

March 16, 2021

CERTIFICATE OF APPROPRIATENESS

Mr. Charles Williams
550 Fiske
Detroit, MI 48214

RE: Application Number 21-7106; 550 Fiske; Berry Subdivision Historic District

Dear Mr. Williams:

At the regular scheduled meeting held virtually on March 10, 2021, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of March 16, 2021.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Per the attached documents, the project consists of the following components:

- Construct 1 new, 20' x 25' garage with 4" concrete pad

With the following conditions:

- The applicant will provide manufacturer specifications with aluminum siding for HDC staff review and approval prior to an issued permit.
- If exterior lighting is ever proposed for this facility, it must be reviewed and approved by HDC staff.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Daniel Rieden
Staff
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 1-6-21

PROPERTY INFORMATION

ADDRESS: 550 Fiske Dr AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

| | | | | |
|---|---|---|--|---|
| <input type="checkbox"/> Windows/ Doors | <input type="checkbox"/> Roof/Gutters/ Chimney | <input type="checkbox"/> Porch/ Deck | <input type="checkbox"/> Landscape/Fence/ Tree/Park | <input type="checkbox"/> General Rehab |
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Addition | <input type="checkbox"/> Other: <u>Garage</u> | |

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: Charles Williams COMPANY NAME: N/A

ADDRESS: 550 Fiske Dr CITY: Detroit STATE: MI ZIP: 48214

PHONE: 734-652-6382 MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:
Based on the scope of work, additional documentation may be required.
See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 1-6-21

PROPERTY INFORMATION

Address: 550 Fiske Dr Floor: Suite#: Stories:

AKA: Lot(s): Subdivision:

Parcel ID#(s): Total Acres: Lot Width: Lot Depth:

Current Legal Use of Property: Residence Proposed Use: Residence

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other:

Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Have concrete foundation poured and Garage built.

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: Size of Structure to be Demolished (LxWxH) cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: Office-Gross Floor Area Industrial-Gross Floor Area

Commercial-Gross Floor Area: Institutional-Gross Floor Area Other-Gross Floor Area

Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #: Current Legal Land Use: Proposed Use:

Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant

Name: Charles Williams

Company Name: N/A

Address: 550 Fiske Dr

City: Det

State: MI Zip: 48214

Phone: 734 652 6382

Mobile: _____

Email: RevWilliams72@gmail.com

Driver's License #: _____

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: Charles Williams Signature: [Signature] Date: 1-6-21
(Homeowner)

Subscribed and sworn to before me this 6 day of Jan 2021 A.D. Wayne County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be _____

Print Name: Charles Williams Signature: [Signature] Date: 1-6-21
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.





Decorative black metal railing on the second-floor balcony.

Decorative black metal railing on the front porch.

550

ADT









HBC

I am submitting application for new garage construction, there is no garage in this space at the present time. I have already sent photos where the garage will be built. The reason I am building the garage is because I don't have space for my lawn mower equipment, as well as lawn furniture and snow removal equipment. So basically the garage will be used specifically for storage. The existing space where the garage will be built is a level surface with nothing but grass. There will be no windows in the garage there will be no external lighting on the structure there will be lighting on the interior of the garage

WILLIAMS RESIDENCE ACCESSORY STRUCTURE

550 FISKE DR.
DETROIT, MI 48214

ARCHITECT

STUDIO DETROIT
2111 WOODWARD AVE. STE 1001
DETROIT, MI 48201
CONTACT: KEVIN J CROSBY, AIA, NCARB
313.909.3607

GENERAL SCOPE OF WORK

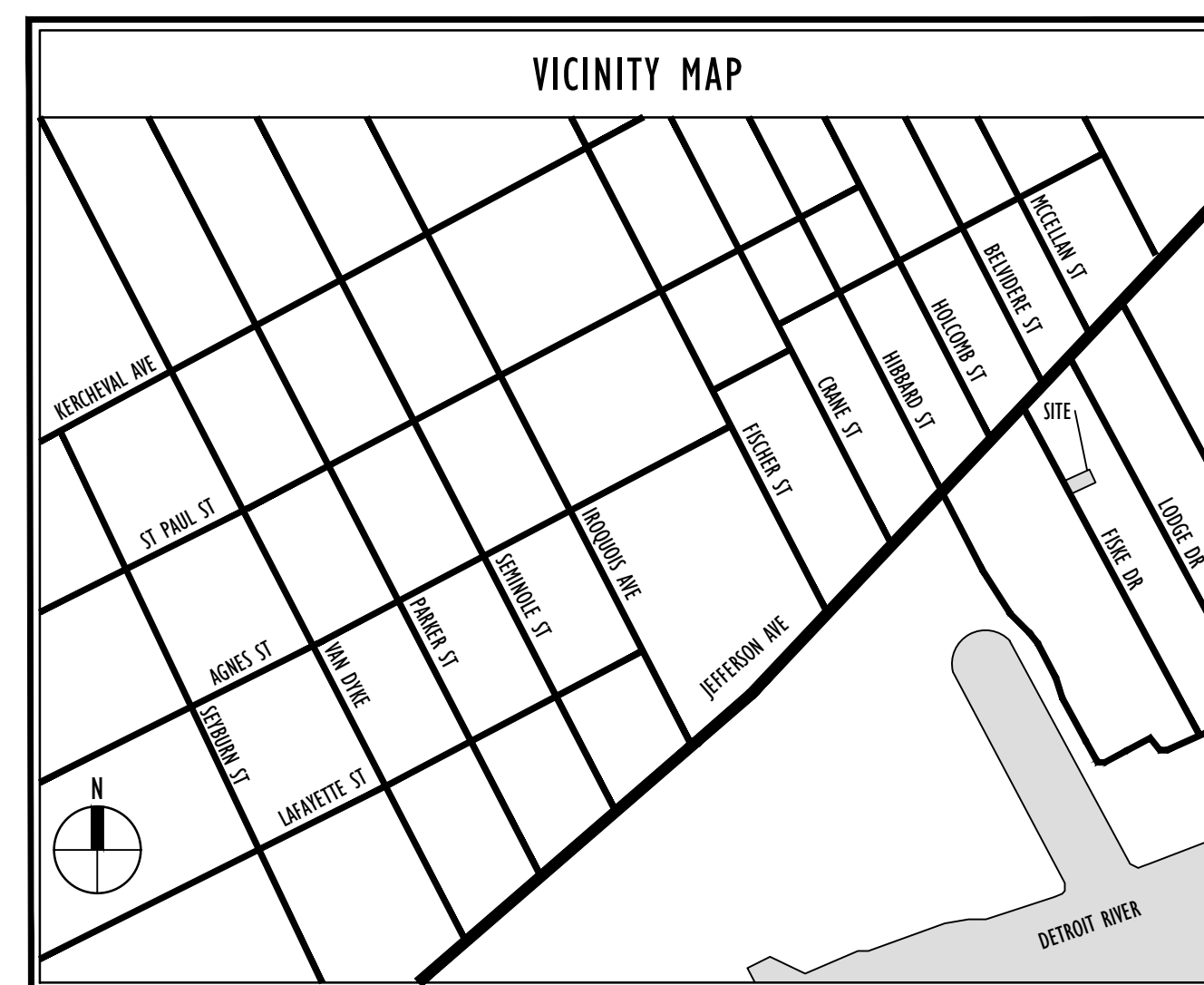
THE ADDITION OF A NEW SINGLE STORY ACCESSORY STORAGE STRUCTURE IN THE REAR YARD.

BUILDING CODE INFORMATION

APPLICABLE CODES:
1. MICHIGAN RESIDENTIAL CODE 2015
2. MICHIGAN UNIFORM ENERGY CODE 2015

ZONING INFORMATION

SEE SITE PLAN SP1.1



| SHEET INDEX | | ISSUED FOR | |
|-------------------------------------|--|-------------------------------------|-------------------------------------|
| DRAWING INDEX KEY: | | 12.02.20 BIDS / PERMITS | |
| <input type="checkbox"/> | NOT ISSUED | 12.18.20 ADDENDUM #1 | |
| <input type="checkbox"/> | PREVIOUSLY ISSUED | | |
| <input checked="" type="checkbox"/> | ISSUED | | |
| <input checked="" type="checkbox"/> | REFERENCE | | |
| GENERAL | | | |
| TS1.1 | TITLE SHEET, SHEET INDEX, AND VICINITY MAP | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| SP1.1 | ARCHITECTURAL SITE PLAN | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| ARCHITECTURAL | | | |
| A1.3 | GARAGE FLOOR PLAN - NEW WORK | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A2.2 | GARAGE EXTERIOR ELEVATIONS | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.2 | GARAGE BUILDING/WALL SECTIONS | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

| SYMBOL LEGEND | ABBREVIATION |
|-----------------|--|
| | ARROWS INDICATES ELEVATED SECTION |
| | ELEVATION NUMBERS |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED |
| | ELEVATION NUMBER |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED |
| | DETAIL REFERENCE NUMBER |
| | SHEET NUMBER WHERE DETAIL IS LOCATED |
| | DETAIL NUMBER |
| | DETAIL NAME |
| | DRAWING SCALE |
| | HEIGHT ABOVE FINISHED FLOOR |
| | REFERENCE POINT OF ELEVATION |
| | HEIGHT ABOVE FINISHED FLOOR |
| | NOTE: DATUM SYMBOL INDICATES A SPECIFIC REFERENCE HEIGHT OF MATERIAL INDICATED |
| | ROOM NAME |
| | ROOM NUMBER |
| | NUMBERS DESIGNATE VERTICAL COLUMN LINES |
| | LETTERS DESIGNATE HORIZONTAL COLUMN LINES |
| | CIRCLES REPRESENT NEW COLUMN LINES |
| | DASHED CIRCLES REPRESENT EXISTING COLUMNS |
| | EXISTING DOOR SYMBOL |
| | NEW DOOR SYMBOL |
| | DOOR DESIGNATION |
| | WALL TYPE DESIGNATION NUMBER - COORDINATE WITH SCHEDULE |
| | EQUIPMENT DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES |
| | KEY NOTE DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES |
| | ADDENDUM DESIGNATION NUMBER |
| | BULLETIN DESIGNATION NUMBER |
| | MATCH LINE |
| | SHEET REFERENCE FOR DRAWING CONTINUATION |
| MATERIAL LEGEND | |
| | ACOUSTICAL CEILING |
| | BATT/LOOSE INSULATION |
| | BLOCKING/ROUGH LUMBER |
| | CONCRETE |
| | FINISHED WOOD |
| | GLASS |
| | GYPSUM WALLBOARD |
| | MASONRY |
| | PARTICLE BOARD |
| | PLYWOOD |

STUDIO
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DO NOT SCALE DRAWINGS

| ISSUED | BIDS/ PERMITS |
|----------|---------------|
| 12.02.20 | |
| 12.18.20 | ADDENDUM #1 |

FILE 1939_TSI-1_Coversheet.dwg
DRAWN RILEY L. KINNAN
CHECKED KEVIN J. CROSBY
SEAL

CLIENT
CHARLES WILLIAMS

PROJECT
WILLIAMS RESIDENCE ADDITION
550 FISKE FISKE DR
DETROIT, MI 48214

JOB NO.
1939

SHEET
TITLE SHEET

SHEET NO.
TSI.1

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FILE 1939_ASP1.1_SitePlan.dwg
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CLIENT
CHARLES WILLIAMS

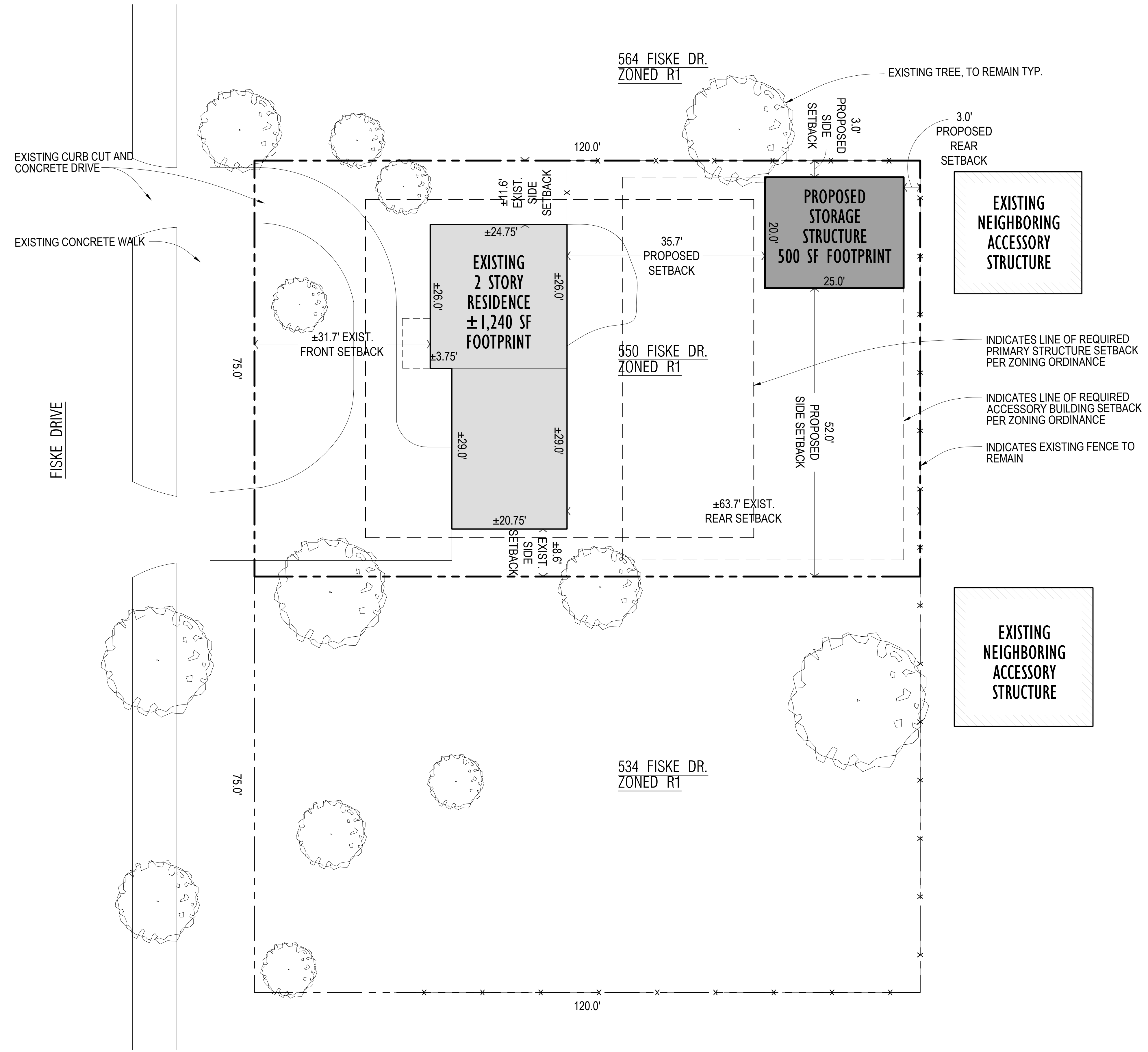
PROJECT
WILLIAMS RESIDENCE ADDITION
550 FISKE FISKE DR
DETROIT, MI 48214

JOB NO.
1939

SHEET
ARCHITECTURAL SITE PLAN

SHEET NO.
SPI.1

| SITE DATA SUMMARY TABLE | |
|--|---|
| CURRENT ZONING | R1 - SINGLE FAMILY RESIDENTIAL |
| SITE AREA | 9,000 S.F. ±.2 ACRES |
| MAX. LOT COVERAGE | 35% |
| BUILDING LOT COVERAGE | |
| EXISTING RESIDENCE | 1,240 S.F. |
| PROPOSED ACCESSORY STRUCTURE | 500 S.F. |
| PROPOSED TOTAL BUILDING LOT COVERAGE | 1,740 S.F. |
| PROPOSED TOTAL LOT COVERAGE | 19% |
| BUILDING SETBACKS (RESIDENCE) | |
| FRONT | REQUIRED: 20 FEET EXISTING: ±31.7 FEET |
| SIDE | REQUIRED: 4 FEET EXISTING: ±8.6 FEET |
| CUMULATIVE SIDE | REQUIRED: 14 FEET EXISTING: ±11.6 FEET |
| REAR | REQUIRED: 30 FEET EXISTING: ±63.7 FEET |
| BUILDING SETBACKS (ACCESSORY STRUCTURE) | |
| REAR | REQUIRED: 3 FEET PROPOSED: 3 FEET |
| SIDE: | REQUIRED: 3 FEET PROPOSED: 3 FEET |
| ACCESSORY STRUCTURE | |
| MUST BE LOCATED IN REAR YARD | |
| < 50% OF REQUIRED REAR SETBACK AREA | |
| > 10 FEET FROM ANY SINGLE OR TWO FAMILY DWELLING | |
| MAX. HEIGHT: | 15 FEET |
| PROPOSED HEIGHT: | ±11.6 FEET (TOP OF ROOF STRUCTURE) |



ARCHITECTURAL SITE PLAN
SCALE: 1"=10'-0"

FLOOR PLAN GENERAL NOTES:

1. ASSUMED SOIL CAPACITY IS 3,000#/SQ. FT. THE CONTRACTOR SHALL DETERMINE THE BEARING CAPACITY THROUGH FIELD-TESTING.
2. EXTERIOR MASONRY WALLS DIMENSIONED TO FACE OF MASONRY. EXTERIOR SIDED WALLS DIMENSIONED TO FACE OF SHEATHING
3. COORDINATE BUILT-IN FURNITURE, FINISHES, FIXTURES, TRIM, & OTHER SIMILAR DETAILS w/ OWNER
4. ALL DOOR SIZES ARE LABEL IN FEET AND INCHES: 3080 = 3'-0" WIDE x 8'-0" HIGH
5. UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS, LOCATE ALL DOORS MINIMUM 4" FROM ADJACENT WALL ON HINGE SIDE. IF CASING LARGER THEN 2 1/4" IS SELECTED, ADJUST AS NECESSARY. IF DOORS ARE NOT LOCATED NEXT TO ADJACENT WALL, CENTER ON SPACE THEY ENTER INTO

FRAMING GENERAL NOTES:

1. HEADERS FOR OPENINGS UP TO 6'-0" LONG SHALL BE MIN. (2) 2x8 AND BEAR ON (2) 2x4 BUILT-UP COLUMN AT EACH END U.O.N.
2. HEADERS FOR OPENINGS FROM 6'-0" TO 10'-0" SHALL BE MIN (2) 2x12 AND SHALL BEAR ON (3) 2x4 BUILT-UP COLUMNS AT EACH END U.O.N.
3. SEALED DRAWINGS FOR PRE-ENGINEERED ROOF TRUSSES SHALL BE AVAILABLE ONSITE AT THE TIME OF ROUGH-FRAMING INSPECTION.
4. ALL FRAMING IN CONTACT WITH MASONRY SHALL BE M.R.T. TREATED
5. LVL PROPERTIES: E= 1,800,000 PSI, Fb= 2,400 PSI
6. MULTIPLE STUDS SHALL BE REQUIRED UNDER TRUSS GIRDER BEARING POINTS - COORDINATE WITH TRUSS MANUFACTURER. VERIFY ADDITIONAL HEADER SUPPORT WITH STRUCTURAL ENGINEER IF REQUIRED.

ROOF PLAN GENERAL NOTES:

1. PROVIDE CONTINUOUS RIDGE VENT AND/OR ROOF VENTS PER MIRC 2015. VENTS TO BE HIDDEN FROM STREET VIEW
2. ROOF CONTRACTOR SHALL INSPECT EXISTING ROOF STRUCTURE AND FLASHING CONDITIONS FOR DEFICIENCIES AND REPAIR AND REPLACE AS REQ. PER OWNER'S DIRECTION.

FLOOR PLAN KEY NOTES:

- 1 7th O.H. DOOR w/ OPENER
- 2 INDICATES LINE OF O.H. DOOR ABOVE
- 3 POURED CONCRETE SLAB
- 4 DOOR AND FRAME AS SCHEDULED
- 5 WINDOW AND FRAME AS SCHEDULED
- 6 16" WIDE REINF. CONC. TRENCH FOOTING FROM 4" BELOW FINISH FLOOR TO 42" MIN BELOW GRADE. SEE GENERAL NOTES THIS SHEET & SECTION. FINAL DESIGN BY PROFESSIONAL ENGINEER.
- 7 4" CMU STARTER COURSE
- 8 25 YR ARCHITECTURAL SHINGLES
- 9 LINE OF NEW EXTERIOR WALL SHEATHING FACE BELOW
- 10 CONCRETE APRON: SLOPE TO GRADE
- 11 1-HR FIRE RESISTANCE RATED WALL PER AMERICAN WOOD COUNCIL ASSEMBLY W54-1.3 AS NOTED: SEE SECTION AND DETAIL

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DO NOT SCALE DRAWINGS

| ISSUED | BIDS/ PERMITS |
|----------|---------------|
| 12.02.20 | |
| 12.18.20 | ADDENDUM #1 |

FILE:1939_A1.3_Garage_FirstFloorPlan

DRAWN RILEY L. RINNAN

CHECKED KEVIN J. CROSBY

SEAL

CLIENT
CHARLES WILLIAMS

PROJECT
WILLIAMS RESIDENCE ADDITION
550 FISKE FISKE DR
DETROIT, MI 48214

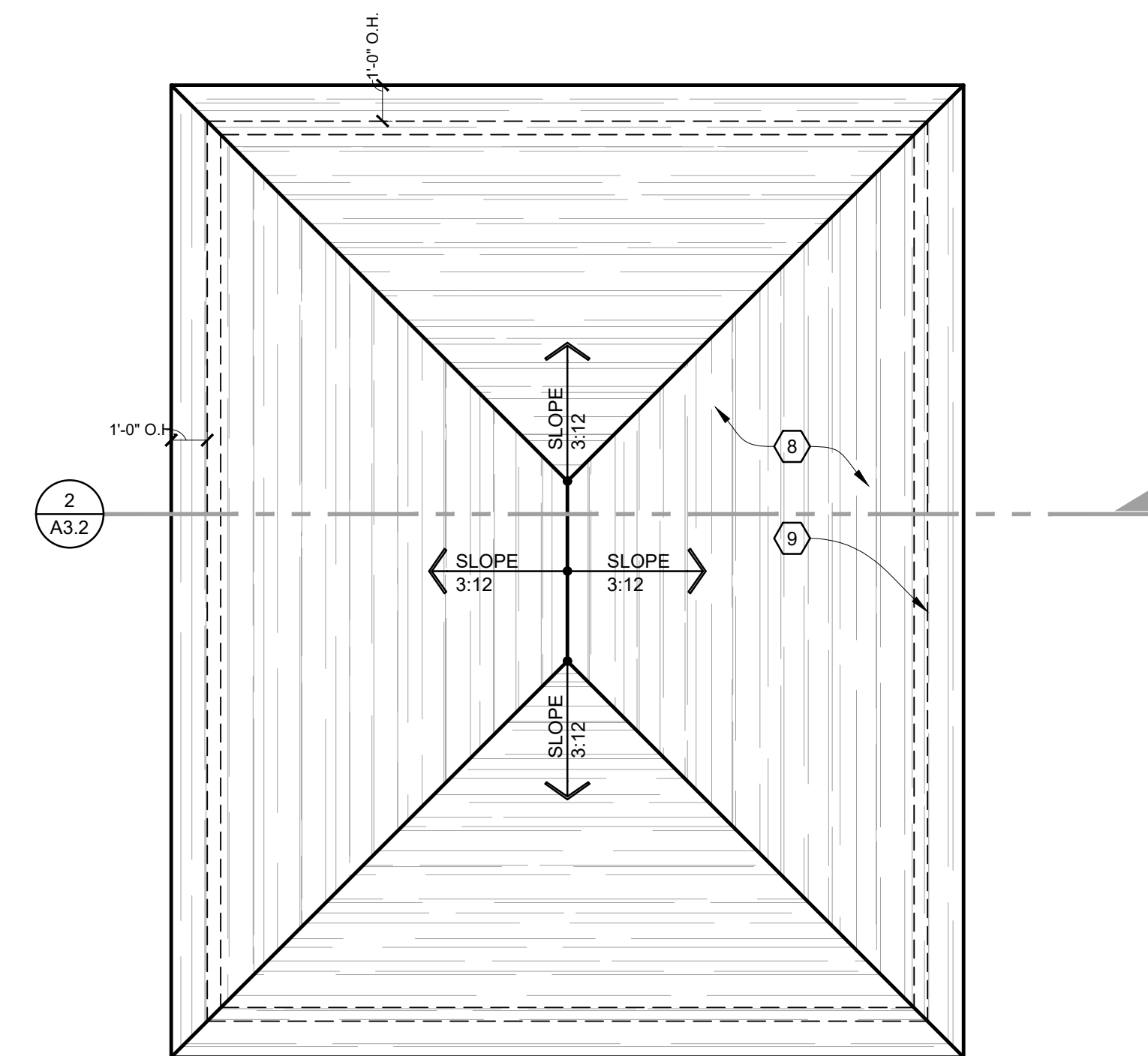
JOB NO.

1939

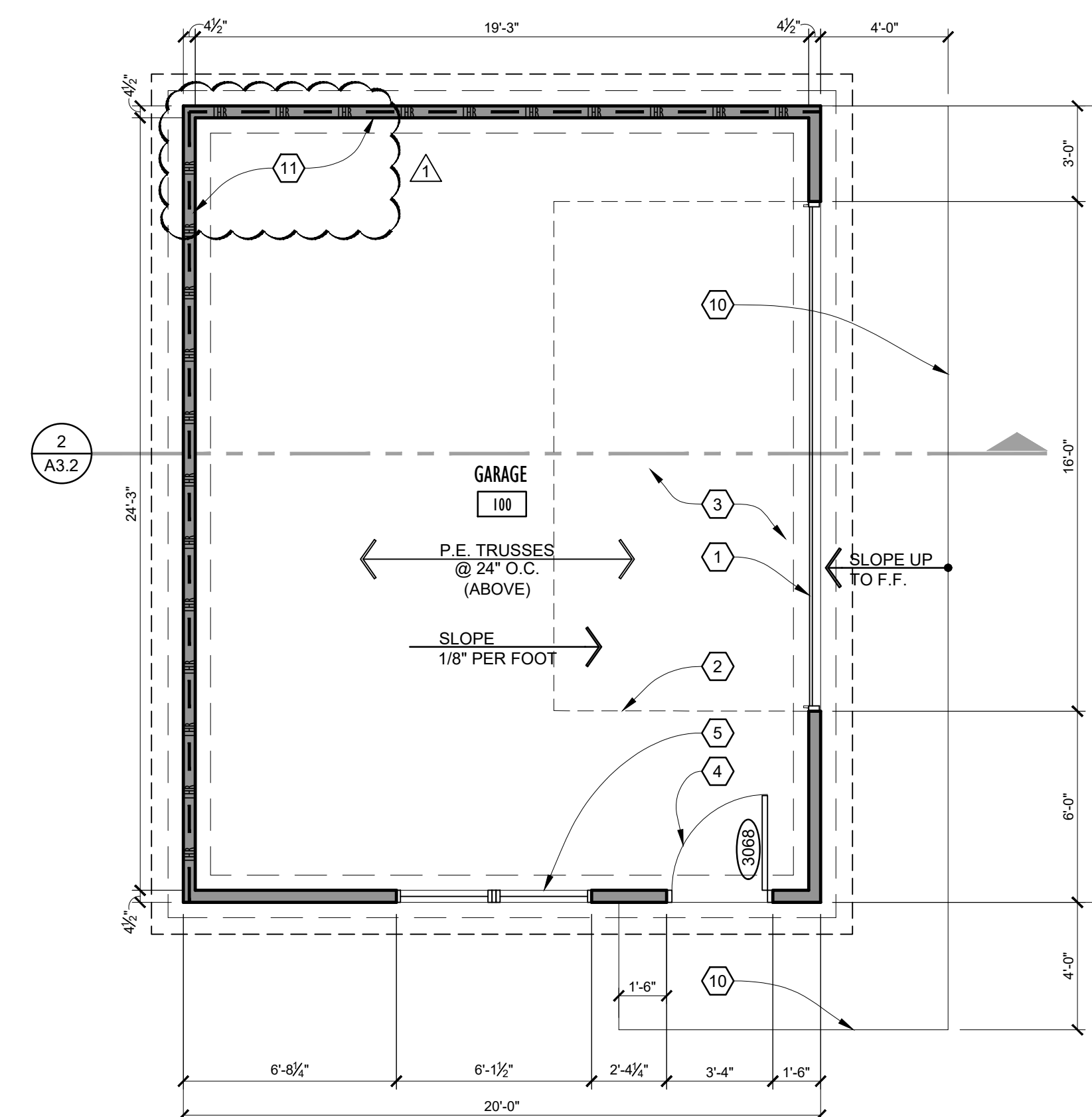
SHEET
GARAGE PLAN
- NEW WORK

SHEET NO.

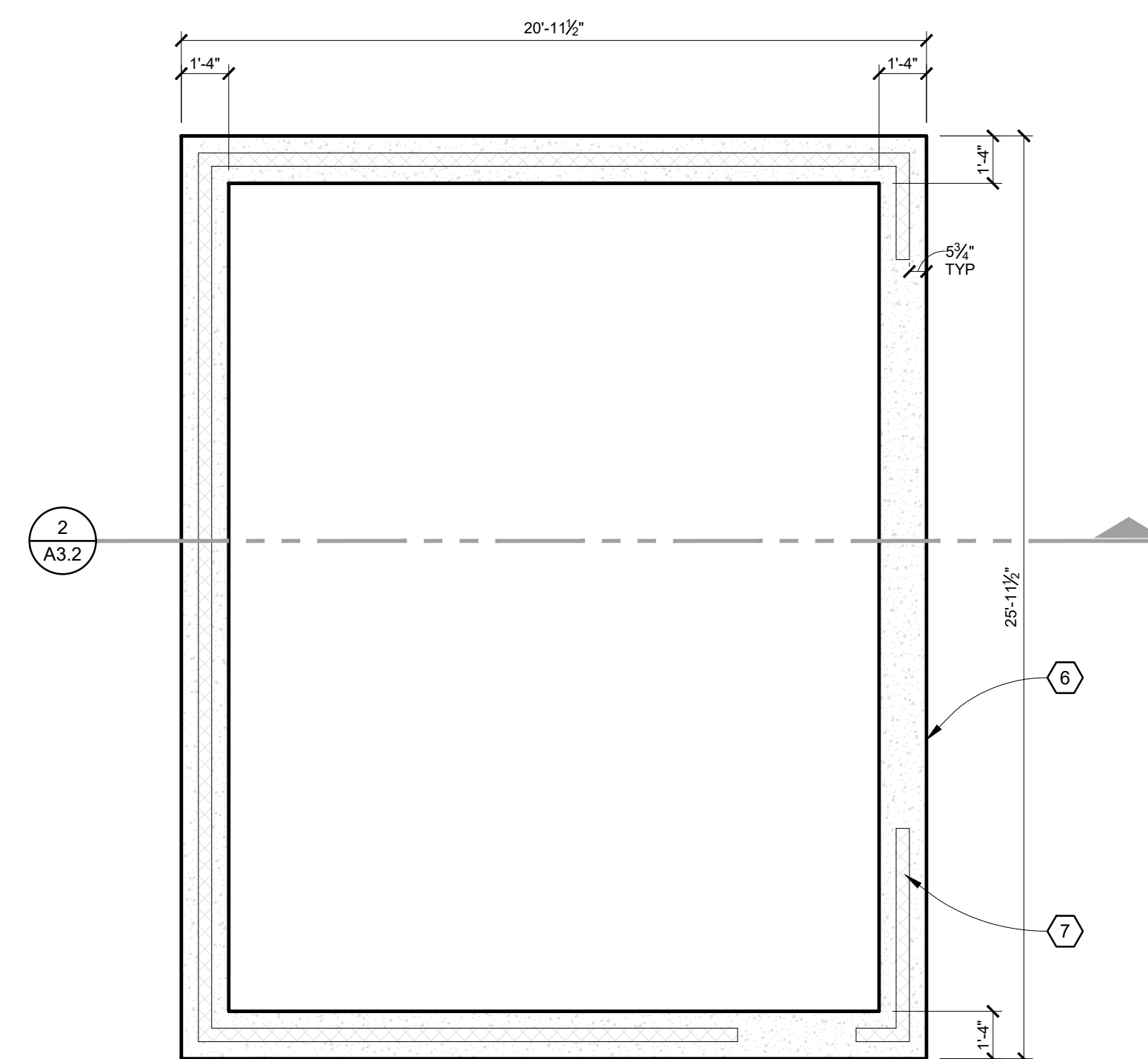
A1.3



GARAGE ROOF PLAN - NEW WORK
SCALE: 1/4"=1'-0"



GARAGE PLAN - NEW WORK
SCALE: 1/4"=1'-0"



GARAGE FOUNDATION PLAN - NEW WORK
SCALE: 1/4"=1'-0"

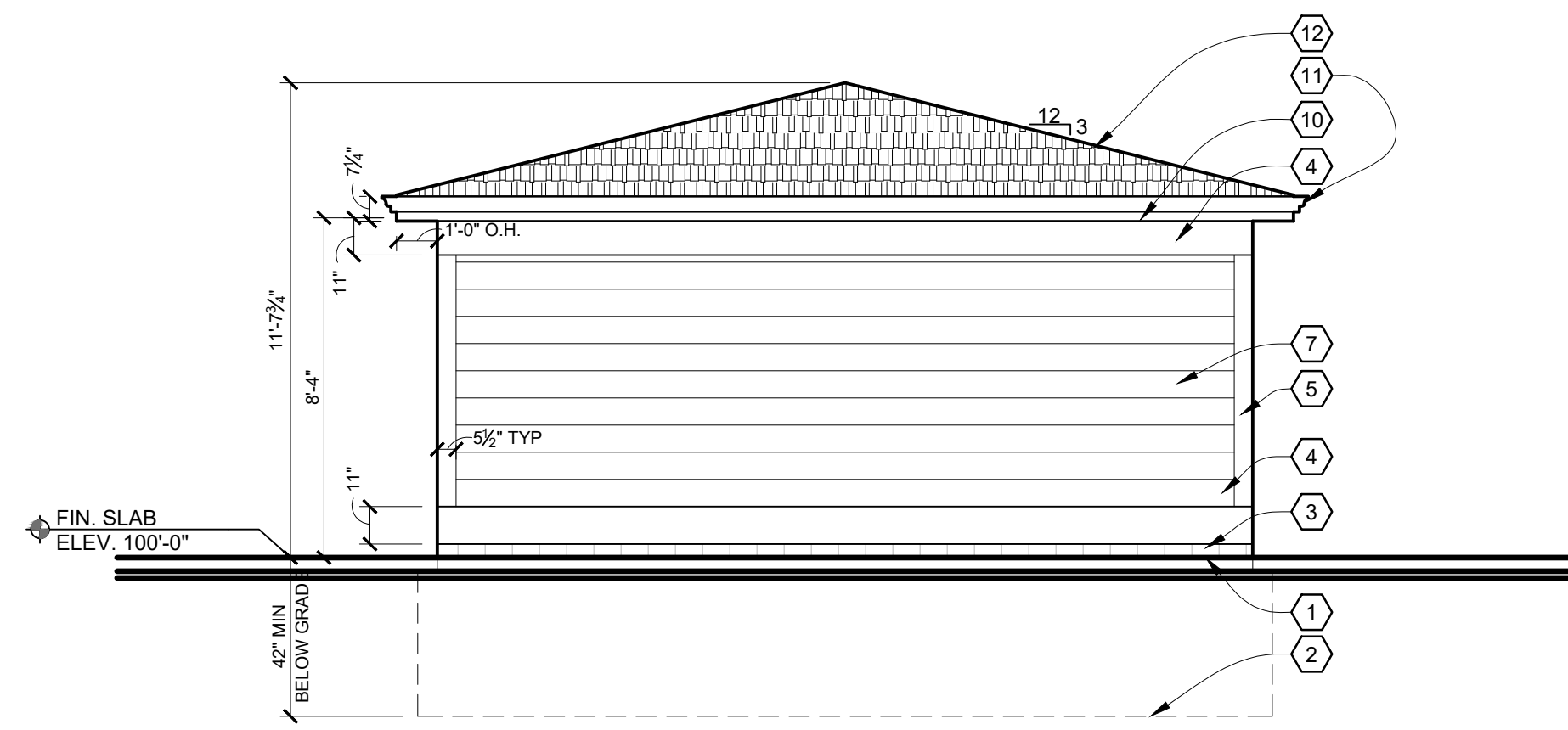
GENERAL ELEVATION NOTES:

1. ALL FINISH/ TRIM SUPPLIERS SHALL SUBMIT SHOP DRAWINGS OR SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL BY OWNER/ ARCHITECT PRIOR TO ORDERING.
2. ALL CUT ENDS OR DRILLED LUMBER SHALL BE REPAIRED WITH SEALER.
3. PROVIDE 1x BLOCKING BEHIND ALL WALL MOUNTED ITEMS, VERIFY SIZES.

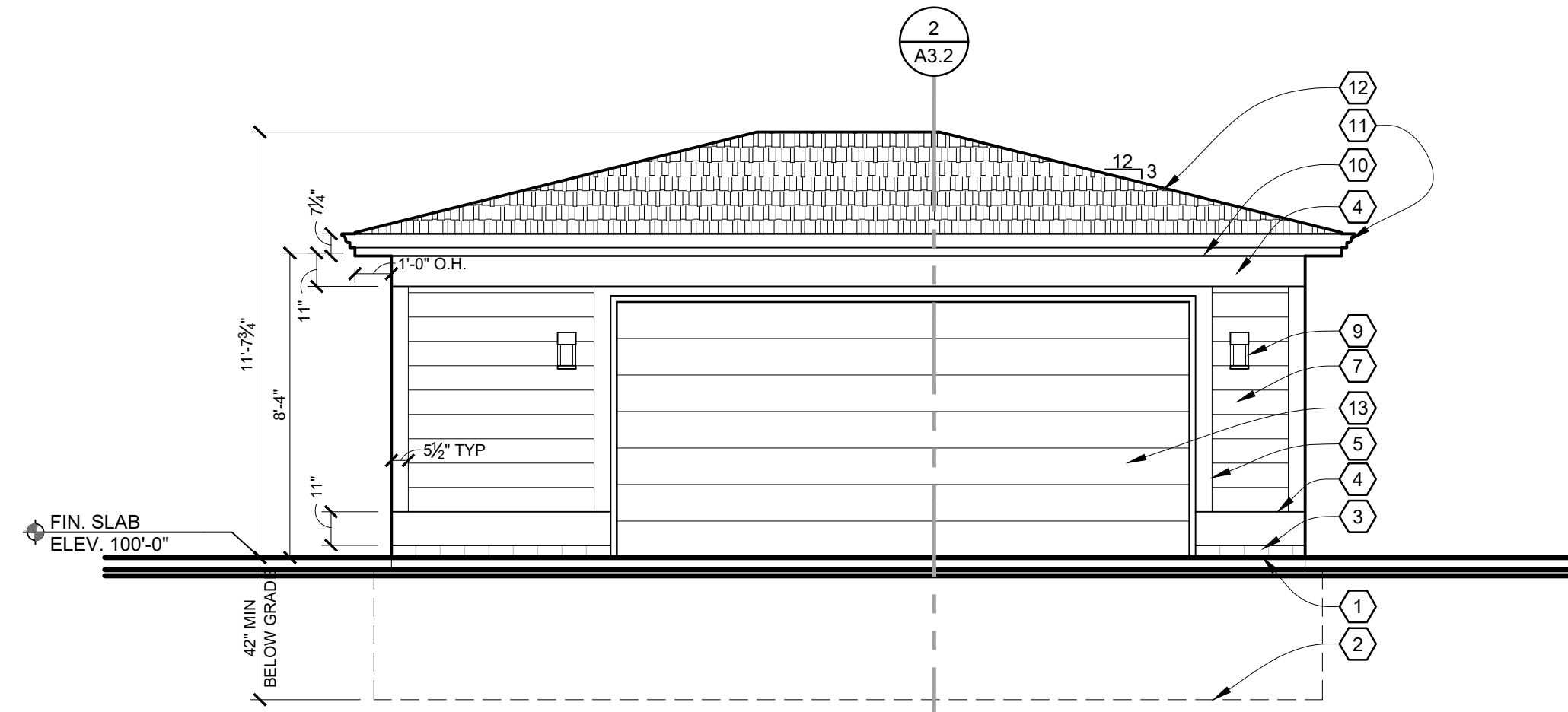
EXTERIOR ELEVATION KEY NOTES:

- 1 INDICATES LINE OF GRADE
- 2 INDICATES LINE OF NEW TRENCH FOOTING TO MIN 3'-6" BELOW FINISHED GRADE
- 3 4" CMU STARTER COURSE
- 4 1x TRIM BOARD; MRT, PAINT.
- 5 1x TRIM; TYP. PAINT.
- 6 DOOR & FRAME; PAINT.
- 7 JAMES HARDIE SIDING w/ 8" REVEAL; COLOR TBD BY OWNER
- 8 WINDOW AND FRAME
- 9 EXTERIOR WALL SCONCE AS SELECTED BY OWNER
- 10 1x8 MRT WD. FASCIA BD; PRIME & PAINT
- 11 CONTINUOUS PRE-FINISHED SEAMLESS ALUM. GUTTER SYSTEM w/ DOWN SPOUTS
- 12 ARCHITECTURAL SHINGLES ON NEW CONSTRUCTION; SEE ROOF PLAN
- 13 7" O.H. DOOR w/ OPENER

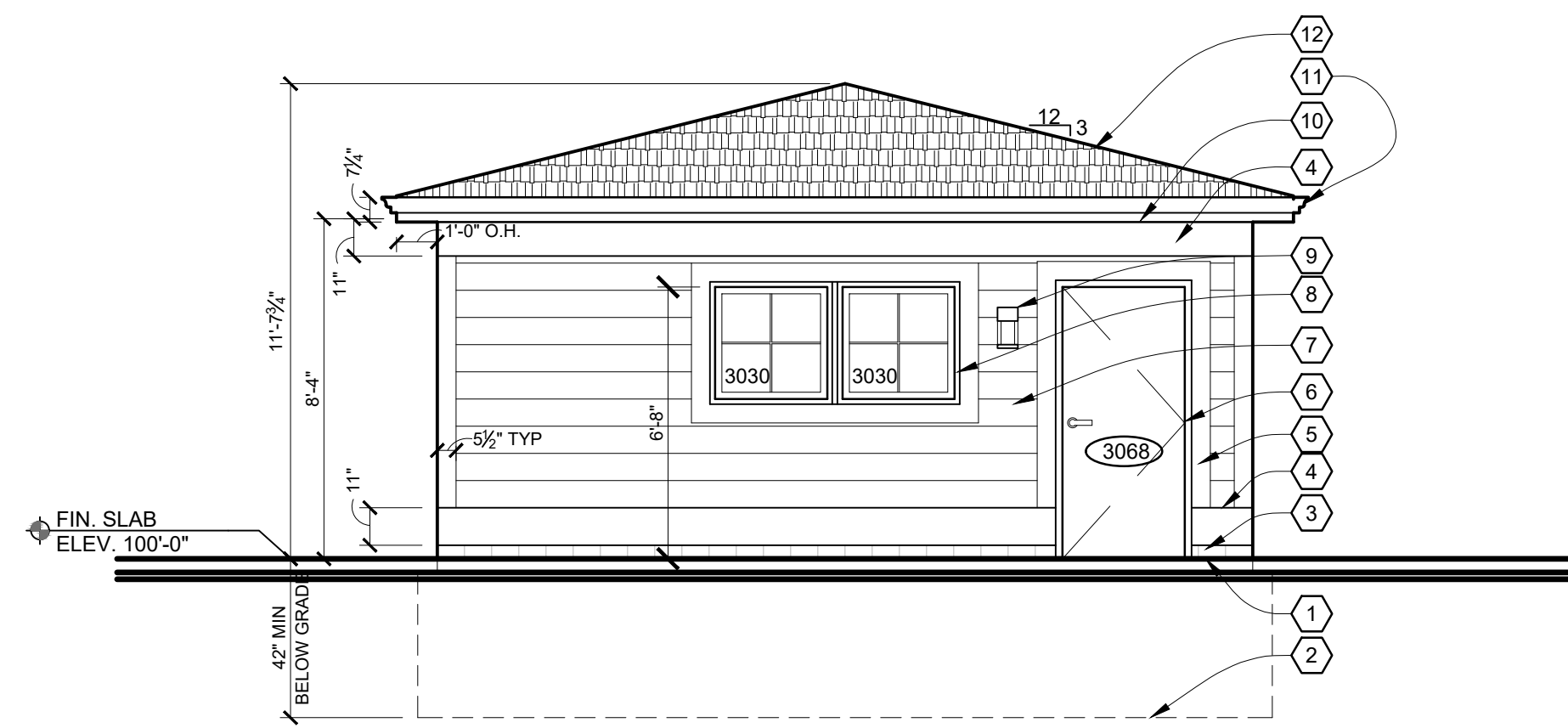
NOTE:
CONTRACTOR TO PROVIDE AND INSTALL CONTINUOUS ALUM. GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS IN APPROPRIATE LOCATIONS; COORDINATE COLOR AND PROFILE SELECTION w/ OWNER



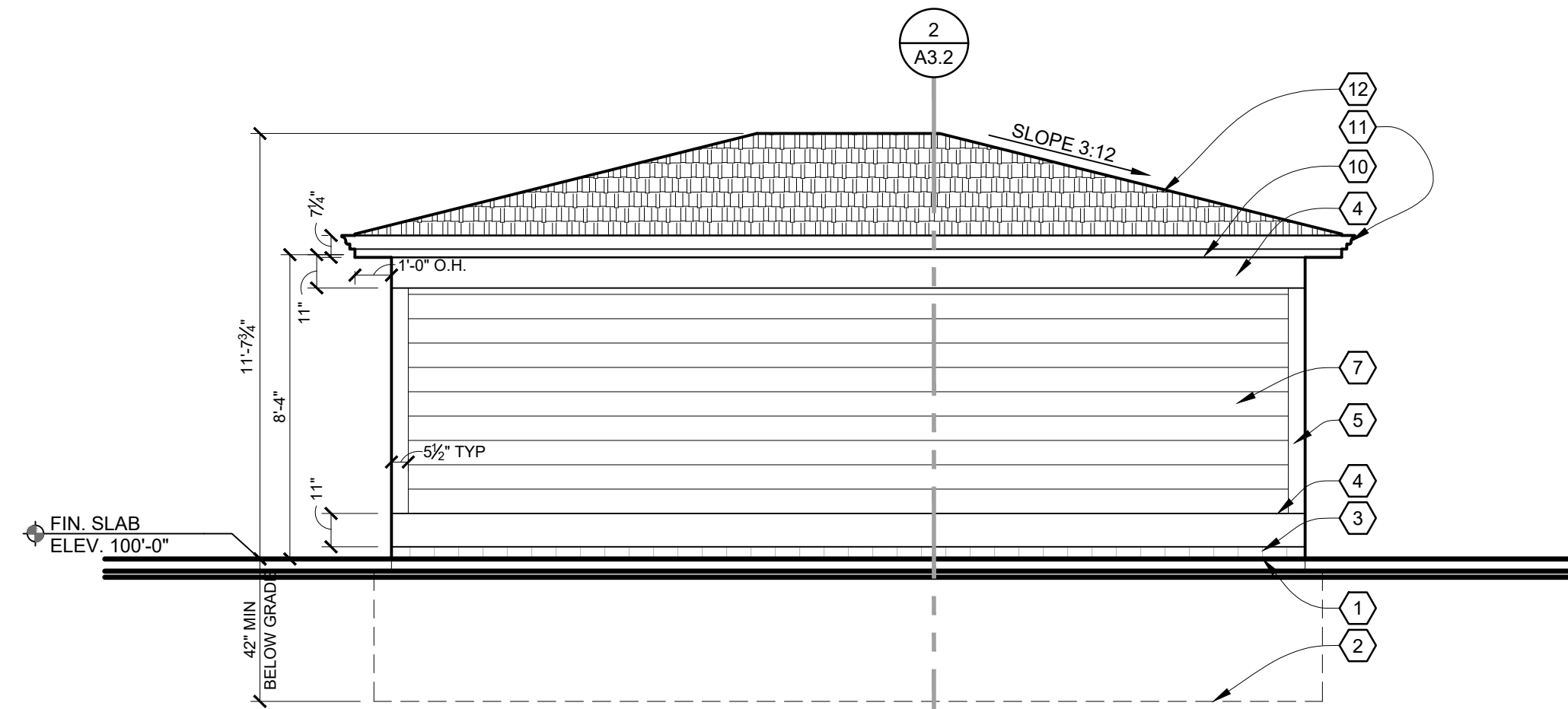
NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

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DO NOT SCALE DRAWINGS

| ISSUED | BIDS/ PERMITS |
|----------|---------------|
| 12.02.20 | |
| | |
| | |
| | |
| | |

FILE 1939_A2-3_GarageExtElevations.dwg

DRAWN RILEY L. RINMAN

CHECKED KEVIN J. CROSBY

SEAL

CLIENT
CHARLES WILLIAMS

PROJECT
WILLIAMS RESIDENCE ADDITION
550 FISKE FISKE DR
DETROIT, MI 48214

JOB NO.

1939

SHEET
GARAGE
EXTERIOR ELEVATIONS

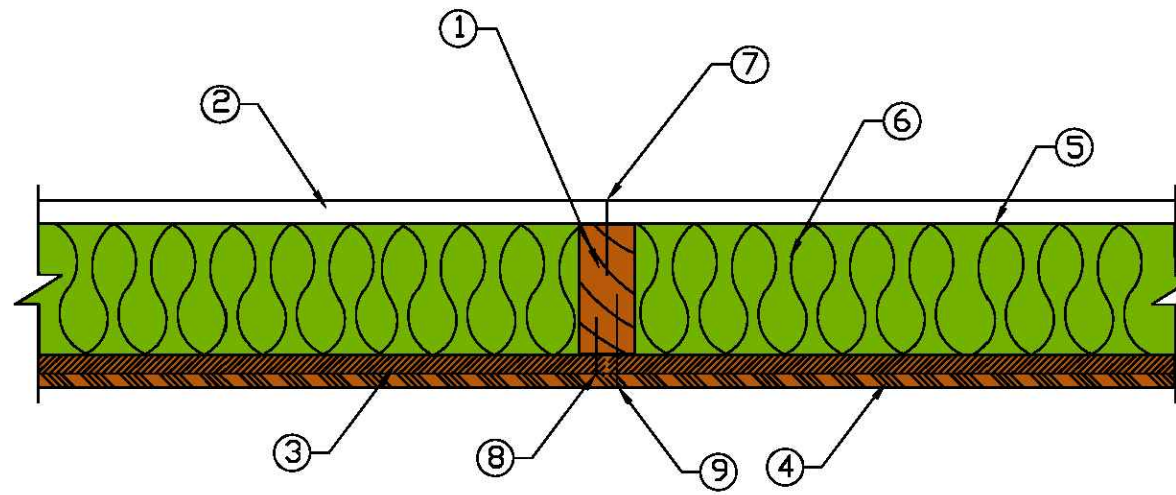
SHEET NO.

A2.2

**WALL SECTION KEY NOTES:
(TYPICAL THIS SHEET ONLY)**

- 1 CONCRETE TRENCH FOOTING w/ #4 BARS 24" O.C. VERT. AND 24" O.C. HORIZ.
- 2 CONTINUOUS PRE-FINISHED ALUMINUM FLASHING w/ DRIP EDGE
- 3 SLAB ON GRADE 4" CONCRETE SLAB ON 6 MIL. VAPOR BARRIER ON 4" COMPACTED SAND BASE.
- 4 1/2" EXPANSION JOINT.
- 5 INDICATES LINE OF GRADE; PITCH AWAY FROM STRUCTURE
- 6 1/2" ANCHOR BOLT @ 32" O.C. 12" FROM CORNERS AND ENDS
- 7 2x4 MRT SILL PLATE w/ SILL SEALER
- 8 EXTERIOR NON-RATED WALL JAMES HARDIE SIDING w/ 8" REVEAL (OR ALT. VINYL SIDING) ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2x4 WD STUDS @ 16" O.C. ON 1/2" GYP. BD. (GYP. BD FINISH OPTIONAL. COORDINATE w/ OWNER)
- 9 1x TRIM BOARD, MRT, PAINT. COORDINATE w/ EXTERIOR ELEVATIONS
- 10 2x4 DOUBLE TOP PLATE
- 11 CONTINUOUS PRE-FINISHED SEAMLESS ALUM. GUTTER SYSTEM
- 12 1x8 MRT WD. FASCIA BD. PRIME & PAINT
- 13 ROOFING 25 YR ARCHITECTURAL SHINGLES ON 15# FELT (TAPE) ON 1/2" APA RATED SHEATHING - SEE ROOF PLAN
- 14 2x WD. BLOCKING/ FRAMING
- 15 PRE-FINISHED VENTED SOFFIT PANELS
- 16 PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
- 17 EXTERIOR 1-HR RATED WALL JAMES HARDIE SIDING w/ 8" REVEAL (ALT VINYL SIDING) ON AIR INFILTRATION BARRIER ON 1/2" APA RATED SHEATHING ON 2x4 WD STUDS @ 16" O.C. w/ MINERAL WOOL INSULATION, 4 MIL VAPOR BARRIER AND 5/8" TYPE X GYP. BD. AT INTERIOR FACE OF WALL; INSTALL PER AMERICAN WOOD COUNCIL ASSEMBLY WS4-1.3; SEE DESCRIPTION, THIS SHEET.

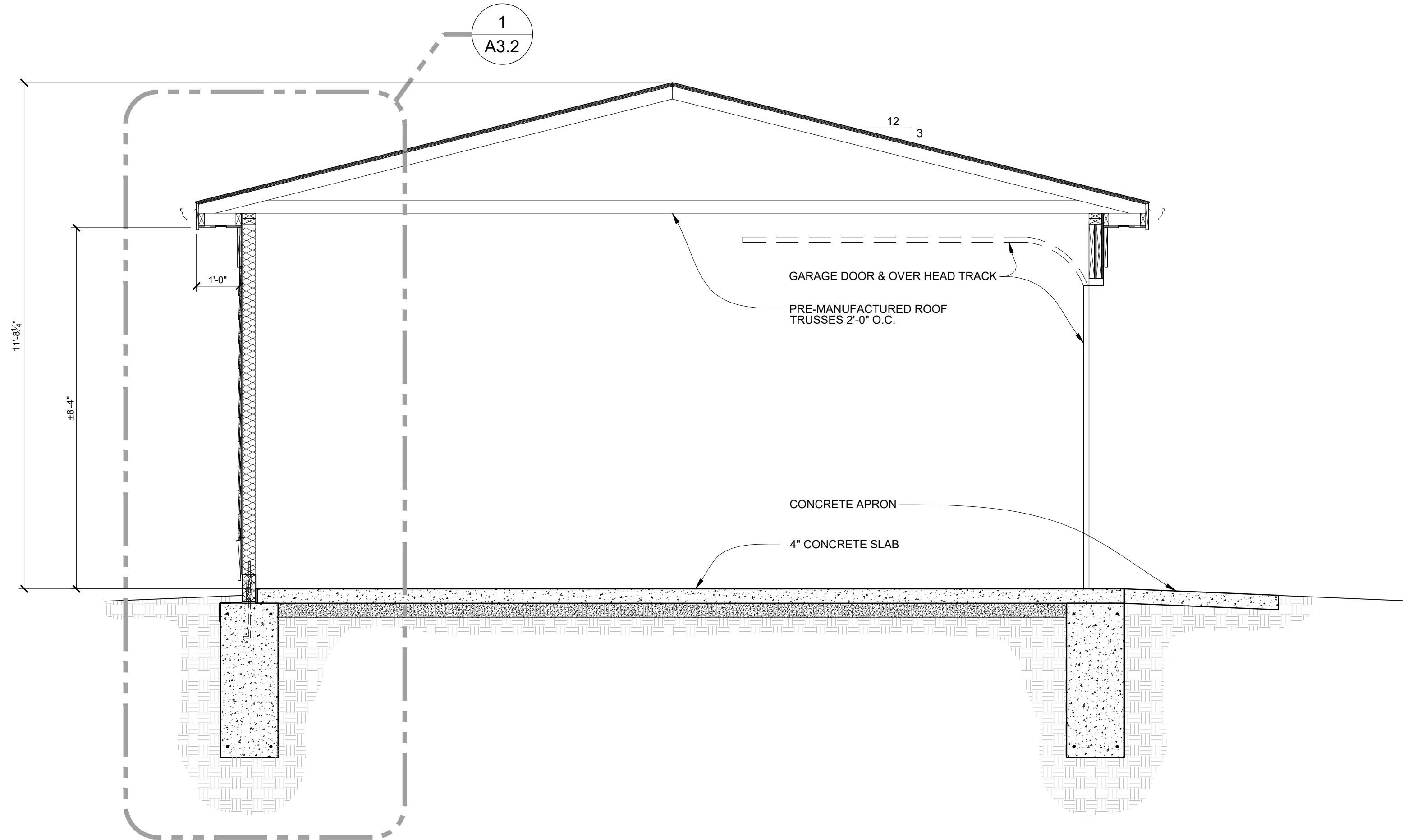
**WS4-1.3 One-Hour Fire-Resistance-Rated Wood-Frame Wall Assembly
(Rated from gypsum wallboard side)
2x4 Wood Stud Wall - 78% Design Load - ASTM E 119/NFPA 251**



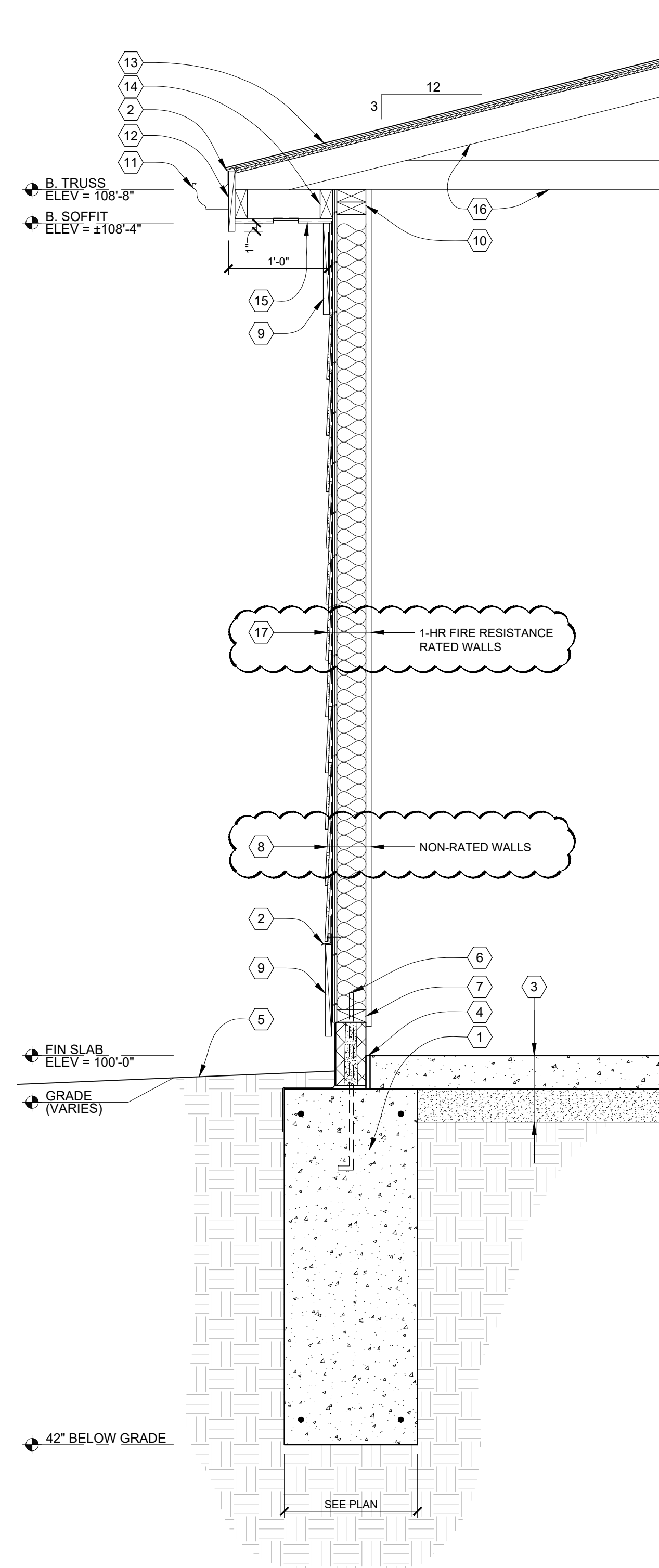
1. Framing - Nominal 2x4 wood studs, spaced 16 in. o.c., double top plates, single bottom plate
2. Interior Sheathing - 5/8 in. Type X gypsum wallboard, 4 ft. wide, applied vertically, unblocked
3. Exterior Sheathing - Minimum 1/2 in. fiberboard sheathing. *Alternate construction - minimum 1/2 in. lumber siding or 1/2 in. wood-based sheathing.*
4. Exterior Siding - 3/8 in. hardboard shiplap edge panel siding. *Alternate construction - lumber, wood based, vinyl, or aluminum siding.*
5. Vapor Barrier - 4-mil polyethylene sheeting
6. Insulation - 3-1/2-inch-thick mineral wool insulation (2.5 pcf, nominal)
7. Gypsum Fasteners - 6d cement coated box nails spaced 7 in. o.c.
8. Fiberboard Fasteners - 1-1/2 in. galvanized roofing nails - 6 in. o.c. in the field, 3 in. o.c. panel edges
9. Hardboard Fasteners - 8d galvanized nails - 8 in. o.c. in the field, 4 in. o.c. panel edges
10. Joints and Fastener Heads - Wallboard joints covered with paper tape and joint compound; fastener heads covered with joint compound

Tests conducted at the Gold Bond Building Products Fire Testing Laboratory
Test No: WP-584 (Fire Endurance & Hose Stream) March 19, 1981
Third Party Witness: Warnock Hersey International, Inc.
Report WHI-690-003

This assembly was tested at 78% design load using an l/d of 33, calculated in accordance with the 2018 National Design Specification® for Wood Construction. The authority having jurisdiction should be consulted to assure acceptance of this report.



2 BUILDING SECTION
A3.2 SCALE: 1/2"=1'-0"



1 WALL SECTION
A3.2 SCALE: 1"=1'-0"

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DO NOT SCALE DRAWINGS

| ISSUED | BIDS/ PERMITS |
|----------|---------------|
| 12.02.20 | |
| 12.18.20 | ADDENDUM #1 |

FILE:1939_A3.3_GarageSections.dwg
DRAWN RILEY L. RINNAN
CHECKED KEVIN J. CROSBY
SEAL

CLIENT
CHARLES WILLIAMS

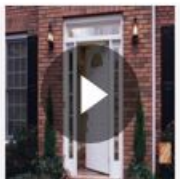
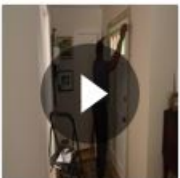
PROJECT
WILLIAMS RESIDENCE ADDITION
550 FISKE FISKE DR
DETROIT, MI 48214

JOB NO.
1939

SHEET
GARAGE SECTIONS

SHEET NO.
A3.2





Exterior View

36 in. x 80 in. 9 Lite Primed Steel Prehung Left-Hand Inswing Back Door with Brickmould

by **JELD-WEN** >

★★★★★ (83) v

[Write A Review](#)

[Questions & Answers \(41\)](#)

- Made of durable rust-resistant galvanized steel
- Prehung steel door includes frame for easier installation
- Actual unit size is 37-7/16 in. x 81-3/4 in.
- [See More Details](#)

\$295⁷⁴

 **Save up to \$100** on your qualifying purchase. Apply for a Home Depot Consumer Card

Common Door Size (WxH) in.: **36 x 80**

32 x 80

36 x 80

Door Handing: **Left-Hand/Inswing**

Left-Hand/Inswing

Right-Hand/Inswing

How to Get It



Best Seller

1378

Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles (33.33 sq. ft. per Bundle) (21-pieces)

by GAF >

★★★★★ (354) v

[Write A Review](#)

[Questions & Answers \(120\)](#)

Detroit 7 Mile/Meyers Store

✓ 144 in stock Aisle 16, Bay 030 [Text to Me](#)

- Architectural asphalt shingles covered by Lifetime Ltd. Warranty
- Classic Natural Shadow® effect provides look of even-toned wood
- Class A fire rating & 130 mph wind warranty provide peace of mind
- [See More Details](#)

BULK PRICE ELIGIBLE **\$25⁹⁸** /bundle
Buy 36 or more **\$22.08** /bundle

 Save up to \$100 on your qualifying purchase. Apply for a Home Depot Consumer Card

Color/Finish: **Charcoal**



Internet #303866775 Model #TR4SAMPLNS



Take Home Sample Transformations Double 4 in. x 24 in. Vinyl Siding in Stone Gray

by **Ply Gem** > (Brand Rating: 3.8/5) **i**


★★★★☆ (4) ▾

[Write A Review](#)

[Questions & Answers \(11\)](#)

- 0.040 in. thickness for superior resistance to impact
- Oversized lock mechanism and full-length return for secure setup
- Backed by manufacturer's limited lifetime warranty
- [See More Details](#)

\$849

 **Save up to \$100** on your qualifying purchase. [Apply for a Home Depot Consumer Card](#)

Color/Finish: **Ivory**



How To Get it

This item is currently out of stock

