

01/14/2021

CERTIFICATE OF APPROPRIATENESS

Timothy R. Flintoff, Jr./4545 Architecture
3011 W. Grand Blvd.
Detroit, MI 48202

**RE: Application Numbers 19-6300, 21-7048; 2221 Wabash; Corktown Historic District
Project Scope: Revisions to previously approved application**

Dear Applicant,

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Sections. 21-2-57 and 21-2-73 of the 2019 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997), Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), Detroit Historic District Commission Resolution 19-05 (concerning staff authority to approve minor changes to approved work consistent with Commission intent, adopted September 11, 2019), and Detroit Historic District Commission Resolution 19-07 (concerning staff authority to approve in-kind work based on documented evidence, adopted September 11, 2019). the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit, and revisions to existing permit, and hereby issues a Certificate of Appropriateness (COA), which is effective as of January 14, 2021.

Staff finds that the following scope items, as depicted in the attached submitted drawings, are appropriate per the Secretary of Interior's Standards for Rehabilitation:

Revisions to original submission 19-6300, including:

- *Excavate below front (east) exterior wall between existing foundation "piers"*
- *Demolish roof complete*
- *Remove and salvage south wall by cutting into 3-4 panels. Panels will consist of exterior finish, sheathing, and stud framing intact*
- *Install new wall and roof framing to complete existing building and addition, per original approval*
- *Attach salvaged south wall panels to new south wall framing and sheathing (treating salvaged wall as a façade system)*
- *Remove temporary bracing from front facade*

New application scope 21-7048, including:

- *Demolition and rebuilding in-kind of non-historic front porch*

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-3521.

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226
PHONE 313-224-6536
FAX 313-224-1310

For the Commission:

A handwritten signature in black ink, appearing to read "Garrick Landsberg", with a long horizontal flourish extending to the right.

Garrick Landsberg
Director/Staff
Detroit Historic District Commission

2221 WABASH - SINGLE FAMILY RENOVATIONS

2221 WABASH ST.
DETROIT MI, 48216

ARCHITECT

4545 ARCHITECTURE | DESIGN, PLLC
TIMOTHY FLINTOFF
4545 Commonwealth St
Detroit Mi 48208

PROJECT DATA

BUILDING CODE AUTHORITY:
City of Detroit

OWNER:
ZEIGER PROPERTIES, LLC
DIANE ZEIGER
2512 SAN ELIJO AVE.
CARDIFF, CA 92007

APPLICABLE CODES:

BUILDING CODE
ALSO KNOWN AS THE "MICHIGAN BUILDING CODE"
2015 MICHIGAN BUILDING CODE (MBC) AS AMENDED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2015 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2017 NATIONAL ELECTRIC CODE (NEC) AS AMENDED &
MICHIGAN AMENDMENTS PART 8.

ENERGY CODE
2015 UNIFORM ENERGY CODE

BARRIER FREE REQUIREMENTS
AMERICANS WITH DISABILITIES ACT (ADA)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2010, EXCEPT SECTION 611 & 707

SHEET INDEX

TS1.1	TITLE SHEET AND SHEET INDEX
D1.1	DEMOLITION FIRST FLOOR AND FOUNDATION PLANS
A1.1	FIRST FLOOR AND FOUNDATIONS PLANS
A3.1	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS



EXTERIOR RENDERING

SYMBOL LEGEND		ABBREVIATION	
	DARKENED ARROW INDICATES ELEVATED SECTION	@	ACOUSTICAL
	ELEVATION NUMBER	A.C.T.	ACOUSTICAL CEILING TILE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ADJ.	ADJACENT
	ELEVATION NUMBER	A.F.F.	ABOVE FINISH FLOOR
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ALUM.	ALUMINUM
	ELEVATION NUMBER	ANOD.	ANODIZED
	SHEET NUMBER WHERE ELEVATION IS LOCATED	BD.	BOARD
	ELEVATION NUMBER	BLDG.	BUILDING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	BLK.	BLOCK
	ELEVATION NUMBER	BLCK.	BLOCKING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	CEM.	CEMENT
	ELEVATION NUMBER	C.J.	CONTROL JOINT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	CLG.	CEILING
	ELEVATION NUMBER	CL.	CENTER LINE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	C.O.	CLEAN OUT
	ELEVATION NUMBER	COL.	COLUMN
	SHEET NUMBER WHERE ELEVATION IS LOCATED	CONC.	CONCRETE
	ELEVATION NUMBER	C.G.	CORNER GUARD
	SHEET NUMBER WHERE ELEVATION IS LOCATED	CONST.	CONSTRUCTION
	ELEVATION NUMBER	CONT.	CONTINUOUS
	SHEET NUMBER WHERE ELEVATION IS LOCATED	CORR.	CORRUGATED
	ELEVATION NUMBER	CPT.	CARPET
	SHEET NUMBER WHERE ELEVATION IS LOCATED	C.T.	CERAMIC TILE
	ELEVATION NUMBER	DET.	DETAIL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	DIA.	DIAMETER
	ELEVATION NUMBER	DM.	DIMENSION
	SHEET NUMBER WHERE ELEVATION IS LOCATED	DOWN	DOWN
	ELEVATION NUMBER	D.O.	DOOR OPENING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	DR.	DOOR
	ELEVATION NUMBER	DWG.	DRAWING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	EA.	EACH
	ELEVATION NUMBER	ELEV.	ELEVATION
	SHEET NUMBER WHERE ELEVATION IS LOCATED	E.W.	EACH WAY
	ELEVATION NUMBER	EXG.	EXISTING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	EXIST.	EXISTING
	ELEVATION NUMBER	EXP.	EXPANSION, EXPOSED
	SHEET NUMBER WHERE ELEVATION IS LOCATED	EXT.	EXTERIOR
	ELEVATION NUMBER	F.D.	FLOOR DRAIN
	SHEET NUMBER WHERE ELEVATION IS LOCATED	FDN.	FOUNDATION
	ELEVATION NUMBER	F.R.P.	FIBER REINFORCED PANELS
	SHEET NUMBER WHERE ELEVATION IS LOCATED	FIN.	FINISH
	ELEVATION NUMBER	FLR.	FLOOR
	SHEET NUMBER WHERE ELEVATION IS LOCATED	F.O.	FACE OF
	ELEVATION NUMBER	F.O.S.	FACE OF STUD
	SHEET NUMBER WHERE ELEVATION IS LOCATED	FR.	FRAME
	ELEVATION NUMBER	FTG.	FOOTING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	FV.	FIELD VERIFY
	ELEVATION NUMBER	GA.	GAUGE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	GALV.	GALVANIZED
	ELEVATION NUMBER	GYP.	GYPSONIUM
	SHEET NUMBER WHERE ELEVATION IS LOCATED	HDW.	HARDWARE
	ELEVATION NUMBER	H.M.	HOLLOW METAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	HORIZ.	HORIZONTAL
	ELEVATION NUMBER	HT.	HEIGHT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	I.D.	INSIDE DIAMETER
	ELEVATION NUMBER	INSUL.	INSULATION
	SHEET NUMBER WHERE ELEVATION IS LOCATED	INT.	INTERIOR
	ELEVATION NUMBER	JT.	JOINT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	LAV.	LAVATORY
	ELEVATION NUMBER	LG.	LONG
	SHEET NUMBER WHERE ELEVATION IS LOCATED	L.L.O.	LONG LEG OUTSTANDING
	ELEVATION NUMBER	L.L.V.	LONG LEG VERTICAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	MAX.	MAXIMUM
	ELEVATION NUMBER	MECH.	MECHANICAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	MET.	METAL
	ELEVATION NUMBER	MEZZ.	MEZZANINE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	M.I.	MISCELLANEOUS IRON
	ELEVATION NUMBER	MIN.	MINIMUM
	SHEET NUMBER WHERE ELEVATION IS LOCATED	MISC.	MISCELLANEOUS
	ELEVATION NUMBER	M.O.	MASONRY OPENING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	N.I.C.	NOT IN CONTRACT
	ELEVATION NUMBER	N.T.S.	NOT TO SCALE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	O.C.	ON CENTER
	ELEVATION NUMBER	O.D.	OUTSIDE DIAMETER
	SHEET NUMBER WHERE ELEVATION IS LOCATED	OPNG.	OPENING
	ELEVATION NUMBER	OPP.	OPPOSITE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	PL.G.	PLATE GLASS
	ELEVATION NUMBER	PL.S.	PLATE STEEL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	P.LAM	PLASTIC LAMINATE
	ELEVATION NUMBER	PLASTER	PLASTER
	SHEET NUMBER WHERE ELEVATION IS LOCATED	PREFAB.	PREFABRICATED
	ELEVATION NUMBER	PROJ.	PROJECT, PROJECTION
	SHEET NUMBER WHERE ELEVATION IS LOCATED	P.S.F.	POUNDS PER SQUARE FOOT
	ELEVATION NUMBER	PT.	PAINT, POINT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.	RISER
	ELEVATION NUMBER	R.A.	RETURN AIR
	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.B.	RUBBER BASE
	ELEVATION NUMBER	R.C.	ROOF CONDUCTOR
	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.C.P.	REFLECTED CEILING PLAN
	ELEVATION NUMBER	R.D.	ROOF DRAIN
	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.F.	RUBBER FLOORING
	ELEVATION NUMBER	REINF.	REINFORCED, REINFORCING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	REQD.	REQUIRED
	ELEVATION NUMBER	ROOFNG.	ROOFING
	SHEET NUMBER WHERE ELEVATION IS LOCATED	RM.	ROOM
	ELEVATION NUMBER	R.S.	ROOF SUMP
	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.T.	RUBBER TILE
	ELEVATION NUMBER	SAN.	SANITARY
	SHEET NUMBER WHERE ELEVATION IS LOCATED	SCHED.	SCHEDULE
	ELEVATION NUMBER	SHT.	SHEET
	SHEET NUMBER WHERE ELEVATION IS LOCATED	SM.	SIMILAR
	ELEVATION NUMBER	SPEC.	SPECIFICATION
	SHEET NUMBER WHERE ELEVATION IS LOCATED	S.S.	SERVICE SINK
	ELEVATION NUMBER	STL.	STEEL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	STD.	STANDARD
	ELEVATION NUMBER	STOR.	STORAGE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	STRUCT.	STRUCTURAL
	ELEVATION NUMBER	SUSP.	SUSPENDED
	SHEET NUMBER WHERE ELEVATION IS LOCATED	SW.	SWITCH
	ELEVATION NUMBER	SYM.	SYMMETRICAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	T.	TREAD
	ELEVATION NUMBER	T&B	TOP AND BOTTOM
	SHEET NUMBER WHERE ELEVATION IS LOCATED	TEL.	TELEPHONE
	ELEVATION NUMBER	TERR.	TERRAZZO
	SHEET NUMBER WHERE ELEVATION IS LOCATED	T&G	TONGUE AND GROOVE
	ELEVATION NUMBER	THK.	THICK, THICKNESS
	SHEET NUMBER WHERE ELEVATION IS LOCATED	THRES.	THRESHOLD
	ELEVATION NUMBER	T.O.S.	TOP OF STEEL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	TYP.	TYPICAL
	ELEVATION NUMBER	UC	UNDERCUT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	U.N.O.	UNLESS NOTED OTHERWISE
	ELEVATION NUMBER	V.B.	VINYL BASE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	V.C.T.	VINYL COMPOSITION TILE
	ELEVATION NUMBER	V.I.F.	VERIFY IN FIELD
	SHEET NUMBER WHERE ELEVATION IS LOCATED	W.	WIDE
	ELEVATION NUMBER	VERT.	VERTICAL
	SHEET NUMBER WHERE ELEVATION IS LOCATED	WAINS.	WAINSCOT
	ELEVATION NUMBER	W.C.	WATER CLOSET
	SHEET NUMBER WHERE ELEVATION IS LOCATED	WD.WIN.	WOOD WINDOW
	ELEVATION NUMBER	WT.	WEIGHT
	SHEET NUMBER WHERE ELEVATION IS LOCATED	W.W.F.	WELDED WIRE FABRIC

MATERIAL LEGEND	
	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GLASS
	GYPSONIUM WALLBOARD
	MASONRY
	PARTICLE BOARD
	PLYWOOD

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HDC REVISION 01/07/21

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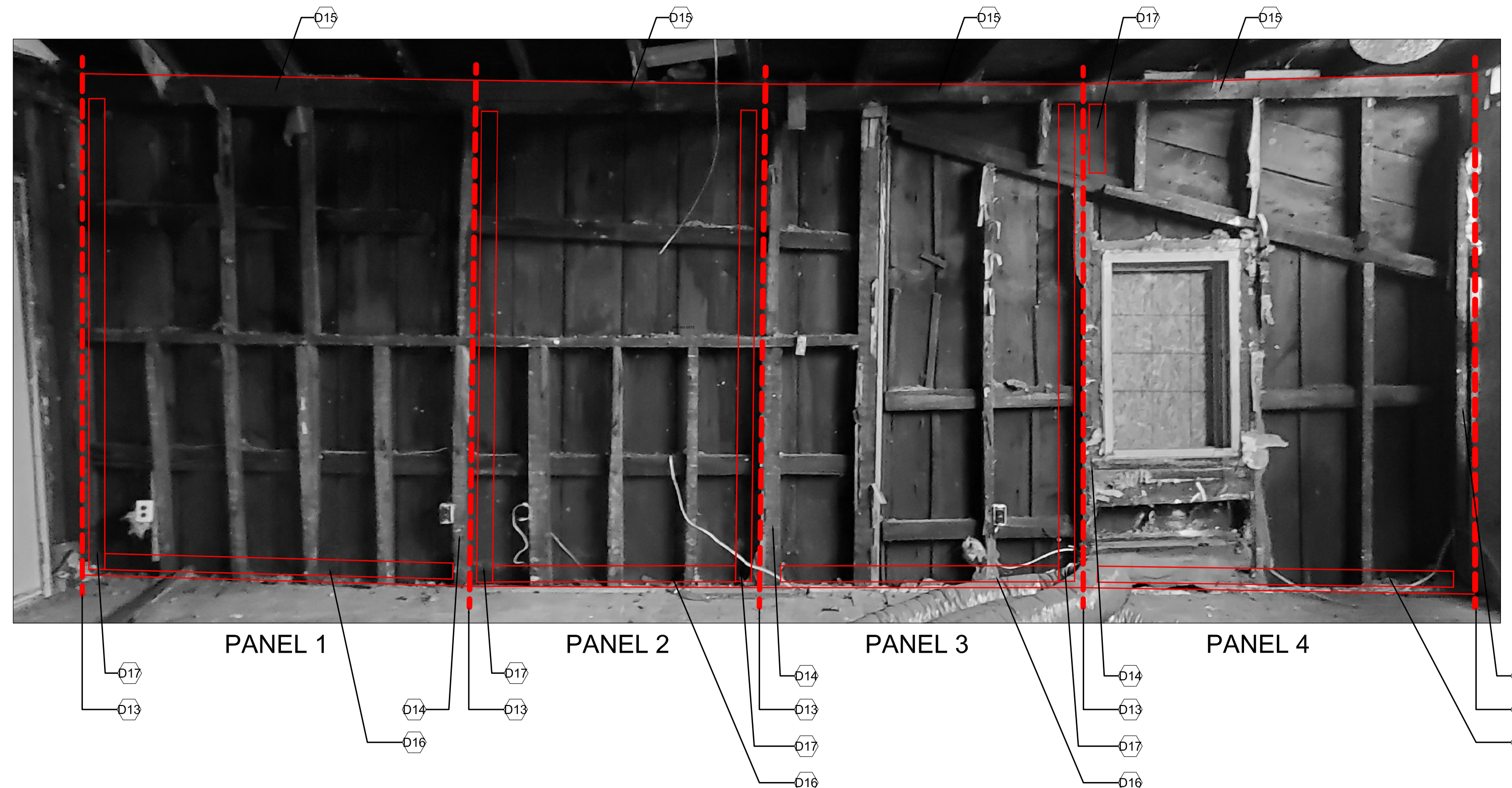
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Sheet Title :
TITLE SHEET,
SHEET INDEX, AND
LOCATOR PLAN

Project No. :
2019006

Sheet No. :
TS1.1

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1 SOUTH WALL FRAMING ELEVATION
D1.1 NOT TO SCALE

FOUNDATION UNDERPINNING NARRATIVE:

1. EXCAVATE BELOW FRONT (EAST) EXTERIOR WALL BETWEEN EXISTING FOUNDATION "PIERS"
2. INSTALL NEW CONCRETE FOOTINGS BELOW FRONT (EAST) EXTERIOR WALL IN BETWEEN EXISTING FOUNDATION "PIERS"
3. DEMOLISH EXISTING FOUNDATION "PIERS"
4. INSTALL NEW CONCRETE FOOTINGS AT EXISTING "PIER" LOCATIONS, TIE INTO PREVIOUSLY INSTALLED NEW FOUNDATION
5. DEMOLISH ROOF COMPLETE
6. REMOVE AND SALVAGE SOUTH WALL BY CUTTING INTO 4 "PANELS." PANELS WILL CONSIST OF EXTERIOR FINISH, SHEATHING, AND STUD FRAMING INTACT. ARCHITECT IS TO OBSERVE CUTTING, REMOVAL, AND REINFORCING OF PANELS.
7. DEMOLISH REAR (WEST) AND NORTH WALL, EXCEPT THE EASTERMOST FEW FEET OF NORTH WALL THAT WILL TIE INTO NEW ADDITION
8. DEMOLISH EXISTING FLOOR SYSTEM AND "FOUNDATION SYSTEM" COMPLETE.
9. INSTALL NEW CONCRETE FOOTINGS AT FOOTPRINT OF EXISTING BUILDING AND NEW ADDITION.
10. INSTALL NEW WALL AND ROOF FRAMING TO COMPLETE EXISTING BUILDING AND ADDITION.
11. ATTACH SALVAGED SOUTH WALL PANELS TO NEW SOUTH WALL FRAMING AND SHEATHING (TREATING SALVAGED WALL AS A FACADE SYSTEM)
12. REMOVE TEMPORARY BRACING FROM FRONT FACADE

GENERAL DEMOLITION PLAN NOTES:

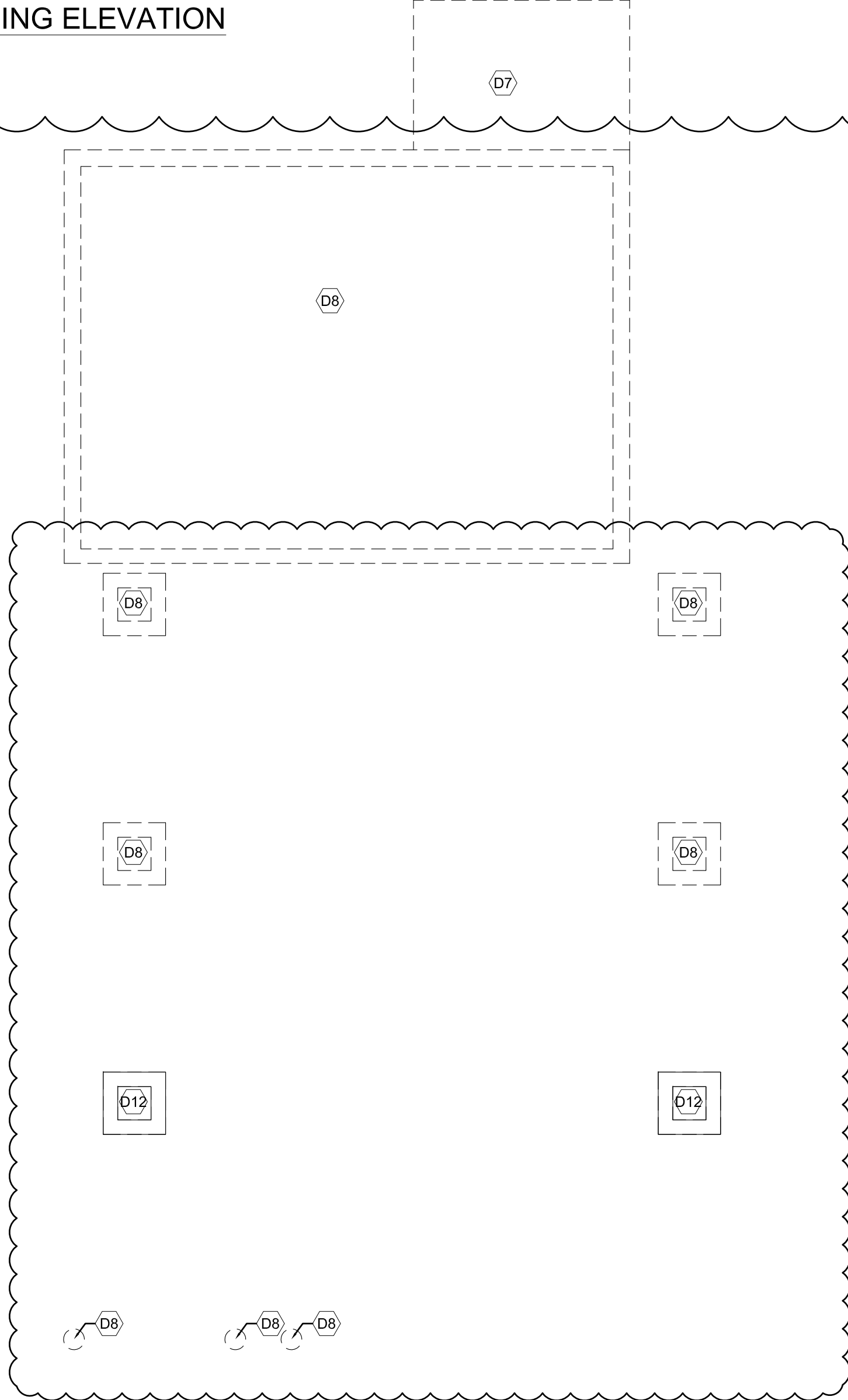
1. ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
2. COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
3. ALL WALLS, DOORS, FRAMES, AND RELATED HARDWARE ASSEMBLIES DESIGNATED AS "TO BE REMOVED" (SHOWN AS DASHED LINES) SHALL BE COMPLETELY REMOVED AND DISPOSED OF AS DESIGNATED BY OWNER/TENANT. ALL EXISTING WALLS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE AND REMAIN "AS-IS".
4. ALL EQUIPMENT, DOORS, FRAMES, RELATED HARDWARE, AND DESIGNATED ITEMS TO BE SALVAGED SHALL BE REMOVED, PROTECTED FROM DAMAGE, AND STORED FOR REUSE.
5. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
6. ALL DEMOLITION WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER. ALL SURFACES ADJACENT TO AND ABUTTING TO THOSE DESIGNATED "TO BE REMOVED" SHALL BE LEFT WITH A SMOOTH AND FLUSH APPEARANCE.
7. THE CONTRACTOR SHALL EXERCISE ALL REQUISITE CARE NECESSARY TO ENSURE THAT ALL EQUIPMENT, MATERIALS, FINISHES AND ASSEMBLIES WHICH ARE NOT BEING REMOVED ARE PROTECTED FROM DAMAGE DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION OPERATIONS.
8. REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION.
9. GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM.
10. THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH OWNER TO ENSURE THAT IMPACTS ON THE BALANCE OF THE BUILDING ARE HELD TO A MINIMUM.
11. PREPARE ALL SURFACES TO RECEIVE THE NEW WORK AND FINISHES OF THE CONTRACT.
12. THE CONTRACTOR SHALL DESIGN, PROVIDE, INSTALL AND MAINTAIN ANY AND ALL TEMPORARY BRACING AS REQUIRED TO ENSURE THE STABILITY OF THE BUILDING ASSEMBLY AND/OR ANY SYSTEMS AND/OR SUB-ASSEMBLIES AND/OR SYSTEMS APPURTENANT THERETO UNTIL SAID ASSEMBLY AND/OR SUB-ASSEMBLIES ARE COMPLETE, SELF-SUPPORTING AND/OR STABLE.

DEMOLITION PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

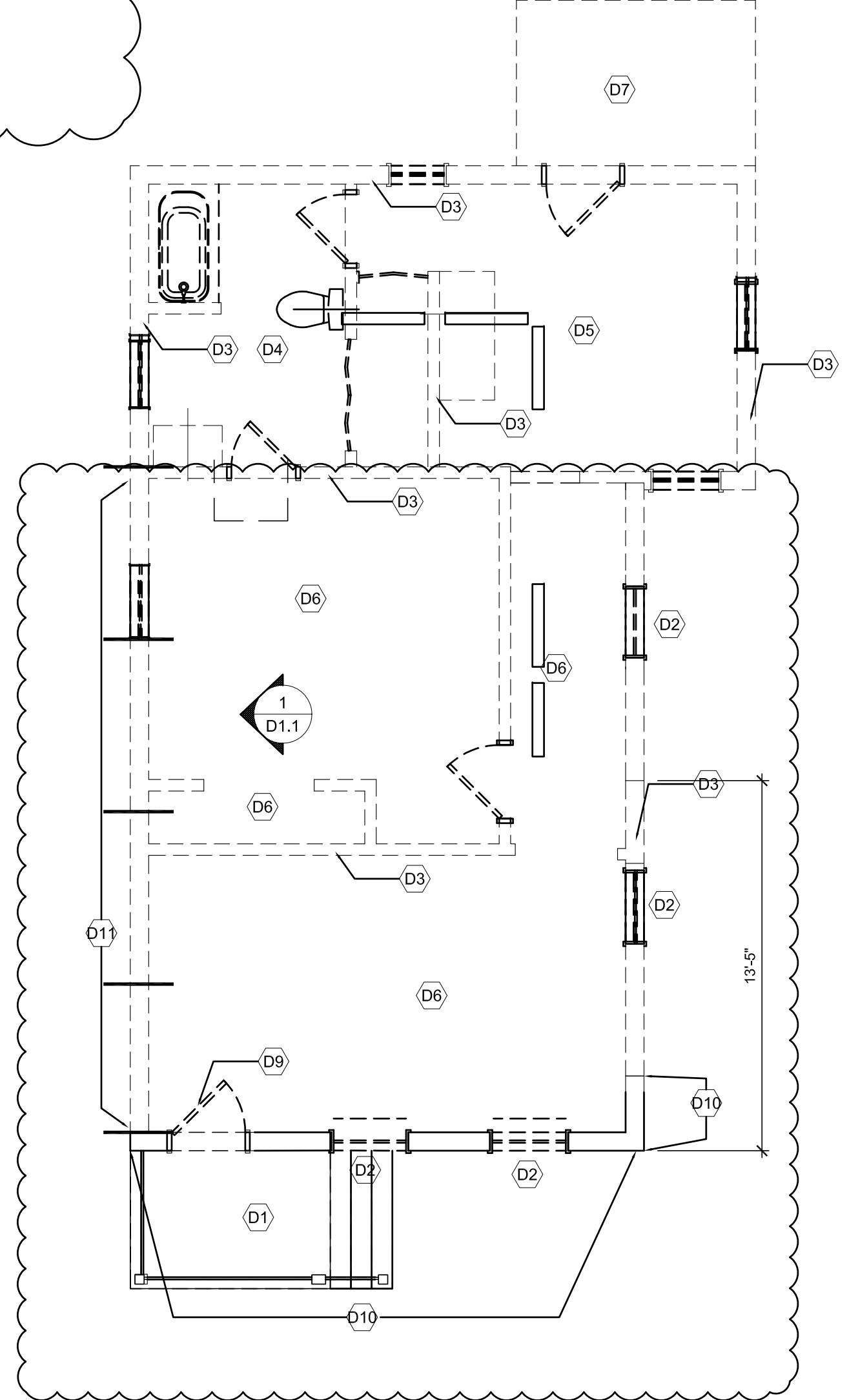
- (D1) DEMOLISH EXISTING FRONT PORCH COMPLETE.
- (D2) REMOVE WINDOW COMPLETE
- (D3) REMOVE WALL COMPLETE, INCLUDING ELECTRICAL TO PANEL
- (D4) REMOVE BATHROOM COMPLETE, INCLUDING ELECTRICAL AND PLUMBING
- (D5) REMOVE KITCHEN COMPLETE, INCLUDING ELECTRICAL AND PLUMBING
- (D6) REMOVE INTERIOR DRYWALL/PLASTER AND FLOOR FINISHES COMPLETE, ALL HVAC AND ELECTRICAL
- (D7) REMOVE REAR PORCH COMPLETE, INCLUDING FOUNDATIONS
- (D8) REMOVE FOUNDATION COMPLETE
- (D9) EXISTING HARDWARE/LOCK SET TO BE REMOVE. DOOR SLAB TO SALVAGED FOR REINSTALLATION. PREP TO RECEIVE NEW HINGES/LOCKSET
- (D10) EXISTING WALL TO REMAIN IN PLACE DURING CONSTRUCTION. PROVIDE TEMPORARY SUPPORT BY SHORING CONTRACTOR.
- (D11) CUT EXISTING EXTERIOR WALL ASSEMBLY VERTICALLY IN TO "PANELS." PANELS TO INCLUDE EXTERIOR FINISH, SHEATHING, AND FRAMING. ADD CONTINUOUS BLOCKING AT VERTICAL EDGE OF EACH PANEL WHERE AN EXISTING STUD IS NOT PRESENT. SALVAGE PANELS FOR REINSTALLATION ON NEW FRAMED WALL.
- (D12) EXISTING STONE PIER TO REMAIN. DURING FOUNDATION UNDERPINNING PROCESS. REFER TO UNDERPINNING NARRATIVE.
- (D13) PANEL CUT LINE. CUT VERTICALLY THROUGH EXISTING SHEATHING, EXTERIOR SIDING, HEADER FRAMING, AND SILL PLATE ALONG EDGE OF STUD FRAMING AS INDICATED. ALL EXISTING FRAMING IS TO REMAIN ATTACHED TO PANEL. REINFORCE WITH WD BLOCKING AS REQUIRED.
- (D14) RETAIN EXISTING STUD ALONG EDGE OF PANEL. REINFORCE WITH WD BLOCKING AS REQUIRED.
- (D15) RETAIN EXISTING HEADER ALONG TOP OF PANEL. REINFORCE WITH WD BLOCKING AS REQUIRED.
- (D16) WHERE SILL PLATE IS NOT PRESENT, INSTALL NEW CONTINUOUS WD BLOCKING ALONG BOTTOM OF PANEL.
- (D17) INSTALL NEW CONTINUOUS WD BLOCKING ALONG OPEN VERTICAL EDGE OF PANEL.

DEMOLITION KEY:

- WALL TO REMAIN
- WALL TO BE REMOVED
- DOOR TO REMAIN
- DOOR, FRAME AND HARDWARE TO BE REMOVED UNLESS NOTED OTHERWISE
- DESIGNATED ITEM TO REMAIN
- DESIGNATED ITEM TO BE REMOVED



DEMOLITION FOUNDATION PLAN
SCALE: 1/4"=1'-0"



DEMOLITION FLOOR PLAN
SCALE: 1/4"=1'-0"

PROJECT:

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Sheet Title :

**DEMOLITION
FLOOR PLAN**

Project No. :

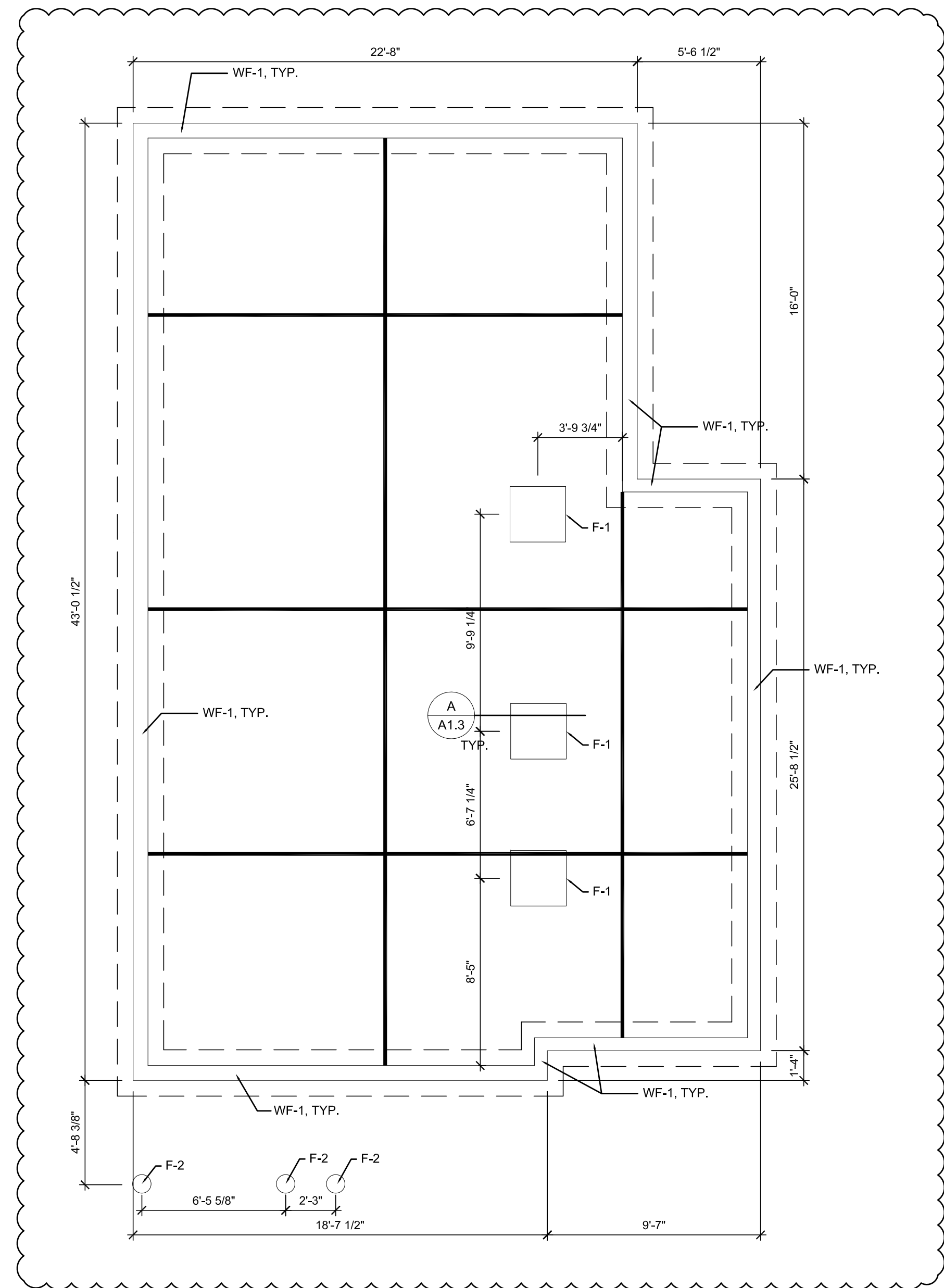
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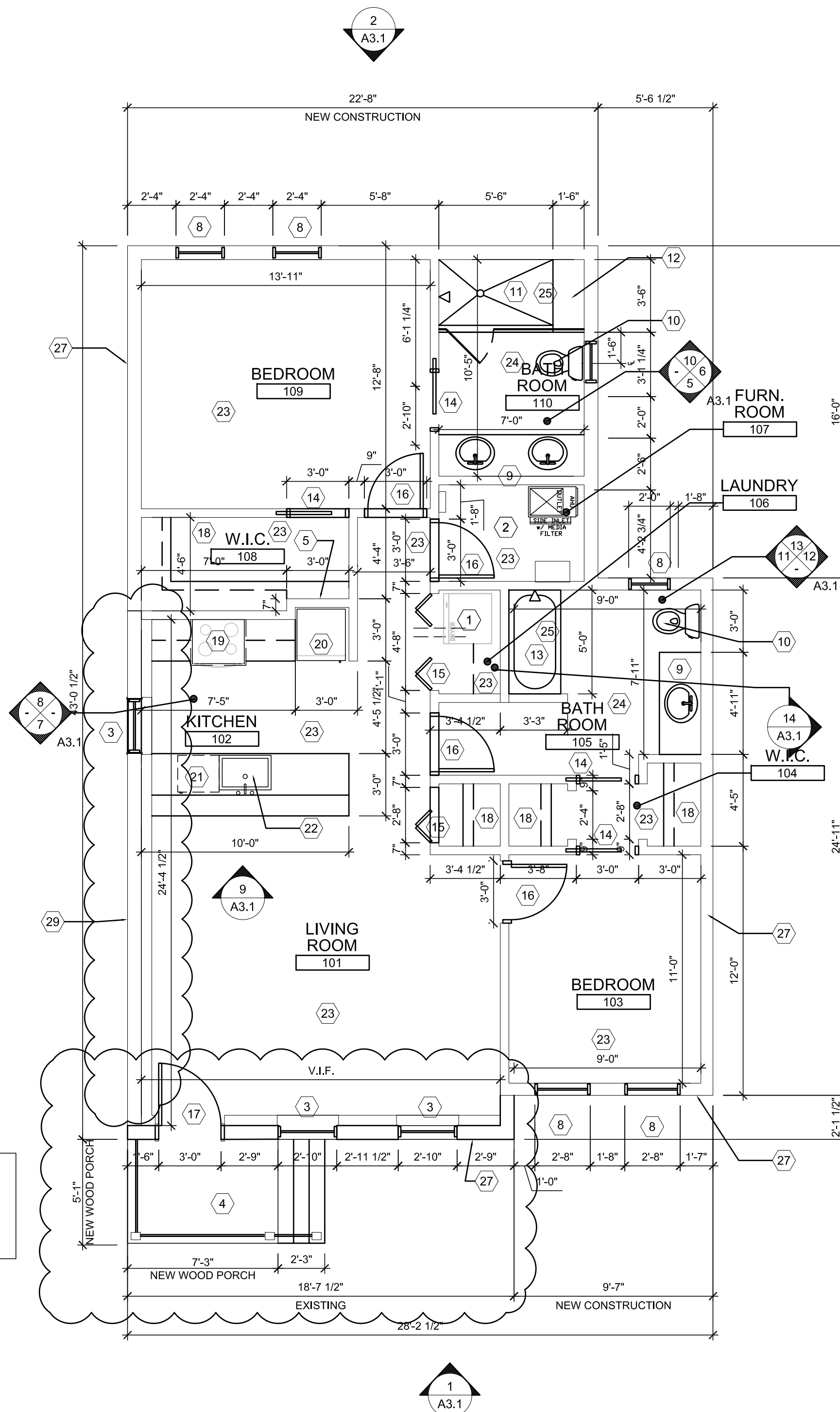
D1.1

STATE OF MICHIGAN
TIMOTHY R. FLINTOFF JR.
ARCHITECT
No. 1301064083
LICENSED ARCHITECT

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FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FOOTPRINT EXIST: 462 GSF
FOOTPRINT NEW: 650 GSF
TOTAL BUILDING SQ.FT.: 1112 GSF

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- ALL FIXTURES AND HARDWARE TO BE SATIN SILVER FINISH
- ALL FLOOR/WALL BASES TO BE 1x4 PAINTED WHITE, EXCEPT AT LOCATIONS OF WALL TILE THEN PROVIDE TILE BASE.
- ALL INTERIOR WALLS TO BE PAINTED WHITE, SATIN FINISH ON WALL AND FLAT FINISH ON CEILING

FLOOR PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- STACKED WASHER/DRYER; PROVIDE GAS AND WATER CONNECTION(SUPPLY AND DRAIN), PROVIDE STORAGE SHELVES ADJACENT
 - FURNACE AND ON-DEMAND HW SYSTEM, PROVIDE AC CONDENSER OUTSIDE AS REQ'D
 - NEW WINDOW, PELLA ARCHITECTURAL WOOD SERIES OR SIMILAR, STYLE 2 OVER 2 GRID.
 - NEW WOOD FRAMED FRONT PORCH WITH WOOD RAILING AND CANOPY WITH ASPHALT SHINGLE ROOF.
 - TENSION CABLES TO BE INSTALLED PRIOR TO WALL BACKFILL, 10 KIPOIS TYP.
 - NOT USED
 - NOT USED
 - NEW WINDOW, PELLA ARCHITECTURAL WOOD SERIES OR SIMILAR, STYLE 2 OVER 2 GRID.
 - SHADOW GRAY QUARTZ COUNTER TOP WITH DROP IN SINK.
 - DUAL FLUSH TOILET, BY TOTO
 - SHOWER, WHITE SHOWER PAN WITH SUBWAY TILE ON THREE SIDES, AND GLASS SHOWER ENCLOSURE.
 - SHOWER SEAT - FINISH W/ SUBWAY TILE
 - BATHTUB, PROVIDE GLASS SHOWER ENCLOSURE
 - POCKET DOOR, SOLID CORE WOOD SLAB. STAIN TO MATCH MILANO DOOR VENEER.
 - BI-FOLD DOOR, MFG: MILANO, FIN: GRAY OAK, STYLE: SL131-BFD-12
 - SOLID CORE WOOD SLAB, STAIN TO MATCH MILANO DOOR VENEER. BATHROOM LOCK SET OR PRIVACY AS REQ'D.
 - NEW 3-0x7-0 ENTRY DOOR, PROVIDE ENTRY SET
 - CLOSET WITH HANGER ROD AND SHELF
 - GAS STOVE, WITH MICROWAVE ABOVE IN CABINET, PROVIDE RE-CIRCULATION EXHAUST
 - REFRIGERATOR, PROVIDE WATER CONNECTION.
 - DISHWASHER
 - SHADOW GRAY QUARTZ COUNTER TOP WITH STAINLESS STEEL SINK, W/ 1/2 HP GARBAGE DISPOSAL, PROVIDE GFG IN KITCHEN AS REQUIRED, GARBAGE DISPOSAL TO HAVE AIR-SWITCH
 - FLOORING: AQUASEAL 24, 12MM BLUE SANDS PINE LAMINATE
 - BATHROOM FLOORING: DAL TILE YACHT CLUB, BRIDGE DECK YC02; SIZE 6X24
 - SUBWAY TILE: DAL TILE, COLOR WHEEL COLLECTION - CLASSIC, FINISH WHITE; SIZE 3X6
 - INSTALL SHOE SHELVES ON WALL.
 - 1 HR WALL, UL305 AT LOCATIONS WHERE WALL IS WITH IN 5' OR LESS OF THE PROPERTY LINE
 - EXISTING EXTERIOR WALL
 - EXISTING EXTERIOR WALL ASSEMBLY REINSTALLED AS FACADE PANELS

FOUNDATION SCHEDULE

- WF-1:** 24" WIDE x 12" THICK FOOTING, REINF. W/ (3) #5 T&B LONGITUDINAL, CONTINUOUS, STEM WALL 10" WIDE. SEE SECTIONS FOR REINFORCING
- * FOUNDATIONS ARE DESIGNED TO BEAR ON UNDISTURBED NATIVE/NATURAL SOILS ON ENGR FILL HAVING A NET ALLOWABLE BEARING CAPACITY ≥ 2000 PSF V.I.F.
- F-1:** 2'-0" x 2'-0" x 1'-4" THICK FOOTING w/(4) #5 BOT E.W.
- F-2:** 16" DIA x 42" DEEP FOOTING w/(6) #5 VERTICAL + (3) #3 TIES EQ. SPACING
- BACKFILL FOUNDATIONS UNIFORMLY AND WITH APPROVED BACKFILL MATERIALS COMPACTED TO 95% MIN. OF THE STANDARD PROCTOR.

4545 architecture
4545 COMMONWEALTH ST.
DETROIT, MI 48208
P. 248.320.6098
TIM.FLINTOFF@4545ARCHITECTURE.COM

Project :
**ZIEGER PROPERTIES, LLC
RENOVATIONS
2221 WABASH
DETROIT, MI 48216**

Issued for :
HDC REVISION 01/07/21

Drawn by :
TRF

Sheet Title :
**1ST FLOOR +
2ND FLOOR
PLANS**

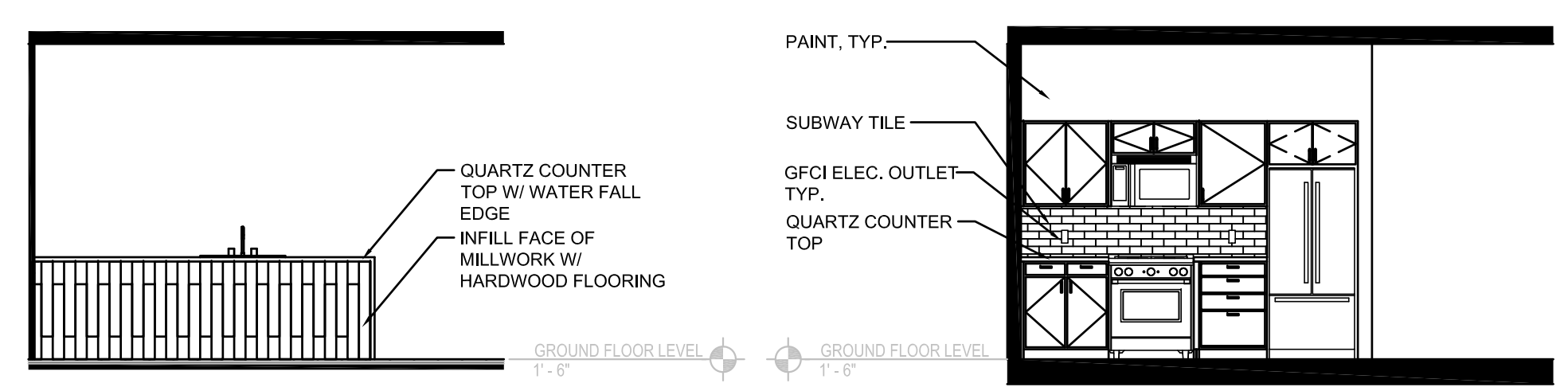
Project No. :
2019006

Sheet No. :
A11

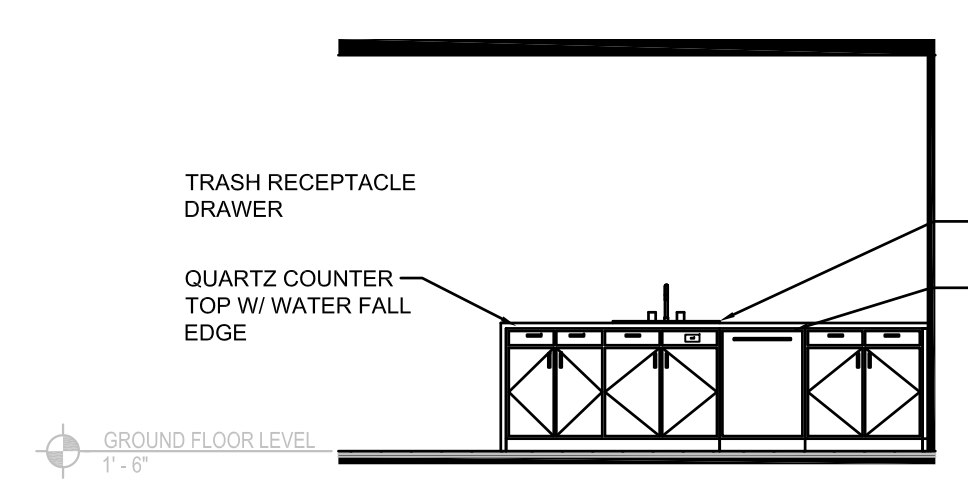
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GENERAL ELEVATIONS NOTES:

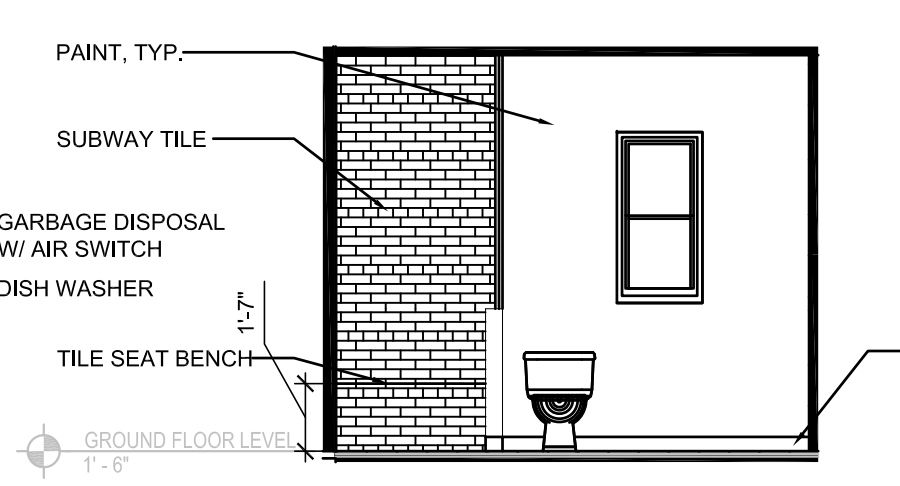
1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.



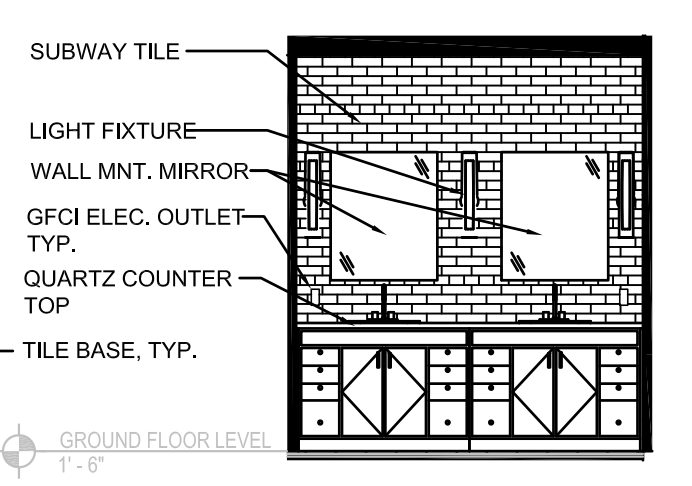
9 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



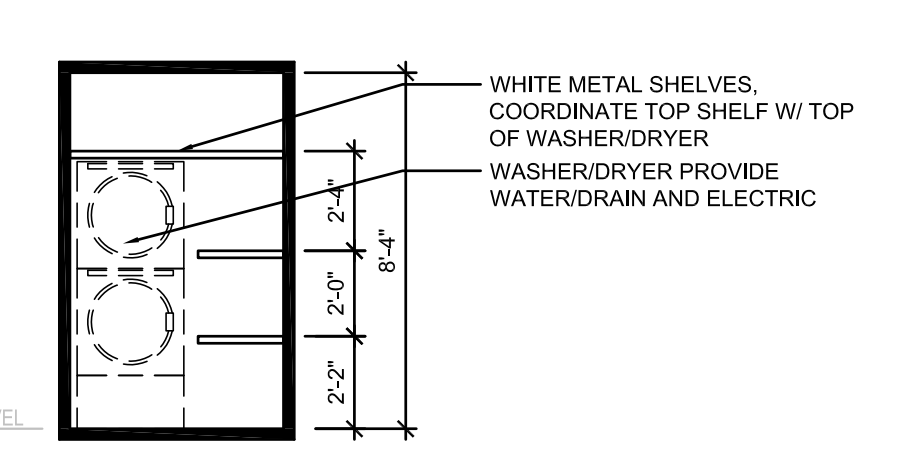
7 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



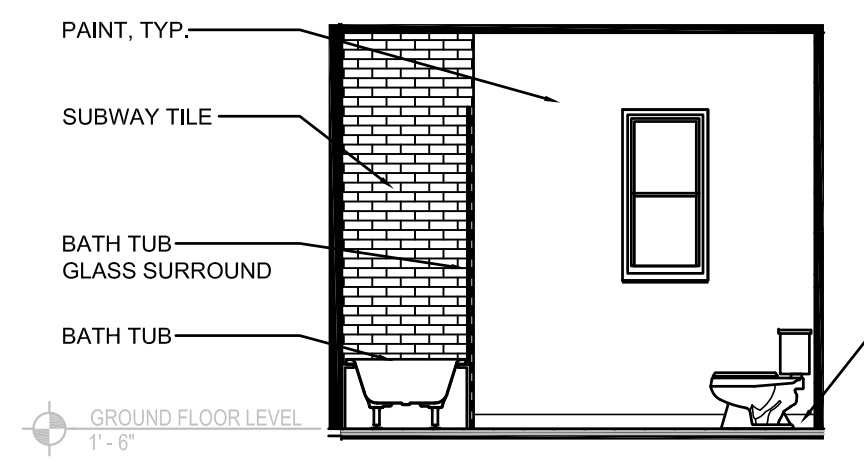
6 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



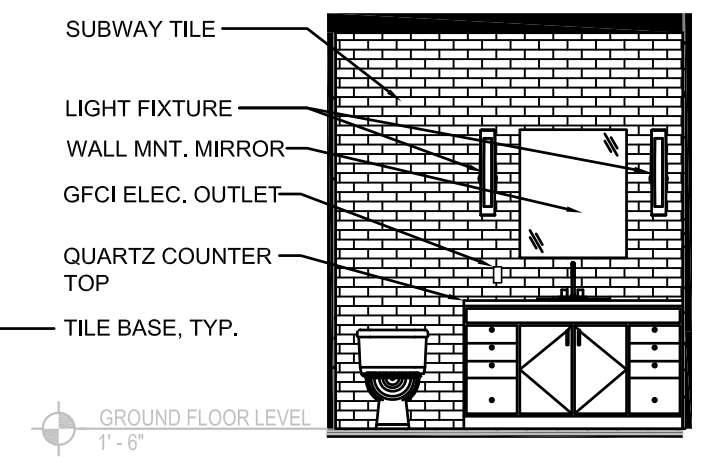
5 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



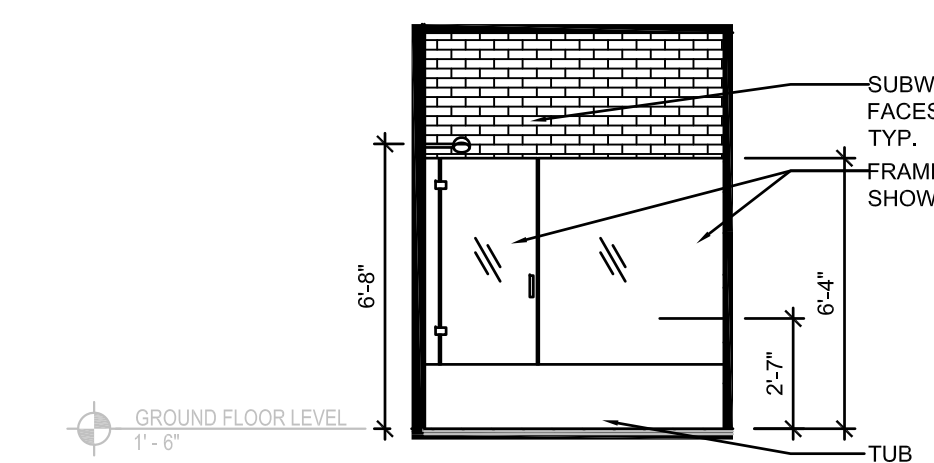
14 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



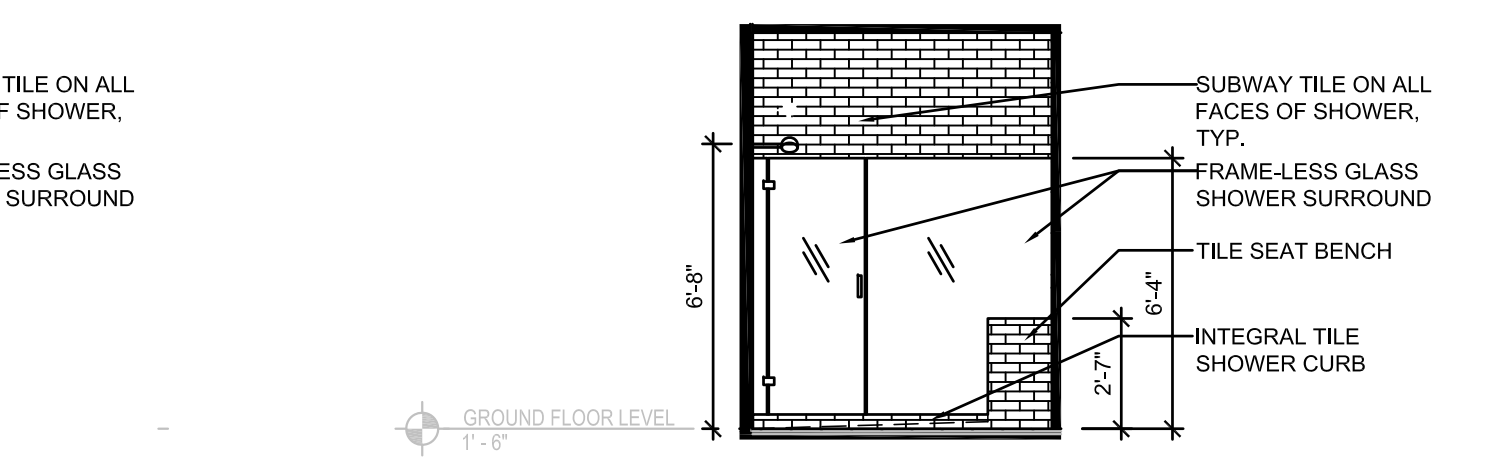
13 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



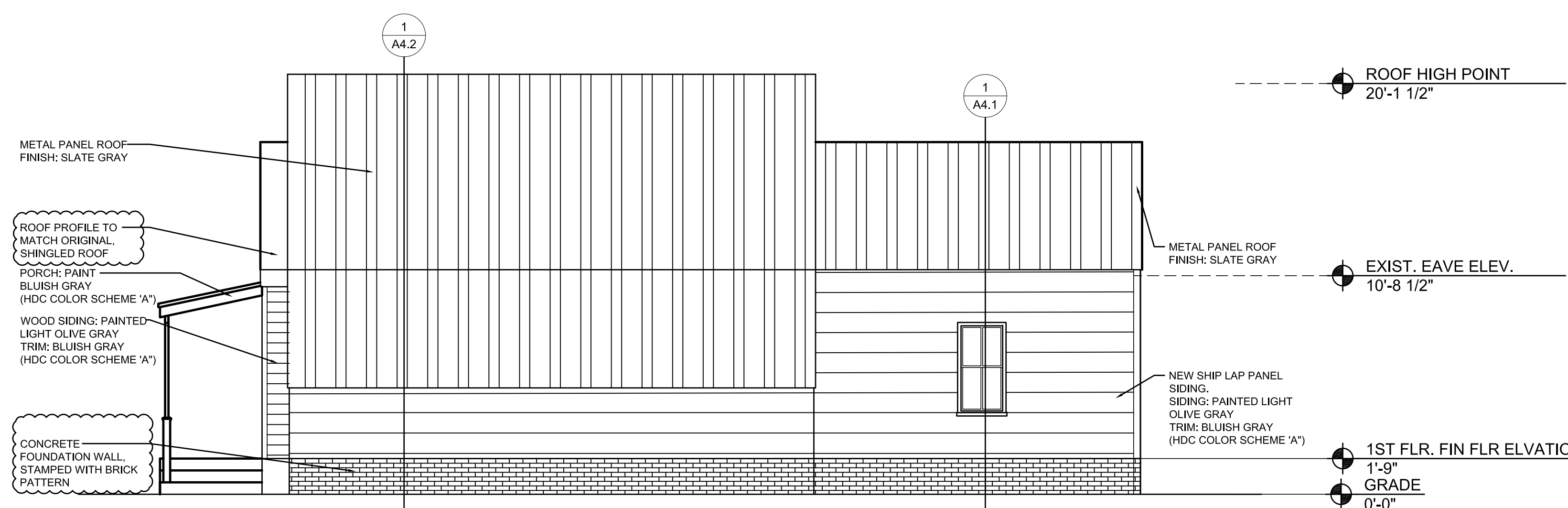
12 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



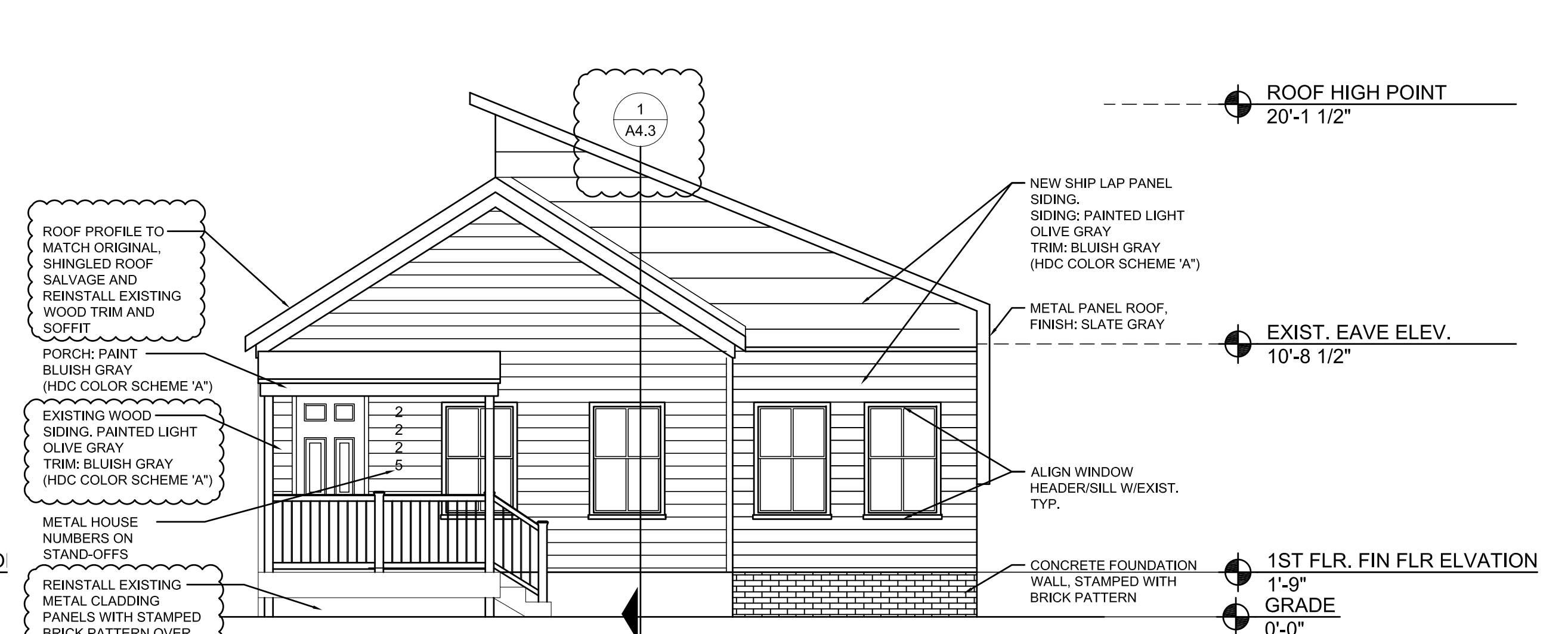
11 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



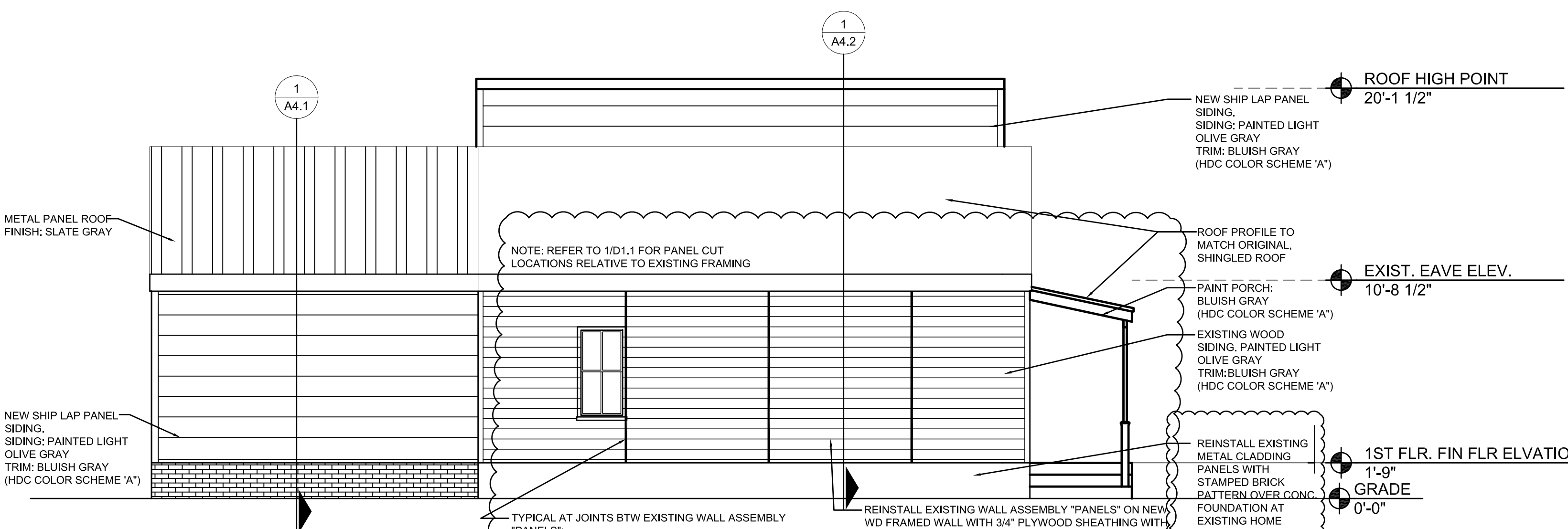
10 INTERIOR ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



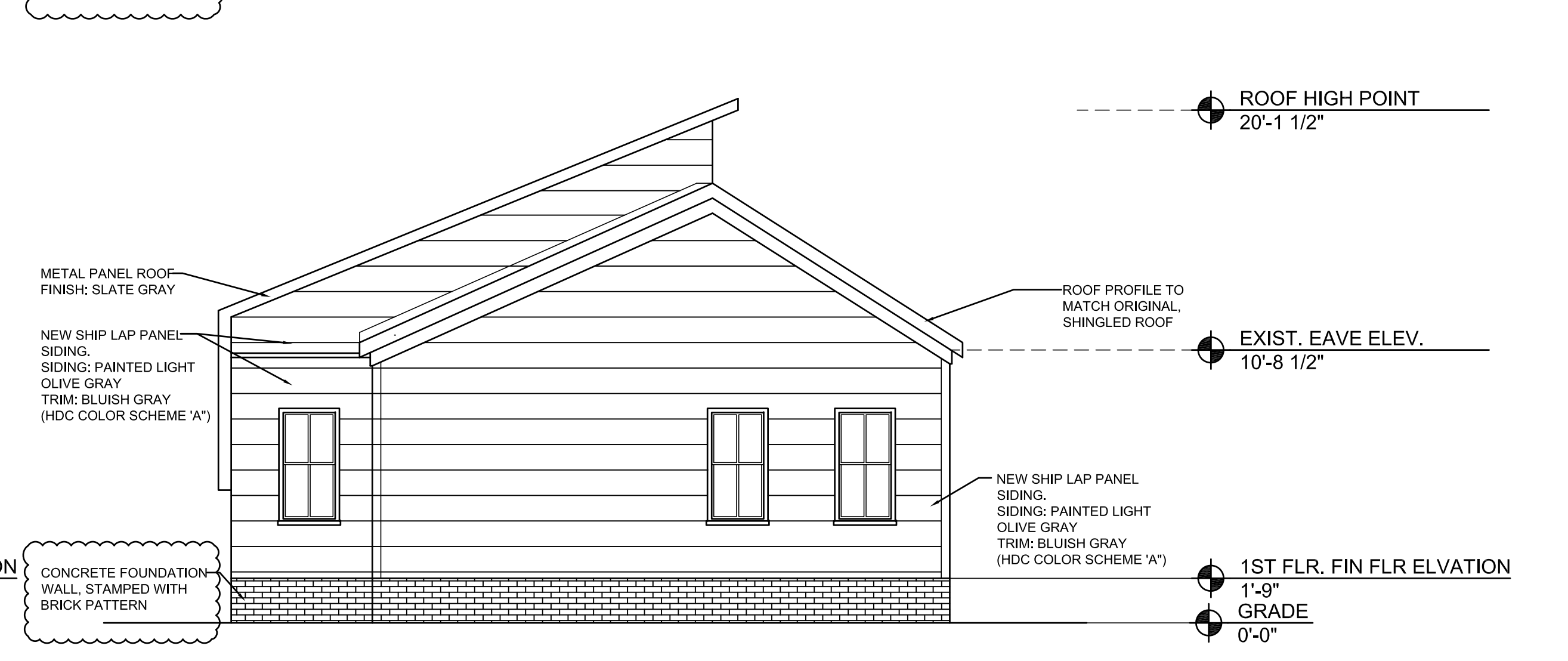
3 NORTH ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



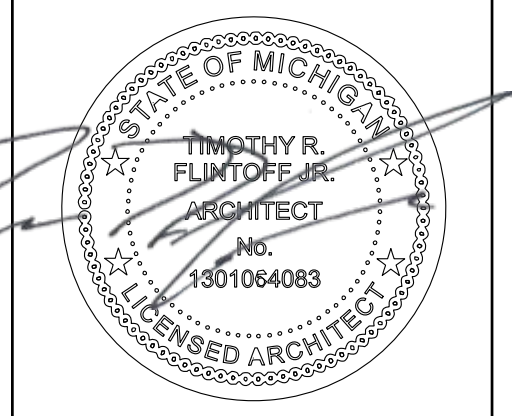
4 SOUTH ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 A1.1 SCALE: 1/4" = 1'-0"

Project :
 ZIEGER PROPERTIES, LLC
 RENOVATIONS
 2221 WABASH
 DETROIT, MI 48216

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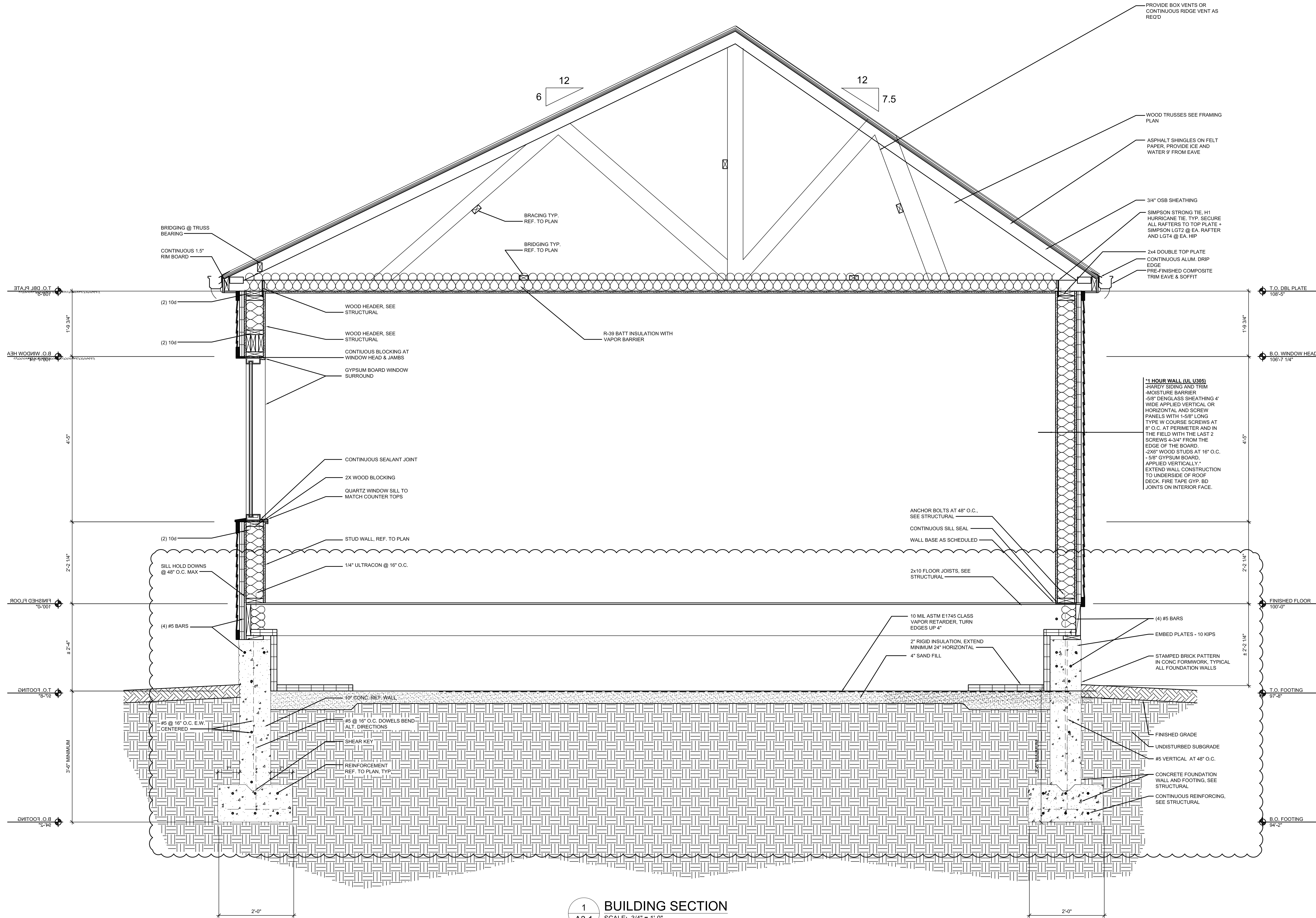
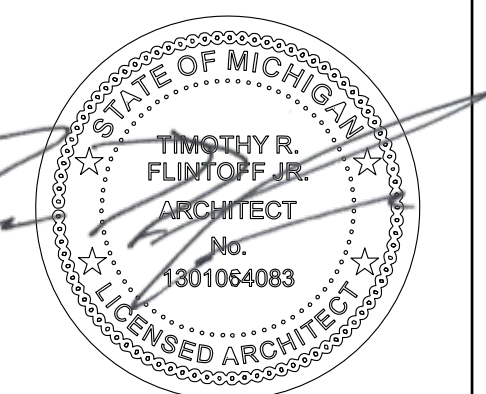
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Sheet Title :
 EXTERIOR +
 EXTERIOR
 ELEVATIONS

Project No. :
 2019006

Sheet No. :
 A3.1

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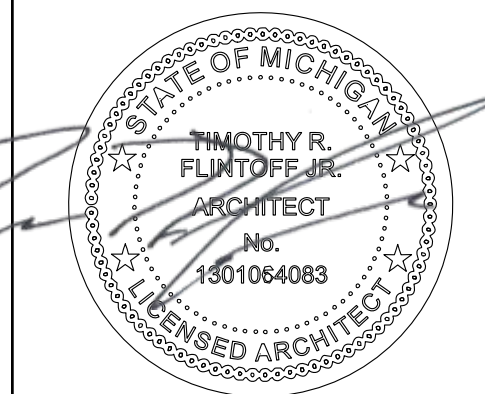


1 BUILDING SECTION
SCALE: 3/4" = 1'-0"

CONSULTANT:

Project :
**ZIEGER PROPERTIES, LLC
 RENOVATIONS
 2221 WABASH
 DETROIT, MI 48216**

Issued for :
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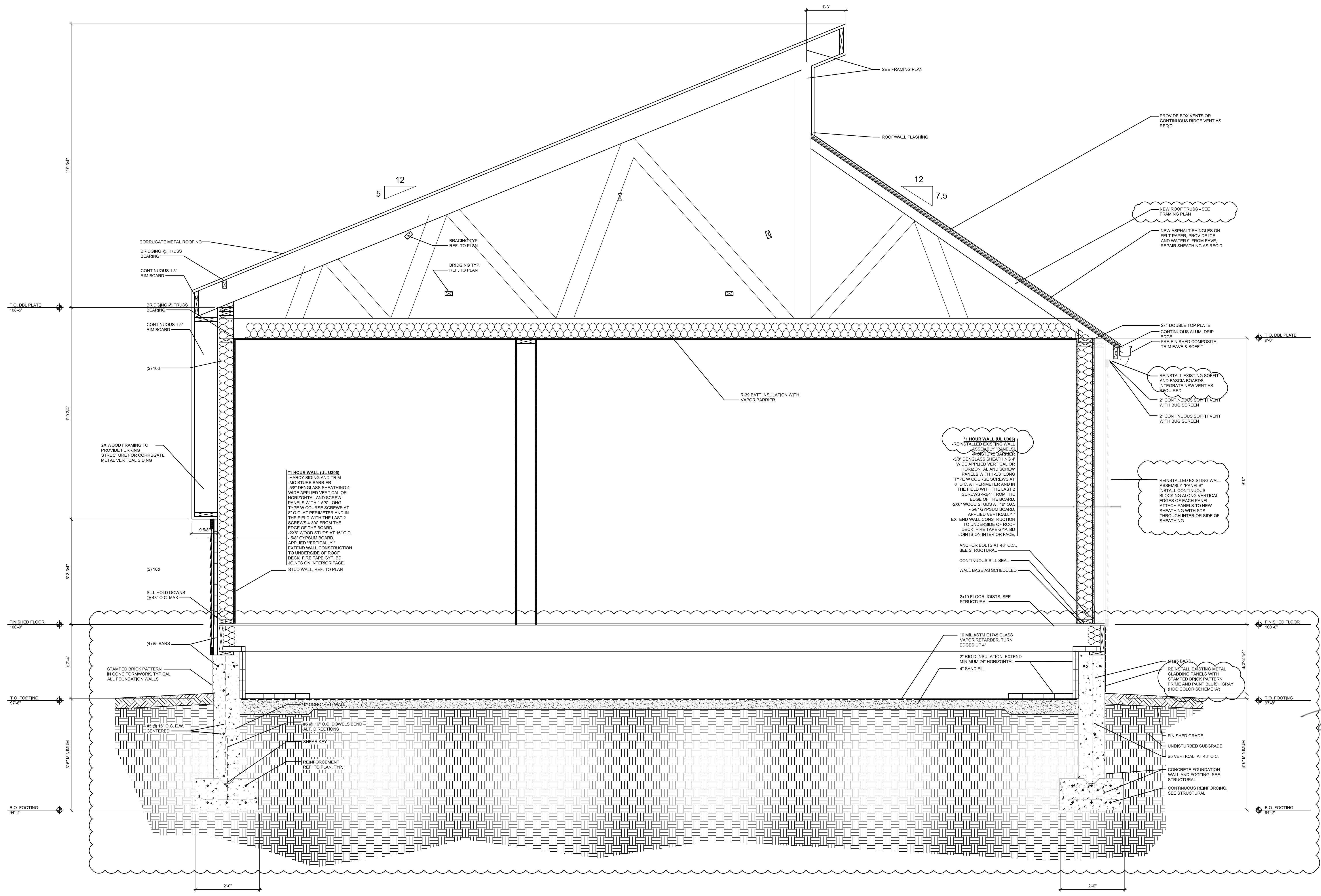


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Sheet Title :
BUILDING SECTIONS

Project No. :
2019006

Sheet No. :
A4.2

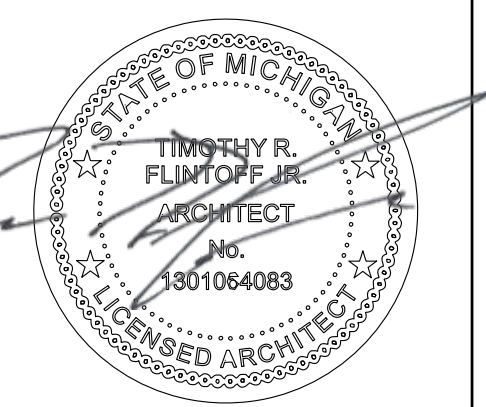


1 BUILDING SECTION
 A3.1 SCALE: 3/4" = 1'-0"

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Project :
**ZIEGER PROPERTIES, LLC
RENOVATIONS
2221 WABASH
DETROIT, MI 48216**

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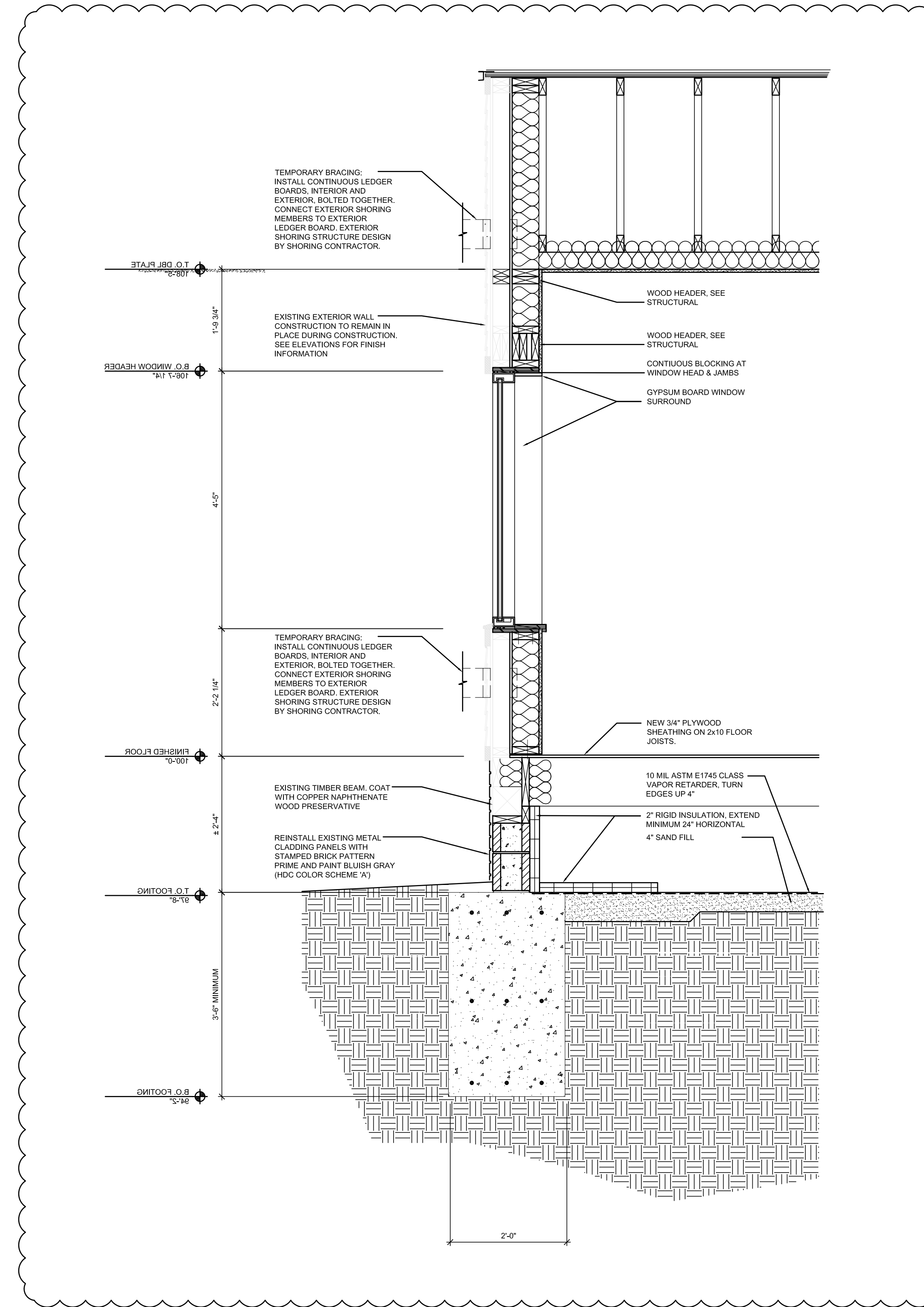
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Sheet Title :
**BUILDING
SECTIONS**

Project No. :
2019006

Sheet No. :
A4.3

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1 BUILDING SECTION
A3.1 SCALE: 3/4" = 1'-0"

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT
PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)
 Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
 New Construction Demolition Addition Other: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #:

Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____

Driver's License #: _____ Email: _____

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

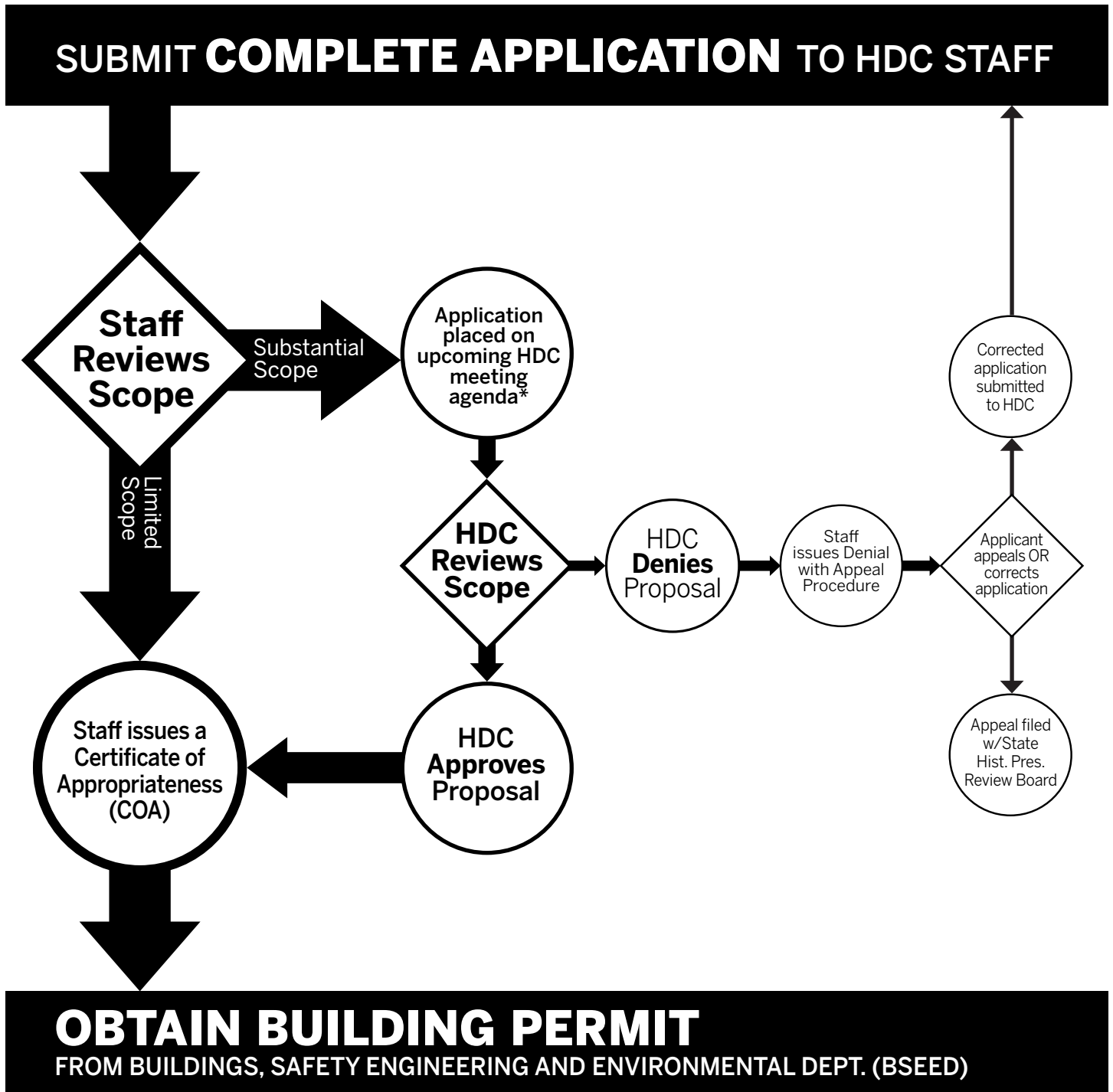
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



OBTAIN BUILDING PERMIT

FROM BUILDINGS, SAFETY ENGINEERING AND ENVIRONMENTAL DEPT. (BSEED)

* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc



January 07, 2021

2221 Wabash St.
Detroit, MI 48216

RE: 2221 Wabash St. Front Porch Demolition and Reconstruction, Historic District Commission Submission

Project Narrative

The proposed project is a revision to an existing building permit, BLD2019-05365. The revision includes the demolition and reconstruction of the existing front porch attached to the single-family home. The front porch was deemed to be of non-historic age and material by Detroit HDC Staff during preparation for a November 2020 hearing. The project proposes to reconstruct a new porch in kind, matching existing size, configuration, and profiles of the existing porch.

Scope of Work

1. Exterior Work
 - a. Demolish existing non-historic wood-framed front porch, stair, railing, and canopy
 - b. Construct new wood-framed front porch, stair, railing, and canopy to match size, configuration, detailing, profiles, and trim of existing porch.
 - o New concrete post foundations
 - o New P.T. 4x4 wood posts, 2x8 joists, and stair stringers
 - o New P.T. wood decking and stair treads
 - o New painted railing with balusters to match existing
 - o New wood framed porch canopy with asphalt shingle roof (color: graphite)
 - o All Visible wood elements and trim to be painted "Bluish Gray" from Detroit HDC Color Scheme "A"

(see existing photos on next page)

Existing Photos



Existing Front Elevation

4545

architecture



North Elevation



Porch Deck Detail

4545

architecture



Porch Canopy Detail

7/3/2019

CERTIFICATE OF APPROPRIATENESS

Timothy Flintoff/4545 Architecture
4545 Commonwealth St
Detroit, MI 48208

RE: Application Number 19-6300; 2221 Wabash, Corktown Historic District

Dear Mr. Flintoff,

At the special meeting that was held on June 26, 2019, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 25-2-20 of the 1984 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of July 3, 2019.

The following scope, as per the attached drawings, meets the Secretary of the Interior's Standards for Rehabilitation, Standards number 5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*, 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*, and 10) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*:

Demolition Work:

- Demolish existing rear addition complete; including foundations (original structure to remain)
- Remove existing fence and site debris
- Remove existing rear deck and concrete pads in rear of property

Existing Structure:

- Tuck point/repair existing masonry foundations
- Repair foundation of existing original structure
- Replace existing vinyl windows: Pella wood clad double hung windows
- Repair/replace and paint: lap board siding, trim, eave, rake, soffit
- Replace gutters and down spouts
- Repair/replace and paint: porch roof to match existing including deck boards, steps, railing and balusters

Addition:

- New Standing seam metal roof
- New windows: Pella wood clad double hung windows
- New brick and ship lap siding
- New gutters and down spouts

Site:

- New landscape area and planter beds in front of property

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226
PHONE 313-224-6536
FAX 313-224-1310

- Replace sod as required due to construction damage
- New concrete walkway from front on house to rear of property

With the following conditions:

- The new windows must be 2/2
- The color should conform to the home's existing color chart. Staff shall be afforded the opportunity to approve the color
- The applicant work with staff to identify a siding other than brick above the foundation wall at the new addition (the brick siding material should be limited to the foundation wall)

Please retain this COA for your files. Once any conditions are met, you should proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-3521.

For the Commission:



Garrick B. Landsberg
Director
Detroit Historic District Commission