

February 23, 2021

**CERTIFICATE OF APPROPRIATENESS**

Mr. Brian Hurttienne  
Christian Hurttienne Architects  
2111 Woodward Ave.  
Detroit, MI 48201

**RE: Application Number 21-7049; 700 Seward; New Center Historic District**

Dear Mr. Hurttienne:

At the special scheduled meeting held virtually on February 17, 2021, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of February 23, 2021.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Per the attached documents, the project consists of the following components:

- Add HVAC unit installation openings on the exterior at the following locations:
  - East and West elevations/ facades
  - East and West facades of the courtyard
  - North Elevation
- Cover each opening with extruded aluminum grills which are colored in Brick Red 1 or White Stone, where they are in areas of either brick or limestone respectively.
- This proposal includes work already complete.

**With the following conditions:**

- The applicant shall provide HDC Staff with the final location drawings each proposed HVAC unit installation openings that clearly notes locations of current work complete and work proposed of each elevation.
- All existing and new grills shall be finished in a color that blends with their adjacent wall surface.
- Staff shall receive the opportunity to review and approve this submission prior to the issuance of the permit.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Daniel Rieden  
Staff  
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: 12/08/2020

## PROPERTY INFORMATION

ADDRESS: 700 Seward, Detroit, MI 48202

AKA: \_\_\_\_\_

HISTORIC DISTRICT: New Center Historic District

SCOPE OF WORK:  Windows/Doors  Roof/Gutters/Chimney  Porch/Deck  Landscape/Fence/Tree/Park  General Rehab  
(Check ALL that apply)  New Construction  Demolition  Addition  Other: New Openings for HVAC

## APPLICANT IDENTIFICATION

Property Owner/Homeowner  Contractor  Tenant or Business Occupant  Architect/Engineer/Consultant

NAME: Brian Hurttienne

COMPANY NAME: Christian Hurttienne Architects

ADDRESS: 2111 Wodward, Ste 201

CITY: Detroit

STATE: MI

ZIP: 48201

PHONE: 313-825-2005

MOBILE: 313-850-6689

EMAIL: brian@cha-c.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

Completed Building Permit Application (highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)

Photographs of ALL sides of existing building or site

Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

Address: 700 Seward, Detroit, MI 48202 Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_  
AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_  
Current Legal Use of Property: \_\_\_\_\_ Proposed Use: \_\_\_\_\_  
Are there any existing buildings or structures on this parcel?  Yes  No

**PROJECT INFORMATION**

**Permit Type:**  New  Alteration  Addition  Demolition  Correct Violations  
 Foundation Only  Change of Use  Temporary Use  Other: \_\_\_\_\_  
 Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

**Description of Work** (Describe in detail proposed work and use of property, attach work list)  
Additional HVAC unit installation openings on the exterior.

MBC use change  No MBC use change

**Included Improvements** (Check all applicable; these trade areas require separate permit applications)  
 HVAC/Mechanical  Electrical  Plumbing  Fire Sprinkler System  Fire Alarm

**Structure Type**  
 New Building  Existing Structure  Tenant Space  Garage/Accessory Building  
 Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.  
Construction involves changes to the floor plan?  Yes  No

(e.g. interior demolition or construction to new walls)  
Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

**Estimated Cost of Construction** \$ \_\_\_\_\_ By Contractor \$ \_\_\_\_\_ By Department

**Structure Use**  
 Residential-Number of Units: \_\_\_\_\_  Office-Gross Floor Area \_\_\_\_\_  Industrial-Gross Floor Area \_\_\_\_\_  
 Commercial-Gross Floor Area: \_\_\_\_\_  Institutional-Gross Floor Area \_\_\_\_\_  Other-Gross Floor Area \_\_\_\_\_  
Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.** (Building Permit Application Continues on Next Page)

**For Building Department Use Only**

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld?  No

Permit Description: \_\_\_\_\_

Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined?  Yes  No (attach zoning clearance)

**Revised Cost** (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Permit #:

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: 248-258-6002 Mobile: 248-867-4406  
 Driver's License #: \_\_\_\_\_ Email: klewand@lewandbuilding.com  
**Contractor**  Contractor is Permit Applicant  
 Representative Name: \_\_\_\_\_ Company Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Mobile: \_\_\_\_\_ Email: \_\_\_\_\_  
 City of Detroit License #: \_\_\_\_\_

**TENANT OR BUSINESS OCCUPANT**  Tenant is Permit Applicant  
 Name: \_\_\_\_\_ Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**  Architect/Engineer/Consultant is Permit Applicant  
 Name: Brian Hurttienne State Registration#: 33302 Expiration Date: 11/2022  
 Address: 2111 Woodward, Suite 201 City: Detroit State: MI Zip: 48201  
 Phone: 313-825-2005 Mobile: 313-850-6689 Email: brian@cha-c.com

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 (Homeowner)  
 Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan  
 Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
 (Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: Brian Hurttienne Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 (Permit Applicant)  
 Driver's License #: \_\_\_\_\_ Expiration: \_\_\_\_\_  
 Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_\_ County, Michigan  
 Signature: \_\_\_\_\_ My Commission Expires: \_\_\_\_\_  
 (Notary Public)

**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this**



700 Seward Renovation

December 8, 2020

Mr. Brendan Cagney, Historic Specialist  
City of Detroit, Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

Re: 700 Seward Renovation – HVAC Openings

Mr. Cagney,

We respectfully submit this enclosed description of the 700 Seward Renovation project to the City of Detroit Historic District Commission for review. This submittal is in addition to the earlier, April 2020 and June 2020 Commission hearing.

Project Description

The 700 Seward building and site was purchased to renovate and update much of the building to accommodate new residents.

This submission is to note the additional HVAC openings proposed for the exterior towards the front of the building. The openings toward the rear and on the alley side had been approved by the commission earlier in 2020. The developer is requesting to add HVAC openings on the west and east facades, as well as the west and east facades of the courtyard. The enclosed drawings note the new openings.

This project is also being reviewed for the Historic Preservation Tax Credit with applications submitted earlier. The submission did note these requested openings and the State Historic Preservation Office and the National Park Service did approve the drawings as submitted, as we are submitting to you.

Enclosed with this write-up are the HDC Application, Exterior Elevation drawings, and current photographs. Please review and let me know of anything further you may need.

Thank you,

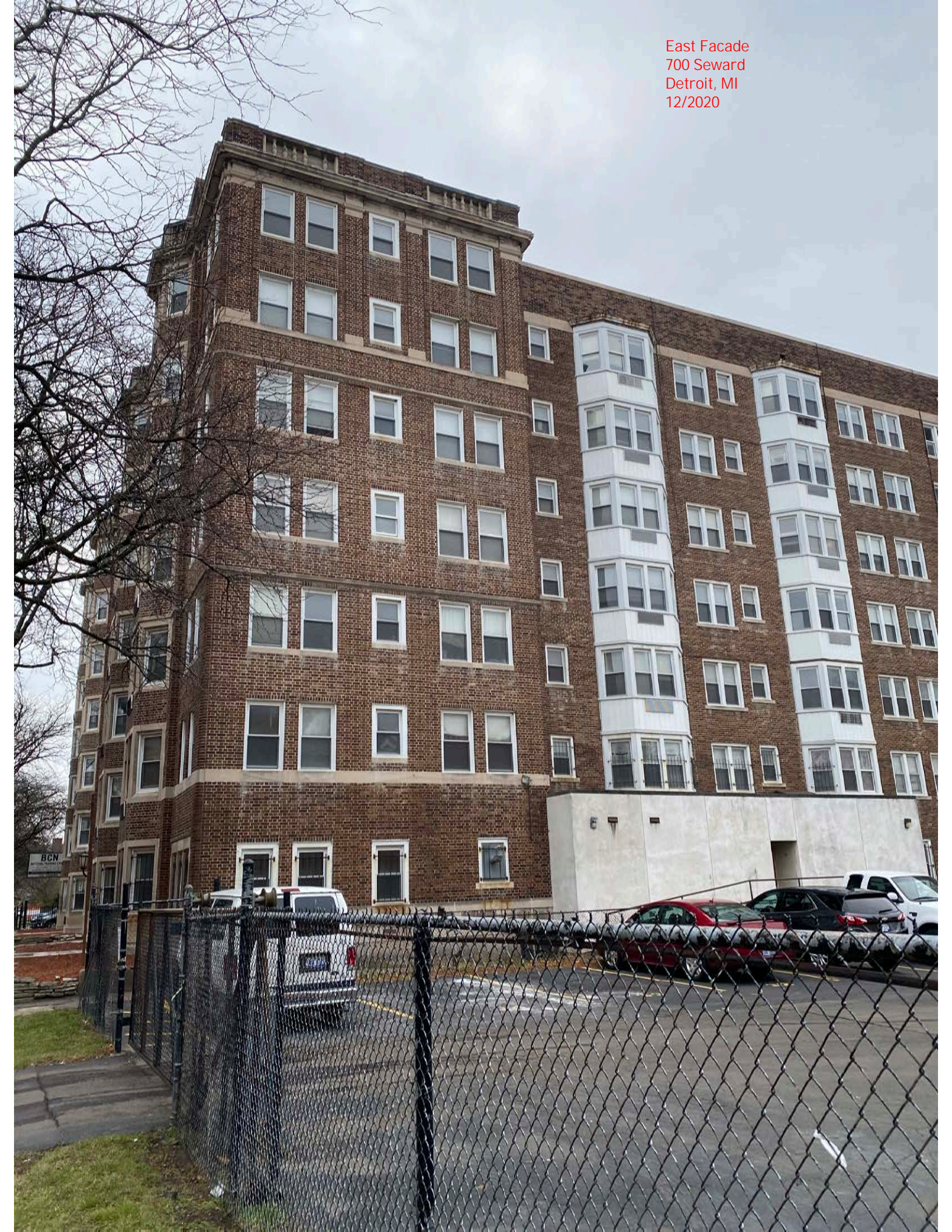
Brian V. Hurttienne, Principal  
Christian Hurttienne Architects  
2111 Woodward Avenue, Suite 201  
Detroit, MI

East Courtyard Facade  
700 Seward  
Detroit, MI  
12/2020



**BCN**  
NATIONAL TRAINING CENTER  
DR. ALBERT B. CLEGG, SR.  
MEMORIAL HEALTH CENTER  
700 SEWARD

East Facade  
700 Seward  
Detroit, MI  
12/2020



Front Facade  
760 Seward  
Detroit, MI  
12/2020





Front Facade  
700 Seward  
Detroit, MI  
12/2020



West Courtyard Facade  
700 Seward  
Detroit, MI  
12/2020



West Facade  
700 Seward  
Detroit, MI  
12/2020





**VICINITY PLAN**

**ISSUED FOR:**  
RAMP REMOVAL / STAIR CONSTRUCTION 11.12.2020

# 700 SEWARD

700 Seward Ave, Detroit, MI, 48202

## 700 Seward , LLC

700 Seward Ave., Detroit, MI 48202 248.258.6002 klewand@lewandbuilding.com

## Christian Hurttienne Architects, LLC

2111 Woodward Ave., Suite #201, Detroit, MI 48201 313.825.2005x101 Chris@cha-c.com

## KEM-TEC

22556 Gratiot Ave., Eastpointe, MI 48021 586.772.2222 rgarbarino@kemtec-survey.com

## MA Engineering

400 S. Old Woodward, Suite #100, Birmingham, MI 48009 248.258.1610 wzoka@ma-engineering.com

## Lewand Building Companies

231 S. Old Woodward, Suite #220, Birmingham, MI 48009 248.258.6002 klewand@lewandbuilding.com

### GENERAL NOTES

1. ANY MENTION OF "CONTRACTOR" INCLUDES THE GENERAL CONTRACTOR (GC), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTORS AS THEY RELATE TO THE CONTRACTUAL DELIVERY METHOD AGREED TO BY THE OWNER AND ENTITY RESPONSIBLE FOR UNDERTAKING CONSTRUCTED IMPROVEMENTS OF THE PROPERTY ACCORDINGLY, THE USE OF THE TERM "CONTRACTOR" IS TO REFER TO ANY AND ALL ENTITIES AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB GENERAL CONTRACTOR / CONSTRUCTION MANAGER AND/OR A SPECIFIC TRADE (SUB)CONTRACTORS.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION, UNLESS OTHERWISE AGREED UPON. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
3. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
4. THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF INFLUENCE OF THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATIONS AND / OR DIRECTIVES WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
8. THE CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
9. THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
10. THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
11. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION, AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REVIEWS ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
12. CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED / APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
13. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORTS, OR SHEDS IF NECESSARY. MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
14. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.
15. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION.
16. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
17. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXISTING SYSTEMS AND SPACES FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE ENTRIES AND SEPARATION OF THE SPACES.
18. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL AFFECTED AREAS AND CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS IF APPLICABLE, AND THE LOCAL JURISDICTION.
19. ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO THE OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
21. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
22. IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY THE ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS REQUIRED.
23. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS INCLUDING PIPING, FIXTURES, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED BACK TO THE POINT OF ORIGIN. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION DIRECTION PRIOR TO.
24. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS, STORM MAINS, DRAINS, ELECTRICAL, AND GAS SERVICES, ETC., BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
25. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
26. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE

### GENERAL NOTES

27. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
28. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
29. IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (GC) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE GC SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, WITHIN THE SCOPE OF THE CONTRACT.
30. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE TENANT SPACE AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY 2015 MICHIGAN BUILDING CODE, NFPA 10 AND THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
31. PROVIDE EXIT SIGNS PER 2015 MICHIGAN BUILDING CODE WITH "A" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS, COMPLY WITH BUILDING CODES. PROVIDE GREEN LETTERING.
32. PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGN, COMPLYING WITH ICC 117.1 ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, EXIT PASSAGEWAY, EXIT DISCHARGE, OR OTHERWISE REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
33. PROVIDE EMERGENCY LIGHTING LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
34. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
35. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING SO OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
36. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING PER SECTION 803, BASED UPON OCCUPANCY GROUP SPECIFIED IN TABLE 803.9.19 OF THE 2015 MI BUILDING CODE.
37. DECORATIONS (PRIORITY CURTAINS, DRAPES, SHADES, HANGINGS, WALL COVERINGS, ETC.) SHALL CONFORM TO THE REQUIREMENTS OF SECTION 803 OF 2015 MICHIGAN BUILDING CODE.
38. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

### LEGEND

	CONCRETE MASONRY UNIT
	BRICK
	CONCRETE
	INSULATION (BATT, CELLULOSE, SPRAY-FOAM)
	RIGID INSULATION
	PLYWOOD
	METAL
	FINISHED WOOD
	WOOD (ROUGH CONTINUOUS)
	WOOD (ROUGH NON-CONTINUOUS / BLOCKING)
	GLASS
	ALIGN
	COLUMN LINE IDENTIFICATION
	PARTITION TYPE
	DEMOLITION KEYNOTE
	FOUNDATION KEYNOTE
	ARCHITECTURAL KEYNOTE
	ROOF KEYNOTE
	CEILING PLAN KEYNOTE
	STRUCTURAL KEYNOTE
	ELEVATION KEYNOTE
	VERTICAL HEIGHT ELEVATION
	WINDOW TYPE/SCHEDULE NUMBER
	DOOR TYPE/SCHEDULE NUMBER
	MATERIAL SPECIFICATION NUMBER
	REVISION NUMBER
	PLAN DETAIL TAG
	DETAIL NUMBER / SHEET NUMBER
	SECTION TAG
	SECTION NUMBER / SHEET NUMBER
	SHEET IDENTIFICATION NUMBER
	DISCIPLINE DESIGNATOR A-ARCHITECTURAL SHEET
	SHEET SEQUENCE NUMBER NUMBER IDENTIFYING EACH SHEET IN SET
	SHEET TYPE DESIGNATOR 0- GENERAL SYMBOLS, LEGEND NOTES! 1- PLANS (HORIZONTAL VIEWS) 2- ELEVATIONS (VERTICAL VIEWS) 3- SECTIONS, DETAILS, DIAGRAMS, NOTES

### PROJECT INFORMATION

#### DRAWING ISSUE DATES

No.	DESCRIPTION	DATE
1	SITE PLAN REVIEW	02.15.2019
2	HISTORIC DISTRICT COMMISSION REVIEW	04.22.2019
3	PRESERVATION TAX CREDIT REVIEW	05.15.2019
4	ENGINEERING COORDINATION	05.22.2019
5	PRESERVATION TAX CREDIT REVIEW	06.04.2019
6	BIDDING	06.25.2019
7	PERMIT REVIEW	07.08.2019
8	MEP COORDINATION	09.25.2019
9	PERMIT REVIEW REVISIONS	11.06.2019
10	MEP COORDINATION	11.14.2019
11	RAMP REMOVAL / STAIR CONSTRUCTION	11.12.2020

#### ARCHITECTURAL SHEETS

A-100	FOUNDATION PLAN
A-101	FIRST LEVEL ARCHITECTURE PLAN
A-101.1	ENLARGED FIRST LEVEL DEMO PLAN
A-101.2	ENLARGED FIRST LEVEL ARCHITECTURE PLAN
A-101.3	ENLARGED FIRST LEVEL RCP
A-101.4	ENLARGED FIRST LEVEL DEMO PLAN
A-101.5	ENLARGED FIRST LEVEL ARCHITECTURE PLAN
A-101.6	ENLARGED FIRST LEVEL RCP
A-101.7	ENLARGED FIRST LEVEL DEMO PLAN
A-101.8	ENLARGED FIRST LEVEL ARCHITECTURE PLAN
A-101.9	ENLARGED FIRST LEVEL RCP
A-102	SECOND LEVEL ARCHITECTURE PLAN
A-102.1	UNITS 9A AND 11A PLANS AND ELEVATIONS
A-103	TYPICAL LEVEL (3-7) ARCHITECTURE PLAN
A-103.1	UNIT 10 PLANS AND ELEVATIONS
A-103.2	UNITS 11 AND 9 PLANS AND ELEVATIONS
A-103.21	UNIT KITCHENS DETAILED PLANS AND ELEVATIONS
A-103.3	UNITS 12 AND 8 PLANS AND ELEVATIONS
A-103.4	UNITS 13 AND 7 PLANS AND ELEVATIONS
A-103.5	UNITS 13 AND 7 PLANS AND ELEVATIONS
A-103.5	UNITS 13 AND 7 PLANS AND ELEVATIONS
A-103.6	UNITS 14 AND 4 PLANS AND ELEVATIONS
A-103.7	UNITS 14 AND 4 PLANS AND ELEVATIONS
A-103.8	UNITS 15 AND 5 PLANS AND ELEVATIONS
A-103.9	UNITS 15 AND 5 PLANS AND ELEVATIONS
A-103.10	UNITS 16 AND 4 PLANS AND ELEVATIONS
A-103.11	UNITS 16 AND 4 PLANS AND ELEVATIONS
A-103.12	UNITS 16 AND 4 ACCESSIBLE PLANS AND ELEVATIONS
A-103.13	UNITS 16 AND 4 ACCESSIBLE PLANS AND ELEVATIONS
A-103.14	UNITS 17 AND 3 PLANS AND ELEVATIONS
A-103.15	UNITS 18 AND 2 PLANS AND ELEVATIONS
A-103.16	UNITS 19 AND 1 PLANS AND ELEVATIONS
A-103.17	UNITS 20 AND 0 PLANS AND ELEVATIONS
A-103.18	UNITS 20 AND 0 PLANS AND ELEVATIONS
A-103.19	UNIT 21 PLANS AND ELEVATIONS
A-104	PENTHOUSE PLANS AND ELEVATIONS
A-104.1	PENTHOUSE PLANS AND ELEVATIONS
A-105	MECHANICAL PLENUM PLAN
A-106	ROOF PLAN

#### SIGNATURE BLOCK

NAME OF AUTHORIZED REPRESENTATIVE

[owner]

[Architect] Christian Hurttienne Architects, LLC

[General Contractor]

A-201	EXTERIOR ELEVATIONS (SOUTH AND EAST)
A-202	EXTERIOR ELEVATIONS (NORTH AND WEST)
A-203	EXTERIOR ELEVATIONS (COURTWARD)
A-204	INTERIOR ELEVATIONS (TYPICAL FLOOR CORRIDOR)

A-501	PARKING ACCESS PLANS AND ELEVATIONS
A-502	PARKING ACCESS SECTIONS
A-503	WALL TYPES AND BUILDING DETAILS

A-601	DOOR SCHEDULE, WINDOW TRIM AND DETAILS
A-602	FINISH AND FIXTURE SCHEDULES (COMMON SPACES / FIRST LEVEL)

#### REFERENCE

A-701	ORIGINAL FOUNDATION AND GROUND FLOOR PLAN
A-702	ORIGINAL TYPICAL FLOOR PLAN
A-703	ORIGINAL TYPICAL FLOOR PLAN, STAIR SECTIONS, DETAILS
A-704	ORIGINAL BUILDING SECTIONS AND DETAILS
A-705	ORIGINAL FRAMING PLAN
A-706	ORIGINAL ROOF FRAMING PLAN

### DRAWING LIST

#### GENERAL SHEETS

G-000	COVER
G-001	CODE SHEET
G-002	CODE SHEET

#### CIVIL ENGINEERING SHEETS

C-100	SITE SURVEY
C-101	ARCHITECTURAL SITE PLAN
C-101.1	FINISH SITE PLAN AND FOUNDATION PLAN
C-102	SITE DETAILS
C-103	GRADING PLAN
C-104	SOIL EROSION AND SEDIMENT CONTROL PLAN

#### ARCHITECTURAL SHEETS

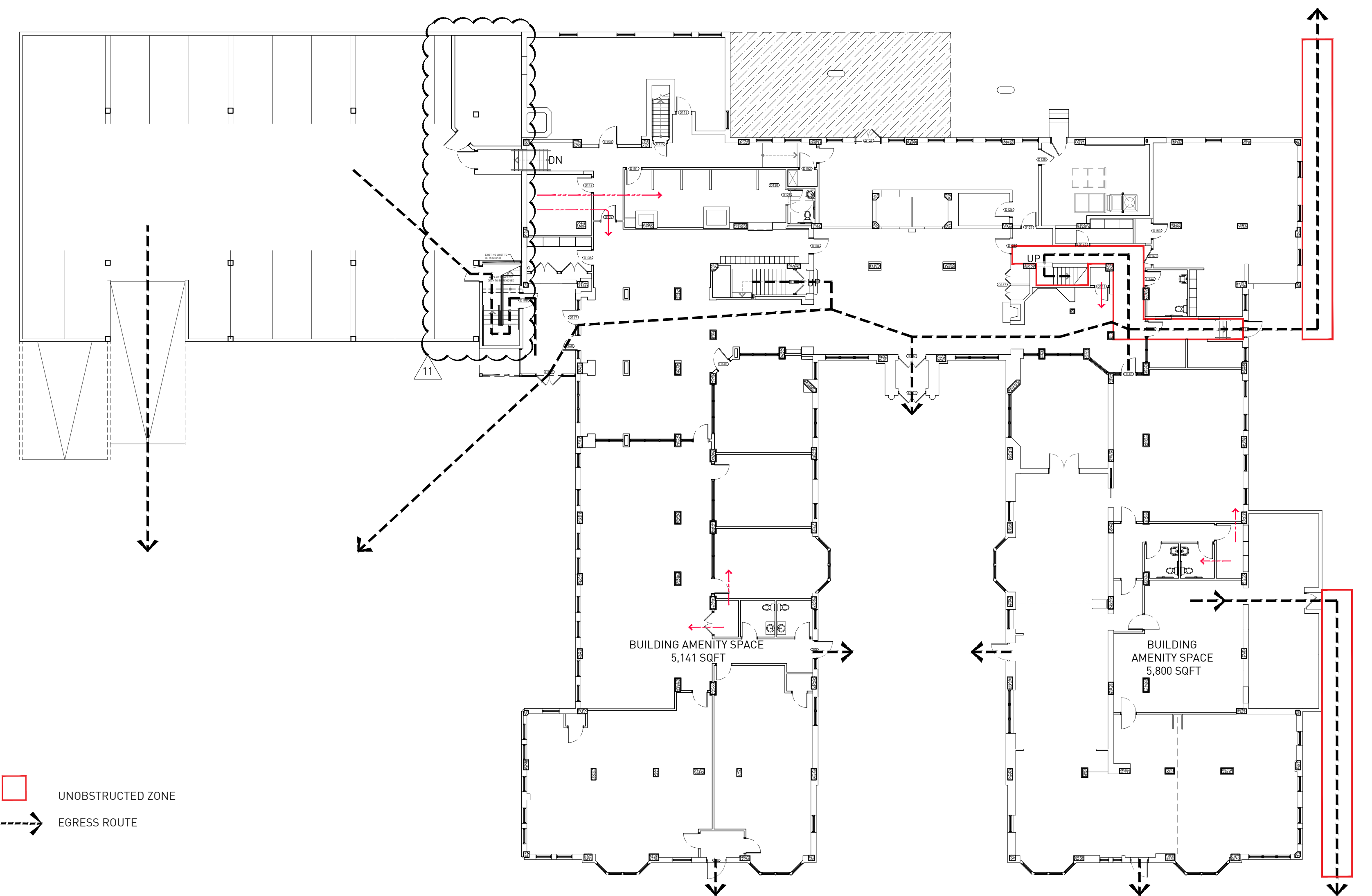
M-000	MECHANICAL SHEET INDEX, LEGEND, GENERAL NOTES
M-001	MECHANICAL SPECIFICATIONS
M-002	MECHANICAL SPECIFICATIONS
M-003	MECHANICAL SPECIFICATIONS
MD-101	FIRST FLOOR DEMOLITION PLAN - MECHANICAL
MD-102	SECOND FLOOR DEMOLITION PLAN - MECHANICAL
MD-103	TYPICAL FLOOR (3-7) DEMOLITION PLAN - MECHANICAL
MD-104	PENTHOUSE/ATITIC DEMOLITION PLAN - MECHANICAL
P-101	FIRST FLOOR PLAN - SANITARY/VENT
P-201	FIRST FLOOR PLAN - PLUMBING AND FIRE PROTECTION
P-202	SECOND FLOOR PLAN - PLUMBING AND FIRE PROTECTION
P-203	TYPICAL FLOOR PLAN - PLUMBING AND FIRE PROTECTION
P-204	PENTHOUSE PLAN - PLUMBING
P-300	ENLARGED PLANS - PLUMBING
P-301	ENLARGED PLANS - PLUMBING
P-302	ENLARGED PLANS - PLUMBING
M-101	FIRST FLOOR PLAN - HVAC
M-102	SECOND FLOOR PLAN - HVAC
M-103	TYPICAL FLOOR PLAN - HVAC
M-104	ATTIC PLAN - HVAC
M-105	PENTHOUSE/ROOF PLAN - MECHANICAL
M-200	ENLARGED PLANS - HVAC
M-201	ENLARGED PLANS - HVAC
M-202	ENLARGED PLANS - HVAC
M-301	MECHANICAL SCHEDULES
M-302	MECHANICAL SCHEDULES AND DETAILS
M-401	EXHAUST DUCT RISERS

#### MECHANICAL AND PLUMBING ENGINEERING SHEETS

E-100	SITE PLAN - ELECTRICAL
ED-101	FIRST FLOOR PLAN - ELECTRICAL
ED-102	SECOND FLOOR PLAN - ELECTRICAL
ED-103	TYPICAL DEMOLITION FLOOR PLAN - ELECTRICAL
ED-104	PENTHOUSE/ROOF PLAN - DEMOLITION
E-201	FIRST FLOOR PLAN - LIGHTING
E-202	SECOND FLOOR PLAN - LIGHTING
E-203	TYPICAL FLOOR PLAN - LIGHTING
E-204	PENTHOUSE/ROOF PLAN - LIGHTING
E-301	FIRST FLOOR PLAN - POWER
E-302	SECOND FLOOR PLAN - POWER
E-303	TYPICAL FLOOR PLAN - POWER
E-304	PENTHOUSE/ROOF PLAN - POWER
E-400	ENLARGED UNIT PLANS - ELECTRICAL
E-401	ENLARGED UNIT PLANS - ELECTRICAL
E-402	ENLARGED UNIT PLANS - ELECTRICAL
E-500	ELECTRICAL DETAILS
E-601	ELECTRICAL SPECIFICATIONS
E-602	ELECTRICAL SPECIFICATIONS

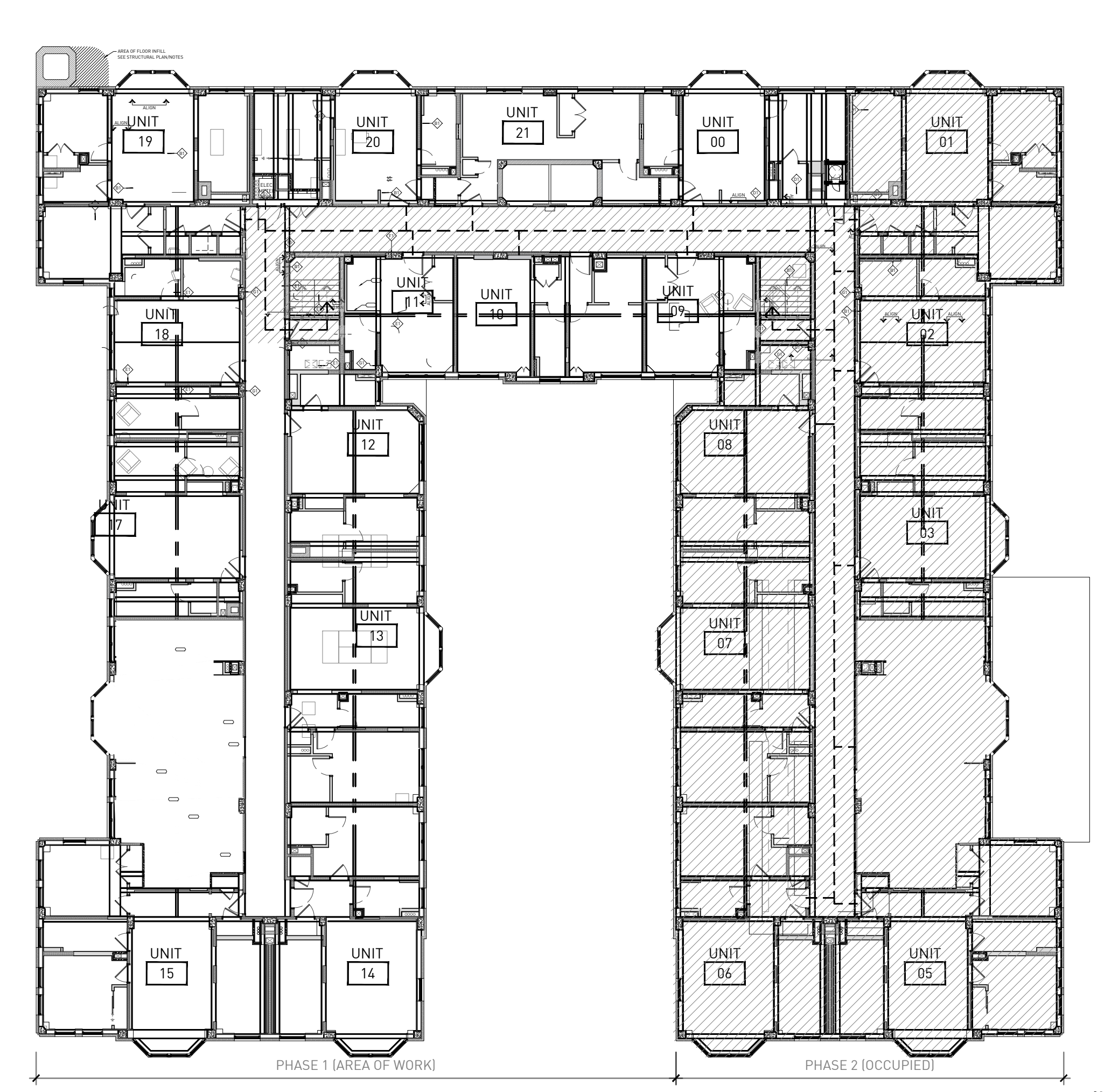
E-001	ELECTRICAL LEGEND, SHEET INDEX, TABLES, AND GENERAL NOTES
E-002	ELECTRICAL RISER DIAGRAM
E-003	WIRE AND LIGHTING FIXTURE SCHEDULE AND CONTROL MATRIX
E-004	ELECTRICAL PANEL SCHEDULES
E-005	ELECTRICAL PANEL SCHEDULES

**CONTRACTOR NOTE**  
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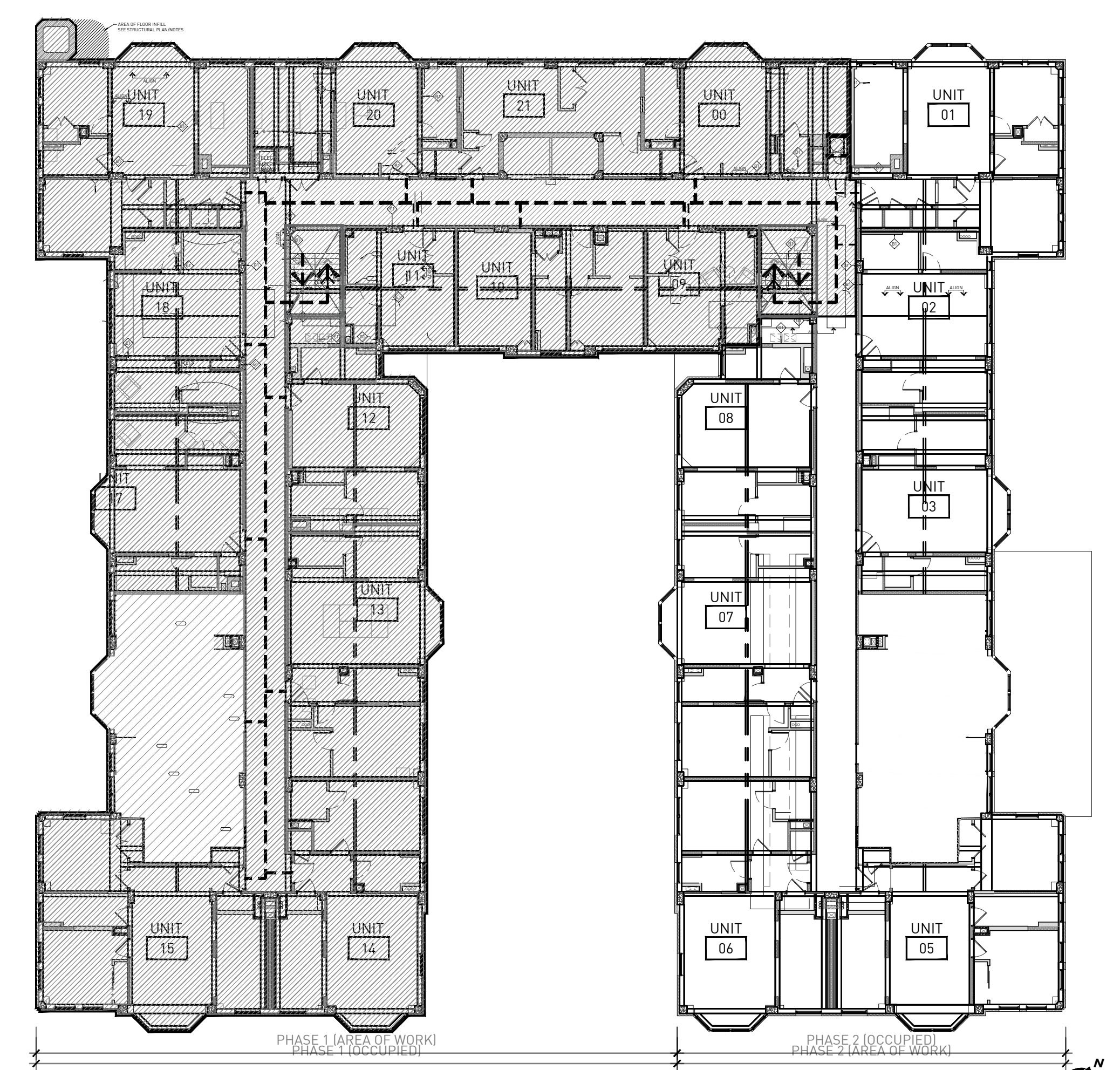


UNOBSTRUCTED ZONE  
EGRESS ROUTE

1 PHASE 1 - AREA OF WORK AND EGRESS (FIRST LEVEL)  
ORIGINAL DRAWING SCALE: 1/16" = 1'-0"



2 PHASE 1 - AREA OF WORK AND EGRESS (TYPICAL LEVEL)  
ORIGINAL DRAWING SCALE: 1/16" = 1'-0"



3 PHASE 2 - AREA OF WORK AND EGRESS (TYPICAL LEVEL)  
ORIGINAL DRAWING SCALE: 1/16" = 1'-0"

PROJECT INFORMATION		
<b>PROJECT ADDRESS:</b> 700 SEWARD ST, DETROIT, MI 48202		
<b>PARCEL NUMBERS:</b> 04001857-9		
<b>LEGAL DESCRIPTION</b> N SEWARD E 26.50 FT & 5 THRU 1 BLK 6 BECKS SUB L4 P59 PLATS, W C R 4/78 270 X 175.22		
<b>PROJECT DESCRIPTION</b> MULTI-FAMILY RESIDENTIAL		
<b>APPLICABLE CODES:</b>		
1. 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS		
2. 2015 MICHIGAN MECHANICAL CODE		
3. 2017 MICHIGAN ELECTRICAL CODE		
4. 2015 MICHIGAN PLUMBING CODE		
5. DETROIT ELEVATOR CODE - CURRENT EDITION		
6. NFPA 101 - CURRENT EDITION		
<b>HANDICAP REQUIREMENTS:</b> 2 UNITS ARE REQUIRED. SEE SHEET A-103.12 AND A-103.13		
<b>ZONING DATA</b> ZONING DISTRICT: R5 SPR2019-00013		
<b>BUILDING DATA:</b>		
<b>TYPE OF CONSTRUCTION:</b> 1B. POURED-IN-PLACE CONCRETE FLOORS, ROOF AND COLUMN STRUCTURE; MASONRY LOAD BEARING EXTERIOR WALLS, CLAY TILE BLOCK WITH PLASTER INTERIOR STAIRWELL WALLS AND UNIT DEMISING WALLS.		
<b>SPRINKLERED</b> NO		
<b>STORIES:</b> 7, ALL ABOVE GRADE		
<b>BUILDING HEIGHTS</b>	<b>FROM GRADE</b>	<b>CEILING HEIGHT</b>
FIRST LEVEL	+ 2'-0"	9'-0"
SECOND LEVEL	+13'-0"	9'-0"
THIRD LEVEL	+22'-10"	9'-0"
FOURTH LEVEL	+32'-8"	9'-0"
FIFTH LEVEL	+42'-6"	9'-0"
SIXTH LEVEL	+52'-4"	9'-0"
SEVENTH LEVEL	+62'-2"	9'-0"
PENTHOUSE LEVEL	+76'-4"	
<b>BUILDING AREAS</b>		
GROSS	131,779 SQFT	
FIRST FLOOR		
GROSS	19,588 SQFT	
COMMON SPACE	7,759 SQFT	
UTILITY/BACK OF HOUSE	1,778 SQFT	
BUILDING AMENITY SPACE	1,094 SQFT	
TYPICAL FLOOR (6 FLOORS)		
GROSS	17,964 SQFT	
UNIT 00	499 SQFT	
UNIT 01	804 SQFT	
UNIT 02	493 SQFT	
UNIT 03	533 SQFT	
UNIT 04	780 SQFT	
UNIT 05	849 SQFT	
UNIT 06	720 SQFT	
UNIT 07	782 SQFT	
UNIT 08	482 SQFT	
UNIT 09	288 SQFT	
UNIT 10	520 SQFT	
UNIT 11	288 SQFT	
UNIT 12	487 SQFT	
UNIT 13	782 SQFT	
UNIT 14	730 SQFT	
UNIT 15	849 SQFT	
UNIT 16	780 SQFT	
UNIT 17	533 SQFT	
UNIT 18	493 SQFT	
UNIT 19	804 SQFT	
UNIT 20	499 SQFT	
UNIT 21	379 SQFT	
COMMON SPACE/EXTERIOR WALL	4585 SQFT	
BASEMENT		
GROSS	2457 SQFT	
PENTHOUSE LEVEL		
GROSS	1958 SQFT	
PENTHOUSE UNIT	974 SQFT	
BOILER ROOM	412 SQFT	
COMMON SPACE/EXTERIOR WALL	572 SQFT	
OUTDOOR SEATING SPACE		
GROSS	1224 SQFT	
WEST	581 SQFT	
EAST	645 SQFT	
<b>EXISTING PARKING SPACES:</b>		
EXISTING PARKING GARAGE ON GRADE	39	
TOTAL	40	
<b>REQUIRED PARKING SPACES</b>		
*MULTIFAMILY = 0.75 PARKING SPACES/UNIT		
RESIDENTIAL	137 UNITS X 0.75	103
UTILITY/BACK OF HOUSE	1778 SF/200 SF = 9 SPACES X 0.75	7
BUILDING AMENITIES (ONLY FOR BUILDING RESIDENTS)	0	
REQUIRED PARKING SPACES		110
<b>BUILDING OCCUPANCY</b>		
FIRST FLOOR OFFICE SPACE = _ SF/100 SF PER PERSON	_ PPL	
UTILITY/BACK OF HOUSE = 1778 SF/300 SF PER PERSON	6 PPL	
TYPICAL RESIDENTIAL FLOOR	17964 SQFT/200 SF PER PERSON (137 UNITS)	89 PPL
<b>EGRESS WIDTH</b>		
2 MEANS OF EGRESS PER FLOOR		
2" PER OCCUPANT X 89 = 17.8" OF EGRESS WIDTH REQUIRED		
34" EGRESS WIDTH PROVIDED		
<b>PERFORMANCE COMPLIANCE METHOD</b>		
PLEASE REVIEW CALCULATIONS PER CHAPTER 14 OF THE MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS, AS UPLOADED IN THE DOCUMENTS FOLDER.		

700 SEWARD  
700 SEWARD AVE, DETROIT, MI 48202  
RAMP REMOVAL / STAIR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
1.	02.15.2019	SITE PLAN REVIEW
2.	04.22.2019	HISTORIC DISTRICT COMMISSION REVIEW
3.	05.15.2019	PRESERVATION TAX CREDIT REVIEW
4.	05.22.2019	ENGINEERING COORDINATION
5.	06.04.2019	PRESERVATION TAX CREDIT REVIEW
6.	06.25.2019	BIDDING
7.	07.08.2019	PERMIT REVIEW
8.	09.25.2019	MEP COORDINATION
9.	11.08.2019	PERMIT REVIEW REVISIONS
10.	11.14.2019	MEP COORDINATION
11.	11.12.2020	RAMP REMOVAL / STAIR CONSTRUCTION

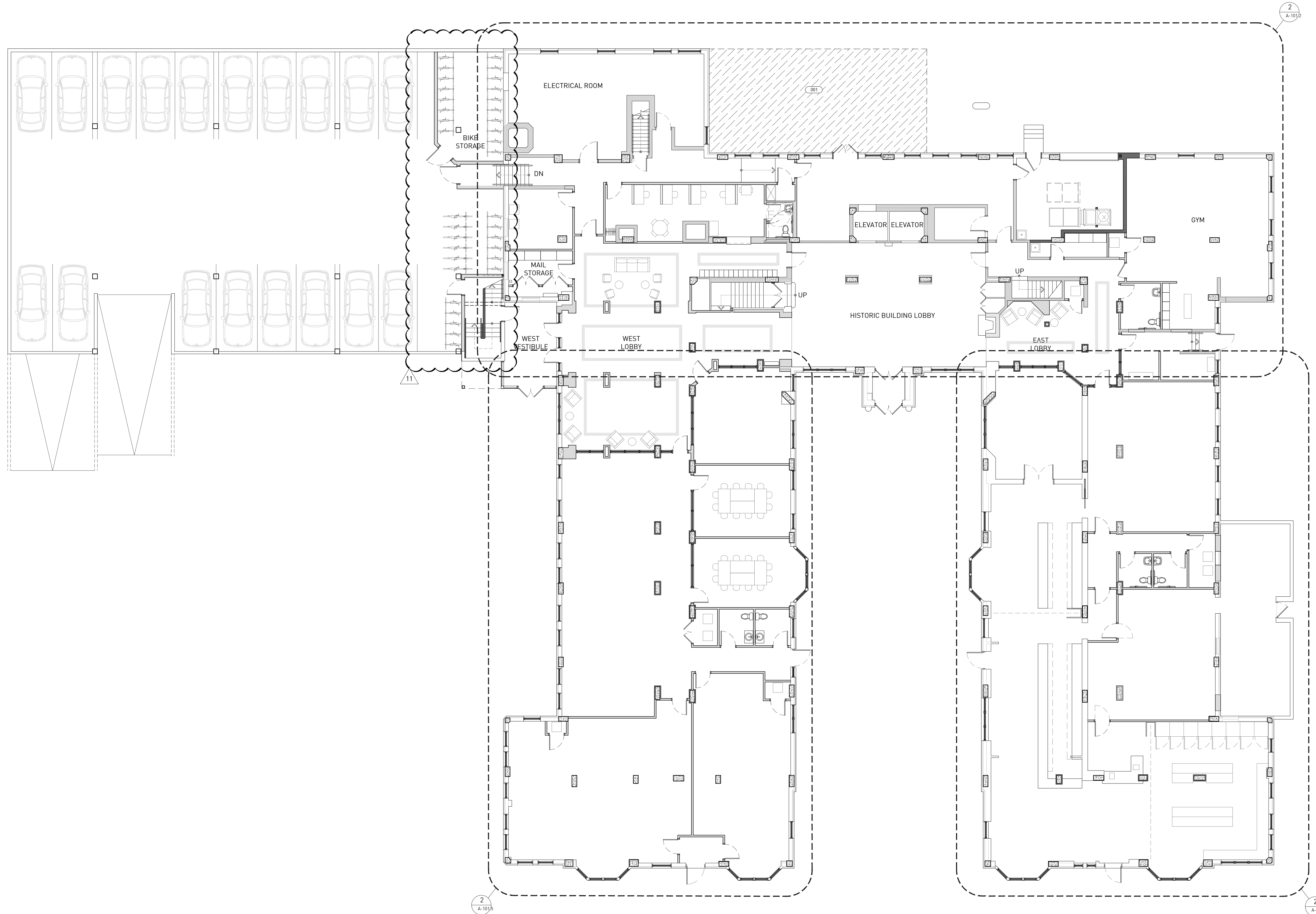
CODE SHEET

G-001

**ARCHITECTURE KEY NOTES**

NOTES ARE SPECIFIC TO THIS SHEET

- 001 COAL ROOM BELOW GRADE TO BE CONCRETE MASONRY BLOCK ENCLOSED, ROOF DEMOLISHED, FLOOR DEMOLISHED, ENGINEERED FILL TO GRADE, PAVING INSTALLED PER SITE PLAN.



1 **FIRST LEVEL ARCHITECTURE PLAN**  
ORIGINAL DRAWING SCALE: 3/32" = 1'-0"



CHRISTIAN HURTTIENNE ARCHITECTS  
2111 WOODWARD AVENUE, #201, MI 48201  
313.825.2005 CHA-C.COM

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FIRST LEVEL ARCHITECTURE PLAN

DRAWING NO. **A-101**

CONTRACTOR NOTE  
MECHANICAL ENGINEER  
STRUCTURAL ENGINEER

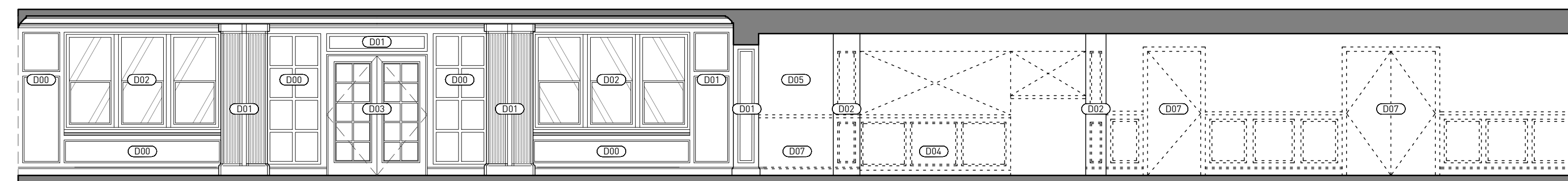


### SYMBOLS

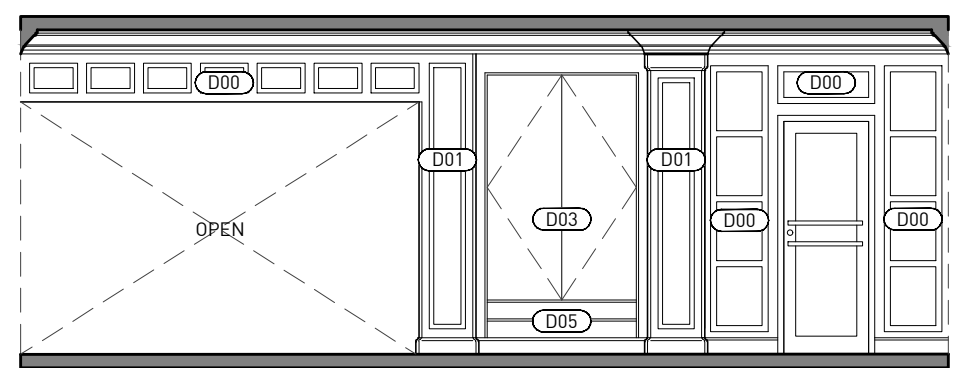
- EXISTING WALL OR FINISH TO BE REMOVED - REFER TO NOTE
- PARALLEL DASHED LINES INDICATE EXISTING PARTITION, OR PORTION THEREOF, TO BE REMOVED.
- SINGULAR ELEMENT, OR PORTION OF ASSEMBLY, TO BE REMOVED.
- PARALLEL LINES INDICATE EXISTING PARTITION, OR PORTION THEREOF, TO REMAIN.
- SINGULAR ELEMENT, OR PORTION OF ASSEMBLY, TO REMAIN.

### DEMOLITION KEY NOTES

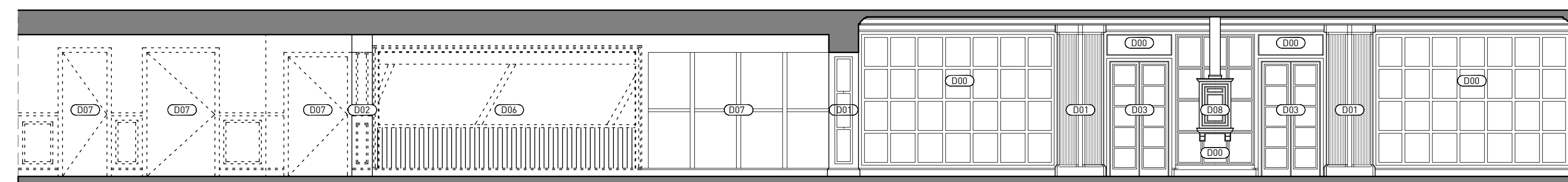
- GENERAL NOTES:**
- EXISTING BASE BOARD, CROWN MOLDING, CHAIR RAIL AND ALL TRIM PIECES TO REMAIN UNLESS ILLUSTRATED OR NOTED DIFFERENTLY.
  - EXISTING DECORATIVE WOOD PANELS TO REMAIN UNLESS OTHERWISE NOTED.
  - EXISTING WINDOWS AND ASSOCIATED TRIM TO REMAIN UNLESS OTHERWISE NOTED.
  - EXISTING COLUMNS AND ASSOCIATED TRIM TO REMAIN UNLESS OTHERWISE NOTED.
  - EXISTING DOORS AND ASSOCIATED TRIM TO REMAIN UNLESS OTHERWISE NOTED.
- D00 EXISTING DECORATIVE WOOD PANELING TO BE SANDED AND REFINISHED
  - D01 COLUMNS WITH EXISTING DETAILS ARE TO BE SANDED AND REFINISHED TO MATCH ORIGINAL CONDITION
  - D02 EXISTING COLUMN TO REMAIN. DECORATIVE DETAILING ALONG WITH ANY LOOSE MATERIAL TO BE REMOVED. TYPICAL 8 LOCATIONS.
  - D03 EXISTING DOOR(S) ARE TO BE SANDED AND REFINISHED TO MATCH ORIGINAL CONDITION.
  - D04 EXISTING KIOSK, DECORATIVE FINISHES, AND SOFFIT ABOVE TO BE REMOVED.
  - D05 EXISTING STAIRS TO REMAIN.
  - D06 GLASS AND HALF WALL TO BE REMOVED.
  - D07 EXISTING DOOR, TRIM, AND PANELING TO BE REMOVED
  - D08 EXISTING NEWS PAPER RACKS TO REMAIN.
  - D09 EXISTING DECORATIVE MAIL BOX TO REMAIN.
  - D10 EXISTING FIREPLACE TO REMAIN
  - D11 REMOVE ALL FIXTURES AND FLOOR AND WALL TILE FINISHES DOWN TO SUBSTRATE IN BATHROOMS
  - D12 REMOVE EXISTING DROP CEILING TO EXPOSE VAULTED PLASTER CEILING. PATCH AND REPAIR ANY HOLES MADE IN PLASTER FINISH.
  - D13 DEMOLISH EXISTING SOFFITS
  - D14 REMOVE ALL EXISTING FLOOR TILE DOWN TO SUBFLOOR
  - D15 DEMOLISH PORTION OF EXISTING MASONRY WALL IN PREPARATION FOR INSTALLATION OF NEW 8'-0" X 8'-0" OVERHEAD GARAGE DOOR.
  - D16 REMOVE EXISTING SECURITY GATE
  - D17 REMOVE EXISTING DROP CEILING



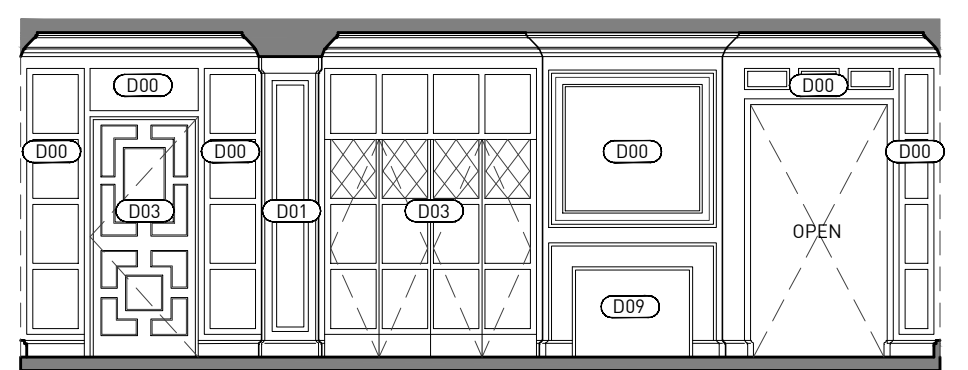
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ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



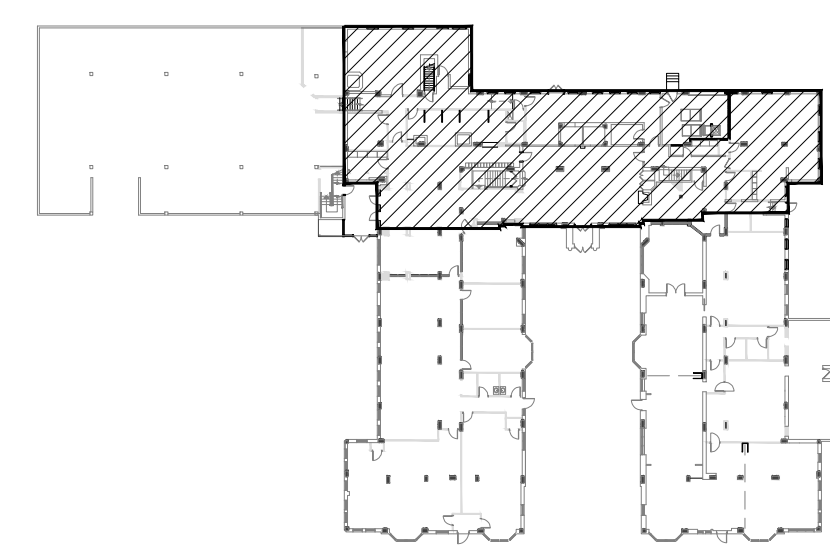
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ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



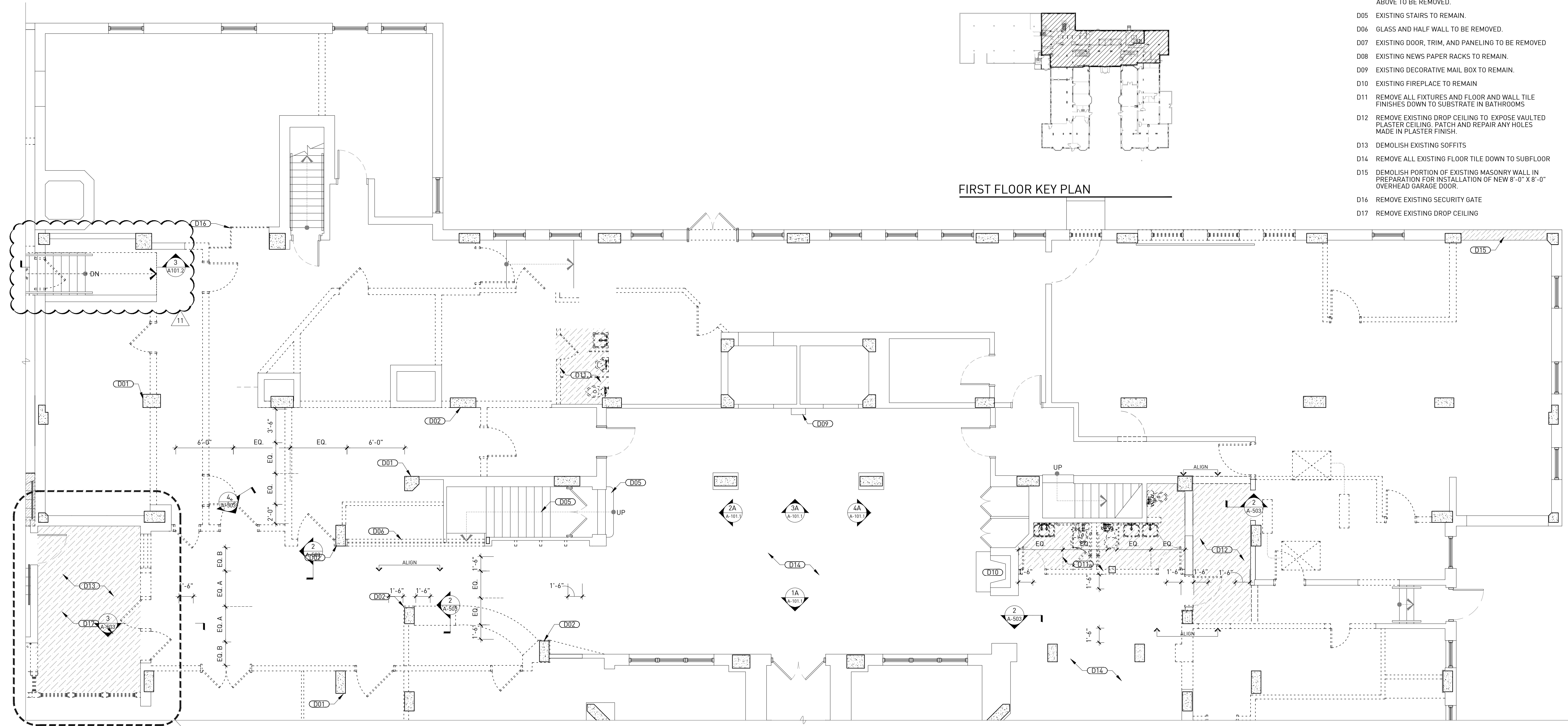
3A INT. ELEVATION [EXIST/DEMO]  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



4A INT. ELEVATION [EXIST/DEMO]  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



FIRST FLOOR KEY PLAN



5 ENLARGED FIRST LEVEL DEMO PLAN  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

**700 SEWARD**  
 700 SEWARD AVE, DETROIT, MI 48202  
**RAMP REMOVAL / STAIR CONSTRUCTION**

REVISIONS	DATE	DESCRIPTION
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11	11.12.2020	RAMP REMOVAL / STAIR CONSTRUCTION



ENLARGED FIRST LEVEL DEMO PLAN

**A-101.1**

## STRUCTURAL KEY NOTES

- S01 NEW 4x4 HSS COLUMNS AT EACH SIDE OF TRASH CHUTE CENTERED ON EXISTING CONCRETE BEAMS ABOVE
- S02 NEW STEEL BEAM BETWEEN EXISTING CONCRETE BEAM ABOVE
- S03 HSS 6 X 4 X 5/16 WITH 9" X 12" X 1/2" BASE PLATE (SEE DETAIL X/A-503 FOR BASE PLATE ATTACHMENT)
- S04 NEW W8 X 18 LINTEL
- S05 NEW C8 X 11.5 POST

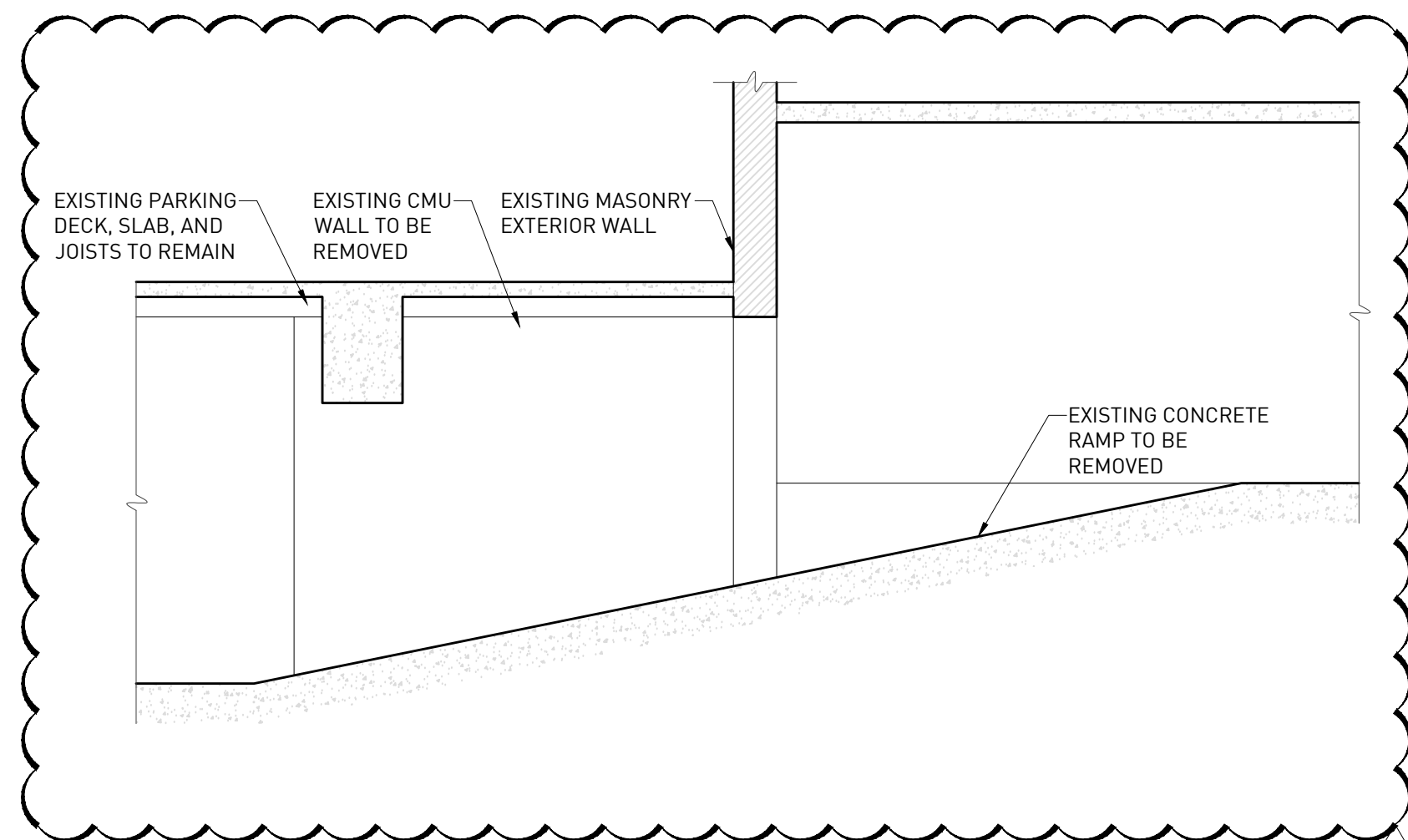
## SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

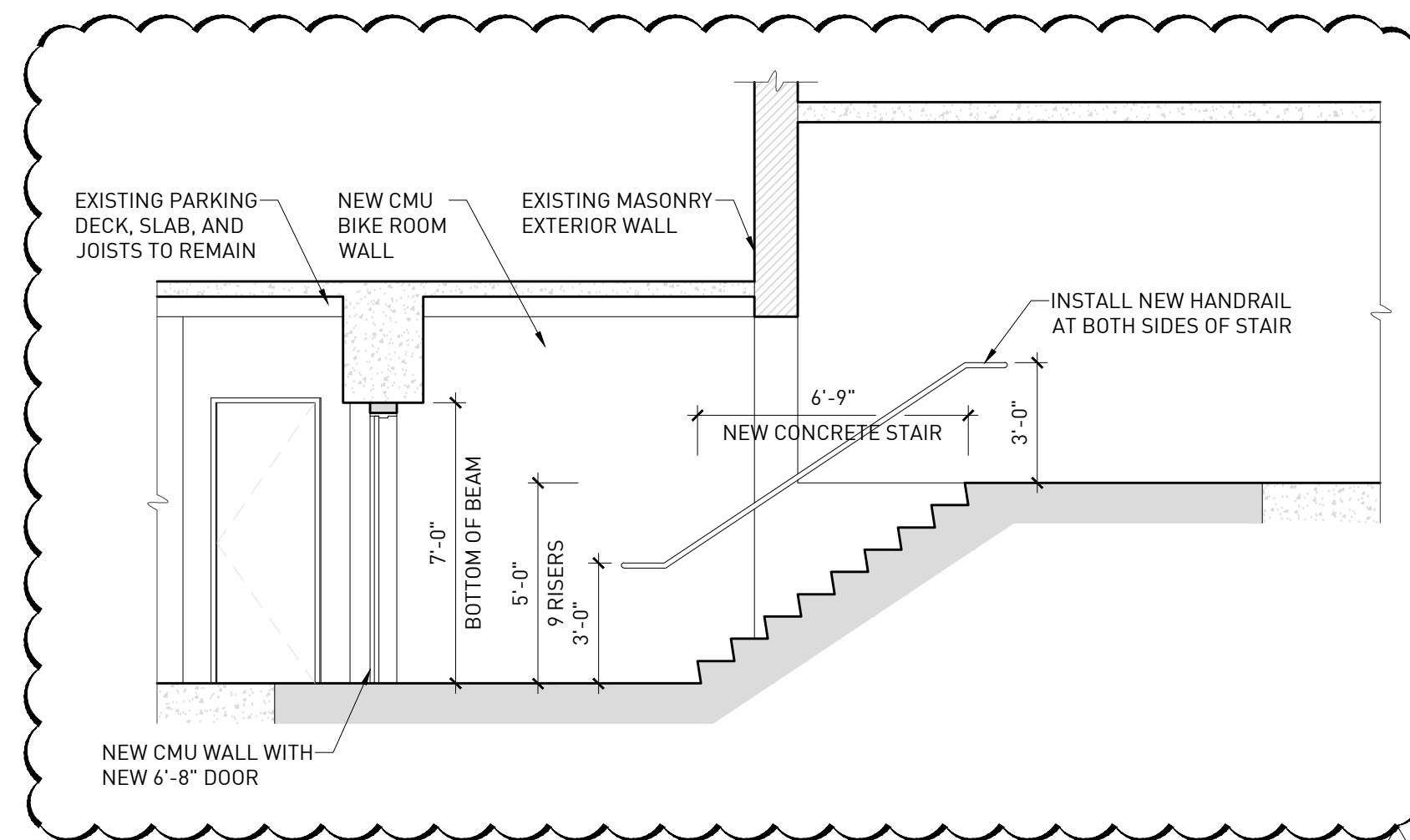
- EXISTING EXTERIOR MASONRY WALL CONSTRUCTION SEE DETAIL A1/A-503
- EXISTING INTERIOR MASONRY WALL CONSTRUCTION SEE DETAIL D1/A-503
- NEW MASONRY WALL CONSTRUCTION SEE DETAIL D1/A-503
- NEW WOOD WALL CONSTRUCTION SEE DETAILS B/A-503
- NEW 2-HR FIRE RATED WALL CONSTRUCTION SEE DETAIL C1/A-503

## ARCHITECTURAL KEY NOTES

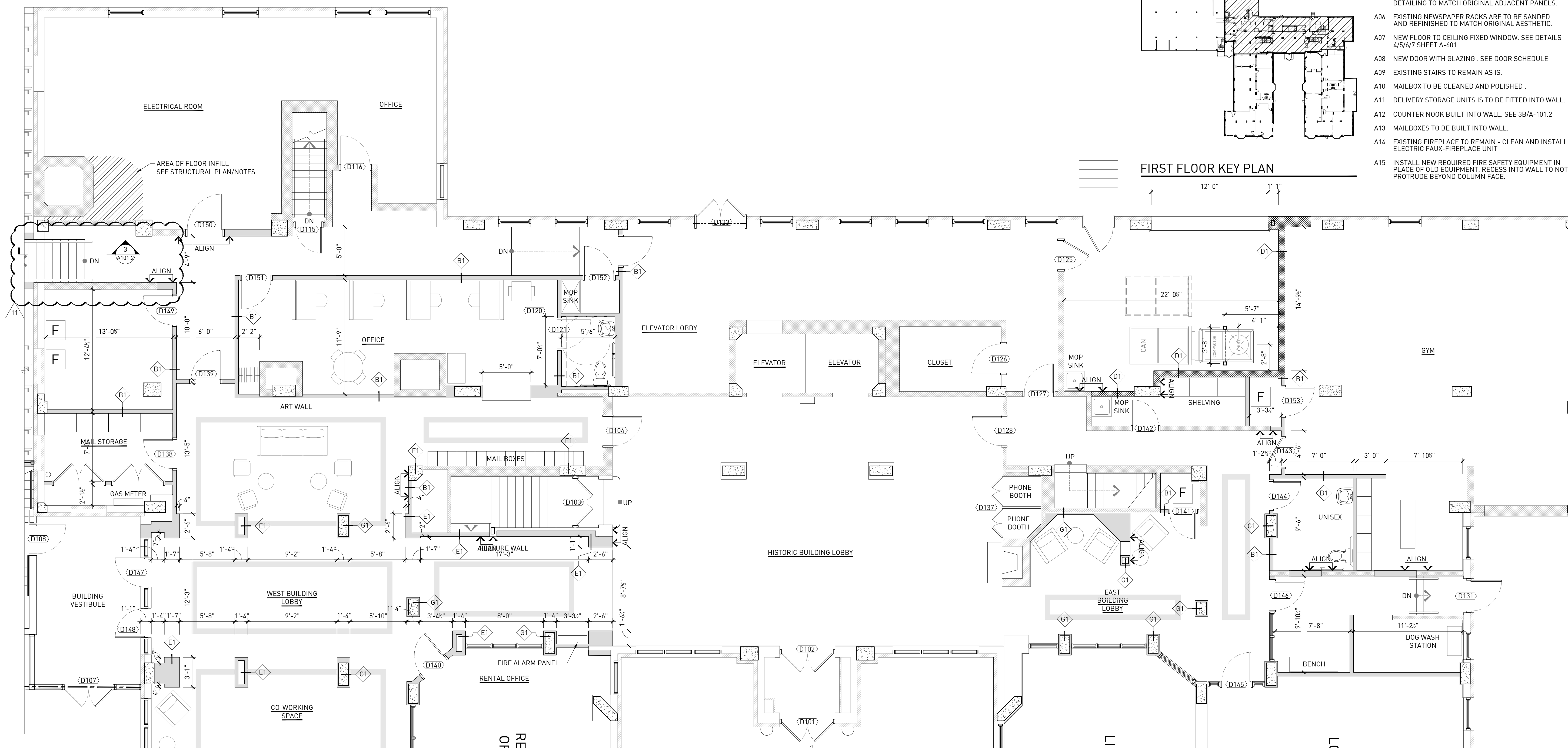
- GENERAL NOTES:**
1. ALL EXISTING BASEBOARD, CROWN MOLDING, CHAIR RAIL AND OTHER TRIM ARE TO BE SANDED AND REFINISHED TO MATCH ORIGINAL CONDITION.
  2. FOR ALL NEW BASEBOARD, CROWN MOLDING, CHAIR RAIL AND OTHER TRIM SPECIFICATION REFERENCES PAGE A-503.
- A00 EXISTING DECORATIVE WOOD PANELS ARE TO BE SANDED AND REFINISHED.
  - A01 COLUMNS WITH EXISTING DETAILS ARE TO BE SANDED AND REFINISHED TO MATCH ORIGINAL CONDITION.
  - A02 EXISTING DOOR(S) ARE TO BE SANDED AND REFINISHED TO MATCH ORIGINAL CONDITION.
  - A03 NEW DRYWALL AND BASEBOARD ARE TO BE SANDED AND FINISHED TO MATCH ORIGINAL CONDITION.
  - A04 NEW WOOD PANELS ARE TO BE SANDED AND FINISHED TO MATCH ADJACENT ORIGINAL WOOD PANELING IN ORIGINAL CONDITION.
  - A05 EXISTING COLUMNS ARE TO HAVE NEW DECORATIVE DETAILING TO MATCH ORIGINAL ADJACENT PANELS.
  - A06 EXISTING NEWSPAPER RACKS ARE TO BE SANDED AND REFINISHED TO MATCH ORIGINAL AESTHETIC.
  - A07 NEW FLOOR TO CEILING FIXED WINDOW. SEE DETAILS 4/5/6/7 SHEET A-601
  - A08 NEW DOOR WITH GLAZING - SEE DOOR SCHEDULE
  - A09 EXISTING STAIRS TO REMAIN AS IS.
  - A10 MAILBOX TO BE CLEANED AND POLISHED.
  - A11 DELIVERY STORAGE UNITS IS TO BE FITTED INTO WALL.
  - A12 COUNTER NOOK BUILT INTO WALL. SEE 3B/A-101.2
  - A13 MAILBOXES TO BE BUILT INTO WALL.
  - A14 EXISTING FIREPLACE TO REMAIN - CLEAN AND INSTALL ELECTRIC FAUX-FIREPLACE UNIT
  - A15 INSTALL NEW REQUIRED FIRE SAFETY EQUIPMENT IN PLACE OF OLD EQUIPMENT. RECESS INTO WALL TO NOT PROTRUDE BEYOND COLUMN FACE.



2 EXISTING RAMP SECTION  
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



3 PROPOSED STAIR SECTION  
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



FIRST FLOOR KEY PLAN

1 ENLARGED FIRST LEVEL ARCHITECTURE PLAN (PROPOSED)  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

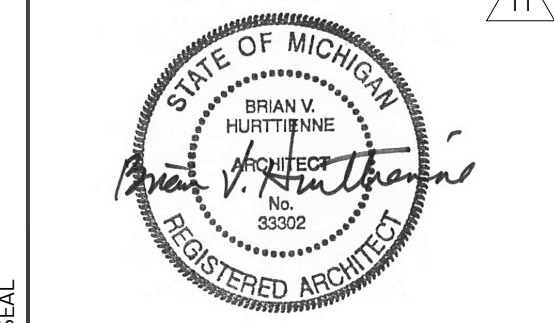
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STRUCTURAL ENGINEER

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700 SEWARD  
700 SEWARD AVE, DETROIT, MI 48202  
RAMP REMOVAL / STAIR CONSTRUCTION

DATE	DESCRIPTION
02-15-2019	SITE PLAN REVIEW
04-22-2019	HISTORIC DISTRICT COMMISSION REVIEW
05-15-2019	PRESERVATION TAX CREDIT REVIEW
05-22-2019	ENGINEERING COORDINATION
06-04-2019	PRESERVATION TAX CREDIT REVIEW
06-25-2019	BIDDING
07-08-2019	PERMIT REVIEW
08-25-2019	MEP COORDINATION
11-08-2019	PERMIT REVIEW REVISIONS
11-14-2019	MEP COORDINATION
11-11-2020	RAMP REMOVAL / STAIR CONSTRUCTION



ENLARGED FIRST LEVEL ARCHITECTURE PLAN PROPOSED

A-101.2



CONTRACTOR NOTE  
 ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITH THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO, TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



### LEGEND

- MASONRY
- NEW STUCCO
- EXISTING LIMESTONE

### GENERAL NOTES

1. MASONRY REPAIR (POINTING/BRICK REPLACEMENT)
2. PANEL REPLACEMENT

### ELEVATION NOTES

- EL-1 EXISTING PTEK GRILL TO BE REPLACED WITH NEW UNITS OF SAME SIZE
- EL-2 NEW PTEK GRILL LOCATION
- EL-3 WINDOW TO DOOR
- EL-4 WINDOW/DOOR REPLACEMENT
- EL-5 BALUSTER RECONSTRUCTION
- EL-6 LINTEL OR SILL LIMESTONE REPLACEMENT
- EL-7 AREA OF NEW BRICK INFILL AND STONE SILL TO MATCH EXISTING



1 SOUTH ELEVATION  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"



2 SOUTH COURTYARD ELEVATION  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"

3 EAST ELEVATION  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"

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10.11.14.2019	MEP COORDINATION



EXTERIOR ELEVATIONS  
 (SOUTH AND EAST)

A-201

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- LEGEND**
- MASONRY
  - NEW STUCCO
  - EXISTING LIMESTONE

- GENERAL NOTES**
1. MASONRY REPAIR (POINTING/BRICK REPLACEMENT)
  2. PANEL REPLACEMENT
- ELEVATION NOTES**
- EL-1 EXISTING PTEK GRILL TO BE REPLACED WITH NEW UNITS OF SAME SIZE
  - EL-2 NEW PTEK GRILL LOCATION
  - EL-3 WINDOW TO DOOR
  - EL-4 WINDOW/DOOR REPLACEMENT
  - EL-5 BALUSTER RECONSTRUCTION
  - EL-6 LINTEL OR SILL LIMESTONE REPLACEMENT
  - EL-7 AREA OF NEW BRICK INFILL AND STONE SILL TO MATCH EXISTING



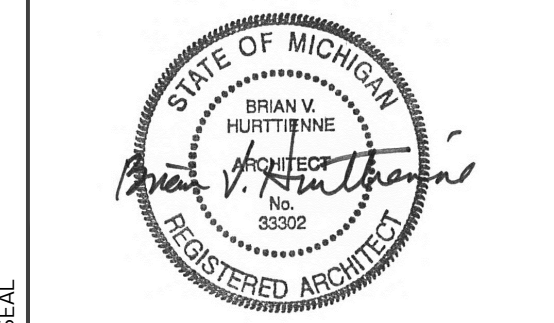
**1 NORTH ELEVATION**  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"



**2 WEST ELEVATION**  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"

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9.	11.08.2019	PERMIT RENEW REVISIONS
10.	11.14.2019	MEP COORDINATION



EXTERIOR ELEVATIONS  
 (NORTH AND WEST)

**A-202**

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### LEGEND

- MASONRY
- NEW STUCCO
- EXISTING LIMESTONE

### GENERAL NOTES

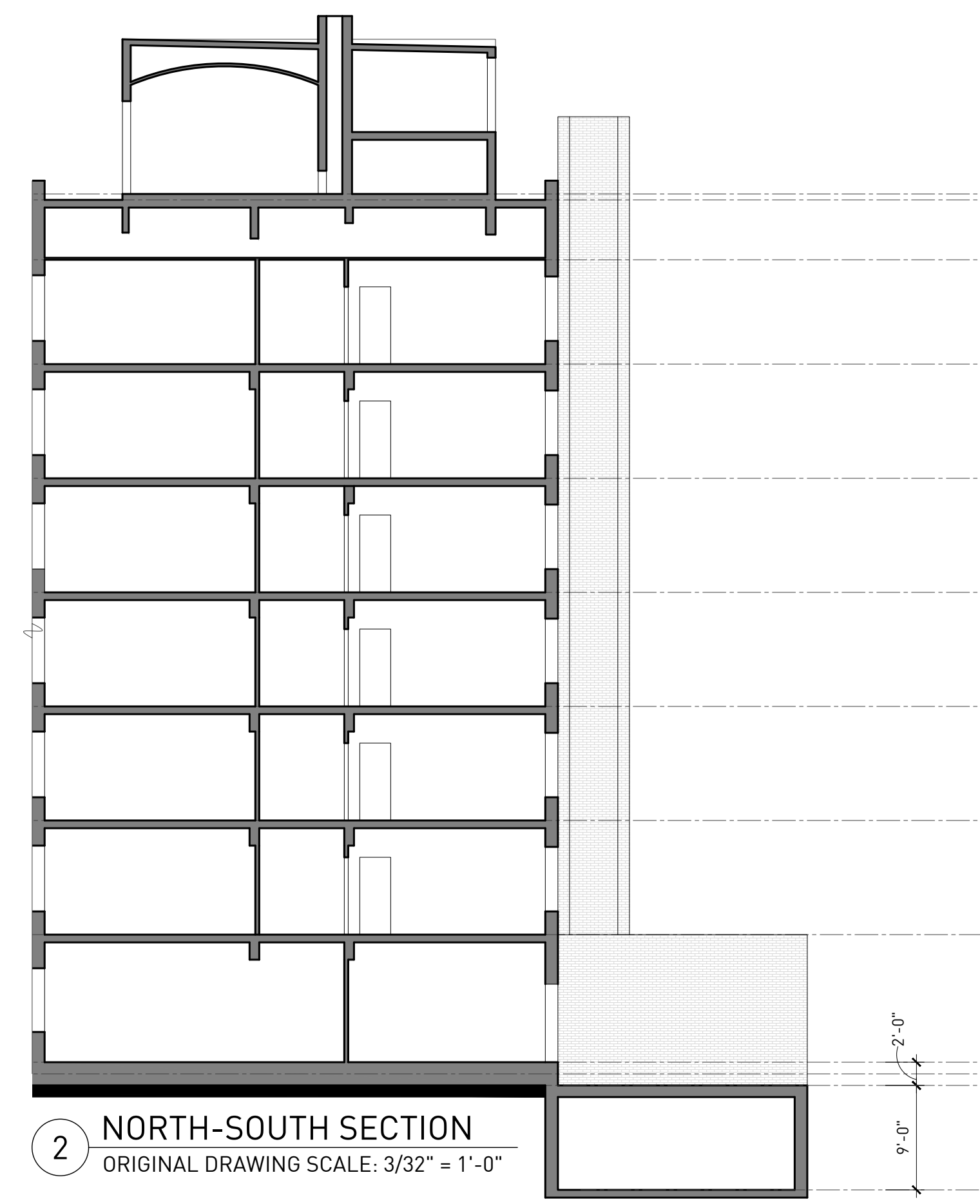
1. MASONRY REPAIR (POINTING/BRICK REPLACEMENT)
2. PANEL REPLACEMENT

### ELEVATION KEY NOTES

- EL-1 EXISTING PTEK GRILL TO BE REPLACED WITH NEW UNITS OF SAME SIZE
- EL-2 NEW PTEK GRILL LOCATION
- EL-3 WINDOW TO DOOR
- EL-4 WINDOW/DOOR REPLACEMENT
- EL-5 BALUSTER RECONSTRUCTION
- EL-6 LINTEL OR SILL LIMESTONE REPLACEMENT
- EL-7 NEW DOOR AND SIDE LITE
- EL-8 REPLICATE LIMESTONE SURROUND FROM ADJACENT FACADE
- EL-9 REPLACE EXISTING WINDOW WITH SWING DOORS



**1 WEST COURTYARD ELEVATION**  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"



**2 NORTH-SOUTH SECTION**  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"



**3 EAST COURTYARD ELEVATION**  
 ORIGINAL DRAWING SCALE: 3/32" = 1'-0"

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EXTERIOR ELEVATIONS (COURTYARD)

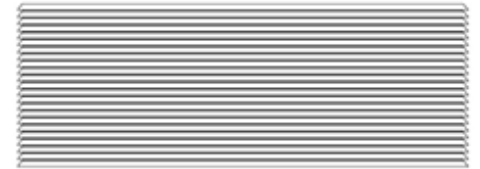
**A-203**



## Outdoor Grilles PTAC Accessories

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Available in stamped-aluminum, extruded aluminum, or in a one-piece molded version for use with any of our WS900D wall sleeve.



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## Features

## SGK

Standard stamped aluminum grille. Available with mill finish or a baked-on paint in Stonewood Beige:

- B (Mill Finish)
- TB (Stonewood Beige)
  
- CB (Clear Anodized)
- DB (Dark Brown/Bronze)
- TB (Stonewood Beige)
- WB (White)
- SB (Special/Custom Colors)
  
- DB (Dark Brown/Bronze)
- TB (Stonewood Beige)
- WB (White)

## AGK

Extruded aluminum architectural grille available with anodized aluminum finish and a baked-on paint finish for durability. Choose from 3 stock colors or a custom color:

## PGK

One-piece injection molded grille using a polymer blend of engineered thermoplastic high-impact strength material with chemical resistance and an exterior UV protective coating. Choose from 3 stock colors:

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## Specification & Literature

**Standard Outdoor Grille****SGK01\*\*****Single Pack****Architectural Grille****AGK01\*\*****Single Pack****Literature(PDF)****Literature(PDF)**

For more information please see:

- [PTAC Grille IO](#)

**PGK01\*\***

**Single Pack**

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<https://www.amana-ptac.com/products/ptac-accessories/outdoor-grilles>

Brendan,

For the upcoming HDC meeting concerning the exterior openings at 700 Seward, enclosed is a photo of the grill (the one on the left), the Amana cut sheet and the color choices.

For the colors, Kristine instructed us to use the Brick Red 1 and White Stone, where they are in areas of either brick or limestone, respectively. FYI, the circled colors are their standard colors, which we are not using.

Please review and let me know of any more information you may need.

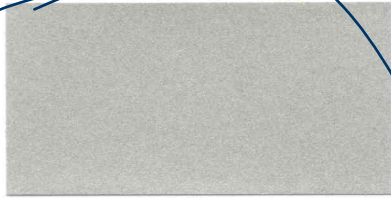
Thanks, Brian



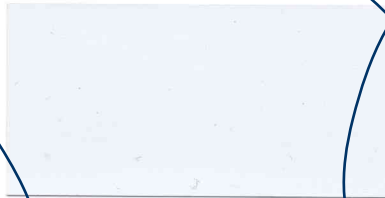
# Architectural Extruded Aluminum Grilles



## Standard Color Chart



CLEAR ANODIZED  
ALUMINUM\*



438  
WHITE\*



11356  
STONEWOOD\*



3006  
OFF WHITE



3009  
WHITE STONE



2781  
DRIFTWOOD



3007  
LITE BRONZE



3008  
MEDIUM BRONZE



3005  
DARK BRONZE\*



3012  
SLATE GRAY



3010  
BRICK RED 3



3011  
BRICK RED 1

\* Stocked color.

Goodman Company, L.P. - Amana brand PTAC Division - 1810 Wilson Parkway, Fayetteville, TN 37334

Custom colors available. Please contact your Amana Representative for details and quotes.