

April 20, 2021

**CERTIFICATE OF APPROPRIATENESS**

Mr. Dave Kwiatkowski  
1466 Seminole St.  
Detroit, MI 48214

**RE: Application Number 21-7157; 1466 Seminole; Indian Village Historic District**

Dear Mr. Kwiatkowski:

At the regular scheduled meeting held virtually on April 14, 2021, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of April 20, 2021.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Per the attached documents, the project consists of the following components:

- Replace existing front entrance walkway
- Construct new steps
- Landscaping front yard

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Daniel Rieden  
Staff  
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: April 2021

## PROPERTY INFORMATION

ADDRESS: 1466 Seminole Street AKA: \_\_\_\_\_

HISTORIC DISTRICT: Indian Village Historic District

SCOPE OF WORK:  Windows/Doors  Roof/Gutters/Chimney  Porch/Deck  Landscape/Fence/Tree/Park  General Rehab  
(Check ALL that apply)  New Construction  Demolition  Addition  Other: \_\_\_\_\_

## APPLICANT IDENTIFICATION

Property Owner/Homeowner  Contractor  Tenant or Business Occupant  Architect/Engineer/Consultant

NAME: Dave Kwiatkowski COMPANY NAME: \_\_\_\_\_

ADDRESS: 1466 Seminole Street CITY: Detroit STATE: MI ZIP: 48214

PHONE: \_\_\_\_\_ MOBILE: (313) 510-2600 EMAIL: dave@sugarhousedetroit.ca

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

**NOTE:**  
Based on the scope of work, additional documentation may be required.  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

P2 - BUILDING PERMIT APPLICATION

Date: April 2021

PROPERTY INFORMATION

Address: 1466 Seminole Street Floor: Suite#: Stories: 2.5
AKA: Lot(s): 41 thru 43 Subdivision: Park
Parcel ID#(s): 17007576 Total Acres: 0.394 Lot Width: 100' Lot Depth: 171.50'
Current Legal Use of Property: Single Family Residence Proposed Use: Same
Are there any existing buildings or structures on this parcel? [X] Yes [ ] No

PROJECT INFORMATION

Permit Type: [X] New [ ] Alteration [ ] Addition [X] Demolition [ ] Correct Violations
[ ] Foundation Only [ ] Change of Use [ ] Temporary Use [ ] Other:
[ ] Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
Removal and replacement of front walkway and approach existing, new steps on grade installed,
front yard grading, limited new landscaping to front yard only. All work proposed is to the exterior.
[ ] MBC use change [X] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)
[ ] HVAC/Mechanical [ ] Electrical [ ] Plumbing [ ] Fire Sprinkler System [ ] Fire Alarm

Structure Type
[ ] New Building [X] Existing Structure [ ] Tenant Space [ ] Garage/Accessory Building
[ ] Other: Size of Structure to be Demolished (LxWxH) cubic ft.
Construction involves changes to the floor plan? [ ] Yes [X] No
(e.g. interior demolition or construction to new walls)

Use Group: NA Type of Construction (per current MI Bldg Code Table 601) NA
Estimated Cost of Construction \$ 45,000 By Contractor \$ By Department

Structure Use
[X] Residential-Number of Units: 1 [ ] Office-Gross Floor Area [ ] Industrial-Gross Floor Area
[ ] Commercial-Gross Floor Area [ ] Institutional-Gross Floor Area [ ] Other-Gross Floor Area
Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements
(must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings,
existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? [ ] No
Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:
Permit#: Date Permit Issued: Permit Cost: \$
Zoning District: Zoning Grant(s):
Lots Combined? [ ] Yes [ ] No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$
Structural: Date: Notes:
Zoning: Date: Notes:
Other: Date: Notes:





**IDENTIFICATION (All Fields Required)**

**Property Owner/Homeowner**  Property Owner/Homeowner is Permit Applicant

Name: Dave Kwiatkowski Company Name: \_\_\_\_\_

Address: 1466 Seminole Street City: Detroit State: MI Zip: 48214

Phone: \_\_\_\_\_ Mobile: (313) 510-2600

Driver's License #: K322-135-435-192 Email: dave@sugarhousedetroit.com

**Contractor**  Contractor is Permit Applicant

Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_

City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant

Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant

Name: Steven C. Flum State Registration#: 1301036304 Expiration Date: 10/18/2023

Address: 3105 Holbrook City: Hamtramck State: MI Zip: 48212

Phone: (313) 831-2844 Mobile: \_\_\_\_\_ Email: sflum@stevencflum.com

**HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)**

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(Homeowner)

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: Steven C. Flum Signature: [Signature] Date: 3/8/2021  
(Permit Applicant)

Driver's License #: K450 777 125 162 Expiration: 4/24/2021

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
(Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

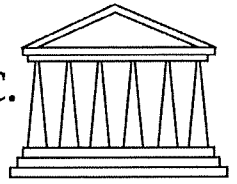
This application can also be completed online. Visit [detroitmi.gov/bseed/elaps](http://detroitmi.gov/bseed/elaps) for more information.





Monday 08 March 2021

**STEVEN C. FLUM, INC.**  
architecture • urban planning



City of Detroit  
Historic District Commission  
Coleman A. Young Municipal Center  
2 Woodward, Suite 808  
Detroit, Michigan 48226

Re: **1466 Seminole Street- Single Family Residence**  
Indian Village Historic District

Commissioners:

Attached is our Historic Commission package for your review for the stated project. It is our belief that the work proposed to the exterior is a new alteration scope, with all work occurring to the West elevation/Seminole façade.

Attached within this digital submittal is new paving and site work description intended to the front yard.

We request that the following packet be reviewed by the Commission for:

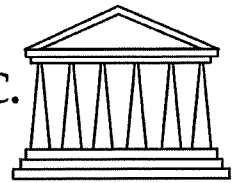
- New landscaping to the Front façade, limited scope
- New concrete walk from RoW/right-of-way curb to front stoop existing, replacement of current in place
- New limestone steps adjacent to the property line to accommodate grade slope existing

The walkway approach condition is hazardous, very slick when wet and disintegrating in places. He desires to make a safe and attractive modified entry, complimentary to the neighborhood and his historic residence. The homeowner will be attending the Commission meeting.

We thank you for this opportunity for your timely review and approval.

Cordially,

Lori Perlick  
Architectural Project Manager  
**Steven C. Flum, Inc.**



City of Detroit

Historic District Commission Submission

***1466 Seminole, Indian Village Historic District***

Proposed Streetscape Improvements

March 05, 2020

**DESCRIPTION EXISTING CONDITIONS**

1466 Seminole is a 2 1/2-story brick masonry (buff color) and stone residence, built 1912 in the Italian Renaissance style. A brick porte-cochere is located on the North/left side of the façade, allowing access to the rear yard by a concrete drive through arched openings. The front elevation denotes an asymmetrical fenestration pattern. Arched windows are present on the First Floor with transoms and brick surround on most elevations. The front entry is punctuated with a limestone colonnade and carved detailing. An arched double door provides entry to the home within a recessed vestibule. A curved stone stoop and steps protrude from the front entry with curvilinear elements each end. The upper floors provide rectangular openings, punctuated with 1 over 2 ratio double-hung windows. The home is capped with a hipped roof clad in clay tile and wide overhangs with decorative brackets. Dormers are present on all four (4) facades at the roof level. Two (2) large brick chimneys frame each side elevation. A covered 1-story brick porch is present at the rear, with tile roof as well.

Overall, the masonry appears in good stable condition with some tuck-pointing done to the front street façade. The home was recently purchased by the applicant in 2019.

The previous resident installed a decorative brick masonry front walk and landings, spanning from the street curb to the stone stoop existing entry: a herringbone pattern flanked with rowlock bands both sides. The front yard grade slopes slightly from the front façade to the front property line/public walk. The brick approach intersects the public sidewalk with the masonry material, terminating at the street curb.

The front yard landscaping has three (3) deciduous trees existing with mulched bases. Sparse yew shrubs are scattered along the façade of the home, small and with an inconsistent pattern. A black iron fence frames the front yard from the rear/side with a deciduous hedge evident as a screen. The majority of the front yard is lawn.

**PROJECT NARRATIVE**

The project proposes to remove the brick masonry walkway approach and landscaping along the front façade only of the residence. Due to the sloped site conditions, the current brick walk will be removed entirely. The material and pitch provides a hazardous, slick surface when wet, especially treacherous during winter months. A new walkway is requested to construct (consistent with existing width and length) with an appropriate material- from the stone stoop to street curb in entirety. New landings will be installed consistent with the locations existing. In addition, a 4'-0" deep base landing will be constructed adjacent to the public sidewalk, directly at the front property line. Two (2) new limestone steps with 6" risers each will be added, leading to the front entry. These steps will be flanked each side by a curvilinear limestone sill extension to accommodate large planters, defining a new, attractive street approach while



accommodating the grade of the front yard existing. The sills will complement the curved elements of the stoop in place. **(455 square feet)**

Along the home's front façade, the landscaping and shrubbery existing will be removed. A new hedge planting will be installed, wrapping adjacent to the concrete drive (left North corner). New mulch will be installed surrounding the new plantings. The metal fencing along the right/South portion of the front/side yard intersection will remain with the hedge existing. It is the homeowner's intent to install new fencing this location in a future phase(s).

### **DETAILED SCOPE OF WORK**

1. Demolish existing front brick walk/approach in front yard and public right-of-way.
2. Removal of yew shrubs existing along front residence West facade and perennial plantings as designated by owner.
3. Grade new along front walk, from stoop to property line.
4. Construction of new concrete walk, landings to front entry stoop remaining.
5. Construction of new limestone steps (risers and treads) and sill between base landing and front walk approach.
6. Construction of new concrete walk and landing, in right-of-way from public sidewalk to concrete street curb.
7. Install new hedge along front face of residence; provide new mulch topping.
8. Replace with sod new within areas of impacted work.

### **BROCHURE / CUT SHEETS**

#### **Concrete walk**

Exposed Aggregate Paving

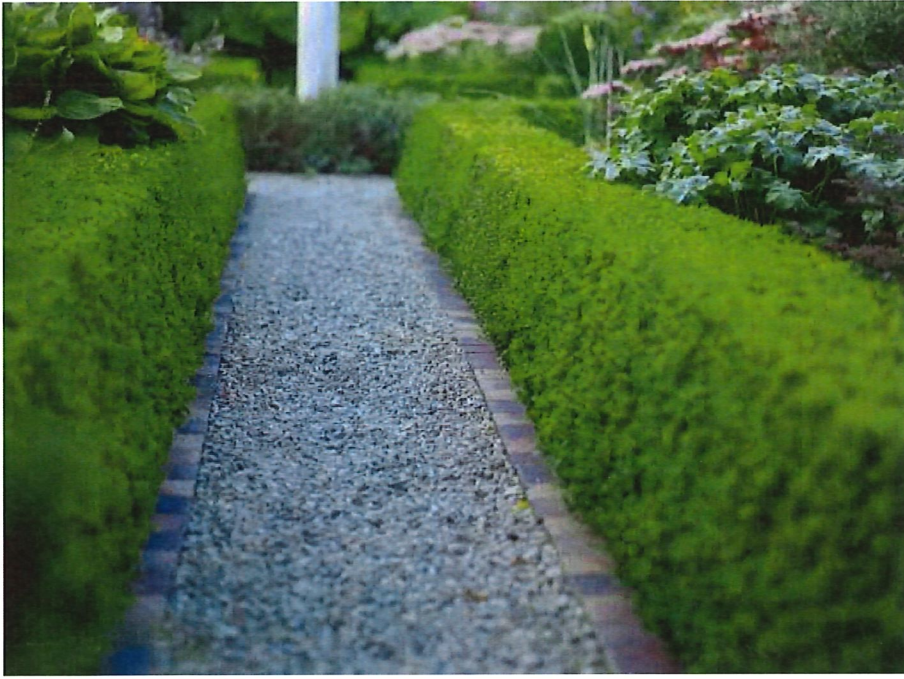


Color: Natural Gray



**New Landscaping**

Wintergreen Boxwood hedge, 36" height maximum  
Black mulched bed





**Applicant Photos:** 1466 Seminole, Indian Village Historic District



1- West/Seminole Overall Elevation, *proposed area of work* 03/2021



2- North/Side Left Elevation



**Applicant Photos:** 1466 Seminole, Indian Village Historic District

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3- East/Rear Elevation



4- South/Side Right Elevation



**Applicant Photos:** 1466 Seminole, Indian Village Historic District

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5- West/Front Entry Stoop, detail



6- Front Walk Existing, detail

03/2021

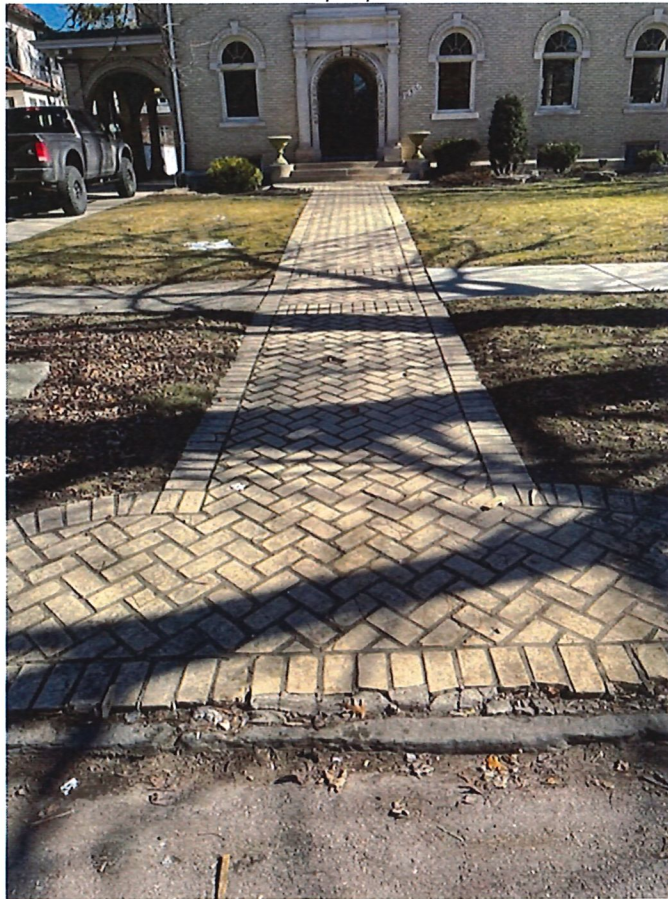


**Applicant Photos:** 1466 Seminole, Indian Village Historic District

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7- West/Front Elevation, proposed area of work 03/2020



8- West/Front Elevation right of way condition, proposed area of work 03/2021



1466 SEMINOLE  
RESIDENCE  
IMPROVEMENTS

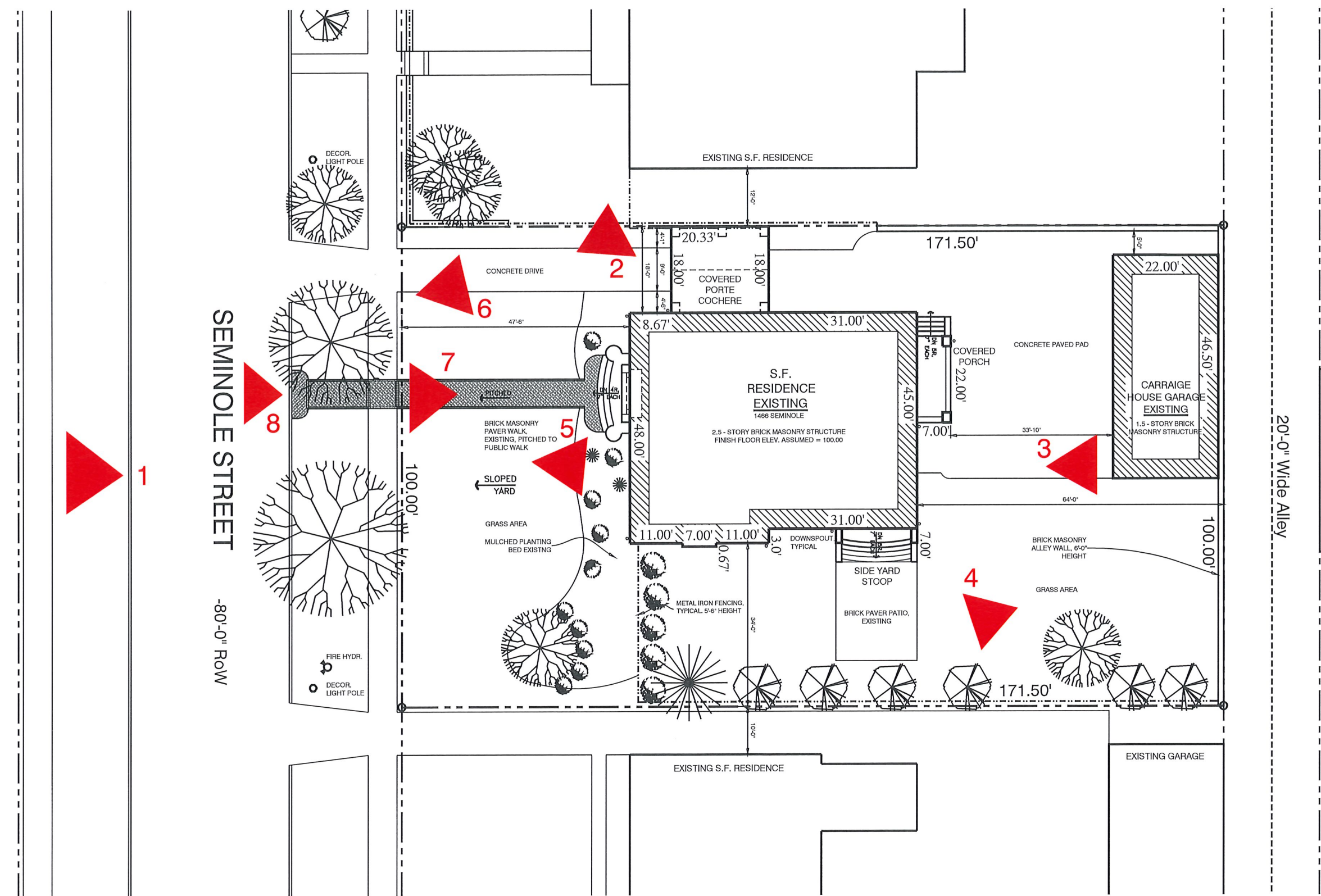
1466 SEMINOLE STREET  
DETROIT  
MICHIGAN



STEVEN C. FLUM, INC.  
architecture urban planning  
3105 Holbrook Street, Hamtramck, MI 48212  
Tel: 313.831.2844 WEB: stevenflum.com

LEGAL DESCRIPTION

LAND LOCATED IN THE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN DESCRIBED AS:  
ALL OF LOTS 57 AND 58 AND PARTS OF LOTS 59 AND 60, ASSESSOR'S NORTHVILLE PLAT NO. 1,  
ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 19 OF PLATS, PAGE 59, WAYNE  
COUNTY RECORDS 17/16, ALL DESCRIBED AS FOLLOWS:  
COMMENCING AT EAST SEMINOLE NORTH 25 FEET LOT 43, SAID LOT 42 AND SOUTH 25 FEET OF  
LOT 41 OF SAID 'PARK SUBDIVISION' PLAT, CONTAINING 17,150.0 SQUARE FEET (0.394 ACRES),  
100 X 171.50.



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REV.	DESCRIPTION	DATE
1	EXIST. COND. VERIFY	04.07.2020
2	EXIST. SITE PLAN FINAL	07.01.2020
3	HISTORIC COMM REVIEW	03.05.2021

c:\Flum\1560-K\1560-K\SitePl Ex.dwg

SHEET DESCRIPTION:  
ARCHITECTURAL SITE PLAN-  
EXISTING CONDITIONS

DRAWN: LAP CHECKED: SCF

SCALE: 1" = 10'-0"

DATE: 05 MARCH 2021

JOB NO	SHEET NO
1560	A-01

1 SITE PLAN - EXISTING  
A-01 SCALE: 1" = 10'-0"



1466 SEMINOLE  
RESIDENCE  
IMPROVEMENTS

1466 SEMINOLE STREET  
DETROIT  
MICHIGAN



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3105 Holbrook Street, Hamtramck, MI 48212  
VM: 313.831.2844 WEB: stevenflum.com

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REV.	DESCRIPTION	DATE
▲	EXIST. CONDN. VERIFY	04.07.2020
▲	EXIST. SITE PLAN FINAL	07.01.2020
▲	SITE PLAN APPVD - PH 1	07.22.2020
▲	HISTORIC COMM. REVIEW	03.04.2021

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SHEET DESCRIPTION:  
ARCHITECTURAL SITE PLAN-  
PROPOSED IMPROVEMENTS

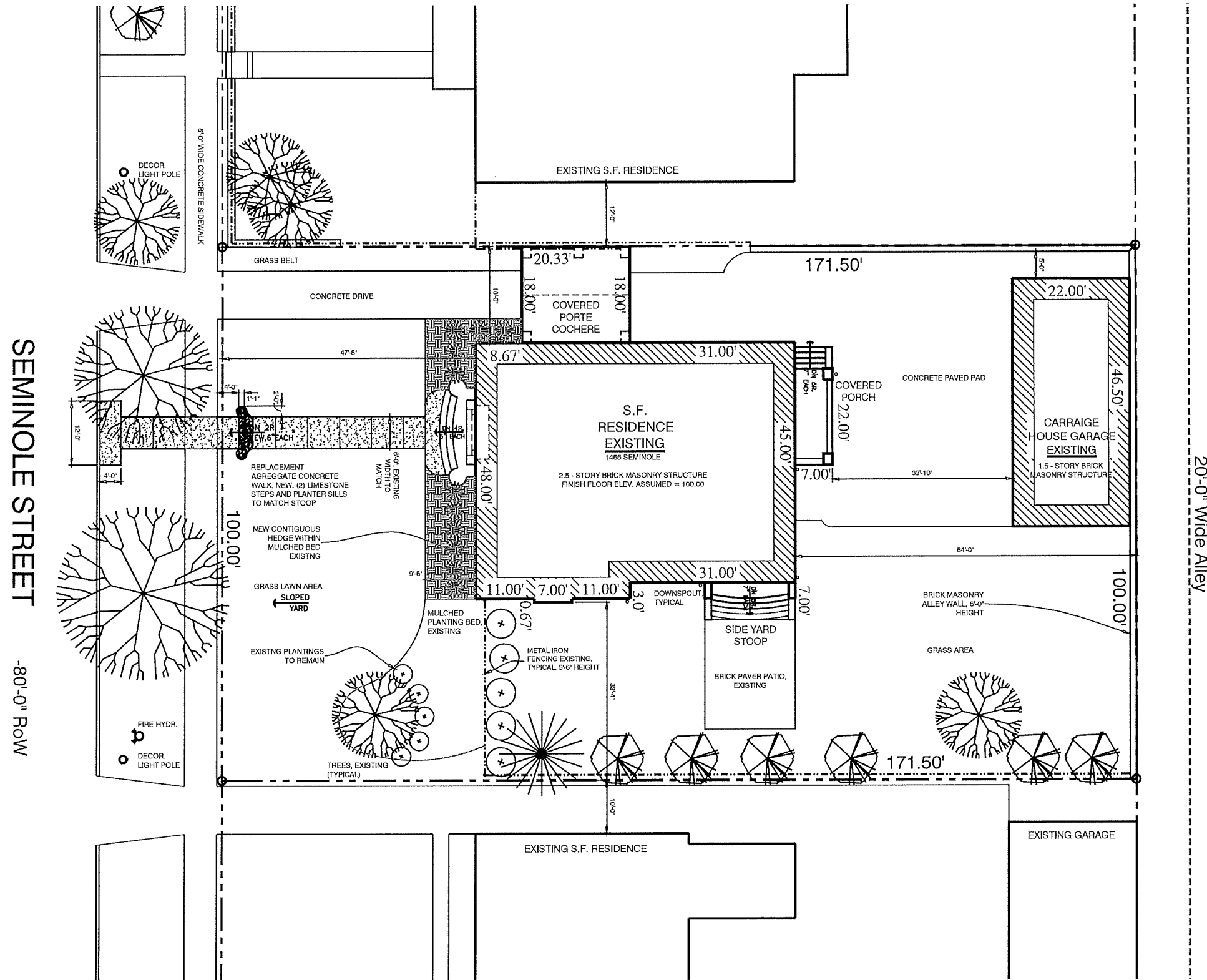
DRAWN: LAP CHECKED: SCF

SCALE: 1" = 10'-0"

DATE: 05 MARCH 2021

JOB NO SHEET NO

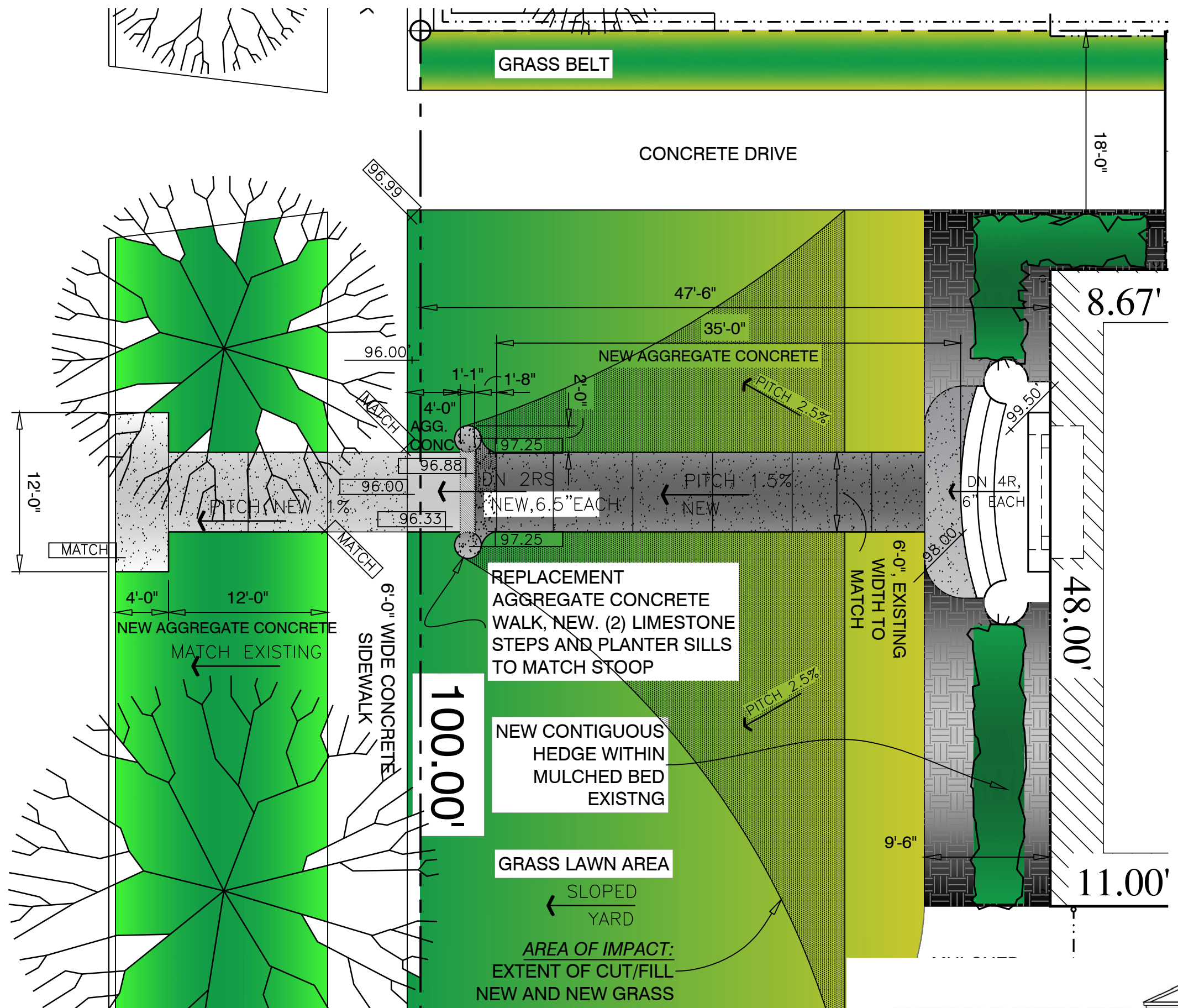
1560 A-1



1 SITE PLAN PROPOSED  
A-1 SCALE: 1" = 10'-0"



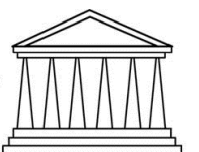
# SEMINOLE STREET

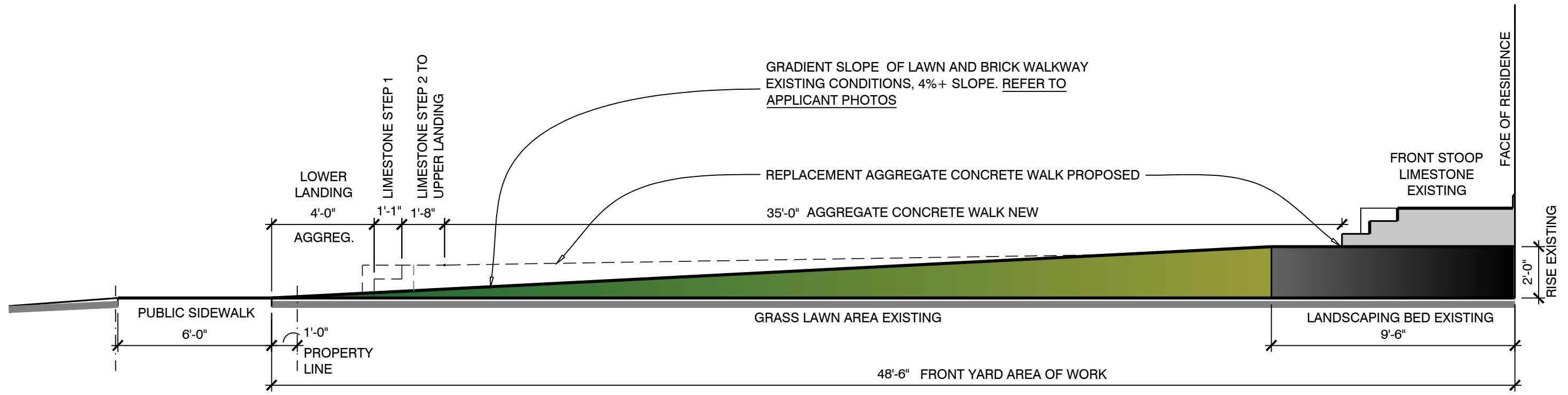


ENLARGED AREA OF WORK

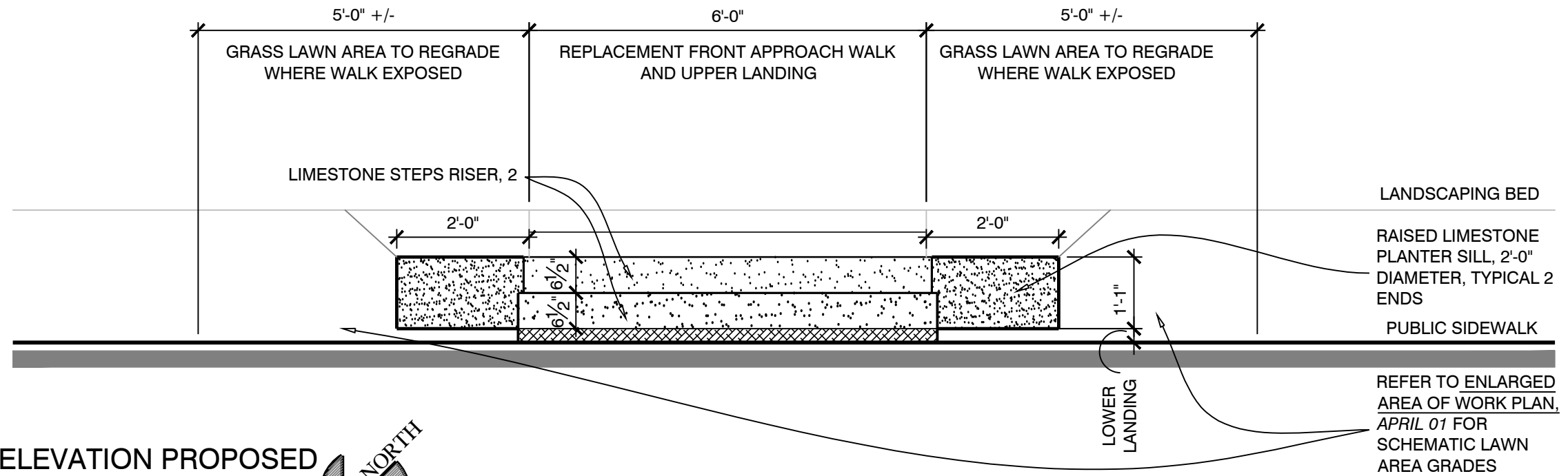
SCALE: 1/8" = 1'-0"  
 DATE: 09 April 2021 UPDATED

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**SCHEMATIC SITE SECTION**  
SCALE: 1/4" = 1'-0"



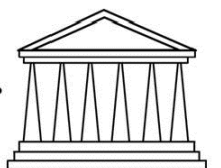
**ENLARGED ELEVATION PROPOSED**  
SCALE: 1/2" = 1'-0"



**ENLARGED FRONT WALK WEST ELEVATION AND SITE SECTION**

DATE: 09 April 2021 REQUESTED

**STEVEN C. FLUM, INC.**  
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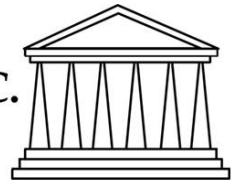


1466



Thursday 01 April 2021

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**Daniel Rieden**

Lead Landscape Architect, Historic Preservation Team  
City of Detroit  
Coleman A. Young Municipal Center  
2 Woodward, Suite 808  
Detroit, Michigan 48226

Re: **1466 Seminole Street- Single Family Residence**  
Indian Village Historic District

Mr. Rieden:

Below is our response to your design questions received from your review.

- *Would the owner be open to a combination of having the original brick as an edge to the proposed walkway?*

No. Photos# 6-8 show the wear and tear of the brick pavers long term. The pavers provide a hazardous slick surface when wet that the applicant desires to remedy. This walkway currently in place is not original to the home. As installed by prior homeowner, a violation was issued in 2000 with no Commission review.

- *Do you have a detail on the proposed step(s) with dimensions and an elevation? We would like to better understand what is the feature, its materials, dimensions both in plan and elevation(s).*

I do not have a detail prepared at this time for the HDC package. I would be happy to accommodate following approval of the Commission, with the Staff report suggestion of "Permit set be reviewed prior to final approval" as a condition. Plan dimensions have been provided upon Sheet A-1, better viewed upon the color **Enlarged Area of Work plan**. *Each step will be 6" to 7" high maximum. The material of the upper step, planter sills and the bottom step are proposed limestone, to match the front stoop existing.* (Photos #5 and 6 in material and massing). **Risers will be linear and not curved.** The aggregate walk will be between the upper limestone tread/landing and existing steps, **and** lower proposed limestone step to the public sidewalk. The aggregate walk is proposed again within the right-of-way, from the public sidewalk to the street curb. Please reference the enlarged plan notes and dimensions updated.

- *Please provide spot elevations and pitch (% slope) of the walkway from the existing steps to the proposed steps, bottom of proposed steps to the curb. Top and bottom of slopes is all that we need to show how grade is changing from existing to new grades.*

Enlarged Area Work plan is updated to provide for design intent clarity. Applicant/owner verified civil grades necessary for existing yard slope and proposed new work. *Existing is 24" drop from the face of the residence to the City public walkway.*

- *The proposed site plan (A-1) shows hatching on the public sidewalk. Are you proposing to change/alter the existing public walkway? If so, please describe what is being changed.*

Yes. Drawing A-01, with Photos #1 and 8 show the front approach current (brick pavers) intersecting the public sidewalk. This 6'-0" x 6'-0" portion will be removed and replaced with **a new concrete slab** to match elevation/material of that adjacent North/South, compliant with City specifications.

Please see the Enlarged Area of Work Plan revised.

Cordially,  
Lori Perlick

3105 Holbrook Street Hamtramck, Michigan 48212  
phone: 313.831.2844 email: lperlick@stevenflum.com