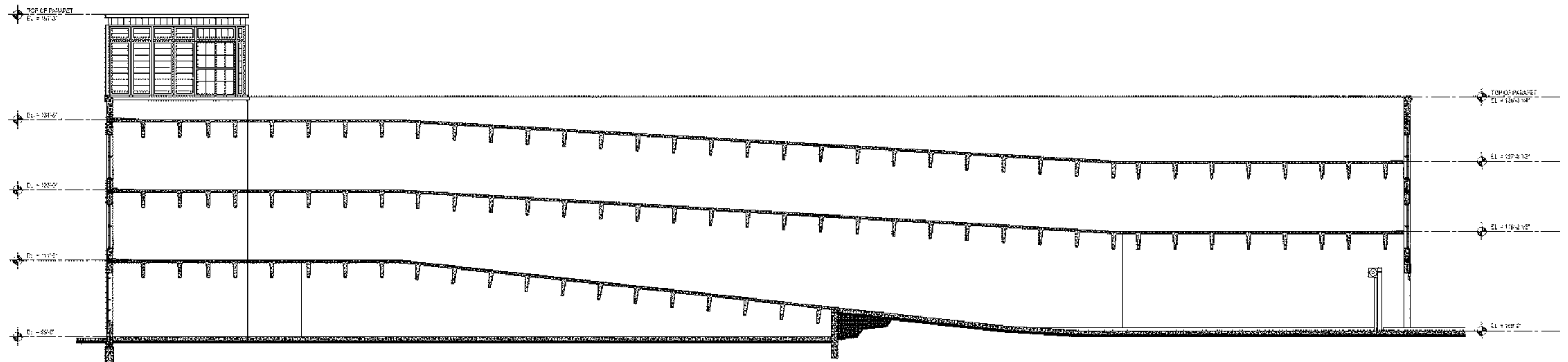
Issued for \_\_\_\_\_

Drawn  Preliminary  
 RWK  Construction  
 Checked  Record  
 Approved \_\_\_\_\_  
 Bldgpak Number \_\_\_\_\_  
**Do not scale**  
 Use figured  
 dimensions only

Job Number  
**2020009**  
 Title  
**LEVEL 04  
 STRIPING PLAN**

LEVEL 04 PLAN  
 3/32" = 1'-0"

Sheet  
**A4**



**SITE 2 : SECTION:**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY › HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : NORTH ELEVATION (CHURCH STREET)**

CORKTOWN › DETROIT, MICHIGAN › SITE 2

0 10' 20'

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



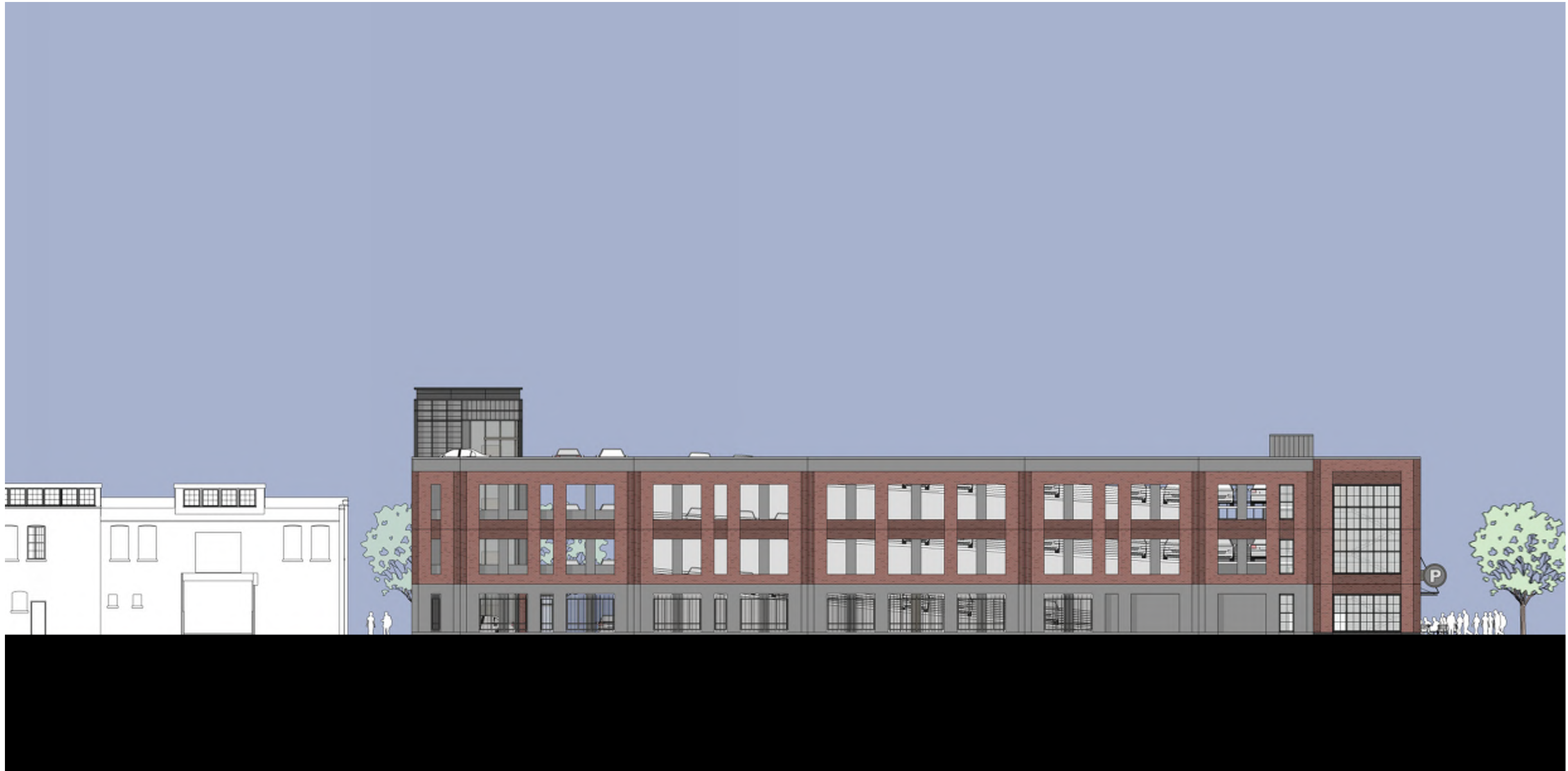
**SITE 2 : EAST ELEVATION (TRUMBULL AVE)**

CORKTOWN › DETROIT, MICHIGAN › SITE 2



THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



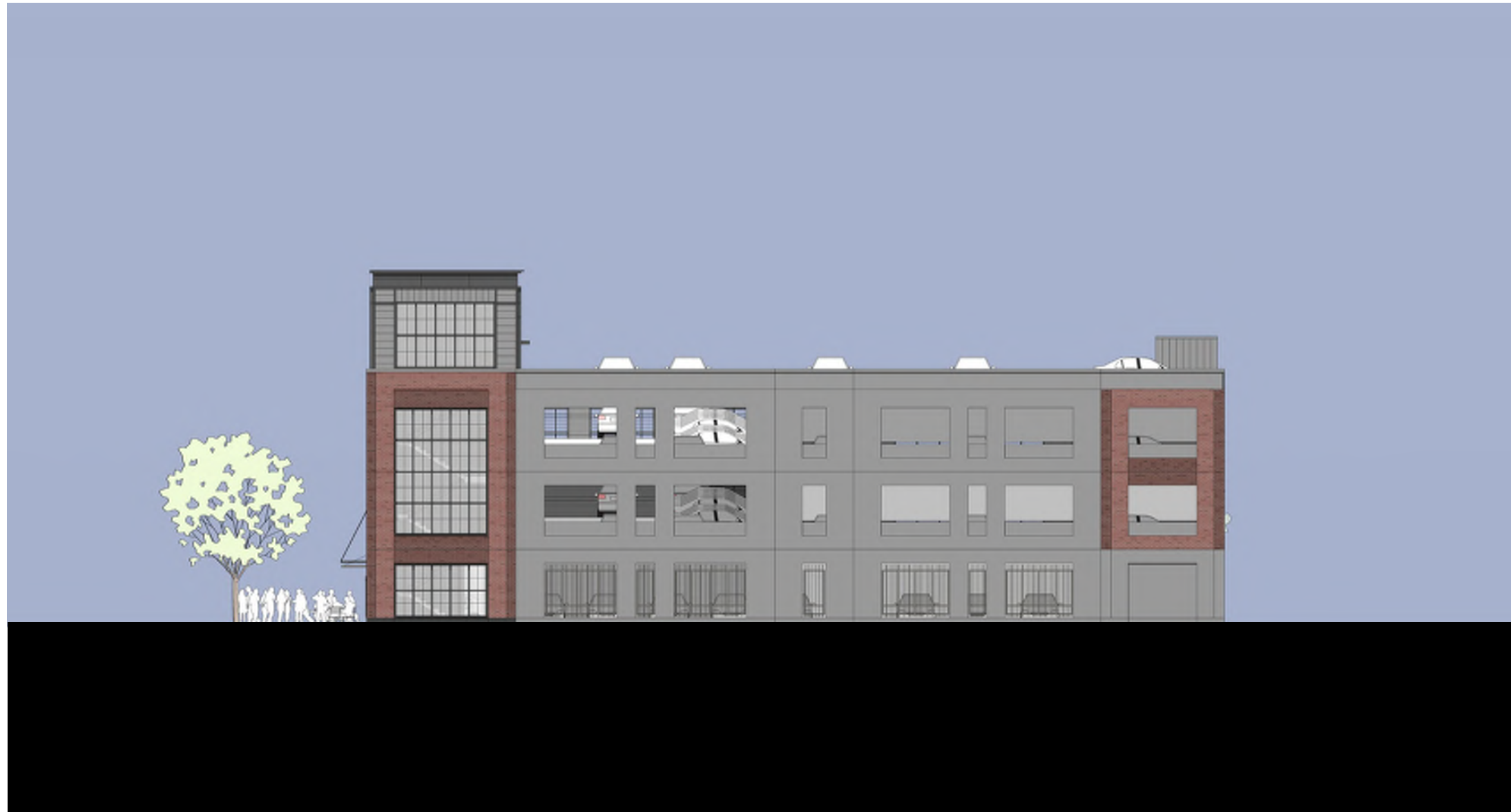


**SITE 2 : SOUTH ELEVATION (ALLEY)**

CORKTOWN › DETROIT, MICHIGAN › SITE 2

0 10' 20'

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : WEST ELEVATION (ALLEY)**

CORKTOWN › DETROIT, MICHIGAN › SITE 2

0 10' 20'

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



CHURCH STREET

10TH STREET

7

4

6

1

2

8

5

1

BRICK

2

ACCENT BRICK

3

METAL #1  
MEDIUM GREY

4

METAL #2  
DARK GREY

5

STONE BASE

6

PRECAST  
CONCRETE

7

GLASS #2  
STOREFRONT

8

DECORATIVE  
METAL GRILL

NOTE: THIS SLIDE OF THE FORMER LONG DECK HAS BEEN PROVIDED FOR THE DETAIL NOTES ONLY.

**SITE 2 PARKING GARAGE: CHURCH STREET ELEVATION**



**SITE 2 : AERIAL VIEW**

CORKTOWN › DETROIT, MICHIGAN › SITE 2

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : AXON**

CORKTOWN › DETROIT, MICHIGAN › SITE 2

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : RETAIL CORNER**

CORKTOWN › DETROIT, MICHIGAN › SITE 2

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : NORTHWEST CORNER**

**CORKTOWN** › DETROIT, MICHIGAN › **SITE 2**

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG



**SITE 2 : SOUTHEAST CORNER**

**CORKTOWN** › DETROIT, MICHIGAN › **SITE 2**

THE FORBES COMPANY › HUNTER PASTEUR HOMES › OXFORD CAPITAL  
ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

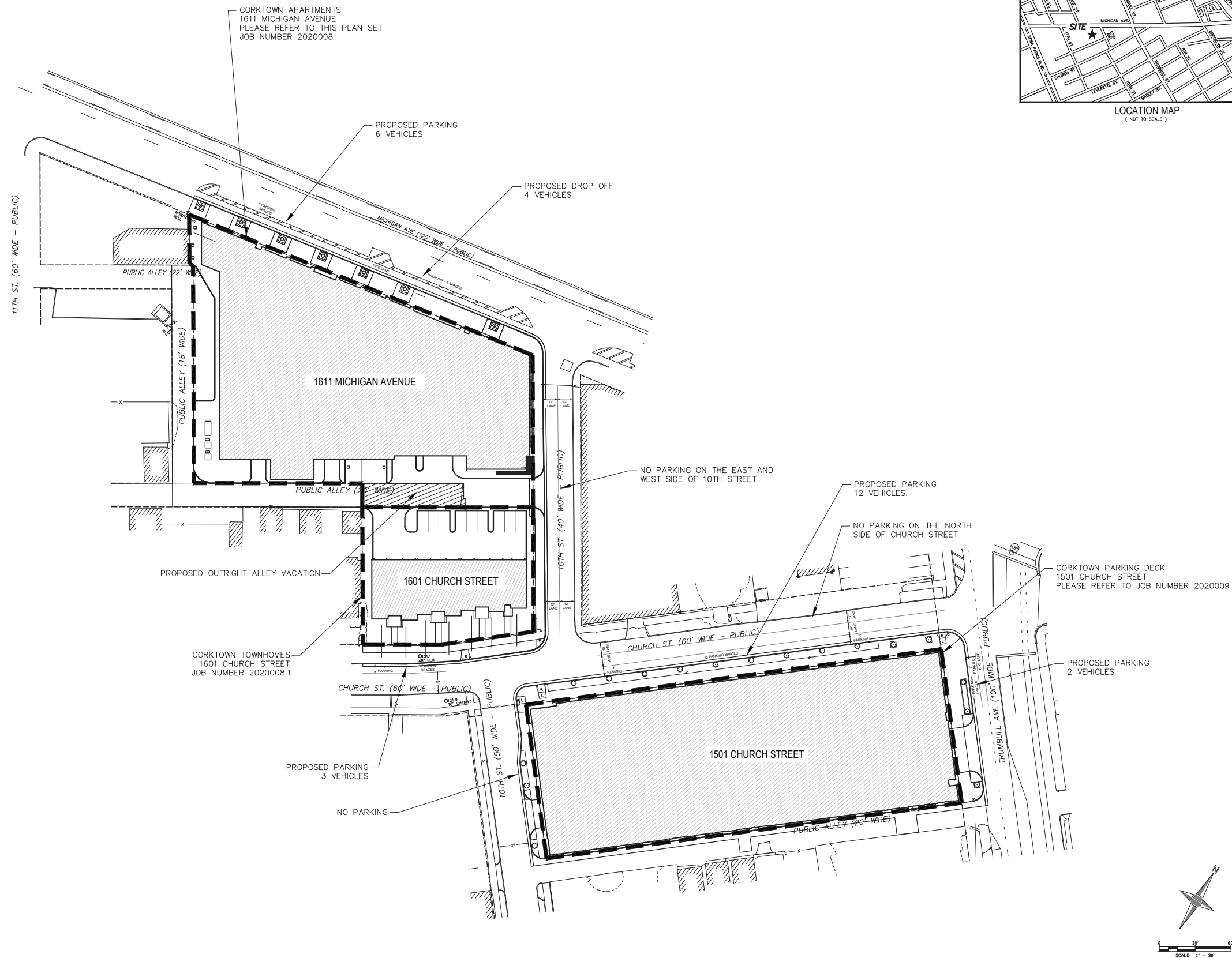




**SITE 2 PARKING GARAGE:VIEW FROM MICHIGAN AVE**

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2





**CIVIL : SITE PLAN**

**CORKTOWN** › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › **SITES 1&2**

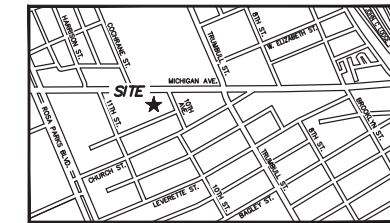
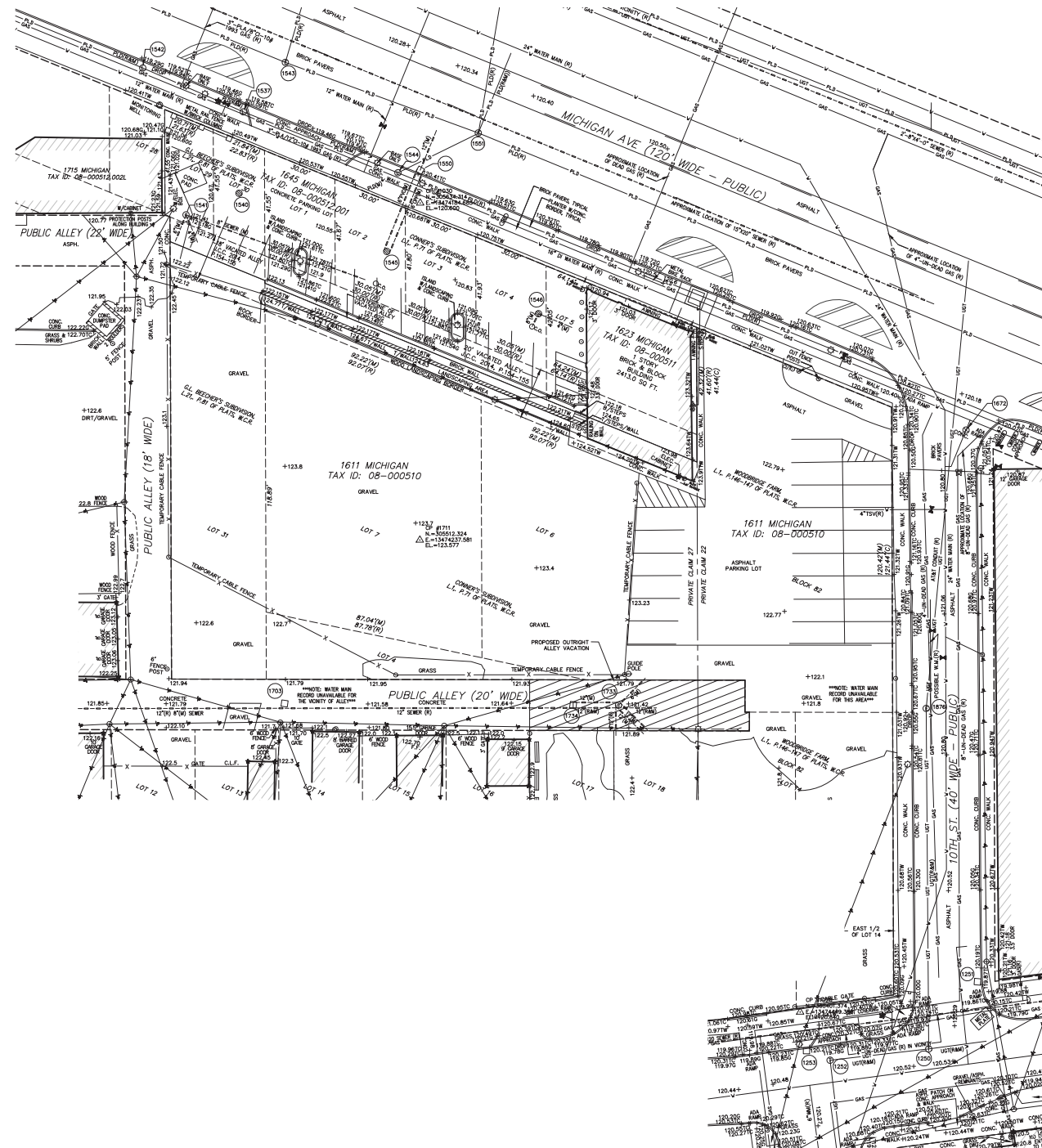
THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS > NEUMANN SMITH ARCHITECTURE  
 GIFFELS WEBSTER › RESURGENT ENGINEERING › IMEG

**PROPERTY DESCRIPTION**

**MICHIGAN AVE.**  
 (TAX RECORDS)  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 1/4 OF MICHIGAN AVENUE, THE NORTH 180 FEET OF BLOCK 82, EXCLUDING MICHIGAN AVENUE AS WEENED, OF CONNORS  
 VISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 LOTS 4 THROUGH 7, EXCLUDING THAT PART DEEDED FOR ALLEY, OF CONNORS SUBDIVISION, LIBER 1,  
 71 OF PLATS, WAYNE COUNTY RECORDS.  
 LOT 31 OF G.L. BEECHERS SUBDIVISION, LIBER 21, PAGE 81 OF PLATS, WAYNE COUNTY RECORDS  
 THAT PART OF LOT 4 LYING SOUTH OF, AND ADJACENT TO, SAID LOTS 6 AND 7, AND EAST, AND  
 CENT TO, SAID LOT 31 OF PRIVATE CLAIM 27.  
 D. 08000810)

**MICHIGAN AVE.**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 1/4 OF MICHIGAN AVENUE, LOT 4, EXCLUDING MICHIGAN AVENUE AS WEENED, OF CONNORS  
 VISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 D. 08000811)

**MICHIGAN AVE.**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 1/4 OF MICHIGAN AVENUE, LOTS 4, 1, 2, AND 3, EXCLUDING MICHIGAN AVENUE AS WEENED, OF CONNORS  
 VISION, LIBER 1, PAGE 146 OF PLATS, WAYNE COUNTY RECORDS.  
 LOTS 30 THROUGH 28, EXCLUDING MICHIGAN AVENUE AS WEENED, OF G.L. BEECHERS SUBDIVISION,  
 21, PAGE 81 OF PLATS, WAYNE COUNTY RECORDS.  
 D. 08000812 2019)



**LOCATION MAP**  
(NOT TO SCALE)

**LEGEND - EXISTING**

SECTION LINE	① SAN. MH
E/ PAVEMENT	○ C.O. SAN. CLEAN OUT
CURB	△ SAN. RISER
E/ GRAVEL	⊠ SAN. PUMP STATION
CL. ROAD	⊠ COMB. MH
E/ BRICK	⊠ GATE VALVE
E/ BROOK	⊠ HYDRANT
MISC. LINE	⊠ WATER VALVE
FENCE	⊠ WATER METER
GUARD RAIL	⊠ WELL HEAD
WALL	⊠ FCC CONNECTION
BLDG. LINE	⊠ STORM MH
OVERHEAD WIRES	⊠ CATCH BASIN
RAILING	⊠ BEEHIVE CB
OVERHANG LINE	⊠ CULVERT E.S.
T/ BANK	⊠ ROOF/DOWN SPOUT
B/ BANK	⊠ C.O. STORM CLEAN OUT
DL. DITCH/STREAM	⊠ ROUND CB
SUBIR LINE	⊠ LIGHT POLE
TREE LINE	⊠ UTILITY POLE
WATER EDGE	⊠ ELEC. TRANS.
WETLAND LINE	⊠ AIR CONDITIONER
STORM LINE	⊠ ELEC. MH
SAN. LINE	⊠ ELEC. METER
WATER LINE	⊠ ELEC. RISER
GAS LINE	⊠ FLD LINE
UG ELEC. LINE	⊠ STEAM LINE
UG TELE. LINE	⊠ ELECTRIC OVERHEAD
UG CABLE TV LINE	⊠ TELEPHONE OVERHEAD
PAINT STRIKE	⊠ TEL.
COMBINED SEWER	⊠ GAS METER
FLD LINE	⊠ GAS VALVE
STEAM LINE	⊠ GAS MH
TELEPHONE OVERHEAD	⊠ TELE. RISER
TEL.	⊠ TELE. MH
	⊠ TELE. CROSS BOX
	⊠ CABLE RISER
	⊠ PAY PHONE
	⊠ MANHOLE
	⊠ SOIL
	⊠ PROT. POST/GUARD POST
	⊠ GUY
	⊠ DECIDUOUS TREE
	⊠ CONIFEROUS TREE
	⊠ DEAD TREE
	⊠ UTILITY FLAG
	⊠ BLDG. CORNER (FIELD LOCATED)
	⊠ HANDICAP PARKING
	⊠ BUSH/SHRUB
	⊠ PARKING METER
	⊠ RESIDENTIAL MAILBOX
	⊠ U.S. MAILBOX
	⊠ EXISTING ELEVATION
	⊠ SAN. MH
	⊠ C.O. SAN. CLEAN OUT
	⊠ SAN. RISER
	⊠ SAN. PUMP STATION
	⊠ COMB. MH
	⊠ GATE VALVE
	⊠ HYDRANT
	⊠ WATER VALVE
	⊠ WATER METER
	⊠ WELL HEAD
	⊠ FCC CONNECTION
	⊠ STORM MH
	⊠ CATCH BASIN
	⊠ BEEHIVE CB
	⊠ CULVERT E.S.
	⊠ ROOF/DOWN SPOUT
	⊠ C.O. STORM CLEAN OUT
	⊠ ROUND CB
	⊠ LIGHT POLE
	⊠ UTILITY POLE
	⊠ ELEC. TRANS.
	⊠ AIR CONDITIONER
	⊠ ELEC. MH
	⊠ ELEC. METER
	⊠ ELEC. RISER
	⊠ FLD LINE
	⊠ STEAM MH
	⊠ ELECTRIC OVERHEAD
	⊠ TELEPHONE OVERHEAD
	⊠ TEL.
	⊠ GAS METER
	⊠ GAS VALVE
	⊠ GAS MH
	⊠ TELE. RISER
	⊠ TELE. MH
	⊠ TELE. CROSS BOX
	⊠ CABLE RISER
	⊠ PAY PHONE
	⊠ FOUND IRON
	⊠ FOUND NAIL
	⊠ F. CUT CROSS
	⊠ SECTION COR.
	⊠ FENCE POST
	⊠ BENCHMARK
	⊠ FOUND PPE
	⊠ FOUND MON.
	⊠ ASPH.
	⊠ CONC.
	⊠ A.C. AIR CONDITIONER
	⊠ G.P. GUARD POST
	⊠ CL.F. CHAIN-LINK FENCE
	⊠ D.L. DOOR LEDGE
	⊠ F.F. FINISHED FLOOR
	⊠ F.I.P. FOUND IRON PIPE
	⊠ M. MEASURED
	⊠ R. RECORD
	⊠ F.M. FOUND MONUMENT
	⊠ S.N. SET NAIL
	⊠ CMP
	⊠ ROP
	⊠ G.L. GROUND LIGHT

**BENCHMARK DATA**

(CITY OF DETROIT) DATUM

**BENCHMARK 1**  
 MAG. SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVERETTE STREET.  
 ELEVATION: 122.3178  
 (SHOWN GRAPHICALLY)

**BENCHMARK 2**  
 ARROW ON HYDRANT (WITH YEAR STAMP 1940), LOCATED AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.  
 ELEVATION: 123.06  
 (OUT OF SCOPE OF PLOTTED AREA)

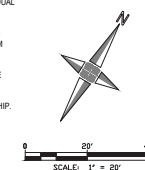
**BENCHMARK 3**  
 ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET.  
 ELEVATION: 122.75  
 (SHOWN GRAPHICALLY)

**BENCHMARK 4**  
 ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1645 MICHIGAN AVENUE.  
 ELEVATION: 123.13  
 (SHOWN GRAPHICALLY)

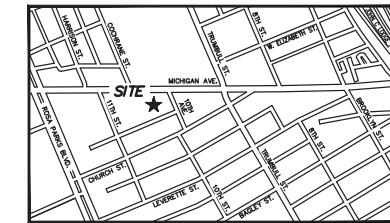
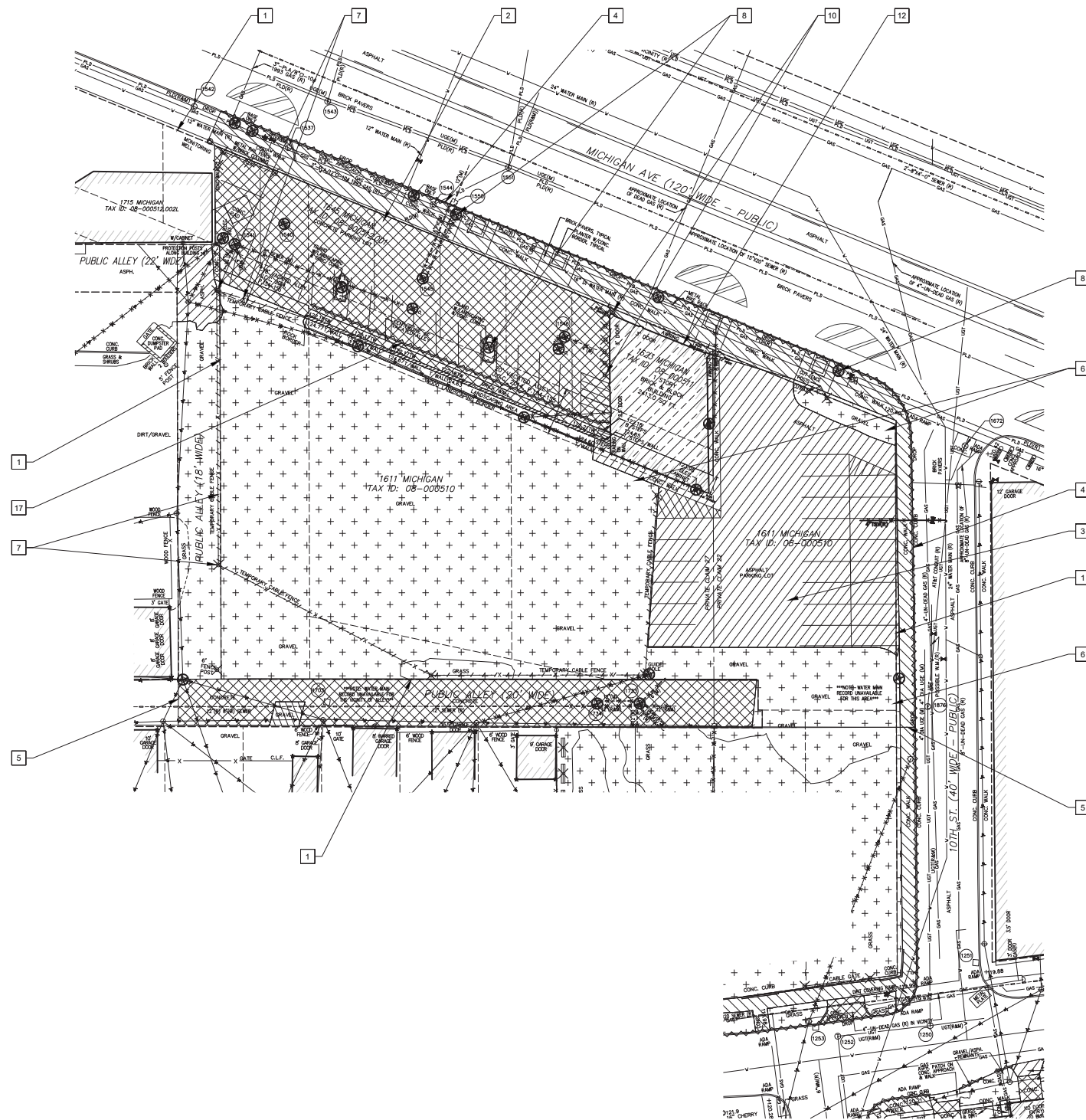
**BENCHMARK 5**  
 MAG. NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVERETTE STREET.  
 ELEVATION: 120.17  
 (SHOWN GRAPHICALLY)

**NOTES:**

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20' WIDE PUBLIC ALLEY, LOCATED BETWEEN MICHIGAN AVE & CHURCH ST., & BETWEEN 10TH ST. & A 16' WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAD83).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.



**1 EXISTING CONDITIONS**  
 C-200 1" = 20'



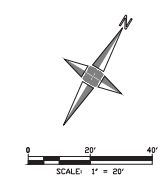
LOCATION MAP  
( NOT TO SCALE )

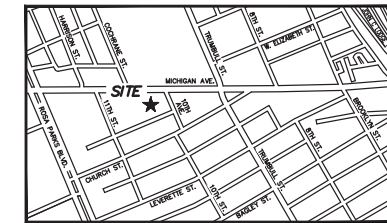
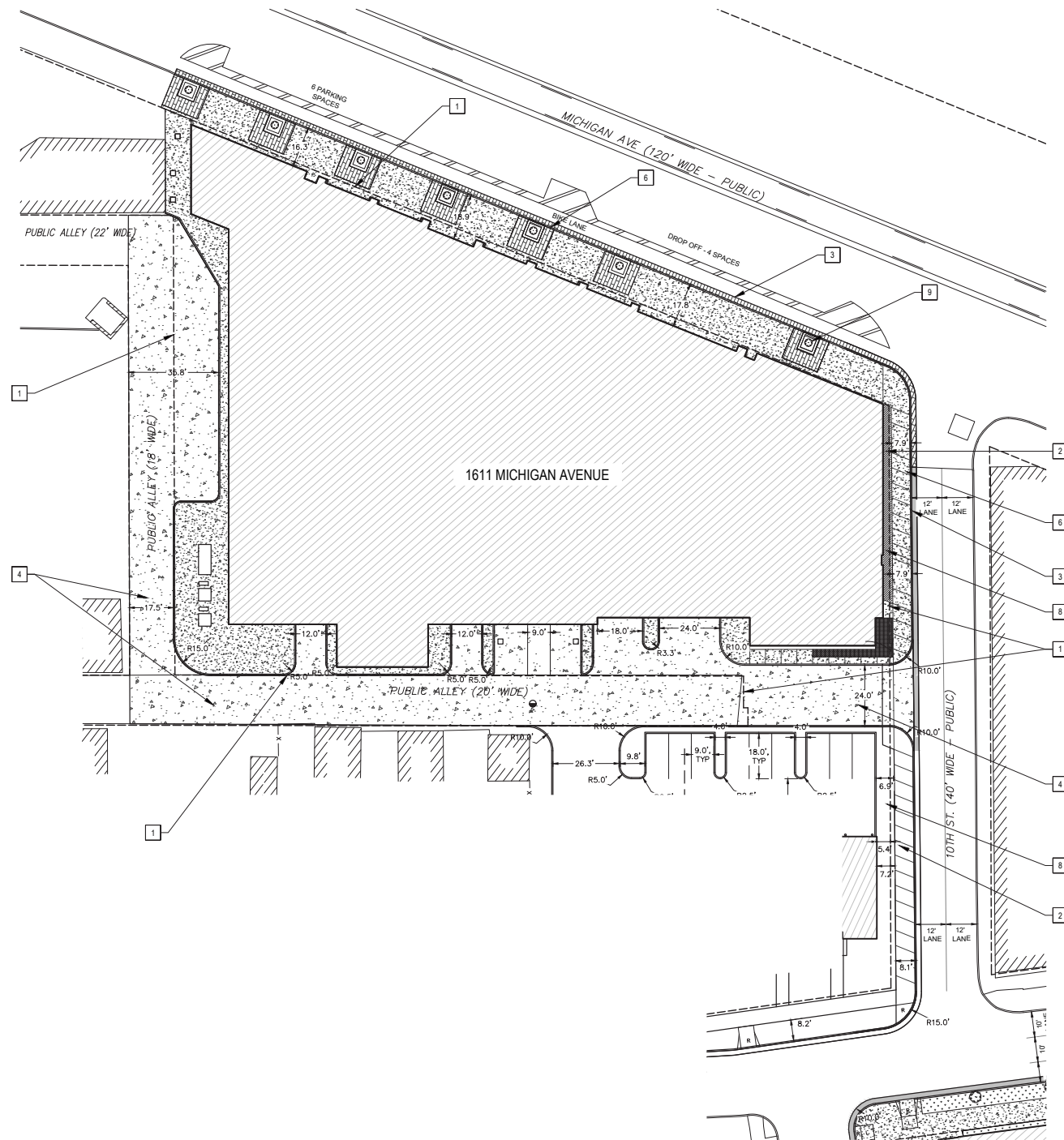
**DEMOLITION PLAN - LEGEND**

REMOVE/DEMOLISH UTILITY LINE	- x - x - x - x - x - x -
REMOVE/DEMOLISH CURB AND GUTTER	~ ~ ~ ~ ~
REMOVE FENCE	- . - . - . - . - . - . -
REMOVE/DEMOLISH UTILITY STRUCTURE	⊗
REMOVE TREE, SHRUB, OR ITEM	×
REMOVE EXISTING BUILDING	[Hatched Box]
REMOVE CONCRETE PAVEMENT	[Cross-hatched Box]
REMOVE ASPHALT PAVEMENT	[Diagonal Hatched Box]
REMOVE CONCRETE SIDEWALK	[Horizontal Hatched Box]
REMOVE GRASS, BRUSH, GRAVEL AND/OR DEBRIS	[Box with + signs]

- DEMOLITION PLAN - KEY NOTES**
- 1 EXISTING PROPERTY LINE, TYP
  - 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
  - 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
  - 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
  - 5 SAWCUT EXISTING PAVEMENT, TYP
  - 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
  - 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
  - 8 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
  - 9 EXISTING CATCH BASIN/MANHOLE STRUCTURE TO BE REMOVED
  - 10 REMOVE AND DISPOSE OF BOLLARDS, TYP.
  - 11 EXISTING TREE TO BE REMOVED
  - 12 REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
  - 13 EXISTING BRICK PAVERS TO BE REMOVED AND SALVAGED FOR REUSE.
  - 14 EXISTING SEWER TO BE REMOVED
  - 15 EXISTING GAS TO BE REMOVED/RELOCATED; COORDINATE WITH DTE GAS
  - 16 EXISTING WATER PIPE AND STRUCTURES TO BE REMOVED. COORDINATE WITH DWS
  - 17 REMOVE BRICK WALL AND ADJACENT LANDSCAPE

1 DEMOLITION PLAN  
C-300 1" = 20'





LOCATION MAP  
(NOT TO SCALE)

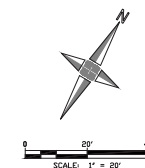
PAVING PLAN - LEGEND

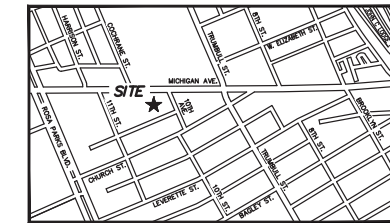
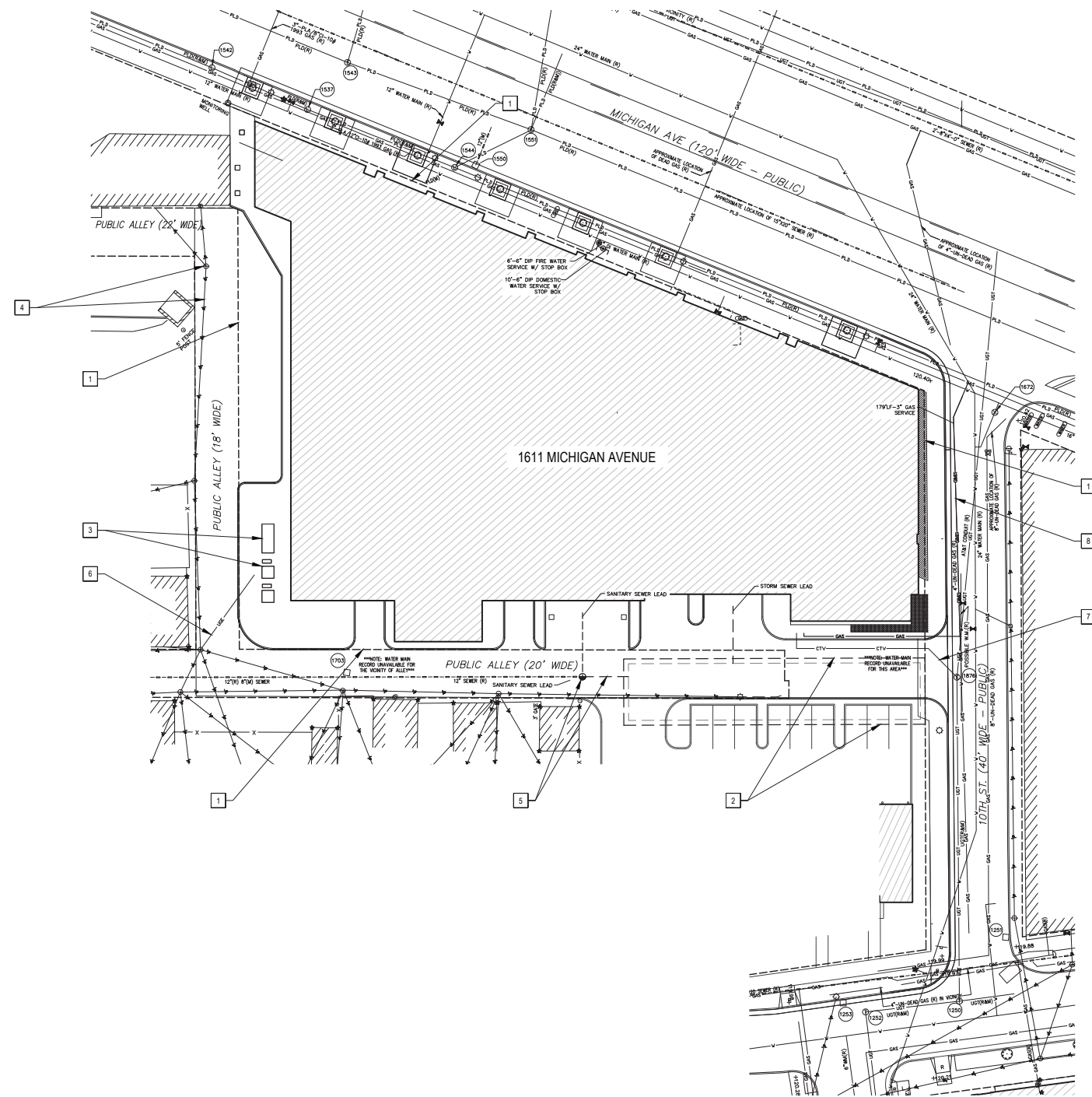
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

- | # | NOTE  |
|---|---|
| 1 | RIGHT-OF-WAY LINE, TYP.   |
| 2 | NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800  |
| 3 | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 4 | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS  |
| 5 | NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800.  |
| 6 | PROVIDE AND INSTALL NEW INTEGRAL CURBS AND SIDEWALK. SEE DETAIL ON SHEET C-800.   |
| 7 | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 8 | PLEASE REFER TO GMA LANDSCAPE PLANS FOR PLANTER BED AND PLANTING DETAILS ON 10TH STREET.  |
| 9 | PLEASE REFER TO SHEET L-100 FOR LANDSCAPE DETAILS ON MICHIGAN AVENUE.   |

1 PAVING PLAN  
C-500 1" = 20'





LOCATION MAP  
( NOT TO SCALE )

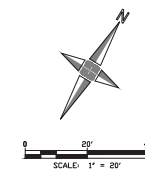
UTILITY PLAN - LEGEND

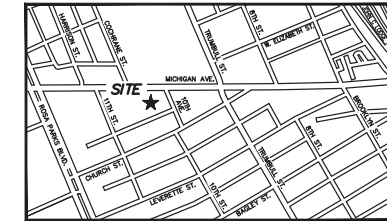
STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	⊗
STOP BOX AND VALVE	⊙
FIRE DEPARTMENT CONNECTION	⊕
CATCH BASIN	■
SANITARY SEWER DRAIN	⊖
SANITARY CLEANOUT	⊙
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
STORM SEWER CLEANOUT	⊙
UNDERGROUND DETENTION SYSTEM	[---]

UTILITY PLAN - KEY NOTES

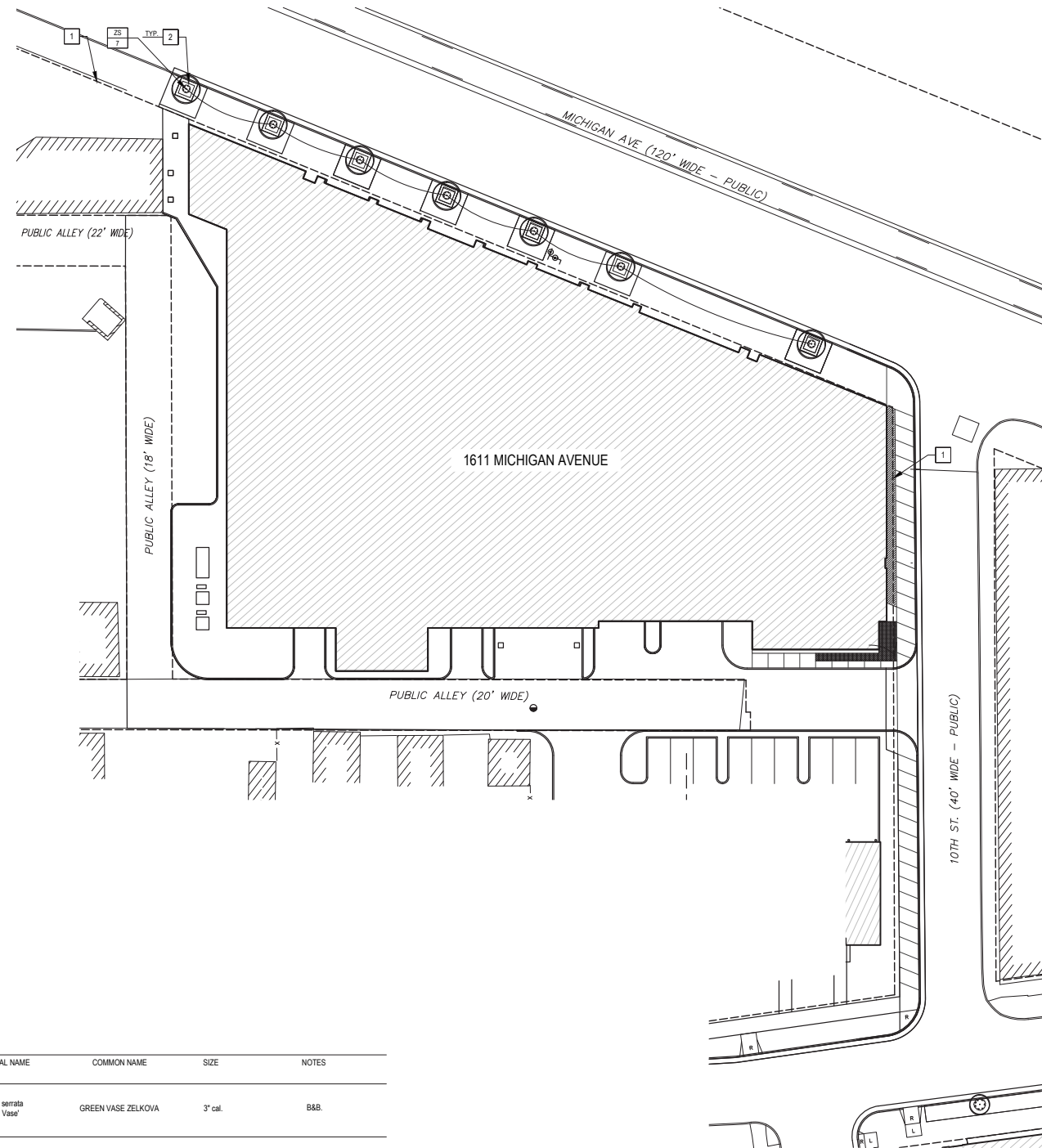
- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF SHARED CONTECH UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 ELECTRICAL EQUIPMENT, SEE MEP PLANS FOR DETAILS
- 4 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 5 NEW STORM MANHOLE AND NEW PVC PIPE FOR STORM
- 6 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 7 NEW COMMUNICATIONS LINE
- 8 NEW GAS LINE

1 UTILITY PLAN  
C-700 1" = 20'





LOCATION MAP  
( NOT TO SCALE )



**GENERAL NOTES:**

1. All Construction shall conform to the current standards and specifications of local ordinances.
2. All areas not built, landscaped, or paved upon shall receive seasoned double shredded hardwood bark mulch.
3. During installation and construction, the Contractor must provide a watering method for all plant material until it has become established.
4. Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit.
5. A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
6. The development of this site will not result in any increase in dust, odor, smoke, fumes, noise, lights, or other objectionable features.

**LANDSCAPE CONTRACTOR'S  
"TWO-YEAR IRRIGATION REQUIREMENT PERIOD"**

It shall be the responsibility of the landscape contractor to provide water as required to ensure delivery of proper and adequate water supply to all plant material to ensure the establishment of healthy plant material for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

**PLANT NOTES:**

1. Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
2. Planting bed soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preen" or equal) after planting, 2-3 times per growing seasons, at the rate recommended by product manufacturer.
3. Planting pockets shall be no deeper than twice the height of the root ball.
4. All tree wrap shall be removed upon planting.
5. Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architectural engineer prior to placement.
6. Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
7. Remove the top 1/2 of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
8. Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 Grade.
9. Plant material shall be planted within the annual planting window of March 15 through November 15.
10. All plant ID tags are to remain until all plants are accepted on site.
11. Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.
12. Grass seed shall be certified turf grass seed complying with A.S.P.A specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn. Areas scheduled for lawn seed shall receive a minimum of 3" of screen topsoil at 3" depth unless otherwise noted on plans.

**LAWN SEED MIX:**

- 30% Perennial Ryegrass
- 20% Park Kentucky Bluegrass
- 45% Creeping Red Fescue
- 5% Annual Ryegrass
- 4 lb /1000 sf Seeding Rate

**PLANT LEGEND**

SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	DECIDUOUS TREES	ZS	7	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3" cal.	B&B.

**LANDSCAPE PLAN - KEY NOTES**

SOD LAWN

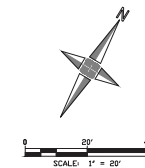
**LANDSCAPE PLAN - LEGEND**

# NOTE

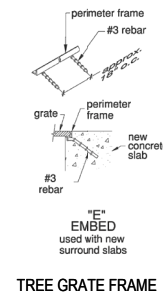
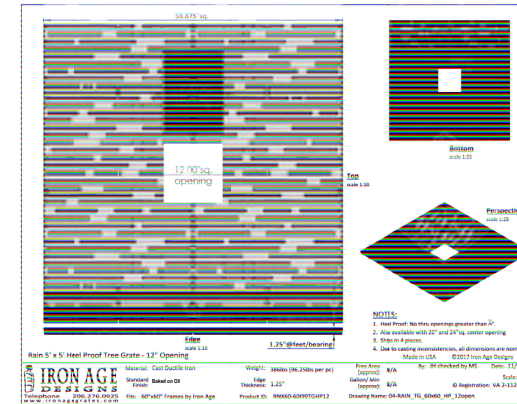
1 EXISTING PROPERTY LINE, TYP.

2 DECIDUOUS TREE IN TREE GRATE, SEE DETAIL L-600, TYP.

1 LANDSCAPE PLAN  
L-100 1" = 20'

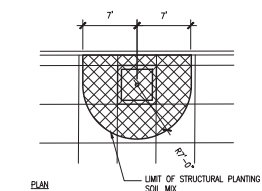




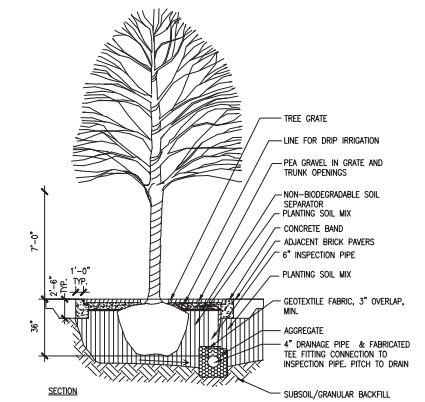


**TREE GRATE FRAME**

**IRON AGE 'RAIN' 5' X 5' BAKED ON OIL FINISH TREE GRATE**



**PLAN**



**SECTION**

**DECIDUOUS TREE IN TREE GRATE**

**PROPERTY DESCRIPTION**

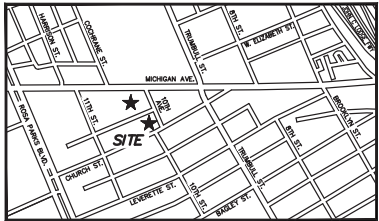
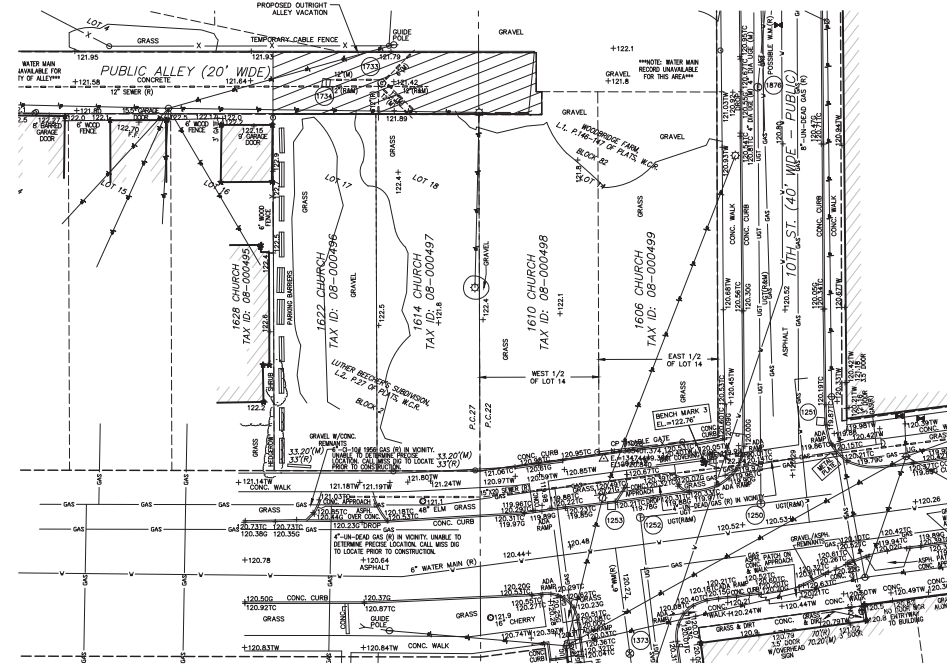
**CHURCH ST**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 H/OF CHURCH STREET, THE EAST 1/2 OF LOT 14, BLOCK 82, OF WOODBRIDGE FARM, LIBER 1, PAGES 148  
 UGH 147 OF PLATS, WAYNE COUNTY RECORDS.

**CHURCH ST**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 H/OF CHURCH STREET, THE WEST 1/2 OF LOT 14, EXCLUDING THE NORTH 7.4 FEET OF THE WEST 20.23  
 BLOCK 82, OF WOODBRIDGE FARM, LIBER 1, PAGES 148 THROUGH 147 OF PLATS, WAYNE COUNTY  
 RECORDS.

**CHURCH ST**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 H/OF CHURCH STREET, LOT 18, BLOCK 2, OF LUTHER BEECHERS SUBDIVISION, LIBER 2, PAGE 27 OF  
 1 WAYNE COUNTY RECORDS.

**CHURCH ST**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 H/OF CHURCH STREET, LOT 11, BLOCK 2, OF LUTHER BEECHERS SUBDIVISION, LIBER 2, PAGE 27 OF  
 1 WAYNE COUNTY RECORDS.

**CHURCH ST**  
 LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 H/OF CHURCH STREET, LOT 11, BLOCK 2, OF LUTHER BEECHERS SUBDIVISION, LIBER 2, PAGE 27 OF  
 1 WAYNE COUNTY RECORDS.



**LEGEND - EXISTING**

SECTION LINE	① SAN. MH
E/ PAVEMENT	② SAN. CLEAN OUT
CURB	③ SAN. RISER
E/ GRAVEL	④ SAN. PUMP STATION
E/ ROAD	⑤ COMB. MH
E/ WALK	⑥ GATE VALVE
RAILROAD	⑦ HYDRANT
E/ BRICK	⑧ WATER VALVE
MISC. LINE	⑨ WATER METER
FENCE	⑩ WELL HEAD
GUARD RAIL	⑪ FFC CONNECTION
WALL	⑫ STORM MH
BLDG. LINE	⑬ CATCH BASIN
OVERHEAD WIRES	⑭ BEEHIVE
RAILING	⑮ CULVERT E.S.
OVERHANG LINE	⑯ ROOF/DOWN SPOUT
T/ BANK	⑰ O.C.O. STORM CLEAN OUT
E/ BANK	⑱ ROUND CB
CL. DITCH/STREAM	⑲ LIGHT POLE
SHRUB LINE	⑳ UTILITY POLE
TREE LINE	㉑ ELEC. TRANS.
WATER EDGE	㉒ AIR CONDITIONER
WETLAND LINE	㉓ ELEC. MH
STORM LINE	㉔ ELEC. METER
SAN. LINE	㉕ ELEC. RISER
WATER LINE	㉖ FLD LINE
GAS LINE	㉗ COMBINED SEMER
USE ELEC. LINE	㉘ FLD LINE
USE TELE. LINE	㉙ STEAM LINE
USE CABLE TV LINE	㉚ ELECTRIC OVERHEAD
PAINT STRIKE	㉛ TELEPHONE OVERHEAD
STEAM	㉜ GAS METER
TEL.	㉝ GAS RISER
	㉞ GAS VALVE
	㉟ GAS MH
	㊱ TELE. RISER
	㊲ TELE. MH
	㊳ TELE. CROSS BOX
	㊴ CABLE RISER
	㊵ PAY PHONE
	㊶ MANHOLE
	㊷ SON
	㊸ PROT. POST/GUARD POST
	㊹ GUY
	㊺ DECIDUOUS TREE
	㊻ CONIFEROUS TREE
	㊼ DEAD TREE
	㊽ UTILITY FLAG
	㊾ BLDG. CORNER (FIELD LOCATED)
	㊿ HANDICAP PARKING
	① SET IRON
	② F.F.P. FOUND IRON PIPE
	③ M. MEASURED
	④ RECORD
	⑤ F.M. FOUND MONUMENT
	⑥ S.N. SET NAIL
	⑦ CMP
	⑧ ROP
	⑨ GROUND LIGHT

**BENCH MARK DATA**  
 (CITY OF DETROIT) DATUM

**BENCH MARK 1**  
 MAG. SPIKE IN THE NORTHEAST FACE OF LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVERETTE STREET. ELEVATION: 122.3178 (SHOWN GRAPHICALLY)

**BENCH MARK 2**  
 ARROW ON HYDRANT (WITH YEAR STAMP 1940), LOCATED AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET. ELEVATION: 123.06 (OUT OF SCOPE OF PLOTTED AREA)

**BENCH MARK 3**  
 ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET. ELEVATION: 122.78 (SHOWN GRAPHICALLY)

**BENCH MARK 4**  
 ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1645 MICHIGAN AVENUE. ELEVATION: 123.13 (SHOWN GRAPHICALLY)

**BENCH MARK 5**  
 MAG. NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVERETTE STREET. ELEVATION: 120.17 (SHOWN GRAPHICALLY)

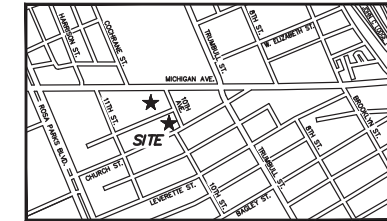
**NOTES:**

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20' WIDE PUBLIC ALLEY LOCATED BETWEEN MICHIGAN AVE & CHURCH ST., & BETWEEN 10TH ST. & A 16' WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAD83).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

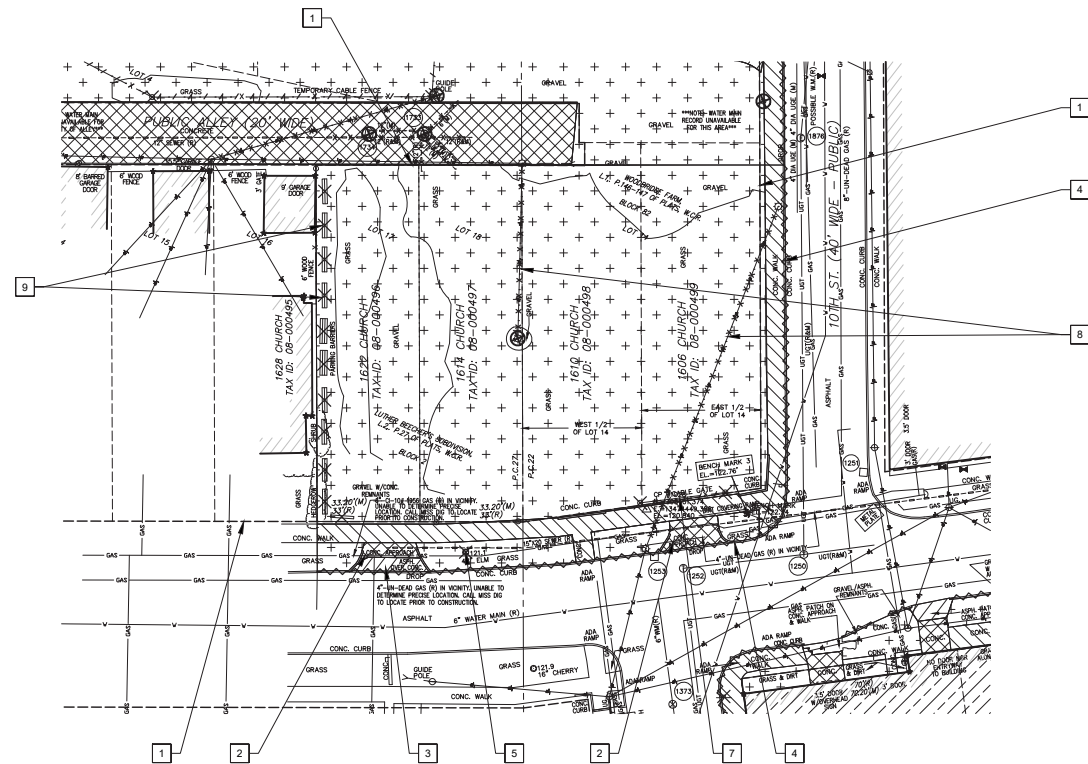
**SCHEDULE OF STRUCTURES**

LINE	TYPE	SIZE OF PIPE	RMI	ORCP	INVERT	DIRECTION	COMMENTS
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	121.52	-2.70	118.92	CABLES NORTHWEST	
	COMBINED MANHOLE	CL. CHANNEL	121.67	-15.15	108.52	NORTHEAST & SOUTHWEST	
	GATE VALVE	T/PIPE	121.40	-5.55	114.34	NORTHEAST & SOUTHWEST	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	121.28	-4.65	118.93		
	PUBLIC LIGHTING MANHOLE	T/DIRTY BANK	121.28	-2.75	118.93	NORTHEAST & SOUTHWEST	NO WIRES/CABLES
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.99	-2.95	118.94	CABLES NORTHWEST & SOUTHWEST	
	CATCH BASIN	T/DEBRIS	120.29	-5.80	114.48		18" DIAMETER CONC. CYLINDRICAL STRUCTURE. FULL OF WATER.
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.47	-3.20	117.27		NO CABLES VISIBLE. FULL OF WATER.
	CATCH BASIN	T/BOTTOM	119.57	-3.45	116.12		NO PIPES VISIBLE. FULL OF WATER.
	PUBLIC LIGHTING MANHOLE	T/BOTTOM	120.00	-2.74	117.28	CABLES NORTH & SOUTH	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	118.78	-4.85	114.71	CABLES EAST & WEST	
	TELEPHONE MANHOLE	T/BOTTOM	120.37	-2.80	114.48	CABLES SOUTH	LINE POSSIBLY CUT
	TELEPHONE MANHOLE	T/BOTTOM	120.30	-5.90	114.34	CABLES EAST & WEST	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.94	-8.50	111.44	CABLES NORTH, EAST, SOUTH, & WEST	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	119.66	-6.65	113.01	CABLES NORTHWEST, NORTHEAST, SOUTHEAST, & SOUTHWEST	
	UNKNOWN MANHOLE		120.48				UNABLE TO OPEN. PAVED OVER
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.55	-4.00	116.53	CABLES NORTHWEST & SOUTHWEST	
	CATCH BASIN	T/DEBRIS	120.33	-4.50	115.83		18" DIAMETER CONC. CYLINDRICAL STRUCTURE
	CATCH BASIN	T/WATER	119.35	-3.70	115.85		18" DIA. STRUCTURE. FULL OF WATER.
	CATCH BASIN	T/BOTTOM	119.35	-5.10	114.25		
	CATCH BASIN	T/DEBRIS	118.11	-2.45	113.86	ELBOW SOUTH	12" DIA. STRUCTURE
	CATCH BASIN	T/12"	120.22	-4.00	116.22	SOUTHWEST	18" DIA. STRUCTURE
	TELEPHONE MANHOLE	T/DEBRIS	120.48	-5.90	114.36	CABLES NORTH, EAST, & WEST	
	CATCH BASIN	T/WATER	119.87	-3.15	116.72		NO PIPES VISIBLE. FULL OF WATER.
	TELEPHONE MANHOLE	T/DEBRIS	119.87	-4.10	115.77		
	TELEPHONE MANHOLE	T/DEBRIS	119.28	-4.55	115.43	CABLES EAST & SOUTH	
	CATCH BASIN	T/WATER	119.72	-3.45	116.27		18" DIA. STRUCTURE. FULL OF WATER.
	CATCH BASIN	T/DEBRIS	119.72	-5.00	114.72		NO PIPES VISIBLE.
	GATE VALVE	T/VALVE	120.08	-4.00	116.08		FULL OF WATER.
	GATE VALVE	T/VALVE	119.81	-4.20	115.31		UNABLE TO DETERMINE. FULL OF DEBRIS.
	CATCH BASIN	T/DEBRIS	119.38	-2.60	117.38		18" DIA. STRUCTURE. FULL OF DEBRIS.
	TELEPHONE MANHOLE	T/DEBRIS	118.60	-3.20	115.40	CABLES NORTH, EAST, & SOUTH	TELEPHONE, ELECTRIC, & CABLE
	CATCH BASIN	T/WATER	119.48	-3.00	116.48		18" DIA. STRUCTURE. FULL OF WATER. OUT OF SCOPE OF DRAWING.
	TELEPHONE MANHOLE	T/DEBRIS	119.48	-4.00	115.48		
	COMBINED MANHOLE	18" CHANNEL	120.04	-8.85	110.19	EAST & WEST FLOWS EAST	OUT OF SCOPE OF DRAWING
	CATCH BASIN	T/DEBRIS	121.43	0.00	121.43		NO PIPES VISIBLE. FULL OF DEBRIS.
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.13	-2.40	117.73		NO CABLES VISIBLE. FULL OF DEBRIS. POSSIBLY ABANDONED.
	ROUND CATCH BASIN	T/WATER	120.13	-1.20	118.93		NO PIPES VISIBLE. FULL OF WATER.
	COMBINED MANHOLE	6"	121.40	-5.00	116.36	EAST	
	COMBINED MANHOLE	6"	121.40	-2.50	118.90	SOUTHWEST	
	COMBINED MANHOLE	6"	121.40	-5.40	116.90	SOUTH	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	118.85	-3.10	116.35	CABLES UP & DOWN MICHIGAN AVE	
	ELECTRIC MANHOLE	T/DEBRIS	119.78	-3.50	116.28	CABLES UP & DOWN MICHIGAN AVE	
	PUBLIC LIGHTING MANHOLE	T/DEBRIS	120.41	-3.60	116.81	CABLES SOUTHWEST & WEST	PAINT MARKINGS INDICATE CABLES ALONG MICHIGAN AVE. UNABLE TO FIELD VERIFY.
	ROUND CATCH BASIN	T/WATER	120.25	-1.05	119.20		NO PIPES VISIBLE. FULL OF WATER.
	ROUND CATCH BASIN	6"	120.37	-1.10	119.27	EAST	
	ROUND CATCH BASIN	6"	120.37	-1.60	118.77	SOUTHWEST	
	ROUND CATCH BASIN	11 1/2" PIPE BULKHEAD	119.37	-2.90	116.47	NORTHERLY	
	CATCH BASIN	T/TO INVERT	119.37	-3.65	115.72		
	CATCH BASIN	6" PVC	119.37	-3.45	116.38	SOUTHERLY, TO ROUND CATCH BASIN #1545	
	CATCH BASIN	6" CPP	119.37	-1.90	117.47	SOUTHERLY, TO ROUND CATCH BASIN #1545	
	ELECTRIC MANHOLE	T/DEBRIS	120.14	-6.35	113.79	CABLES NORTHERLY & UP & DOWN MICHIGAN AVE	
	GATE VALVE	T/VALVE	120.34	-2.40	117.34		UNABLE TO DETERMINE. PAINT MARKINGS INDICATE PIPE RUNS ALONG MICHIGAN AVE.
	CATCH BASIN	6"	121.15	-4.30	116.85	WEST	18" DIA. STRUCTURE
	CATCH BASIN	6"	121.52	-10.20	111.32	NORTHEAST	
	COMBINED MANHOLE	12"	121.52	-10.80	115.72	EAST	
	COMBINED MANHOLE	12"	121.52	-10.70	115.82	SOUTHWEST	
	COMBINED MANHOLE	12"	121.52	-10.00	111.52	EAST	INVERT PLUS OR MINUS DUE TO EXCESSIVE DEBRIS. NO VISIBLE FLOW.
	COMBINED MANHOLE	12"	121.52	-4.00	117.32	WEST	
	COMBINED MANHOLE	12"	121.52	-10.70	115.82	WEST	
	CATCH BASIN	12" DIA CONDUIT	121.29	-4.05	117.24	EAST	INVERT PLUS OR MINUS 18" DIA. STRUCTURE
	ELECTRIC MANHOLE	T/DEBRIS	120.72	-3.25	117.47	CABLES NORTH & SOUTH	

**1 EXISTING CONDITIONS**  
 1" = 20'



LOCATION MAP  
( NOT TO SCALE )

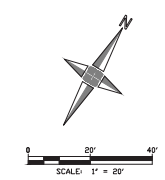


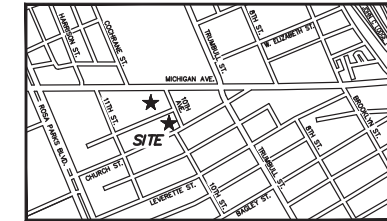
**DEMOLITION PLAN - LEGEND**

REMOVE/DEMOLISH UTILITY LINE	- x - x - x - x - x - x -
REMOVE/DEMOLISH CURB AND GUTTER	~ ~ ~ ~ ~
REMOVE FENCE	- . - . - . - . - . - . -
REMOVE/DEMOLISH UTILITY STRUCTURE	⊗
REMOVE TREE, SHRUB, OR ITEM	⊗
REMOVE EXISTING BUILDING	[Hatched Box]
REMOVE CONCRETE PAVEMENT	[Cross-hatched Box]
REMOVE ASPHALT PAVEMENT	[Diagonal Hatched Box]
REMOVE CONCRETE SIDEWALK	[Diagonal Hatched Box]
REMOVE GRASS, BRUSH, GRAVEL AND/OR DEBRIS	[Plus Sign Box]

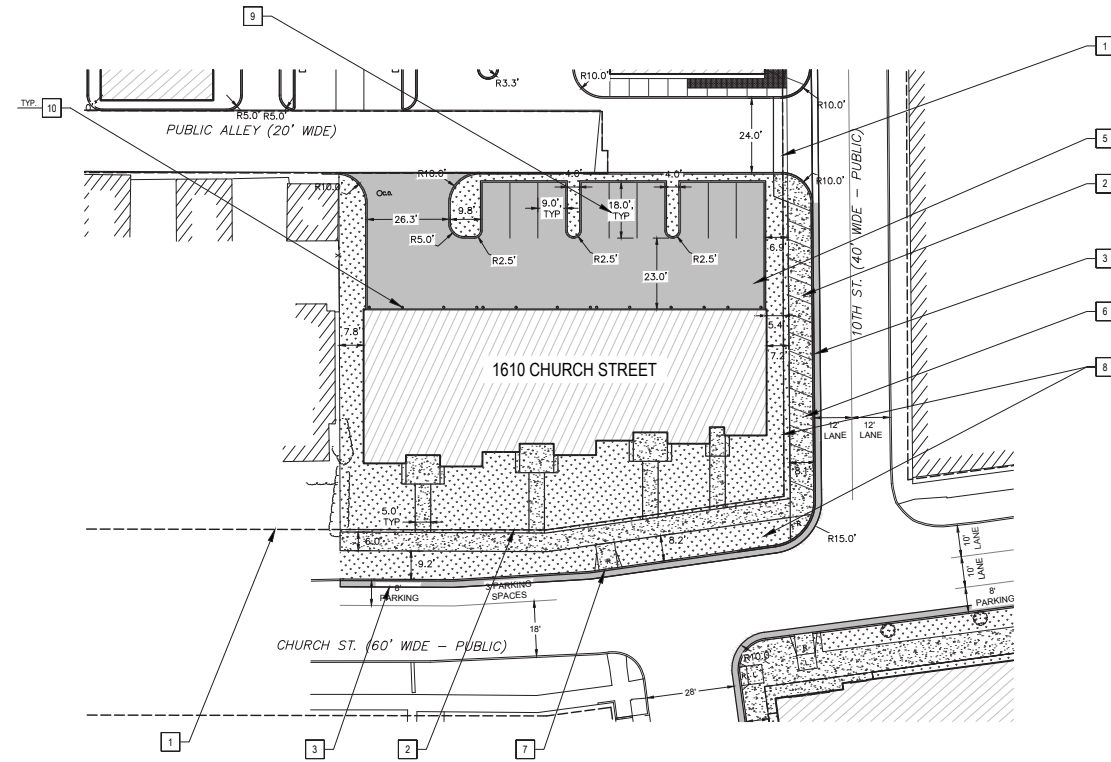
- DEMOLITION PLAN - KEY NOTES**
- 1 EXISTING PROPERTY LINE, TYP
  - 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
  - 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
  - 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
  - 5 EXISTING TREE TO BE REMOVED
  - 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
  - 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
  - 8 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
  - 9 EXISTING PARKING BARRIERS TO BE REMOVED

**1 DEMOLITION PLAN**  
C-300 1" = 20'





LOCATION MAP  
( NOT TO SCALE )



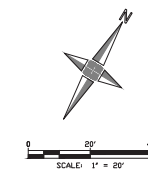
PAVING PLAN - LEGEND

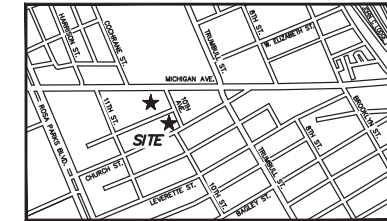
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

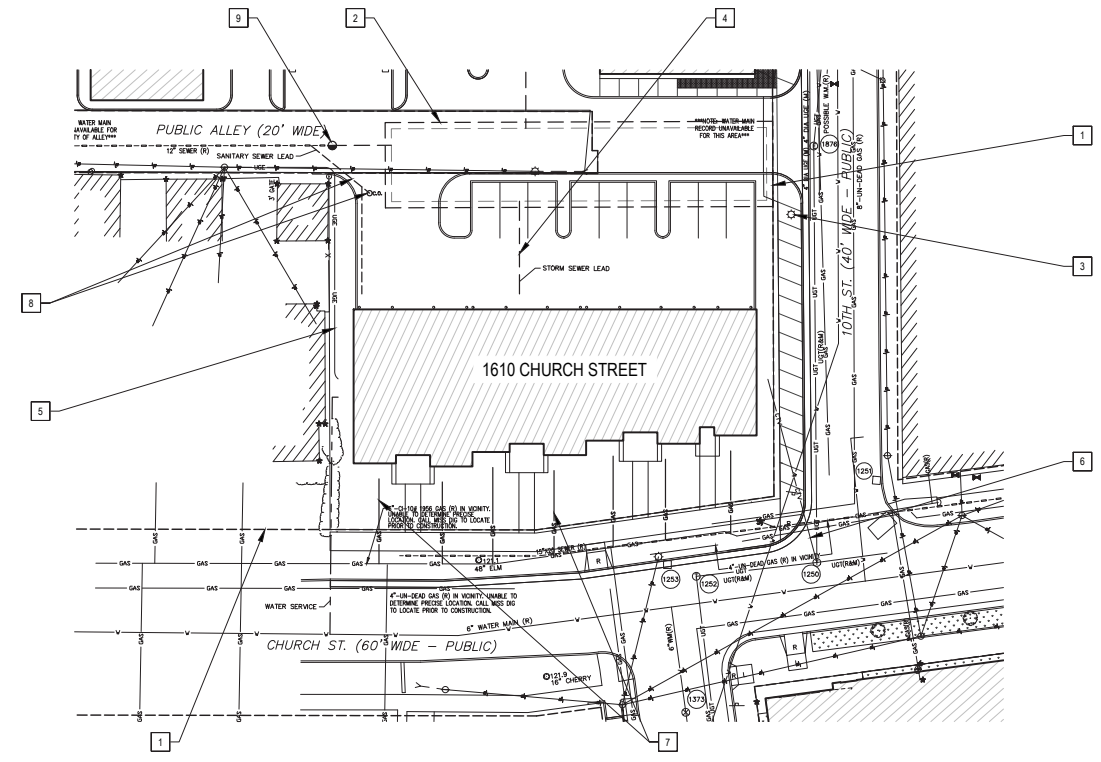
- | #  | NOTE  |
|----|---|
| 1  | RIGHT-OF-WAY LINE, TYP.   |
| 2  | NEW 4" CONCRETE SIDEWALK PAVEMENT, SEE DETAIL ON SHEET C-800  |
| 3  | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 4  | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS  |
| 5  | ASPHALT PAVEMENT, SEE DETAIL ON SHEET C-800   |
| 6  | PROVIDE AND INSTALL NEW INTEGRAL CURBS AND SIDEWALK, SEE DETAIL ON SHEET C-800.   |
| 7  | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 8  | PLEASE REFER TO THE LANDSCAPE PLANS FOR PLANTER BED AND PLANTING DETAILS.   |
| 9  | PAVEMENT MARKINGS, SEE DETAIL ON SHEET C-800  |
| 10 | BOLLARDS  |

1 PAVING PLAN  
C-500 1" = 20'





LOCATION MAP  
( NOT TO SCALE )



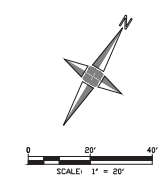
UTILITY PLAN - LEGEND

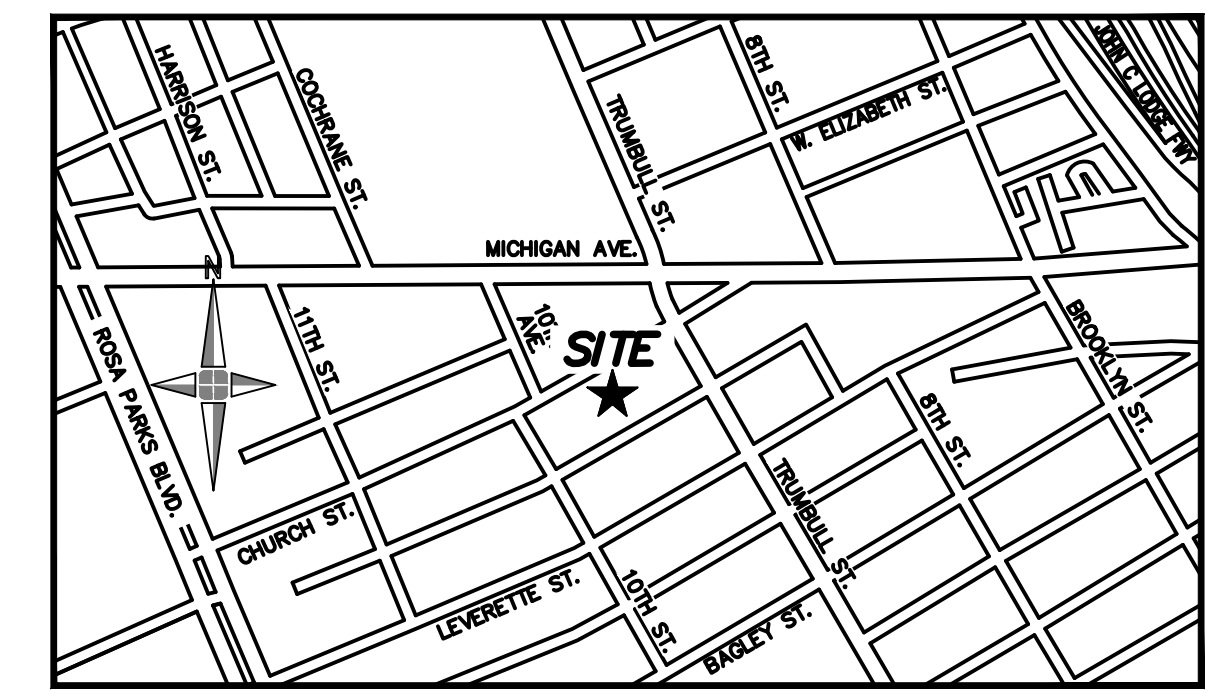
STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	⊙
STOP BOX AND VALVE	⊙
FIRE DEPARTMENT CONNECTION	⊙
CATCH BASIN	■
SANITARY SEWER DRAIN	■
SANITARY CLEANOUT	○
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	[---]

UTILITY PLAN - KEY NOTES

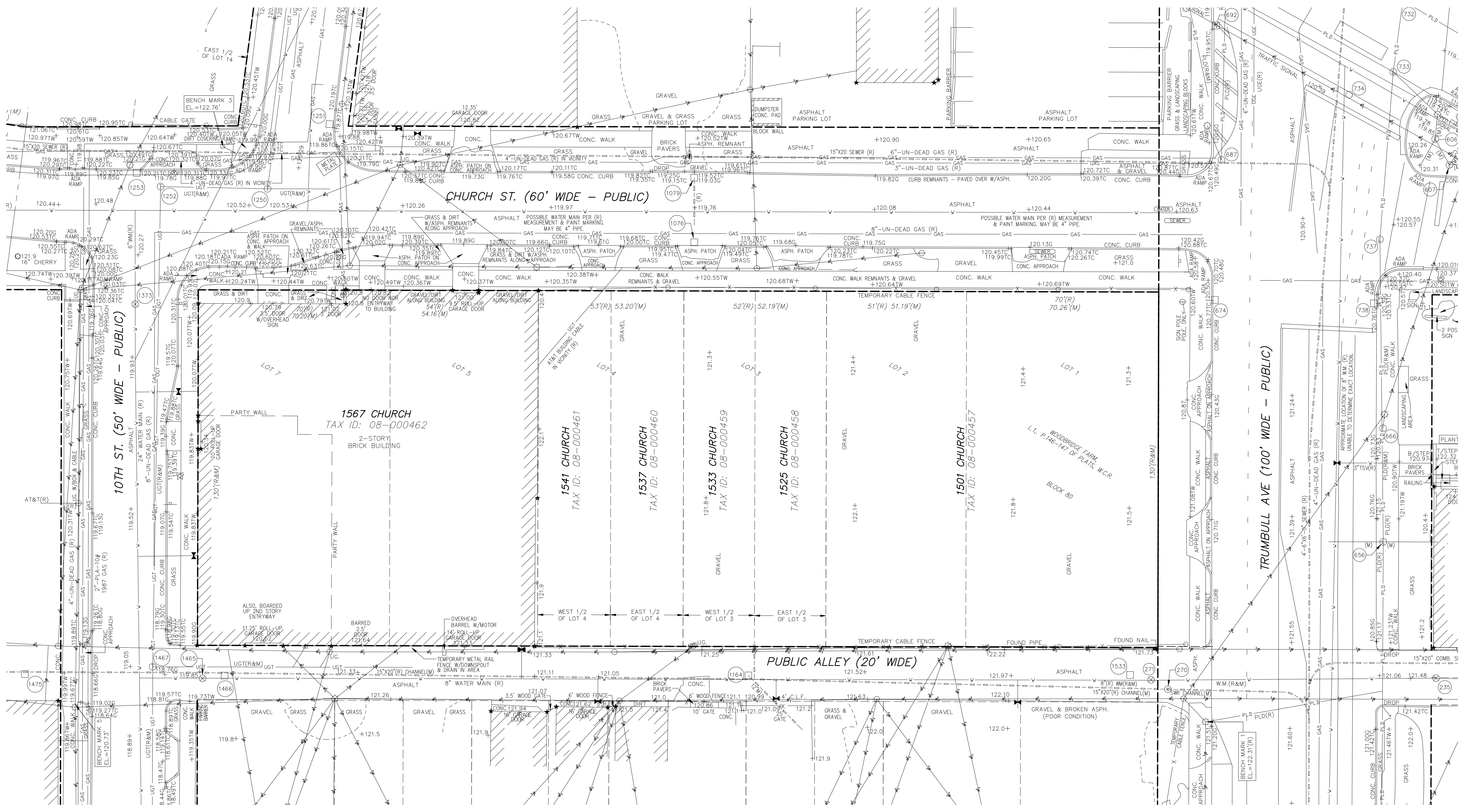
- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF SHARED UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 COORDINATE WITH THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 4 NEW PVC PIPE FOR STORM
- 5 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 6 NEW COMMUNICATIONS LINE
- 7 NEW GAS LINE, TYP.
- 8 NEW SANITARY LINE AND SANITARY CLEANOUT
- 9 PROPOSED MANHOLE INSTALLED AS A PART OF THE 1611 MICHIGAN AVENUE PROJECT

1 UTILITY PLAN  
C-700 1" = 20'





LOCATION MAP  
 (NOT TO SCALE)



**LEGEND - EXISTING**

SECTION LINE	○ SAN. MH
E/P AVENUE	○ SAN. CLEAN OUT
CURB	△ SAN. RISER
E/ GRAVEL	□ SAN. PUMP STATION
CL ROAD	○ COMB. MH
E/ WALK	○ GATE VALVE
RAILROAD	○ HYDRANT
E/ BRICK	○ WATER VALVE
MISC. LINE	○ WATER METER
FENCE	○ WELL HEAD
GUARD RAIL	○ FDC CONNECTION
WALL	○ STORM MH
BLDG. LINE	○ CATCH BASIN
OVERHEAD WIRES	○ BEEHIVE CB
RAILING	○ CULVERT E.S.
OVERHANG LINE	○ ROOF/DOWN SPOUT
1/7 BANK	○ STORM CLEAN OUT
5/7 BANK	○ ROUND CB
CL DITCH/STREAM	○ LIGHT POLE
SHRUB LINE	○ UTILITY POLE
TREE LINE	○ ELEC. TRANS.
WATER EDGE	○ AIR CONDITIONER
WETLAND LINE	○ ELEC. MH
STORM LINE	○ ELEC. METER
SAN. LINE	○ ELEC. RISER
WATER LINE	○ STEAM MH
GAS LINE	○ PUBLIC LIGHTING MH
UG ELEC. LINE	○ MISC. TOPO. SHOT
UG TELE. LINE	○ FOUND IRON
UG CABLE TV LINE	○ FOUND NAIL
PAINT STRIPE	○ F. CUT CROSS
COMBINED SEWER	○ SECTION COR.
PLD LINE	○ FENCE POST
STEAM LINE	○ BENCHMARK
ELECTRIC OVERHEAD	○ FOUND PIPE
TELEPHONE OVERHEAD	○ FOUND MON.
GAS METER	○ ASPH.
GAS RISER	○ CONCRETE
GAS VALVE	○ AIR CONDITIONER
GAS MH	○ GUY
TELE. RISER	○ G.P. GUARD POST
TELE. MH	○ C.L.F.
TELE. CROSS BOX	○ D.L. DOOR LEDGE
CABLE RISER	○ F.F. FINISHED FLOOR
PAY PHONE	○ O.H. OVERHANG
MANHOLE	○ BLDG. CORNER (FIELD LOCATED)
SIGN	○ FOUND IRON
POST/GUARD POST	○ WETLAND FLAG
A.C.	○ F.I.P.
GLY	○ FOUND IRON PIPE
DEDDIOUS TREE	○ M.
CONFEROUS TREE	○ R. RECORD
DEAD TREE	○ F.M. FOUND MONUMENT
UTILITY FLAG	○ S.N. SET NAIL
○ BLDG. CORNER (FIELD LOCATED)	○ CMP
○ FOUND IRON	○ RCP
○ WETLAND FLAG	○ G.L. GROUND LIGHT
○ F.I.P.	
○ FOUND IRON PIPE	
○ M.	
○ R. RECORD	
○ F.M. FOUND MONUMENT	
○ S.N. SET NAIL	
○ CMP	
○ RCP	
○ G.L. GROUND LIGHT	

**BENCH MARK DATA**  
 (CITY OF DETROIT) DATUM

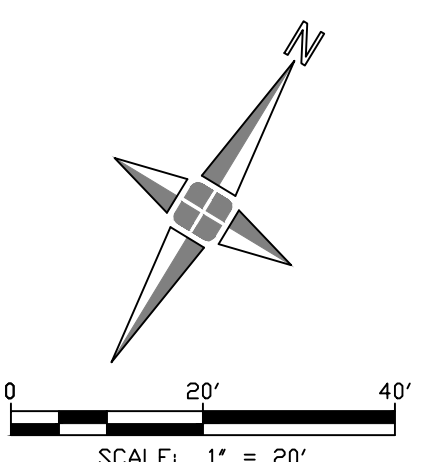
- BENCH MARK 1**  
 MAG. SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE, LOCATED ON THE WEST SIDE OF TRUMBULL AVENUE, PLUS OR MINUS 150 FEET NORTH OF THE CENTERLINE OF LEVELETTE STREET.  
 ELEVATION: 123.31(R)  
 (SHOWN GRAPHICALLY)
- BENCH MARK 2**  
 ARROW ON HYDRANT (WITH YEAR STAMP 1940), LOCATED AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.  
 ELEVATION: 123.08'  
 (OUT OF SCOPE OF PLOTTED AREA)
- BENCH MARK 3**  
 ARROW ON HYDRANT (1922), LOCATED ON THE NORTHWEST CORNER OF CHURCH STREET AND 10TH STREET.  
 ELEVATION: 122.76'  
 (SHOWN GRAPHICALLY)
- BENCH MARK 4**  
 ARROW ON HYDRANT (1940), LOCATED ON THE SOUTH SIDE OF MICHIGAN AVENUE, WEST OF THE WESTERLY ENTRANCE TO A PARKING LOT AT ADDRESS 1645 MICHIGAN AVENUE.  
 ELEVATION: 123.13'  
 (SHOWN GRAPHICALLY)
- BENCH MARK 5**  
 MAG. NAIL IN THE NORTH FACE OF A UTILITY POLE, LOCATED ON THE SOUTHWEST CORNER OF 10TH STREET AND THE PUBLIC ALLEY, WHICH IS BETWEEN CHURCH STREET AND LEVELETTE STREET.  
 ELEVATION: 120.73'  
 (SHOWN GRAPHICALLY)

**NOTES:**

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- NO WATER UTILITY MAP WAS AVAILABLE THAT SHOWED THE AREA OF A 20' WIDE PUBLIC ALLEY, LOCATED BETWEEN MICHIGAN AVE. & CHURCH ST., & BETWEEN 10TH ST. & A 18' WIDE PUBLIC ALLEY. THEREFORE, WATER MAIN MAY EXIST, ALTHOUGH NOT SHOWN. CONTACT MISS DIG TO LOCATE ALL WATER MAIN, PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM (NAVD88).
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

**PROPERTY DESCRIPTION**  
 (PER TAX RECORD)

- 1567 CHURCH ST.**  
 LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 SOUTH OF CHURCH STREET, LOTS 5 THROUGH 7, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
 (TAX ID. 08000462)
- 1541 CHURCH ST.**  
 LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 SOUTH OF CHURCH STREET, THE WEST 1/2 OF LOT 4, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
 (TAX ID. 08000461)
- 1537 CHURCH ST.**  
 LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 SOUTH OF CHURCH STREET, THE EAST 1/2 OF LOT 4, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
 (TAX ID. 08000460)
- 1533 CHURCH ST.**  
 LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 SOUTH OF CHURCH STREET, THE WEST 1/2 OF LOT 3, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
 (TAX ID. 08000459)
- 1525 CHURCH ST.**  
 LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 SOUTH OF CHURCH STREET, THE EAST 1/2 OF LOT 3, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
 (TAX ID. 08000458)
- 1501 CHURCH ST.**  
 LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:  
 SOUTH OF CHURCH STREET, LOTS 1 THROUGH 2, BLOCK 80, OF WOODBRIDGE FARM, LIBER 1, PAGES 146 THROUGH 147 OF PLATS, WAYNE COUNTY RECORDS.  
 (TAX ID. 08000457)



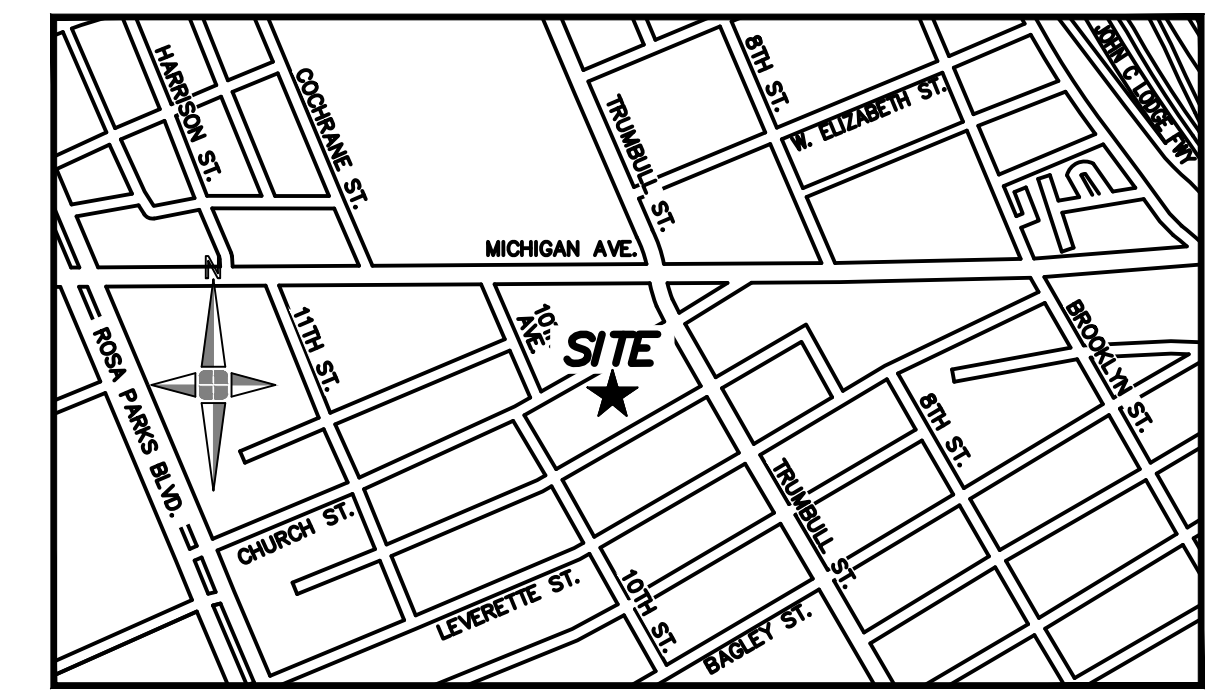
Issued for

04.26.2021 HDC  
 03.18.2021 Design Development  
 01.14.2021 Schematic Design

Draw  Preliminary  
 Construction  
 SP  Construction  
 Checked  Record  
 IT  Approved **Do not scale**  
 MM  Bid/pk Number Use figured dimensions only

Job Number  
**2020009**  
 Title  
**EXISTING CONDITIONS**

Sheet  
**C-200**



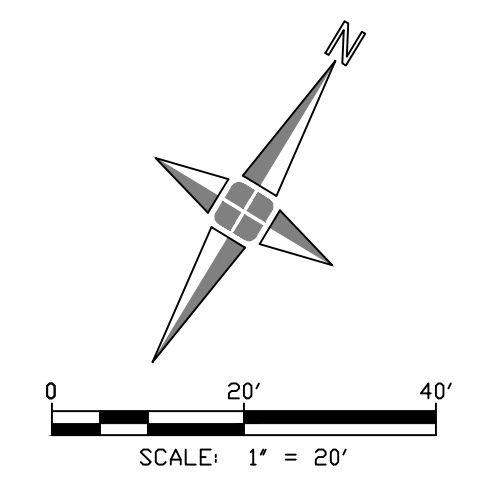
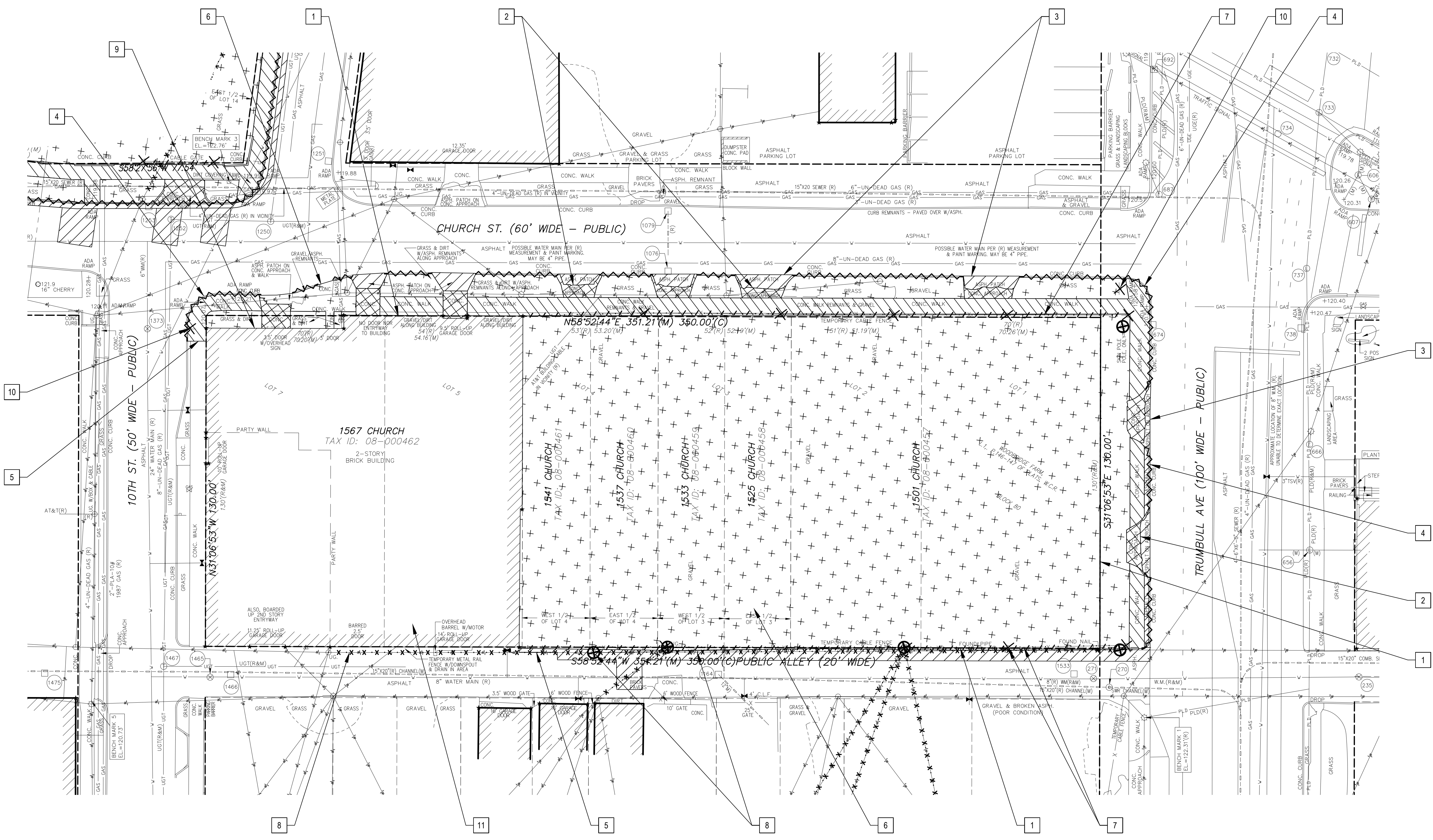
LOCATION MAP  
 (NOT TO SCALE)

**DEMOLITION PLAN - LEGEND**

- REMOVE/DEMOLISH UTILITY PIPE
- REMOVE/DEMOLISH CURB AND GUTTER
- REMOVE FENCE
- REMOVE/DEMOLISH UTILITY STRUCTURE
- REMOVE TREE, SHRUB, OR ITEM
- REMOVE EXISTING BUILDING
- REMOVE CONCRETE PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE SIDEWALK
- REMOVE GRASS, BRUSH AND/OR DEBRIS

**DEMOLITION PLAN - KEY NOTES**

- 1 EXISTING PROPERTY LINE, TYP
- 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
- 3 REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
- 4 REMOVE AND DISPOSE OF CONCRETE CURB, TYP
- 5 SAWCUT EXISTING PAVEMENT, TYP
- 6 CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
- 7 EXISTING FENCE AND FENCE POSTS TO BE REMOVED
- 8 COORDINATE WITH THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
- 9 REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
- 10 REMOVE, STOCKPILE, AND REPLACE EXISTING SIGN
- 11 PROTECT EXISTING BUILDING THROUGHOUT CONSTRUCTION



Issued for

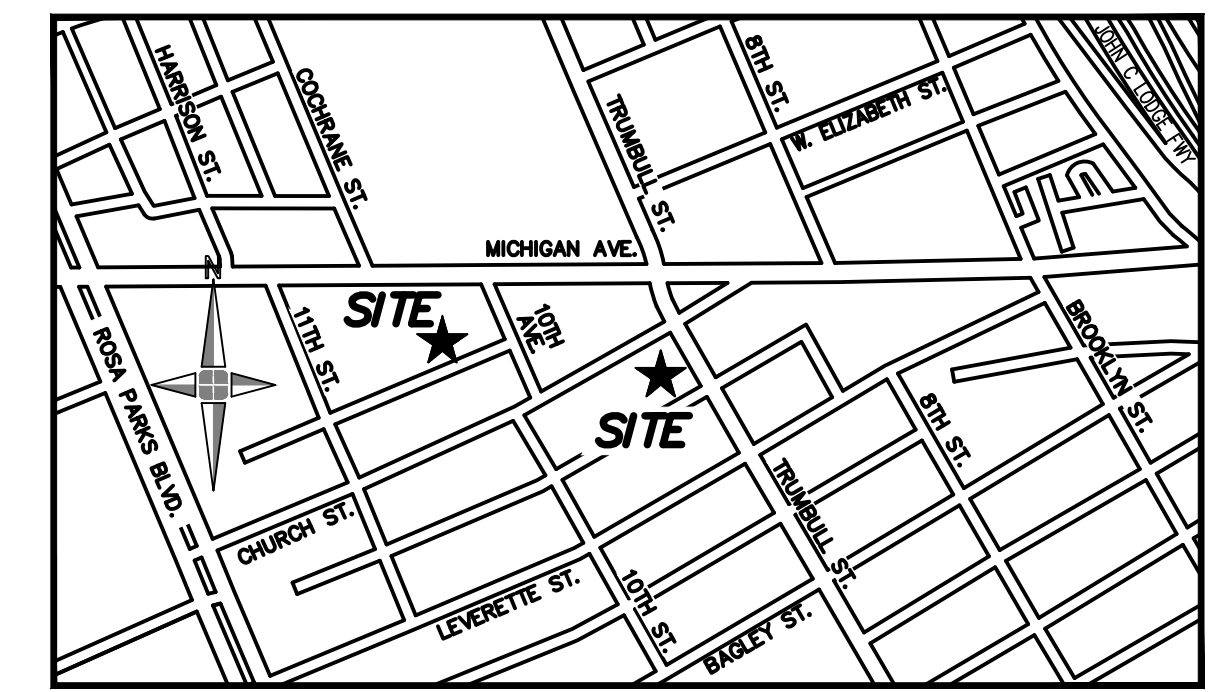
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 01.14.2021 Schematic Design

Drawn Preliminary  
 SP Construction  
 Checked Record  
 IT Approved  
 MM Bidpak Number  
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Job Number  
**2020009**

Title  
**DEMOLITION PLAN**

Sheet  
**C-300**



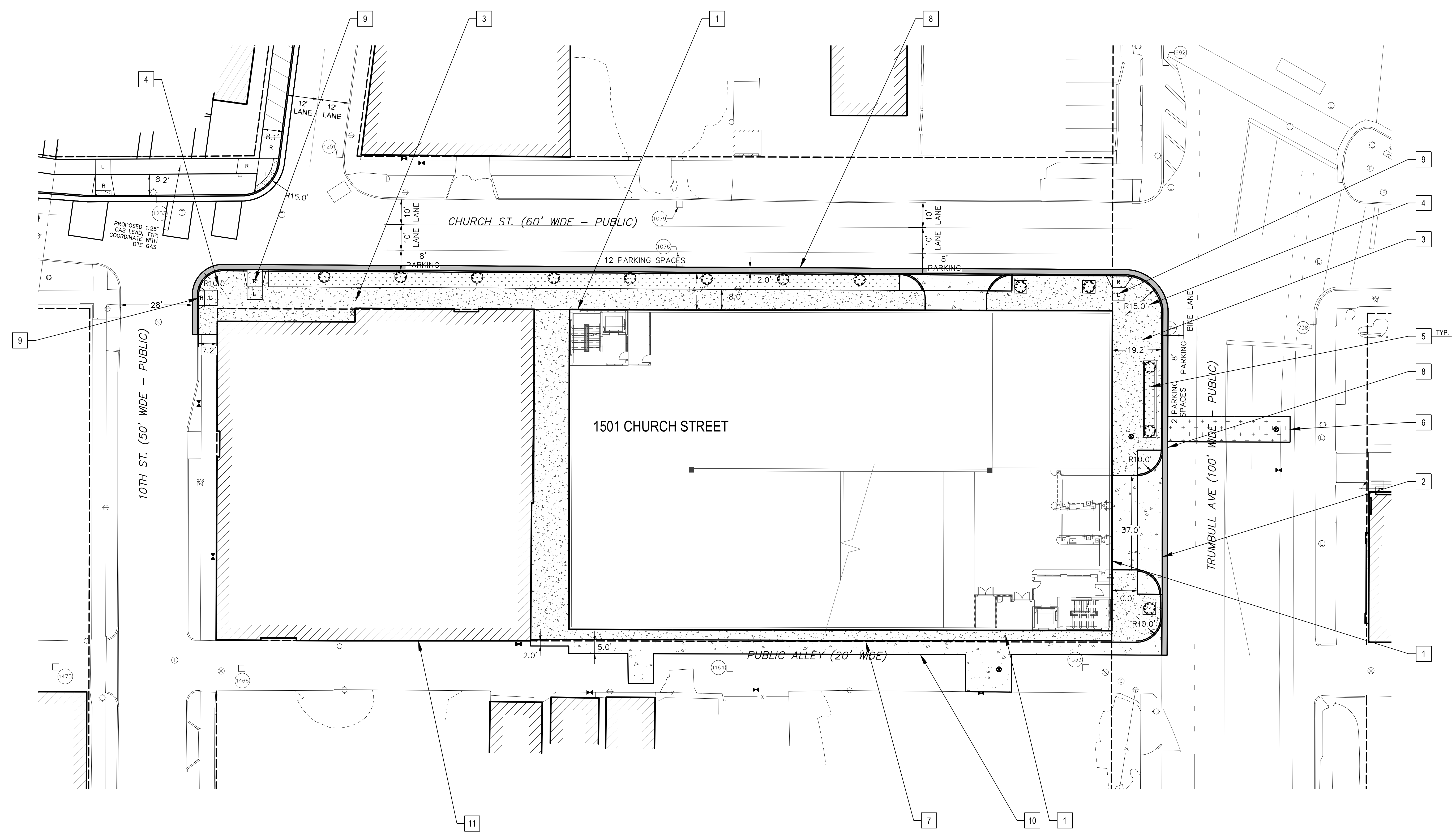
LOCATION MAP  
 (NOT TO SCALE)

PAVING PLAN - LEGEND

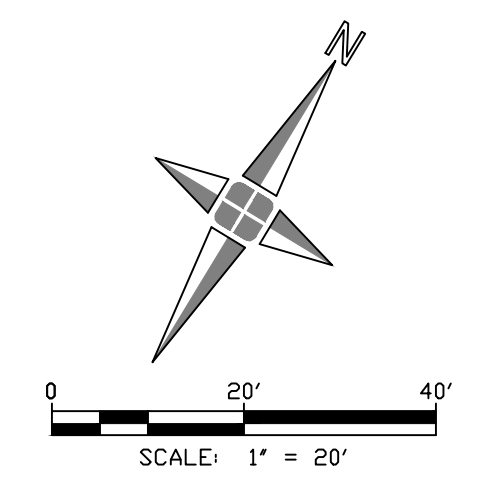
- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- BRICK PAVERS
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES

PAVING PLAN - KEY NOTES

- | #  | NOTE  |
|----|---|
| 1  | EXISTING PROPERTY LINE, TYP.  |
| 2  | PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.   |
| 3  | NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800  |
| 4  | NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800.  |
| 5  | SEE L100 FOR LANDSCAPE PLAN   |
| 6  | JOINT TO JOINT PAVEMENT REPAIR FOR INSTALLATION OF NEW UTILITIES PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS   |
| 7  | PROVIDE AND INSTALL NEW INTEGRAL CURB AND SIDEWALK. SEE DETAIL ON SHEET C-800.  |
| 8  | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 9  | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 10 | NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS  |
| 11 | PROTECT EXISTING BUILDING THROUGHOUT CONSTRUCTION   |



**1**  
 C-500 PAVING PLAN  
 1" = 20'



V:\1995-03\1501 church street\Design\CA\work sheets\C-500 Geometric and Paving Plan.dwg

Issued for

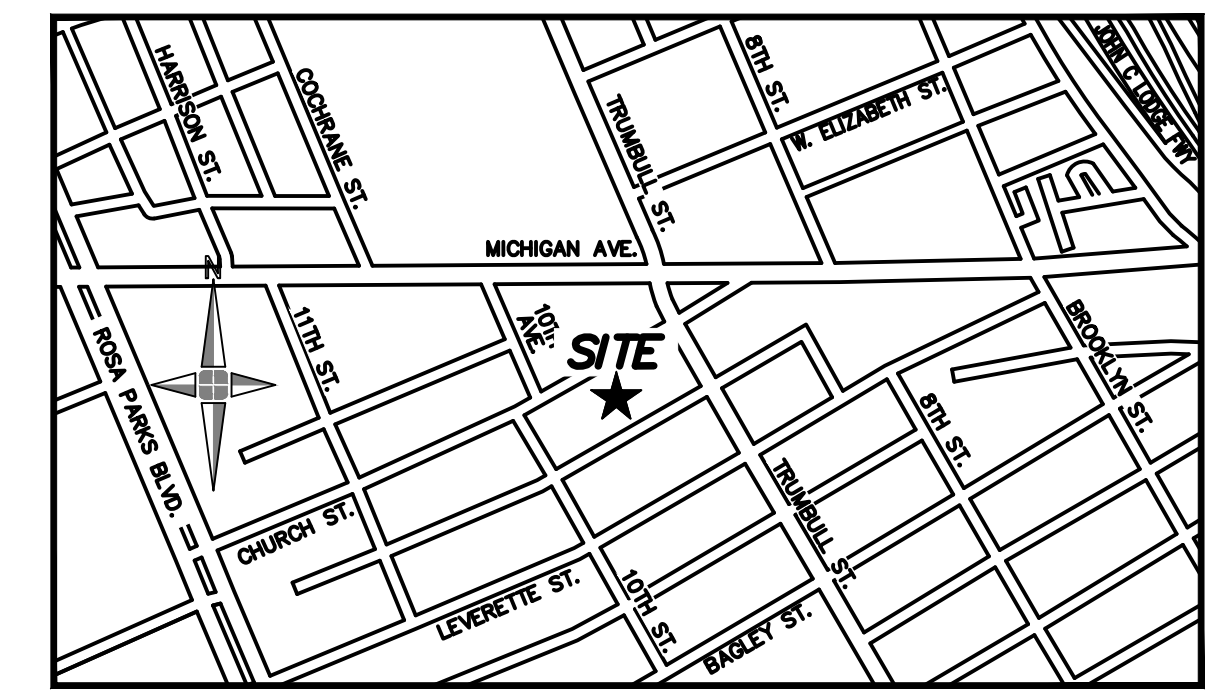
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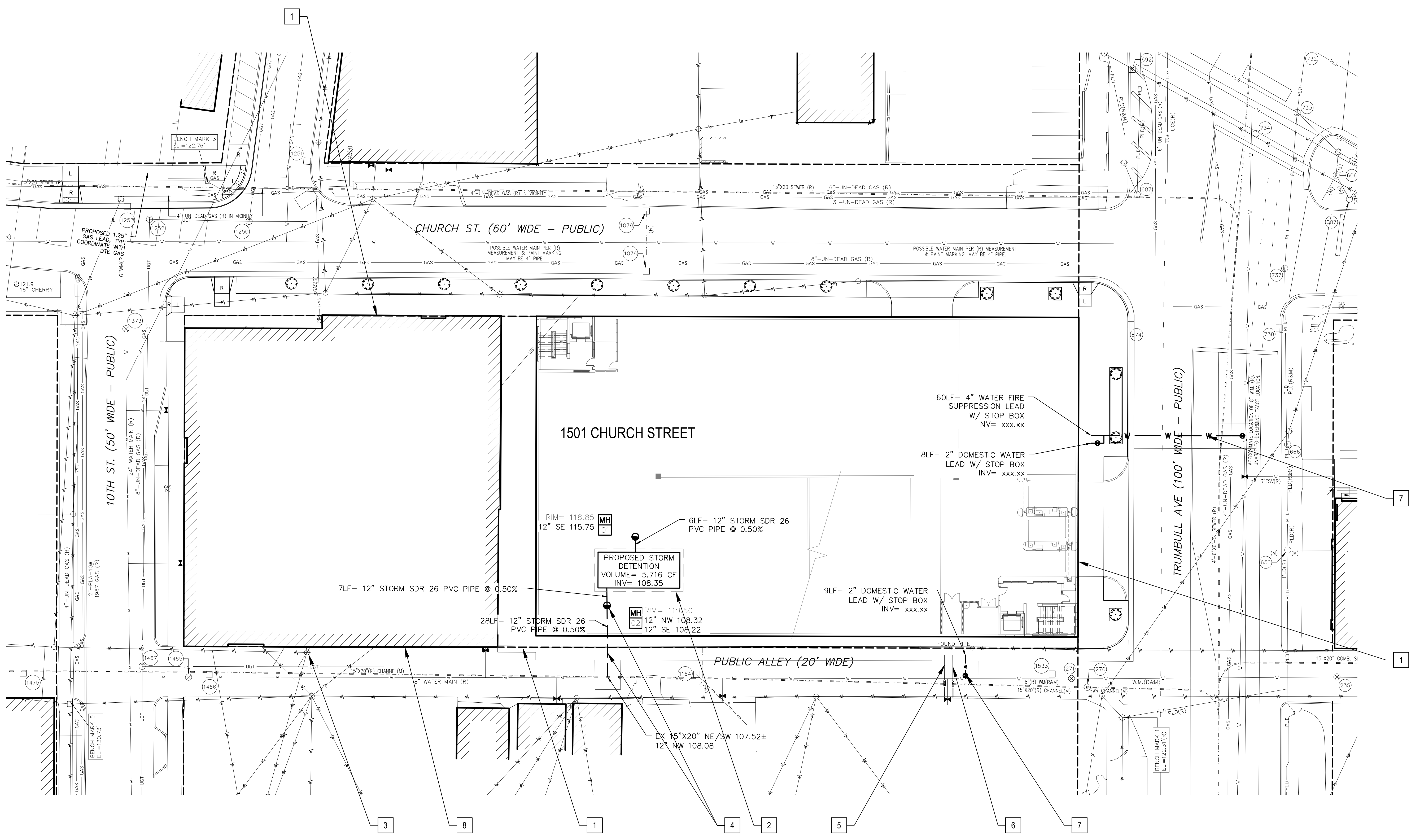
Job Number  
**2020009**  
 Title  
**GEOMETRIC AND  
 PAVING PLAN**

Sheet  
**C-500**





LOCATION MAP  
 (NOT TO SCALE)

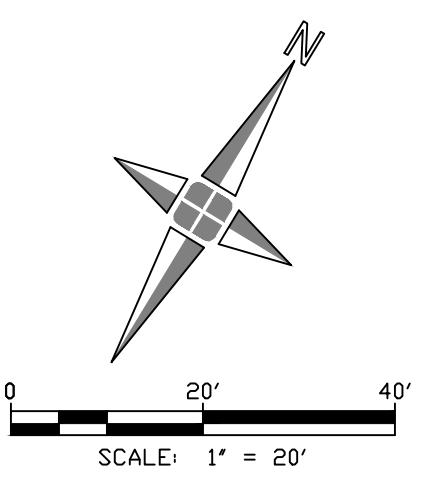


UTILITY PLAN - LEGEND

STORM SEWER	---
SANITARY SEWER	---
PERFORATED DRAIN	---
WATER SERVICE	---
UNDERGROUND ELECTRIC	---
GAS SERVICE	---
COMMUNICATIONS	---
FIRE HYDRANT	●
STOP BOX AND VALVE	○
FIRE DEPARTMENT CONNECTION	○
CATCH BASIN	■
SANITARY SEWER DRAIN	○
SANITARY CLEANOUT	○
SANITARY MANHOLE	○
STORM MANHOLE	○
STORM SEWER CLEANOUT	○
UNDERGROUND DETENTION SYSTEM	---

UTILITY PLAN - KEY NOTES

- 1 EXISTING PROPERTY LINE, TYP.
- 2 ESTIMATE OF SIZE AND LOCATION OF UNDERGROUND DETENTION SYSTEM BASED ON PRELIMINARY CALCULATIONS
- 3 COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVE/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS, TYP.
- 4 NEW STORM MANHOLE AND NEW PVC PIPE FOR STORM
- 5 NEW DTE UNDERGROUND CONDUIT FOR SERVICE
- 6 NEW COMMUNICATIONS LINE
- 7 NEW WATER SERVICE. SIZE INDICATED ON PLANS TO BE CONSTRUCTED TO DWSD STANDARDS AND SPECIFICATIONS
- 8 PROTECT EXISTING BUILDING THROUGHOUT CONSTRUCTION



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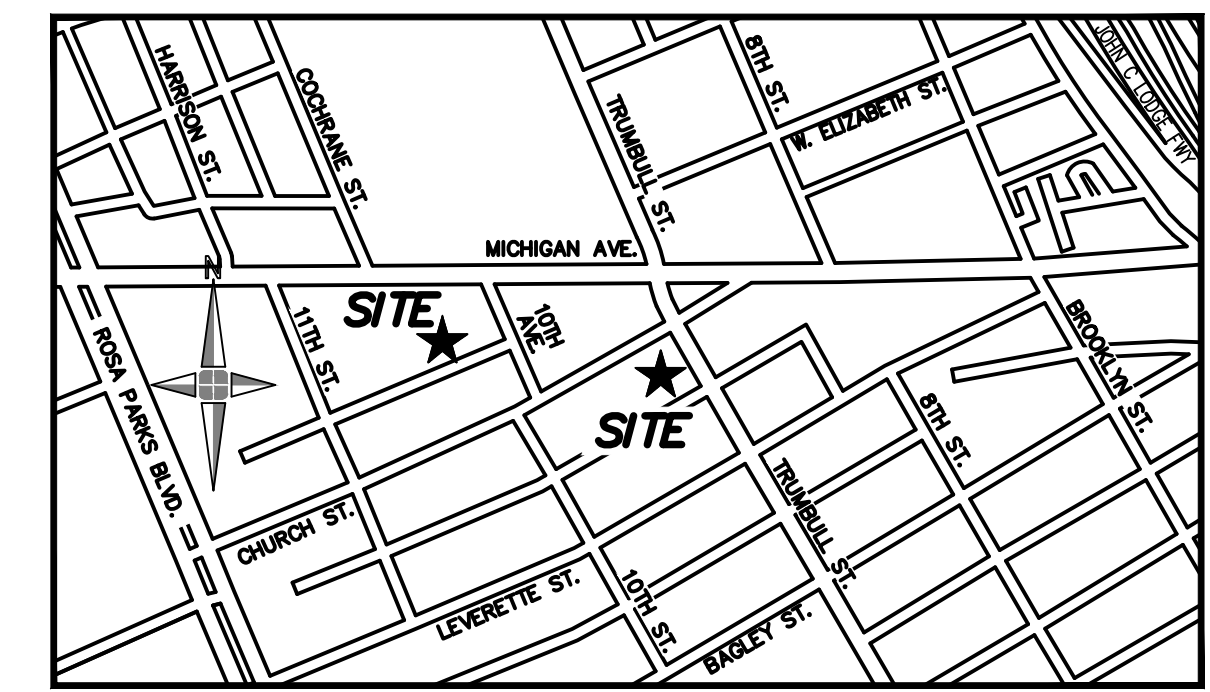
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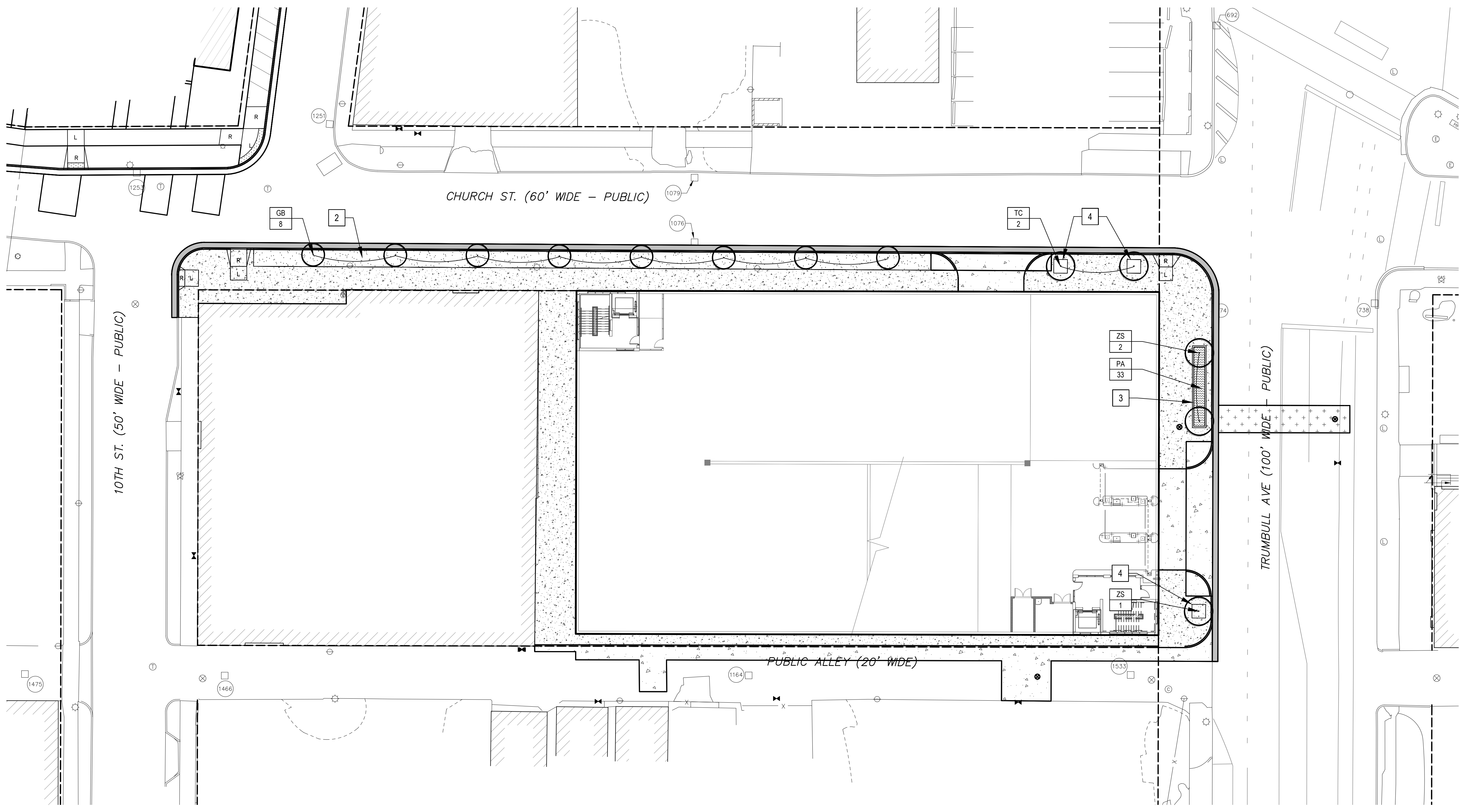
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Title  
**UTILITY PLAN**

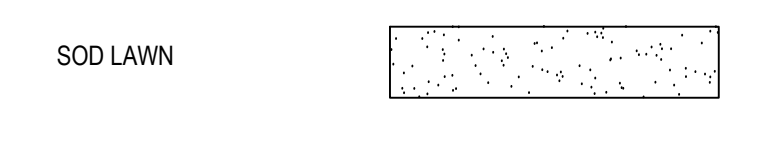
Sheet  
**C-700**



LOCATION MAP  
 (NOT TO SCALE)



LANDSCAPE PLAN - KEY NOTES



LANDSCAPE PLAN - LEGEND

#	NOTE
1	EXISTING PROPERTY LINE, TYP.
2	SOD LAWN, TYP.
3	PLANTER CURB, SEE DETAIL L-500, TYP.
4	DECIDUOUS TREE IN TREE GRATE, SEE DETAIL L-500, TYP.

GENERAL NOTES:

- All Construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall receive seasoned double shredded hardwood bark mulch.
- During installation and construction, the Contractor must provide a watering method for all plant material until it has become established.
- Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit.
- A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- The development of this site will not result in any increase in dust, odor, smoke, fumes, noise, lights, or other objectionable features.

PLANT NOTES:

- Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z.60.1 - A3002004).
- Planting bed soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preent" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
- Planting pockets shall be no deeper than twice the height of the root ball.
- All tree wrap shall be removed upon planting.
- Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architect/civil engineer prior to placement.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
- Remove the top 3' of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
- Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No.1 Grade.
- Plant material shall be planted within the annual planting window of March 15 through November 15.
- All plant ID tags are to remain until all plants are accepted on site.
- Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.
- Grass seed shall be certified turf grass seed complying with A.S.P.A specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn. Areas scheduled for lawn seed shall receive a minimum of 3" of screen topsoil at 3" depth unless otherwise noted on plans.

LAWN SEED MIX:

- 30% Perennial Ryegrass
- 20% Park Kentucky Bluegrass
- 45% Creeping Red Fescue
- 5% Annual Ryegrass
- 4 lb /1000 sf Seeding Rate

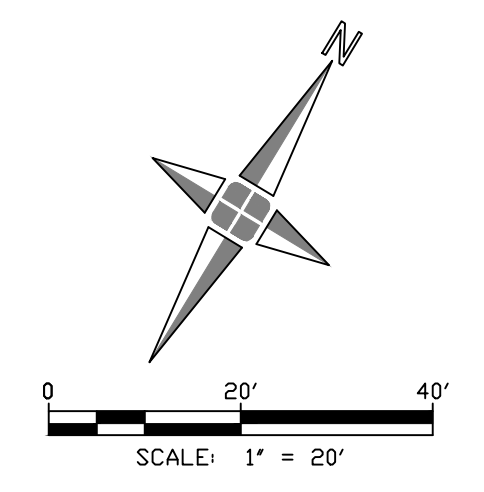
PLANT LEGEND

SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	DECIDUOUS TREES	GB	8	Ginkgo biloba 'Princeton Sentry'	PRINCETON SENTRY GINKGO	3" cal.	B&B.
		TC	2	Tilia cordata 'Greenspire'	GREENSPIRE LINDEN	3" cal.	B&B.
		ZS	3	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3" cal.	B&B.
	ORNAMENTAL GRASSES	PA	33	Pennisetum alopecuroides 'Hameln'	DWARF FOUNTAIN GRASS	#3 cont.	Plant 24 in O.C., Staggered Rows

LANDSCAPE CONTRACTOR'S  
 "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to provide water as required to ensure delivery of proper and adequate water supply to all plant material to ensure the establishment of healthy plant material for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

**1**  
 L-100  
**LANDSCAPE PLAN**  
 1" = 20'



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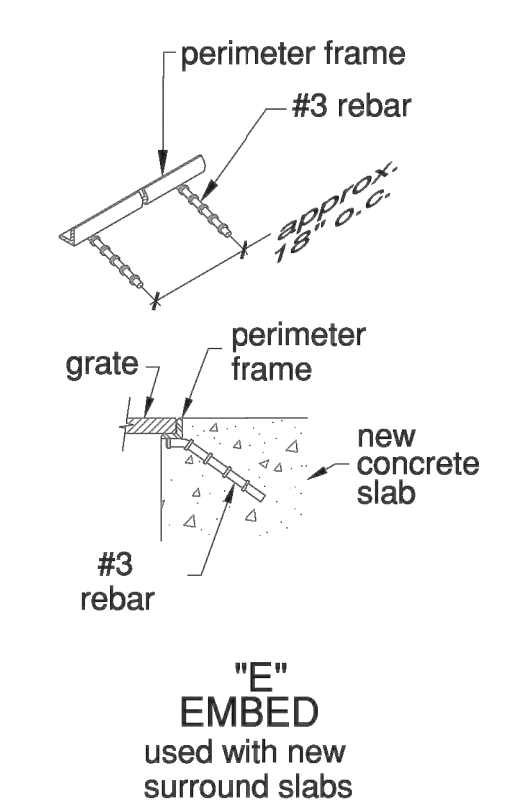
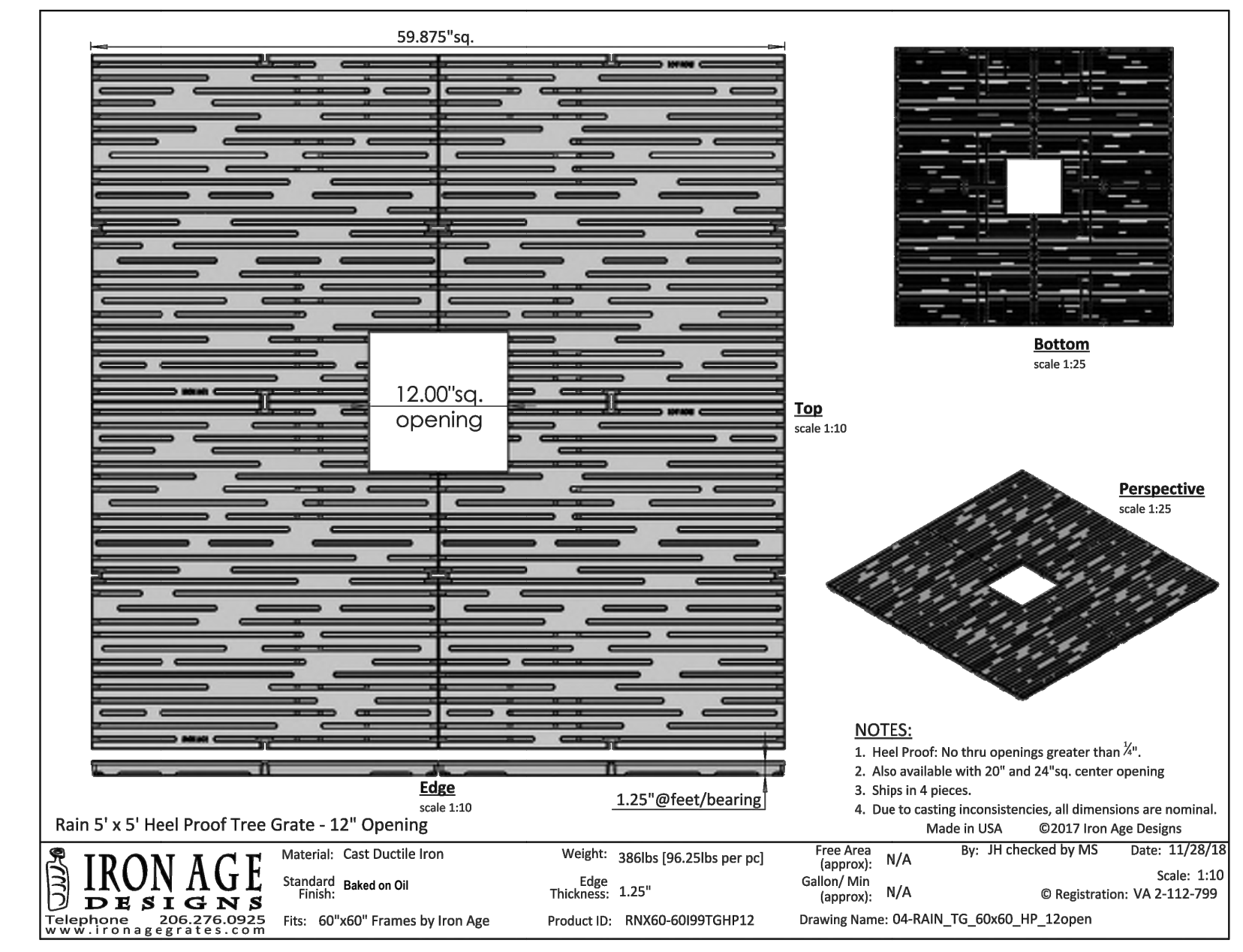
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 01.14.2021 Schematic Design

Draw  Preliminary  
 SP  Construction  
 Checked  Record  
 IT  Approved  
 MM  Bid/pak Number  
 Do not scale  
 Use figured  
 dimensions only

Job Number  
**2020009**  
 Title

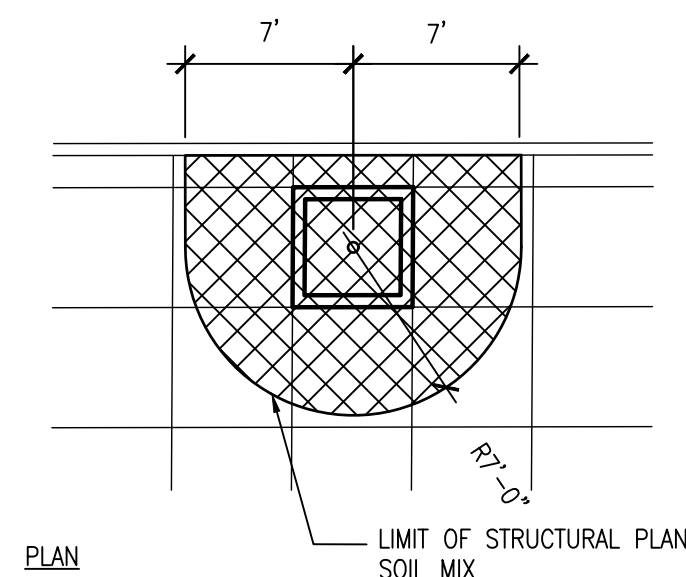
**LANDSCAPE PLAN**

Sheet  
**L-100**

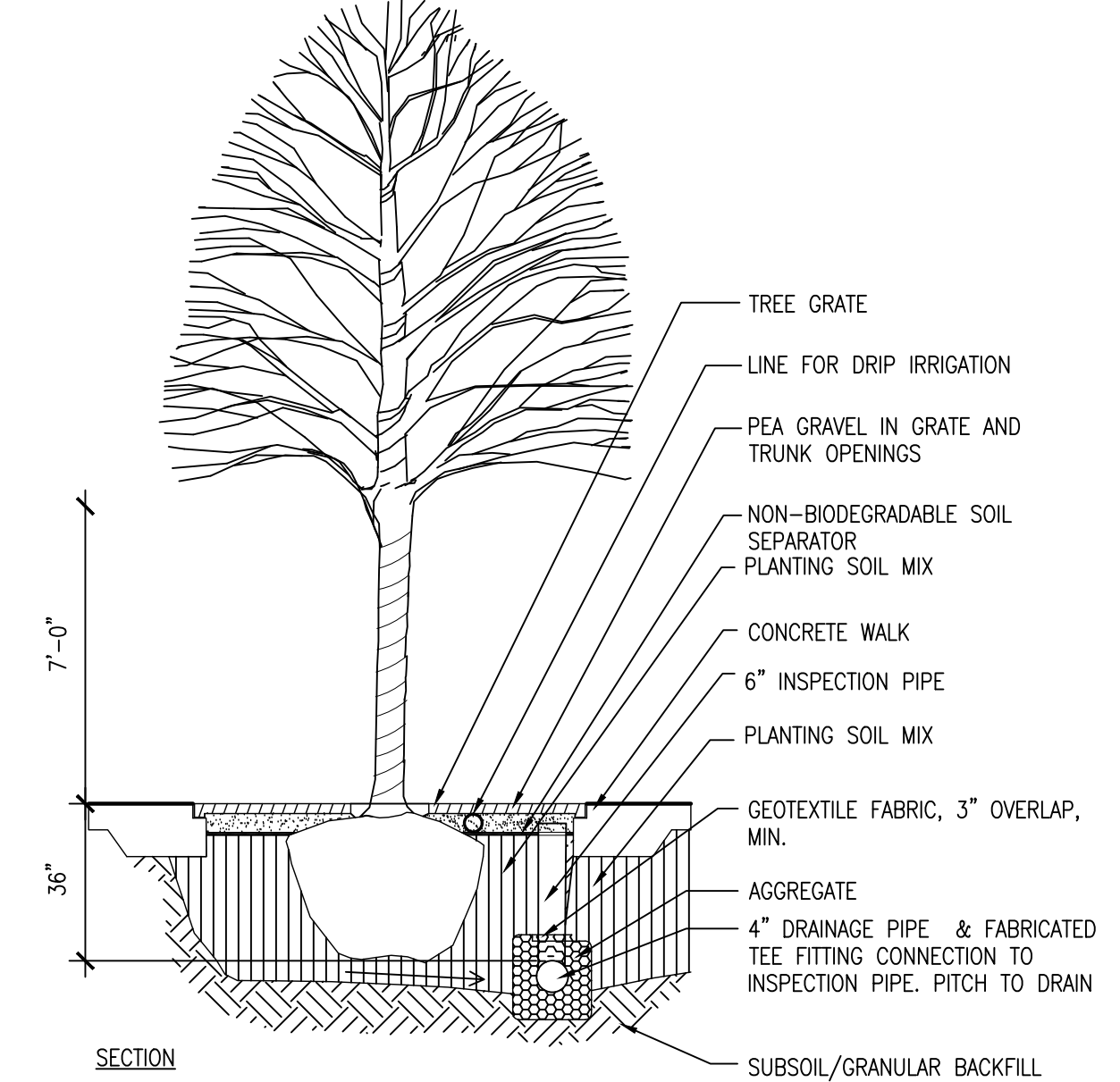


TREE GRATE FRAME

**IRON AGE 'RAIN' 5' X 5' BAKED ON OIL FINISH TREE GRATE**

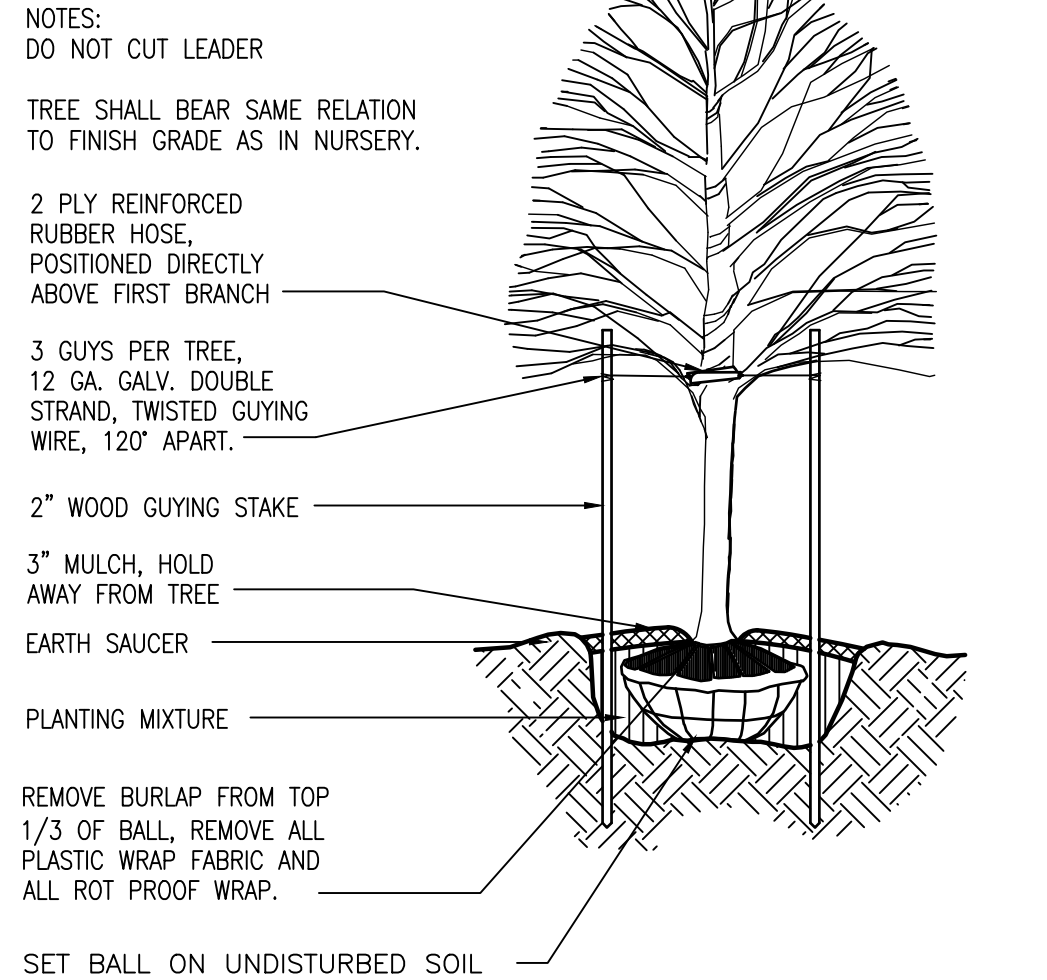
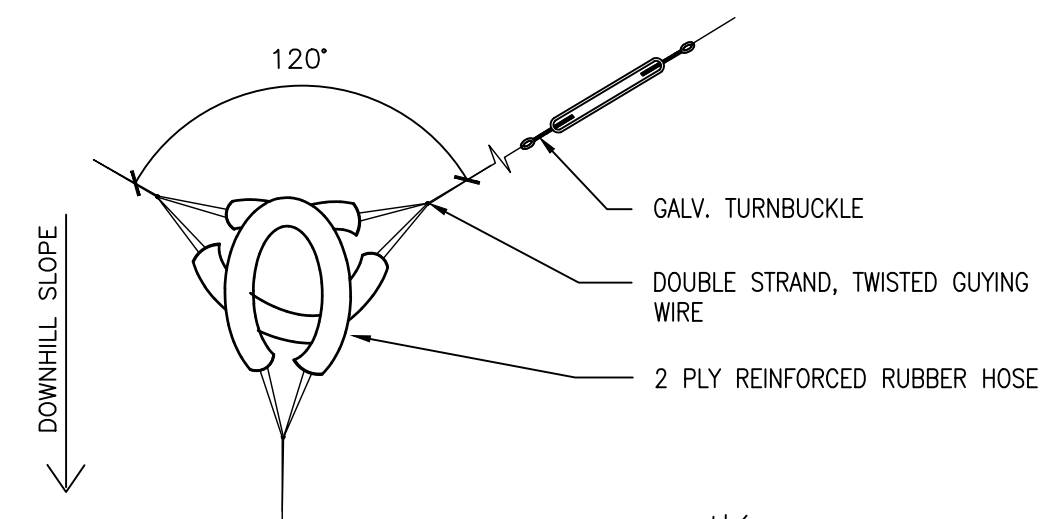


PLAN

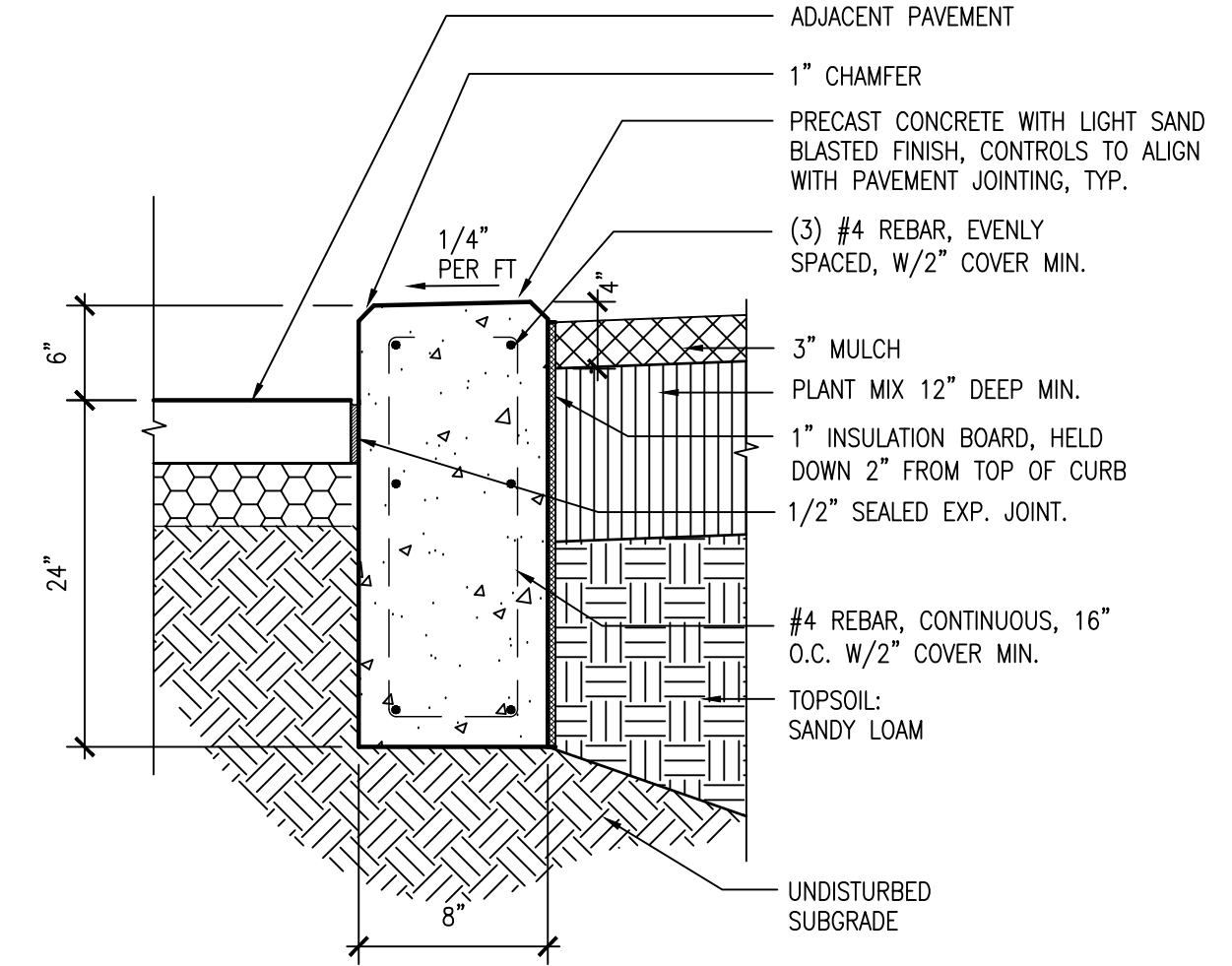


SECTION

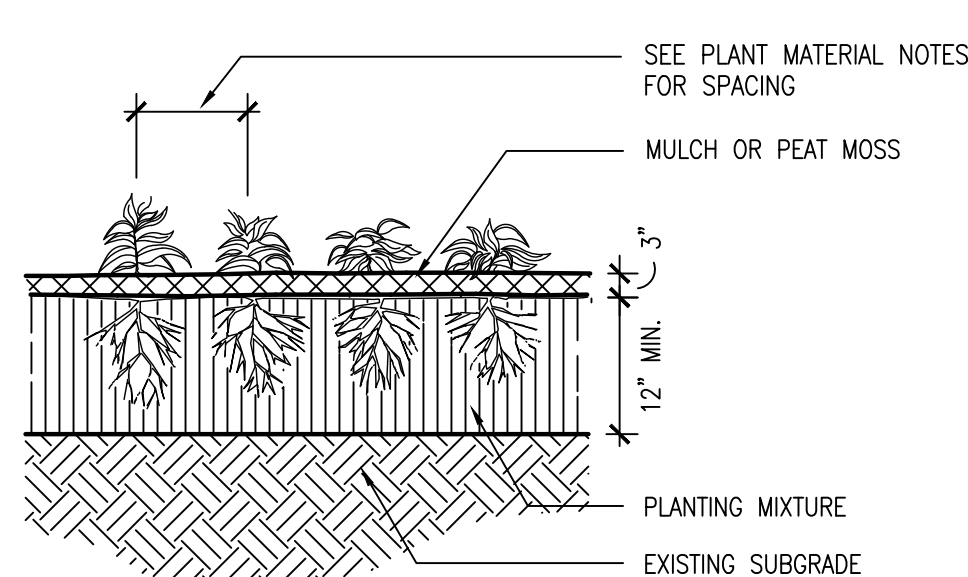
**DECIDUOUS TREE IN TREE GRATE**



**DECIDUOUS TREE WITH UPRIGHT STAKING**



**PLANTER CURB**



**PERENNIAL PLANTING DETAIL**

Issued for

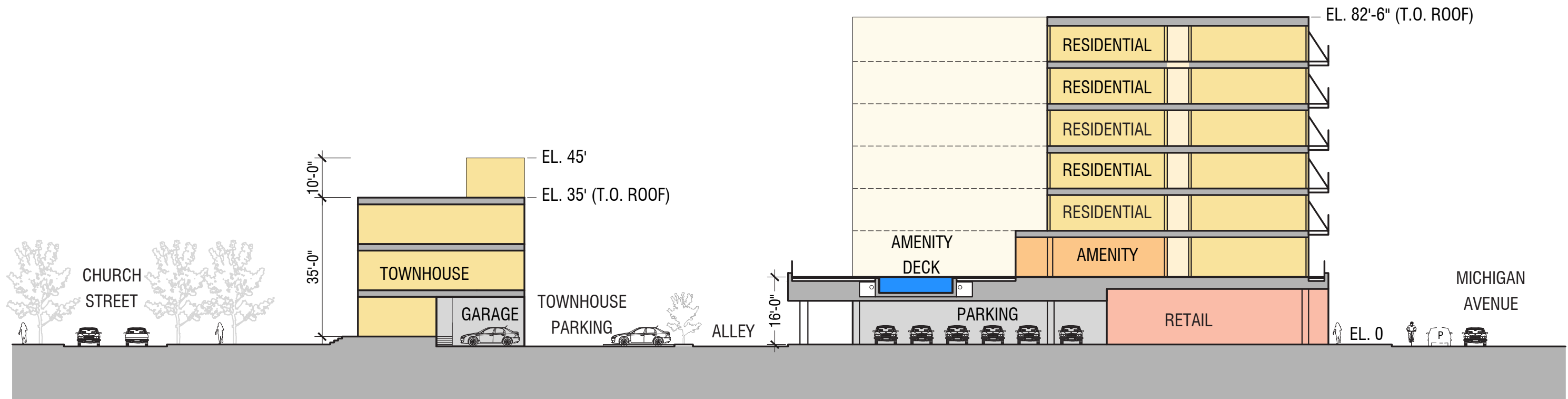
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**2020009**

Title  
**LANDSCAPE DETAILS**

Sheet  
**L-500**



**SITE 1 : OVERALL SECTION**

CORKTOWN › DETROIT, MICHIGAN › FEBRUARY 22, 2021 › SITES 1&2

THE FORBES COMPANY > HUNTER PASTEUR HOMES < OXFORD CAPITAL  
 ELKUS MANFREDI ARCHITECTS › NEUMANN SMITH ARCHITECTURE  
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