

2/16/2021

CERTIFICATE OF APPROPRIATENESS

Charles McCrary
McCrary Group, LLC
Detroit, MI

RE: Application Number 20-6959; 858 Edison Street, Boston – Edison Historic District

Dear Mr. McCrary,

At the regularly scheduled meeting held virtually on February 10, 2021, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of February 16, 2021.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

- **Demolish the existing rear additions and porch and replace with two-story addition** including the following scope items:
 - **Existing House – Exterior Modifications:**
 - Demolish select existing foundation walls located at the northeast corner (rear) of the house.
 - Demolish all masses at the rear elevation of the house in their entirety.
 - Demolish all rear walls of the main massing of the house in their entirety.
 - Replace two (2) existing non-historic exterior doors with new wood doors (Pella Lifestyle Series).
 - All existing windows on the front (south) façade are to remain and be repaired, scraped, and painted in place.
 - Some windows on the side (east and west) elevations are to remain and be repaired, scraped, and painted in place.
 - All existing windows at both side elevations -- other than the existing windows at the enclosed porch, the two (2) windows flanking the chimney, and the windows at the stair bay -- are to be removed and replaced with new aluminum-clad wood windows (Pella Lifestyle Series). In multiple locations on all floors, infill existing openings and create new openings for new windows.
 - Existing stucco, cedar shake, and wood trim at the existing house are to remain and the only work proposed at the cladding of the existing house is repair of stucco if needed.
 - **Proposed Rear Addition:**
 - Install new 12” concrete foundation to match existing in the footprint of the proposed new addition
 - Erect new 2-story addition at the rear spanning the width of the existing house with a new raised porch at the rear entry and a raised rear deck centered on the rear elevation. The addition is to extend into the rear yard approximately 6’ from the northwestern corner of the existing house.
 - The hipped roof is to be covered in asphalt shingles.
 - Building products and materials proposed for the rear addition include:
 - **Cladding** – Stucco plaster at the first floor to match existing with Hardie “Straight Edge Panel” siding (appearance similar to cedar shake with straight bottom edge). Color of both to match existing color (A1: Yellowish Gray). Painted wood trim is proposed to transition from the existing house to the addition. Paint color will match the existing wood trim on the house.
 - **Windows and Doors** – Pella Lifestyle Series – aluminum – clad wood windows and doors.

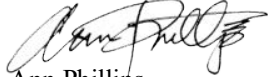
With the following conditions:

- The existing window openings and windows on the side (east and west) elevations are to remain and are to be repaired and restored rather than replaced.
- The existing window openings and windows at the rear dormer of the existing house are to remain and are to be repaired and restored rather than replaced.
- The existing cedar shake, stucco, and painted wood trim at the front and side elevations of the existing house are to remain and not to be replaced.

- The cladding at the addition is to be a horizontal siding (wood or fiber-cement) with a 4-6" reveal. If the applicant chooses fiber-cement horizontal siding, it is to be smooth in finish.
- Applicant to submit revised cut sheets for the items listed above to HDC staff for review and approval prior to pulling the permit.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips

Staff

Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: September 8, 2020

PROPERTY INFORMATION

ADDRESS: 858 Edison St. AKA: _____

HISTORIC DISTRICT: Boston-Edison Section: 21-2-106

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/ Doors	<input checked="" type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: Charles McCrary COMPANY NAME: McCrary Group, LLC.,

ADDRESS: 858 Edison St. CITY: Detroit STATE: MI ZIP: 48206

PHONE: 313.333.4031 MOBILE: 313.333.4031 EMAIL: charles@mccrarygroup.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO **HDC@DETROITMI.GOV**



Whitfield Residence– 858 Edison St. Detroit, MI 48206



Monday, December 21, 2020

Narrative

This is a re-submittal to the Detroit Historical Commission for this residence in need of major repairs do the lack maintenance over time. This is a great historic neighborhood located at 858 Edison Street, Detroit MI 48206 is in severe deferred maintenance for a building that was constructed approximately 100 years ago. Many of the replace elements i.e. siding, window, and doors are anachronistic to the original residence. We are proposing with this submittal to restore this residence to its original character in nature and allowing it to support a current single-family dwelling.

This report identifies (3) main area as follows:

Description of Existing Exterior Conditions:

- a. The stucco plaster is a primary exterior material used above the modular face brick belt coursing typically on all sides of the home at the base of the residence. (See Stucco Specs attachment.)
- b. Exterior painted 7” wood siding with lapped joints exist on the second level and above – this material is in fair condition. Replace vinyl siding is utilized on the rear to the home that was added by the previous owners.
- c. The residence has a combination of original existing wood and few replacement windows utilizing other materials not original to the home. The first floor windows are scheduled for a full restoration back to its original state. (See Pella attachment.)
- d. There are (3) exterior door on the first floor, none of which appears to original. (See Pella attachment.)
- e. Exterior painted wood trim exists as a transition between the stucco and the wood sidings, also used typically around all doors and all windows.
- f. The concrete front porch and steps are in severe deferred maintenance – we proposed these conditions to be restored.

Description of Project Scope of Work:

- a. *Comment received back from the HDC was instructive; we therefore offer this revised design per those discussion. Consequently the 3rd. Floor was pulled back to its original mass and the 1st. and 2nd. Floor remained with just a 6' foot add on as was previously suggested by Staff.*
- b. *The historic character and elements of existing home is retained. The profile on both the sides of the home are distinctively revealed to not change any of the existing design and features.*
- c. *Proposed the new second roof addition will extent only to the height of the existing second floor roof line.*
- d. *The main portions of the exterior façade on the original front of the home will also remain unchanged. The east, and west facades of the original home will remain largely unaffected.*

Product Specifications:

- a. Provide a standard three-coat portland cement stucco plaster with a cement or an acrylic finish coat on wood stud framing.
- b. Door and windows are specified to be as manufactured by Pella Windows.
- c. Hardie siding manufacturer type “Straight Edge Panel”. (See Hardie attachment.)
- d. Owner recommended exterior color preferences: Match currently colors on the existing home.

(See Benjamin Moore Classic Colors attachment – color match.)

- e. Architect request HDC to advise on recommended colors for the roofing material, gutters and downspouts.

In conclusion this new development proposal is overwhelmingly positive, we the addition and the changes to this remarkable dwelling in an historic community.



Please feel free to contact me personally you request additional information or clarification.

Sincerely,

Charles McCrary

Charles McCrary/President

McCrary Group LLC.

Architects, Engineers, Planners

Charles@mccrarygroup.com

313.333.4031

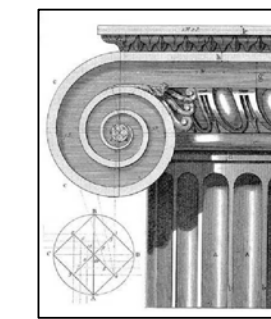
Whitfield Residence

Residential Addition

858 Edison, Detroit MI 48206

DRAWING INDEX:

- A0-00 COVER SHEET
- A0-01 ENGINEERING SURVEY
- A1-01 ARCHITECTURAL SITE PLAN
- A2-00 EXISTING BASEMENT PLAN
- A2-01 EXISTING FIRST FLOOR PLAN
- A2-02 EXISTING SECOND FLOOR PLAN
- A2-03 EXISTING THIRD FLOOR PLAN
- A3-01 FIRST FLOOR PLAN
- A3-02 SECOND FLOOR PLAN
- A3-03 THIRD FLOOR PLAN
- A4-01 EXTERIOR ELEVATIONS
- A5-01 BUILDING DETAILS



McCrory Group, LLC,
Architects / Engineers / Planners

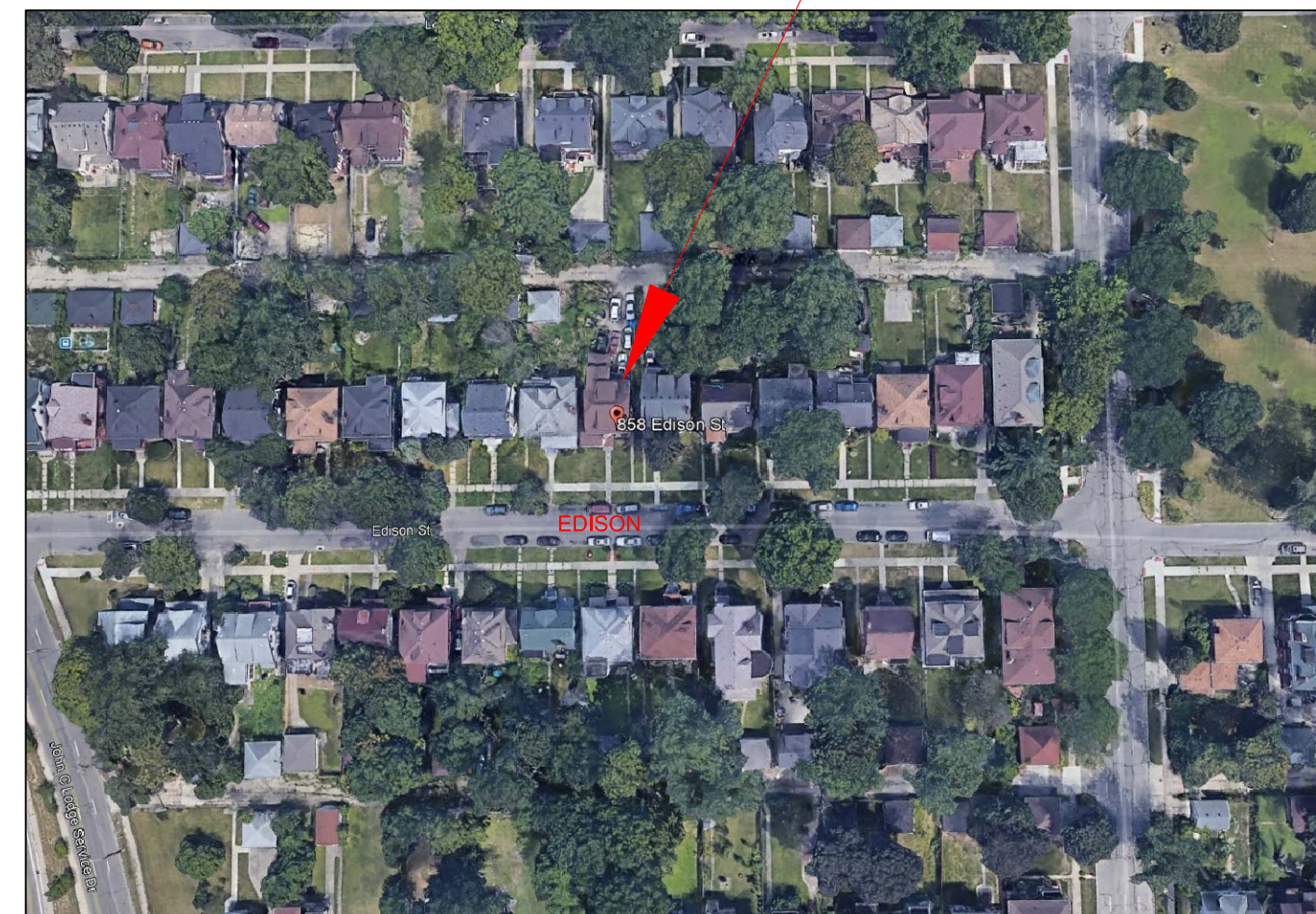
charles@mccrorygroup.com
(313) 333-4031

ISSUED FOR BIDS/CONSTRUCTION
December 12, 2020

COMPLIANCE WITH:
MICHIGAN RESIDENTIAL BUILDING CODE 2015
MICHIGAN PLUMBING CODE 2015
MICHIGAN MECHANICAL CODE 2015
NATIONAL ELECTRICAL CODE 2015

SITE KEY PLAN LOCATION:

858 Edison, Detroit MI 48206



DESIGN APPROVAL SIGN-OFF

Home Owner

Date Issued:

1	ISSUED FOR PERMITS	09-28-2020
2	HDC AND BLDG. PERMITS	09-28-2020
3	HDC AND BLDG. PERMITS	11-11-2020
4	HDC AND BLDG. PERMITS	12-11-2020

PROJECT MGI PROJECT NO.: 12 18 2018

COVER SHEET

DRAWING TITLE

A0-01

DRAWING NO.

REVISION NO.

1

REV DESCRIPTION DATE
DRAWN CHECKED
CEM REW

COPYRIGHT: McCRORY GROUP, LLC.®

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER

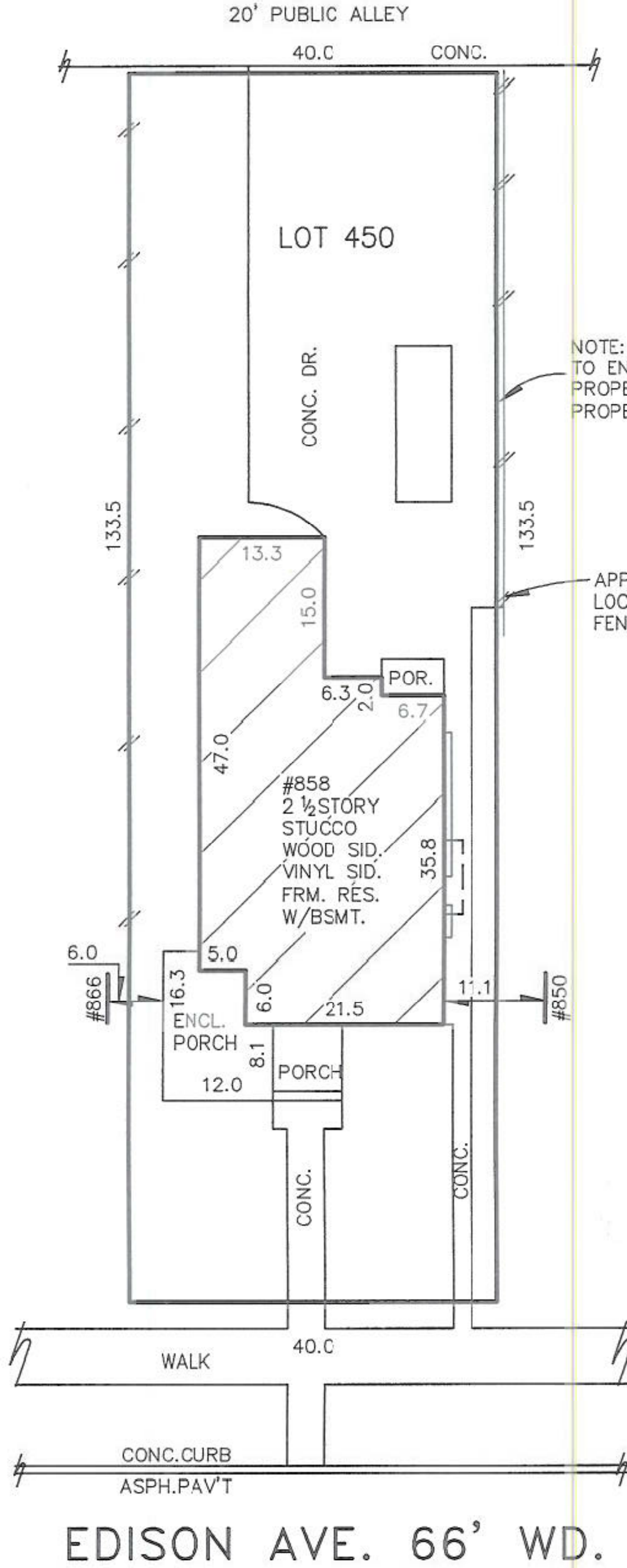
MORTGAGE SURVEY

Certified to: CHARLES DIXON AND ALLYSON K. GUY

Applicant: CHARLES DIXON AND ALLYSON K. GUY

Property Description:

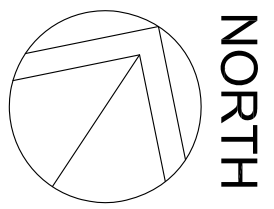
Lot 450; VOIGT PARK SUBDIVISION, of E.W. Voigt's Sub'n., of Voigt Park Farm, part of 1/4 Section 36, 10,000 Acre Tract, City of Detroit, Wayne County, Michigan, as recorded in Liber 22 of Plats, Page 94 of Wayne County Records.



NOTE: CONC. DR. APPEARS TO ENCR. FROM SUBJECT PROPERTY ONTO ADJACENT PROPERTY AS SHOWN.

APPROXIMATE LOCATION OF FENCE & CONC.

NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES, AND TO DETERMINE THE EXACT AMOUNT OF ENCROACHMENT.



ENGINEERING SURVEY

CERTIFICATE: We hereby certify that we have surveyed the above-described property in accordance with the description furnished for the purpose of a mortgage loan to be made by the forementioned applicants, mortgagor, and that the buildings located thereon do not encroach on the adjoining property, nor do the buildings on the adjoining property encroach upon the property heretofore described, except as shown. This survey is not to be used for the purpose of establishing property lines, nor for construction purposes, no stakes having been set at any of the boundary corners.

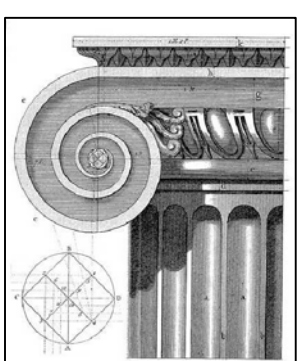
Anthony T. Sycko, Jr.

JOB NO: 20-01244 SCALE: 1"=20'
DATE: 05/28/20 DR BY: AK



THIS SURVEY DRAWING IS VOID IF THE PROFESSIONAL SEAL IS NOT IN BLUE INK.

KEM-TEC PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES
Eastpointe (800) 295.7222 Detroit (313) 758.0677 Ann Arbor (734) 994.0888 Grand Blanc (888) 694.0001
FAX: (586) 772.4048 FAX: (586) 772.4048 FAX: (734) 994.0667 FAX: (810) 694.9955
www.kemtecgroupofcompanies.com



WHITFIELD HISTORIC RESIDENCE

858 Edison Street, Detroit, Michigan 48206

McCrary Group, LLC. charles@mccrarygroup.com
Architectural Design & Engineering p: 313.333.4031

1	BUILDING PERMIT	CM	10-08-2020
2	HDC AND BUILDING PERMIT	CM	10-22-2020
3	HDC AND BUILDING PERMIT	CM	11-11-2020
4	HDC AND BUILDING PERMIT	CM	12-11-2020
REV	DESCRIPTION	BY	DATE
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		CEM	

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

ENGINEERING SURVEY

DRAWING NO.

A0-01

REVISION NO.

1

DATE December 11, 2020

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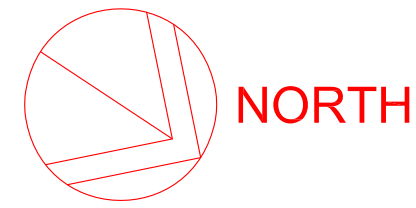
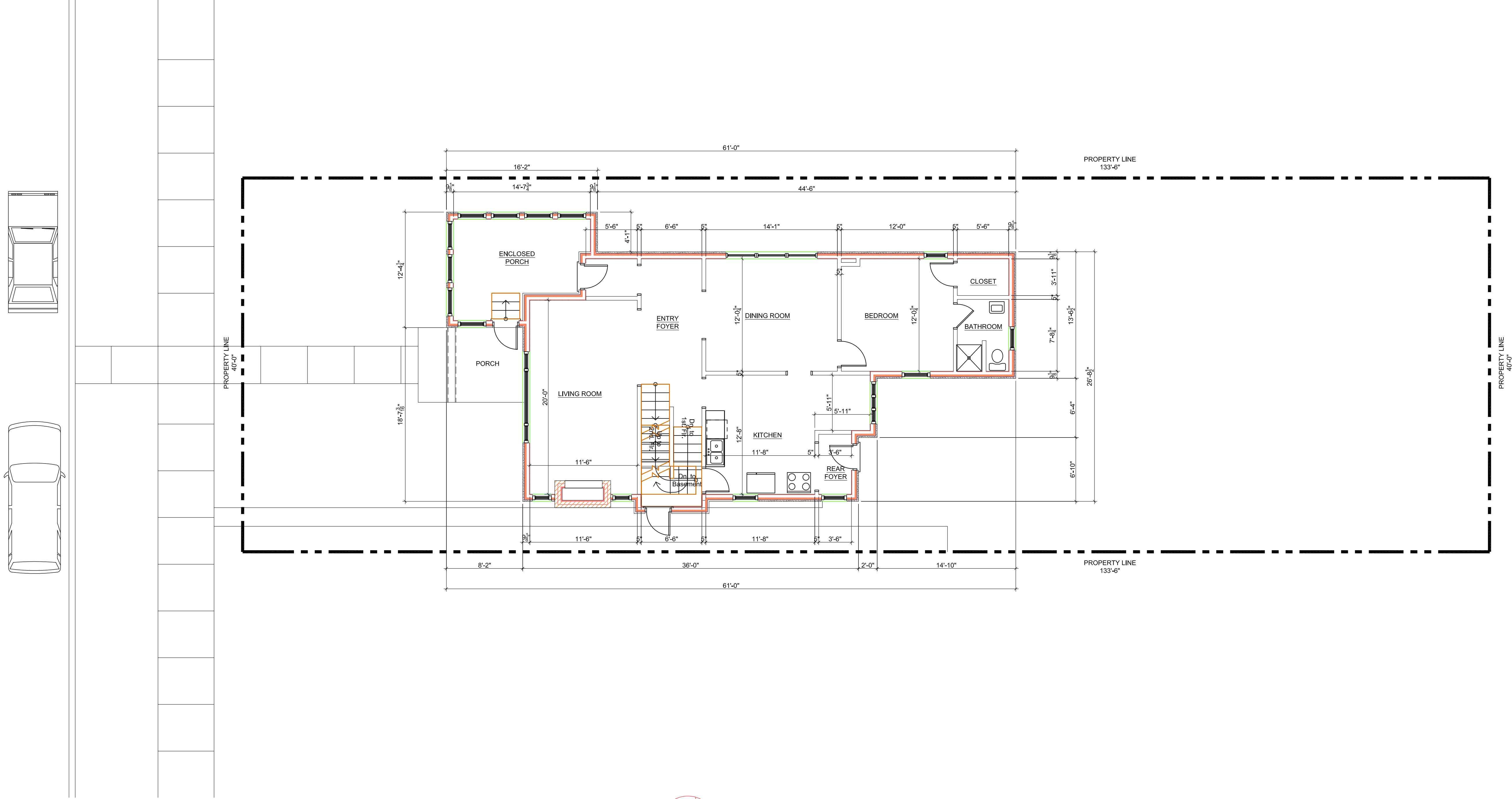
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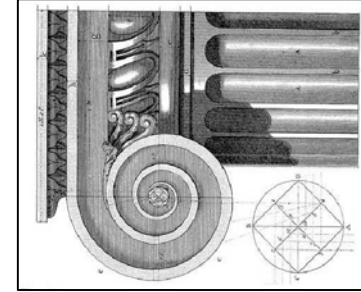
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SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



ARCHITECTURAL SITE PLAN
SCALE: 3/16" = 1'-0"



WHITFIELD HISTORIC RESIDENCE

858 Edison Street,
Detroit, Michigan 48206

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Architectural Design & Engineering p: 313.333.4031

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December 11, 2020

SCALE: AS NOTED

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4	HDC AND BUILDING PERMIT	CM	12-11-2020

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FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07.31.2020

WHITFIELD RESIDENCE

DRAWING TITLE

ARCHITECTURAL SITE PLAN

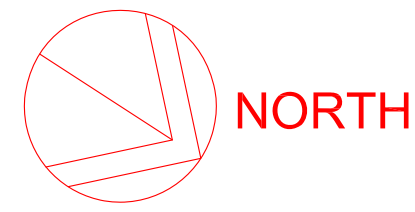
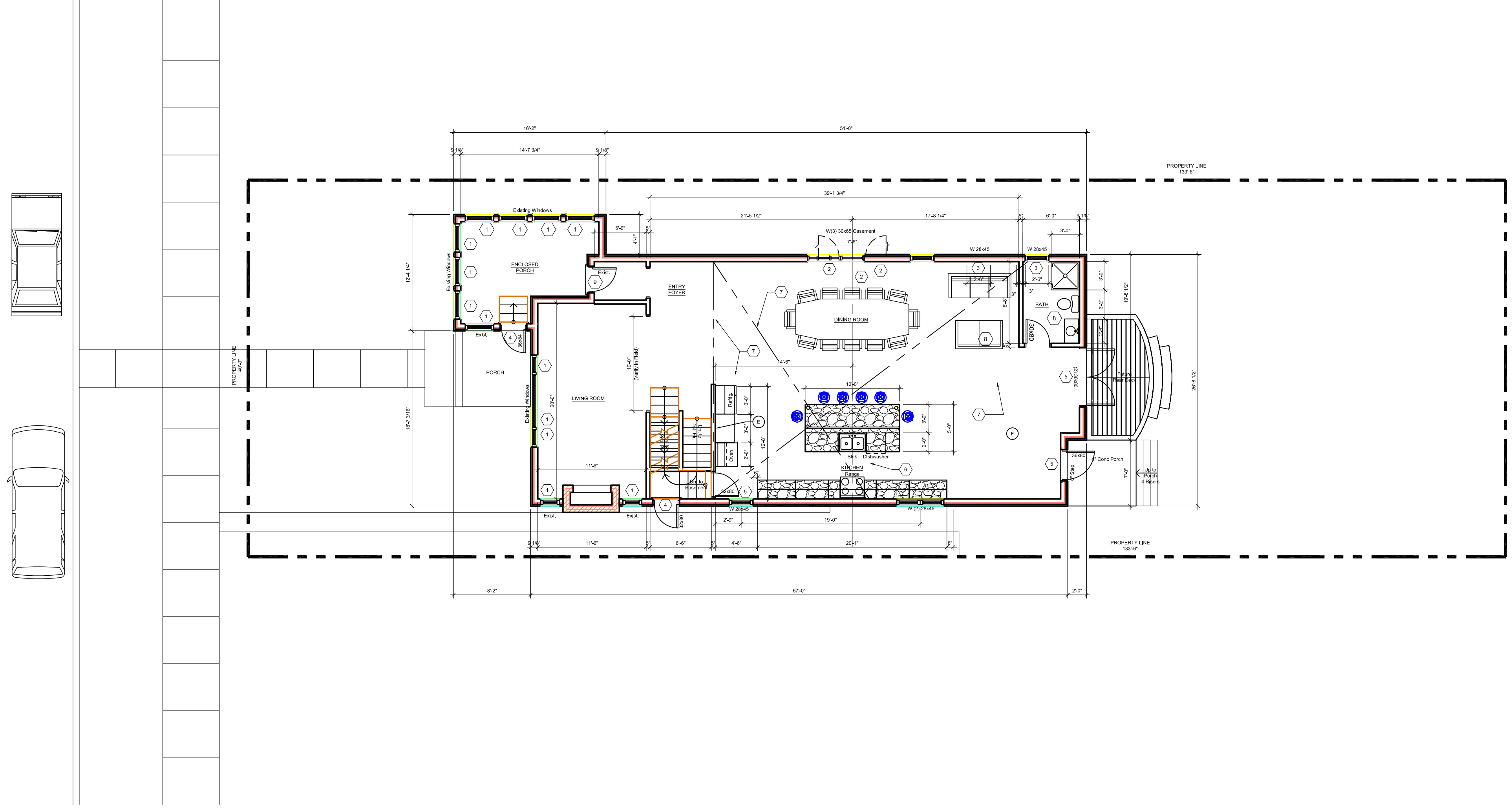
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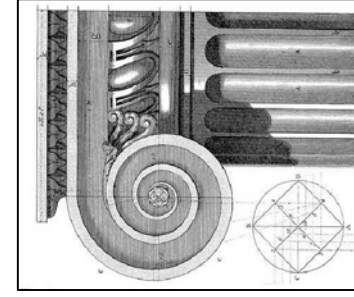
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SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"



WHITFIELD HISTORIC RESIDENCE

858 Edison Street,
Detroit, Michigan 48206

McCrory Group, LLC. charles@mccrorygroup.com
Architectural Design & Engineering p: 313.333.4031

DATE

December 11, 2020

SCALE: AS NOTED

DRAWN

CHECKED

CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07.31.2020

WHITFIELD RESIDENCE

DRAWING TITLE

FIRST FLOOR PLAN

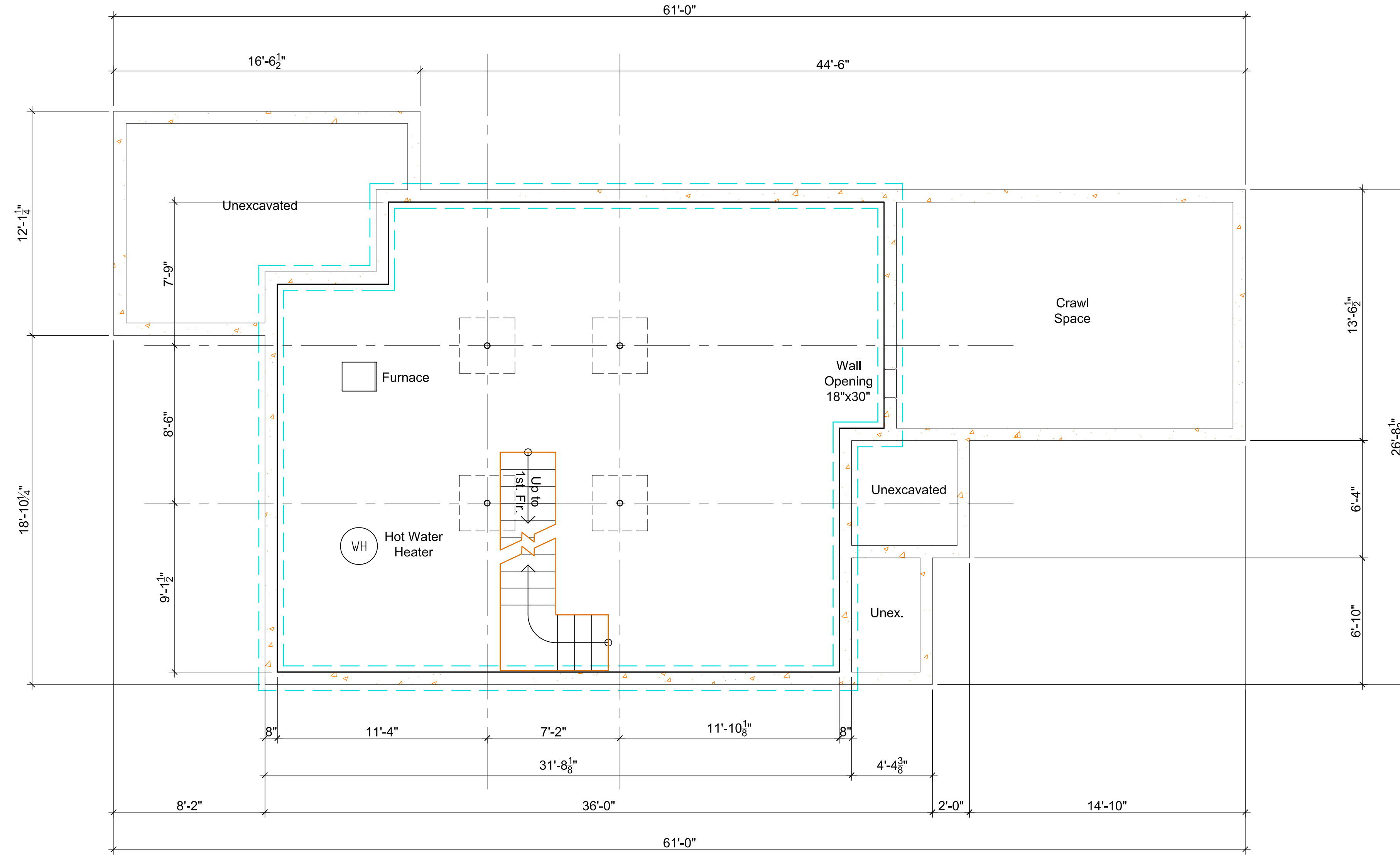
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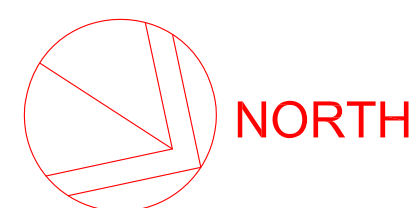
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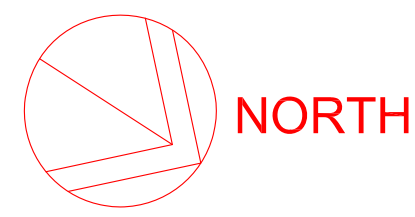
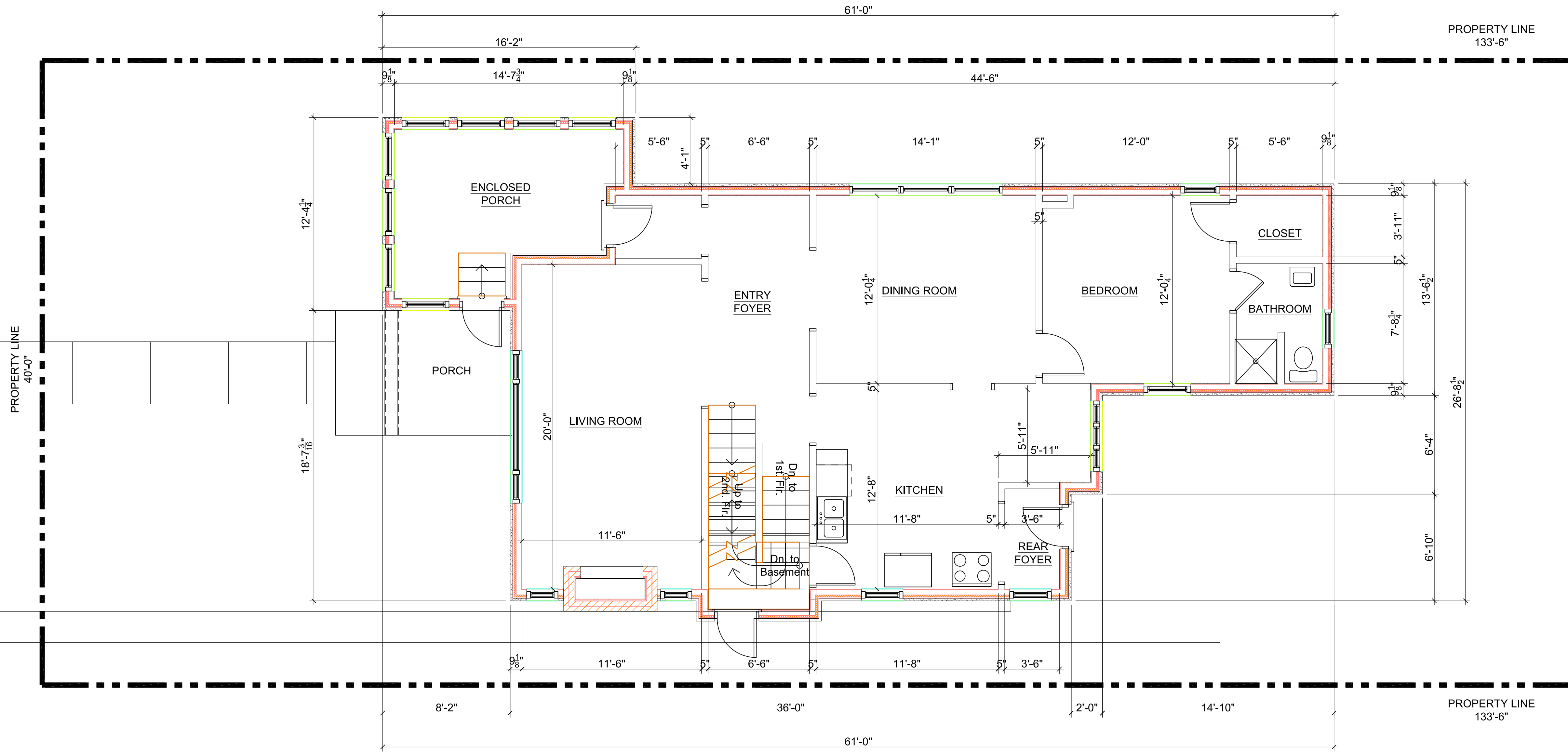


- Demolition Key Notes:**
- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
 - Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
 - New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
 - Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
 - New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
 - Remove existing exterior wall construction down to existing foundation.
 - Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
 - Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
 - Existing door to remain.
- General Key Notes:**
- New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
 - New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
 - Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
 - New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
 - Provide horizontal blocking in walls to receive upper wall cabinets.
 - New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REV	DESCRIPTION	BY	DATE	CHECKED
1	BUILDING PERMIT	CM	10-08-2020	
2	HDC AND BUILDING PERMIT	CM	10-22-2020	
3	HDC AND BUILDING PERMIT	CM	11-11-2020	
4	HDC AND BUILDING PERMIT	CM	12-11-2020	
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	CHECKED			
				CEM



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Demolition Key Notes:

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
4. Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
5. New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
6. Remove existing exterior wall construction down to existing foundation.
7. Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

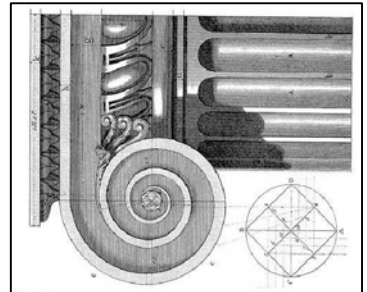
General Key Notes:

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- C. Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.

WHITFIELD HISTORIC RESIDENCE

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Detroit, Michigan 48206

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charles@mccrarygroup.com
p: 313.333.4031



SCALE: AS NOTED

DATE
December 11, 2020

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3	HDC AND BUILDING PERMIT	CM	11-11-2020
4	HDC AND BUILDING PERMIT	CM	12-11-2020

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CHECKED

CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

EXISTING FIRST FLOOR PLAN

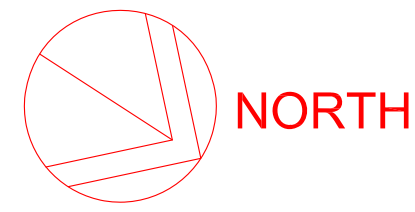
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REVISION NO.

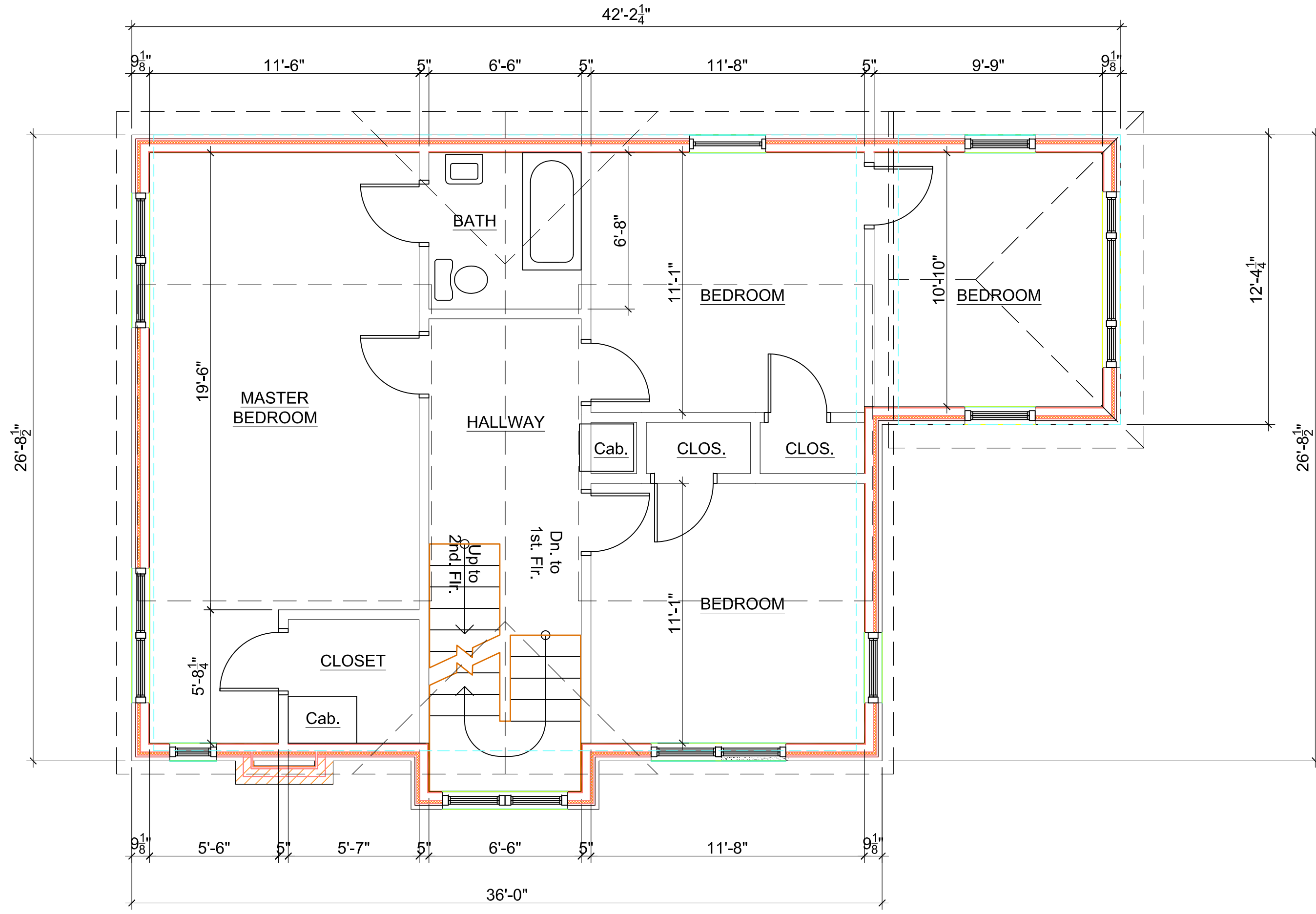
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SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

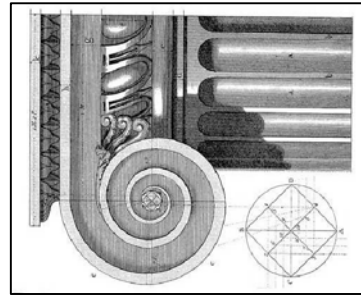


Demolition Key Notes:

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
4. Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
5. New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
6. Remove existing exterior wall construction down to existing foundation.
7. Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

General Key Notes:

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- C. Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



858 Edison Street,
Detroit, Michigan 48206

McCrary Group, LLC.
Architectural Design & Engineering
charles@mccrarygroup.com
p: 313.333.4031

DATE

November 11, 2020

SCALE: AS NOTED

WHITFIELD HISTORIC RESIDENCE

REV	DESCRIPTION	BY	DATE
1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	10-08-2020
3	HDC AND BUILDING PERMIT	CM	10-22-2020
4	HDC AND BUILDING PERMIT	CM	11-11-2020
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		CEM	

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

EXIST. SECOND FLOOR PLAN

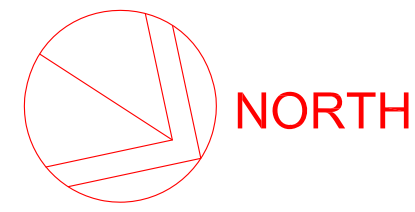
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A2-02

REVISION NO.

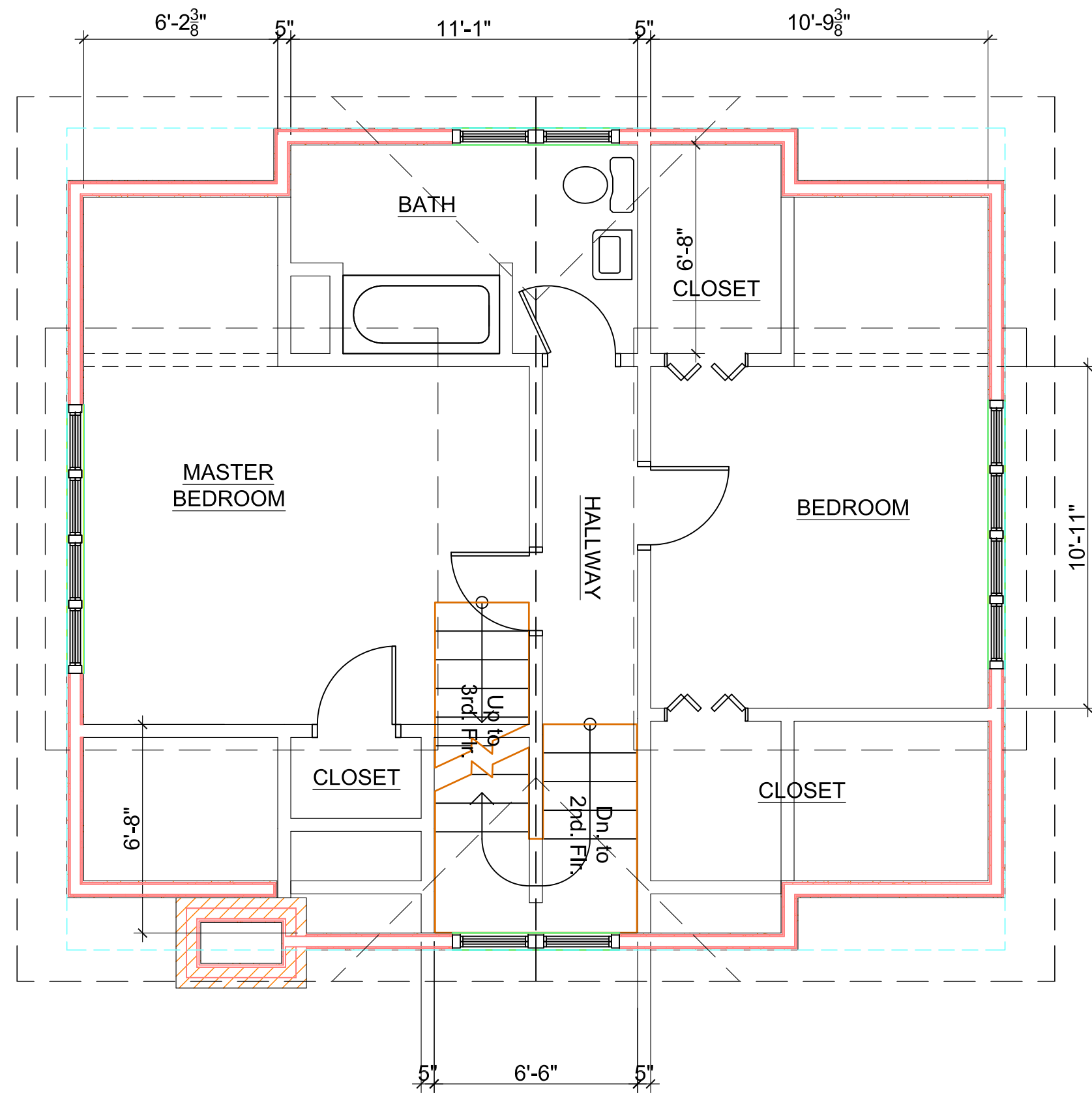
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SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER



EXISTING THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

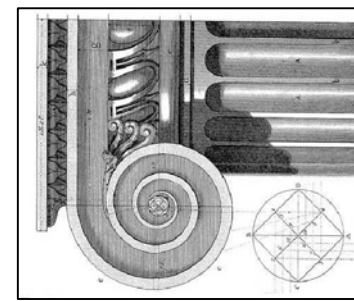


Demolition Key Notes:

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
4. Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
5. New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
6. Remove existing exterior wall construction down to existing foundation.
7. Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

General Key Notes:

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- C. Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



WHITFIELD HISTORIC RESIDENCE

858 Edison Street,
Detroit, Michigan 48206

McCrary Group, LLC.
Architectural Design & Engineering
charles@mccrarygroup.com
p: 313.333.4031

DATE

December 11, 2020

SCALE: AS NOTED

DRAWN

CHECKED

CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

EXISTING THIRD FLOOR PLAN

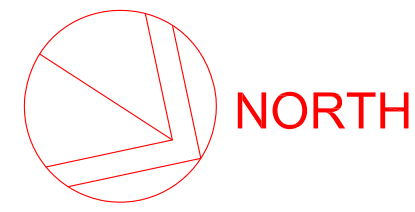
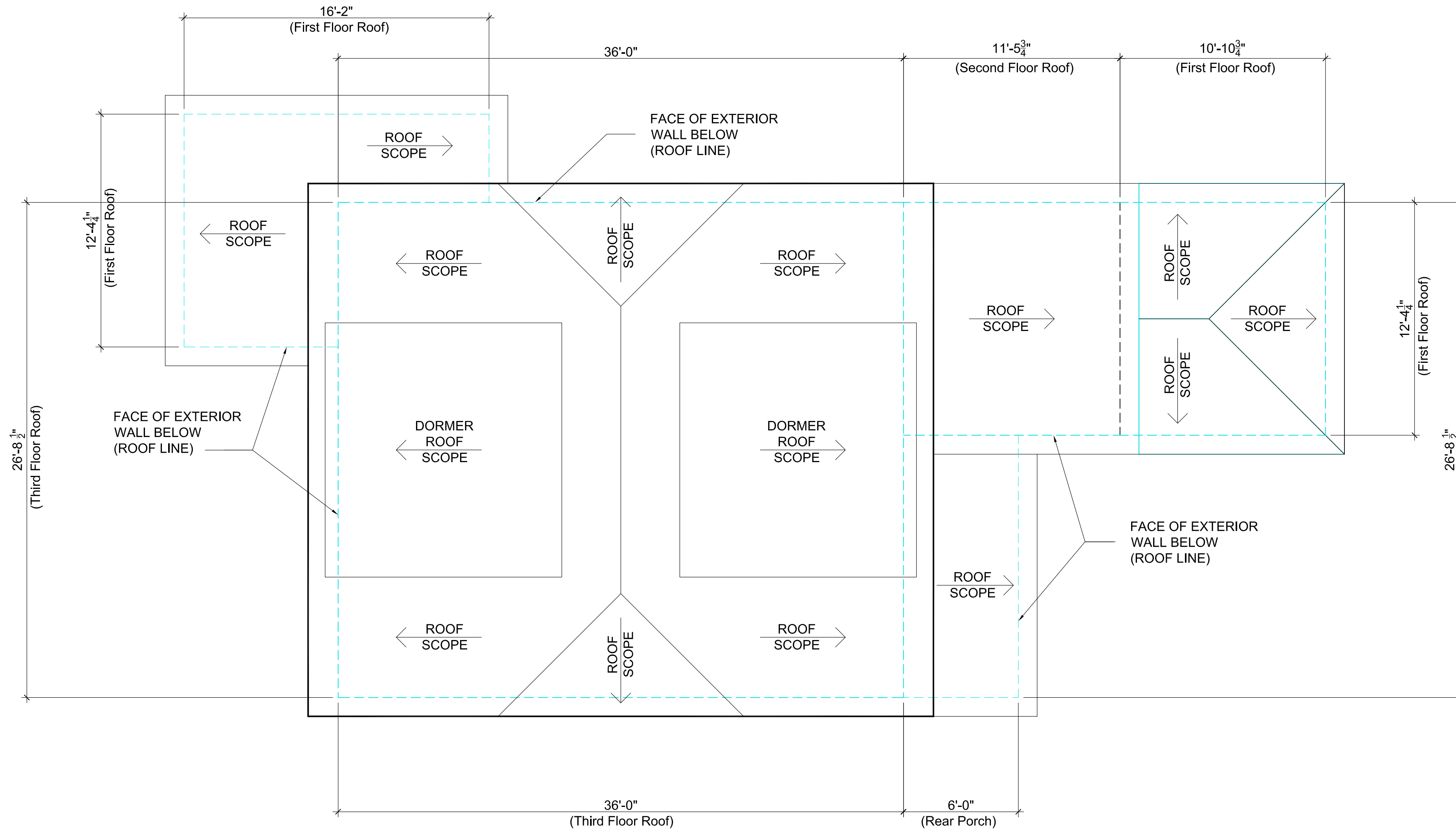
DRAWING NO.

A2-03

REVISION NO.

1

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



EXISTING ROOF PLAN

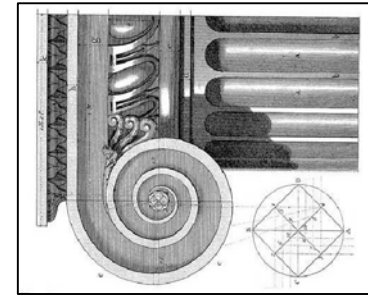
SCALE: 1/4" = 1'-0"

Demolition Key Notes:

- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
- Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
- New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
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- New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
- Remove existing exterior wall construction down to existing foundation.
- Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
- Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
- Existing door to remain.

General Key Notes:

- New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
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- Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- Provide horizontal blocking in walls to receive upper wall cabinets.
- New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



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SCALE: AS NOTED

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FILE NAME: Sketch

PROJECT

MGI PROJECT NO. 07_31_2020

WHITFIELD RESIDENCE

DRAWING TITLE

EXISTING ROOF PLAN

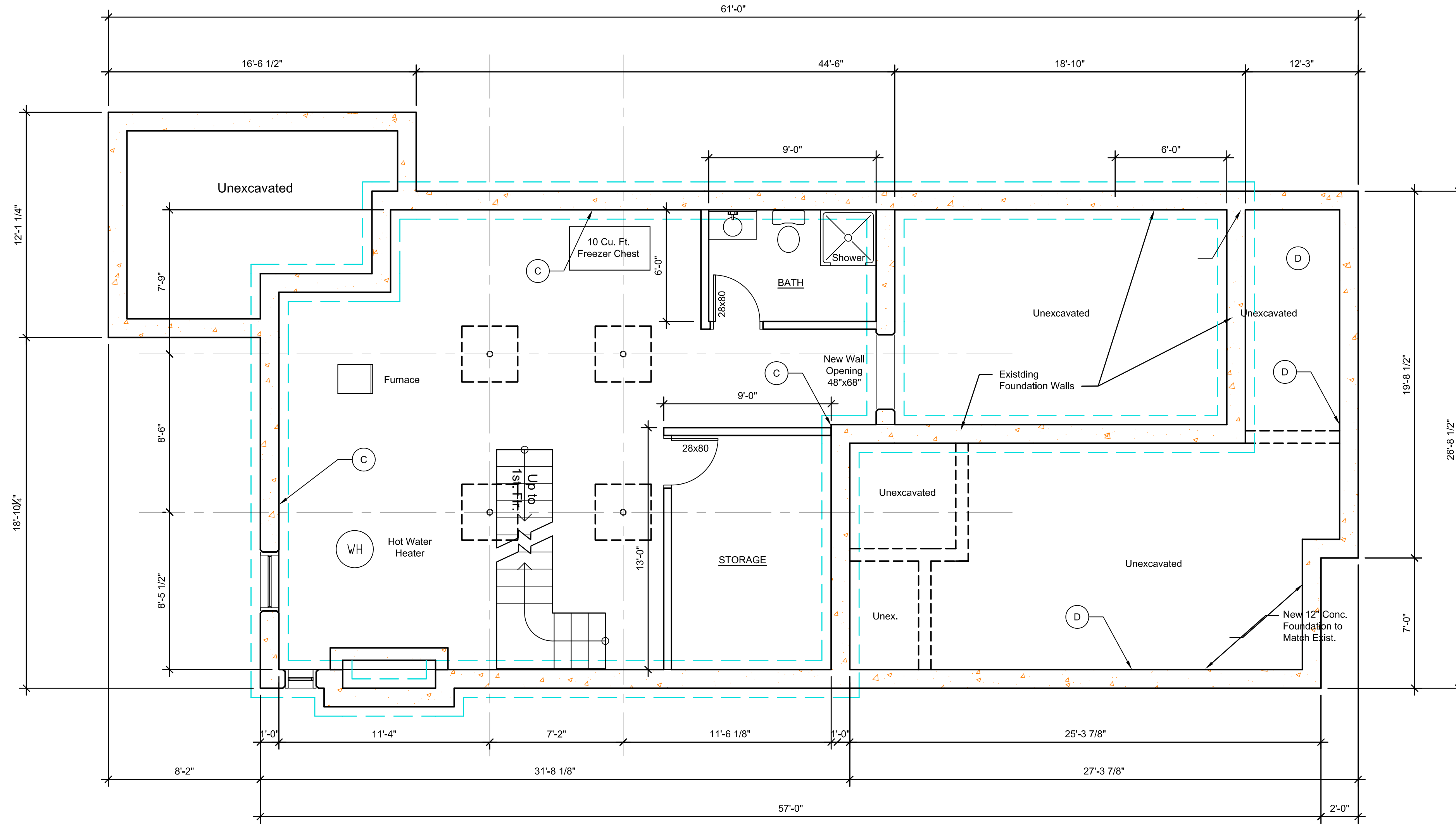
DRAWING NO.

A2-04

REVISION NO.

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SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



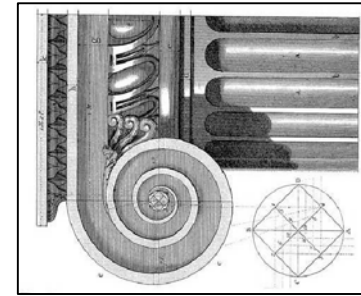
PROPOSED BASEMENT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

Demolition Key Notes:

- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
- Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
- New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
- Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
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- Existing door to remain.

General Key Notes:

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- New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
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- New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- Provide horizontal blocking in walls to receive upper wall cabinets.
- New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



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SCALE: AS NOTED

REV	DESCRIPTION	BY	DATE
1	BUILDING PERMIT	CM	10-08-2020
2	HDC AND BUILDING PERMIT	CM	10-22-2020
3	HDC AND BUILDING PERMIT	CM	11-11-2020
4	HDC AND BUILDING PERMIT	CM	12-11-2020

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FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

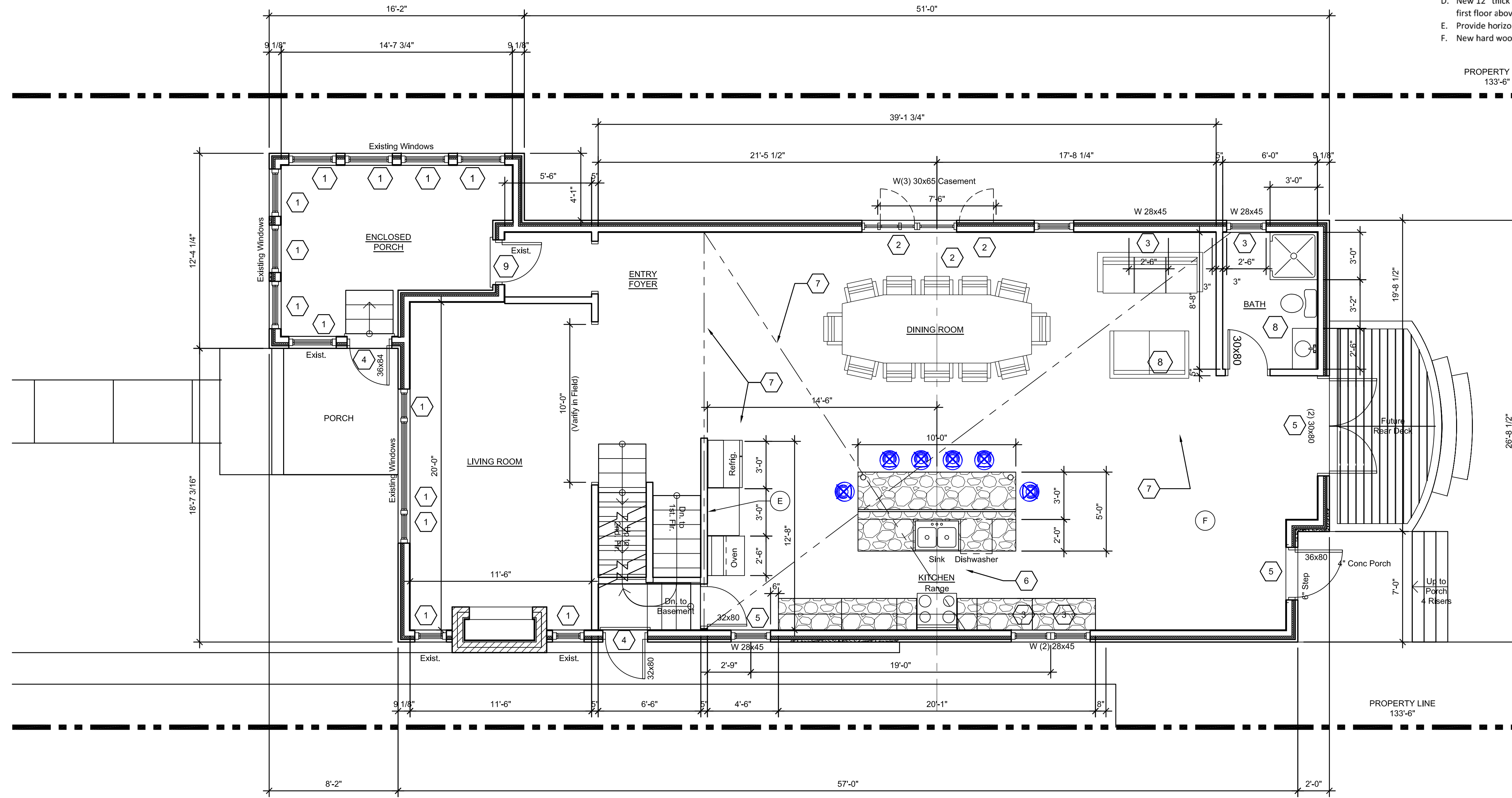
BASEMENT FOUNDATION PLAN

DRAWING NO. REVISION NO.

A3-00



SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Demolition Key Notes:

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
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8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

General Key Notes:

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- C. Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.

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SCALE: AS NOTED

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December 11, 2020

REV	DESCRIPTION	BY	DATE
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4	HDC AND BUILDING PERMIT	CM	12-11-2020

CHECKED
CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

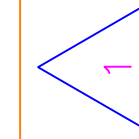
WHITFIELD RESIDENCE

DRAWING TITLE

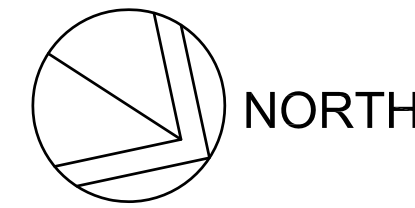
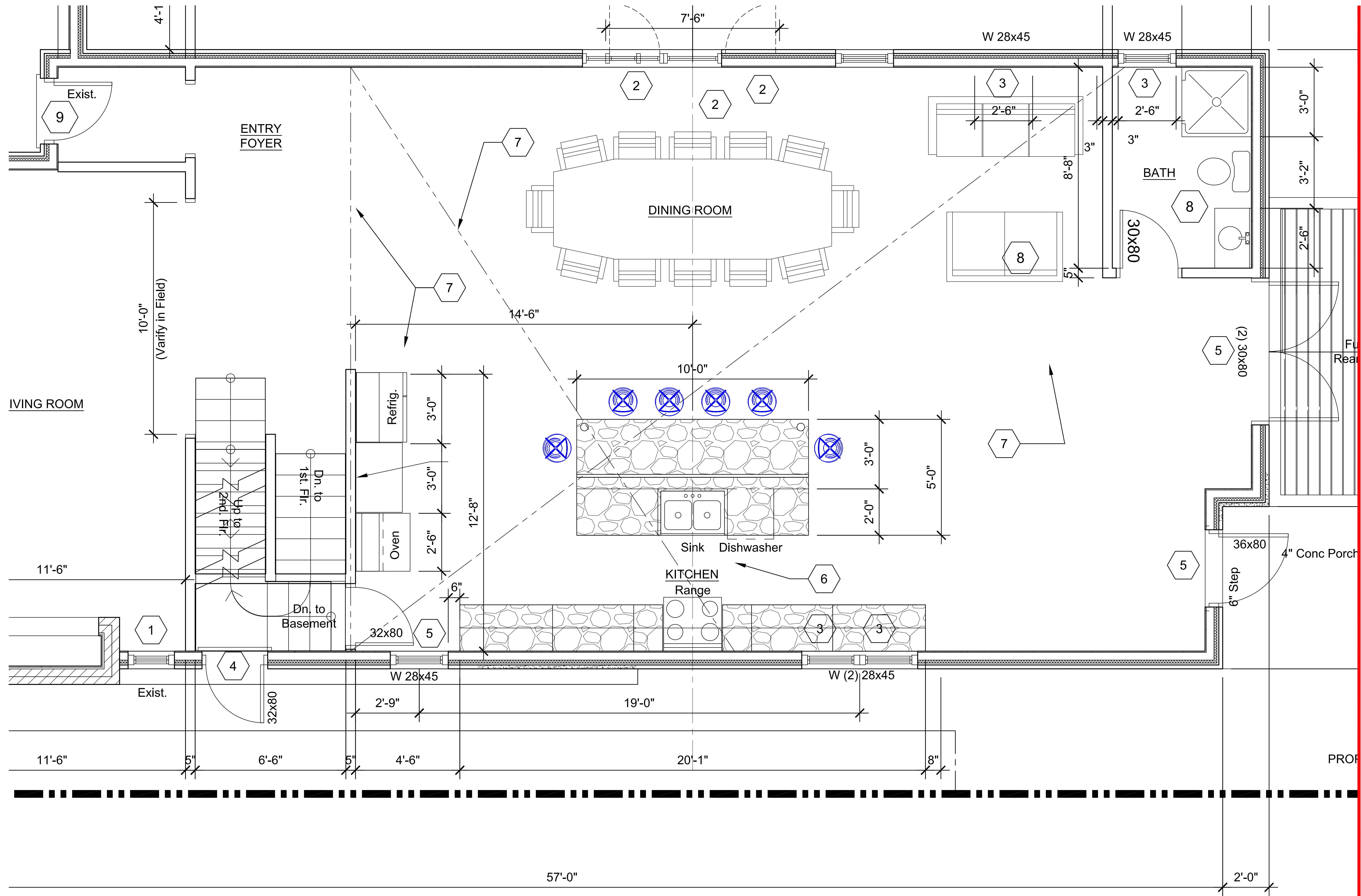
FIRST FLOOR PLAN

DRAWING NO. **A3-01**

REVISION NO.



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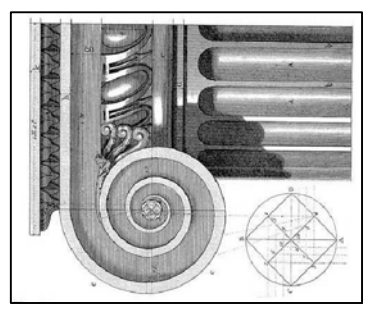


ENLARGED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT MGI PROJECT NO. 07 31 2020
WHITFIELD RESIDENCE
 DRAWING TITLE ENLARGED FIRST FLOOR PLAN
 DRAWING NO. A3-01A
 REVISION NO. 1

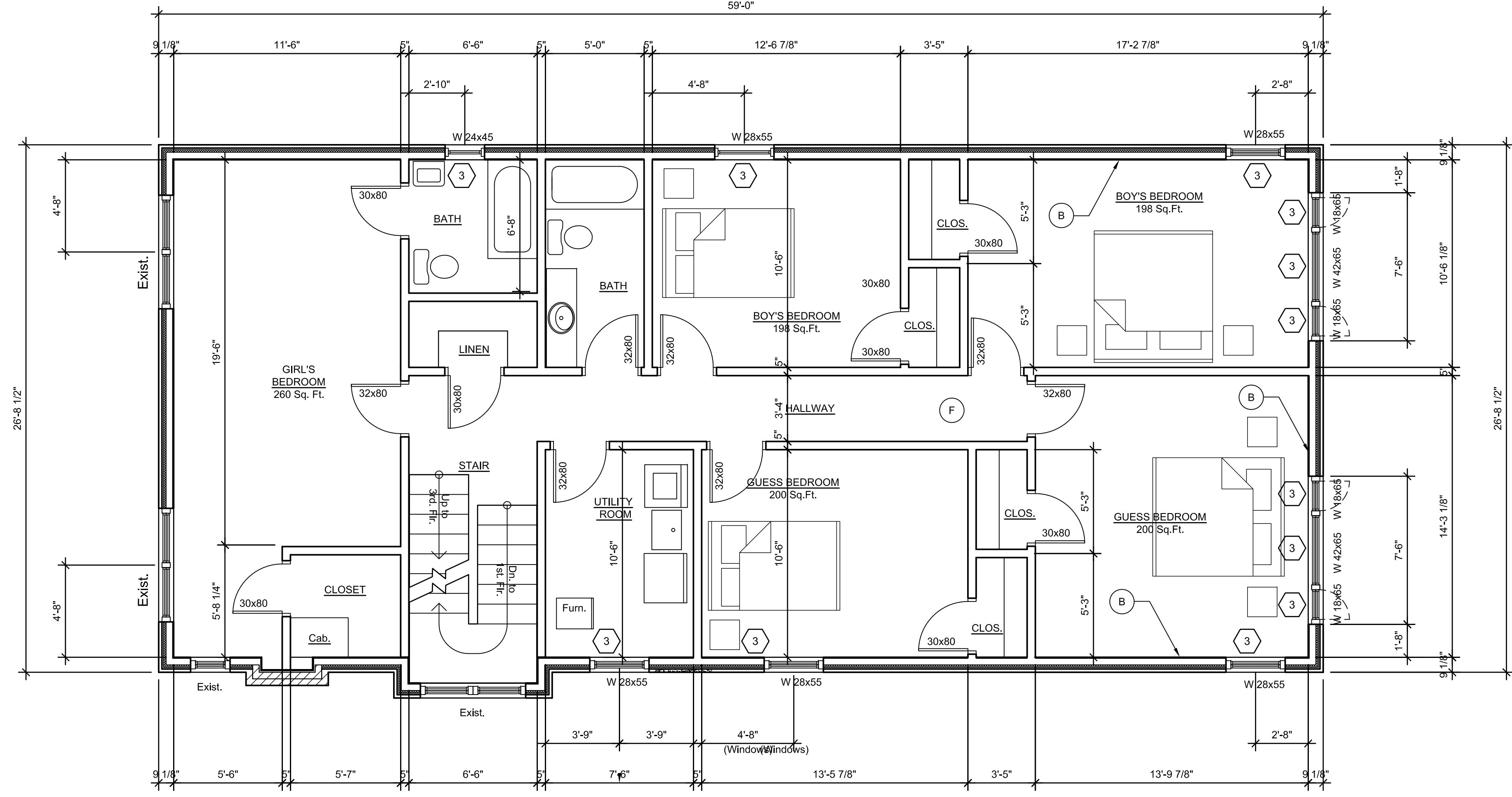
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2	HDC AND BUILDING PERMIT	CM	10-22-2020	
3	HDC AND BUILDING PERMIT	CM	11-11-2020	
4	HDC AND BUILDING PERMIT	CM	12-11-2020	
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DATE December 11, 2020
 SCALE: AS NOTED

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PROPOSED SECOND FLOOR PLAN

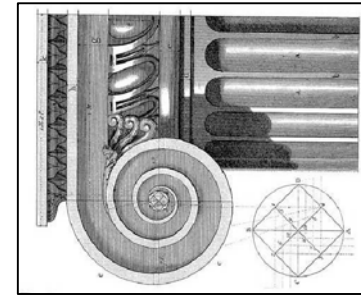
SCALE: 1/4" = 1'-0"

Demolition Key Notes:

- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
- Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
- New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
- Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
- New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
- Remove existing exterior wall construction down to existing foundation.
- Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
- Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
- Existing door to remain.

General Key Notes:

- New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- Provide horizontal blocking in walls to receive upper wall cabinets.
- New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



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REV	DESCRIPTION	BY	DATE
1	BUILDING PERMIT	CM	10-08-2020
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3	HDC AND BUILDING PERMIT	CM	11-11-2020
4	HDC AND BUILDING PERMIT	CM	12-11-2020

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CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

SECOND FLOOR PLAN

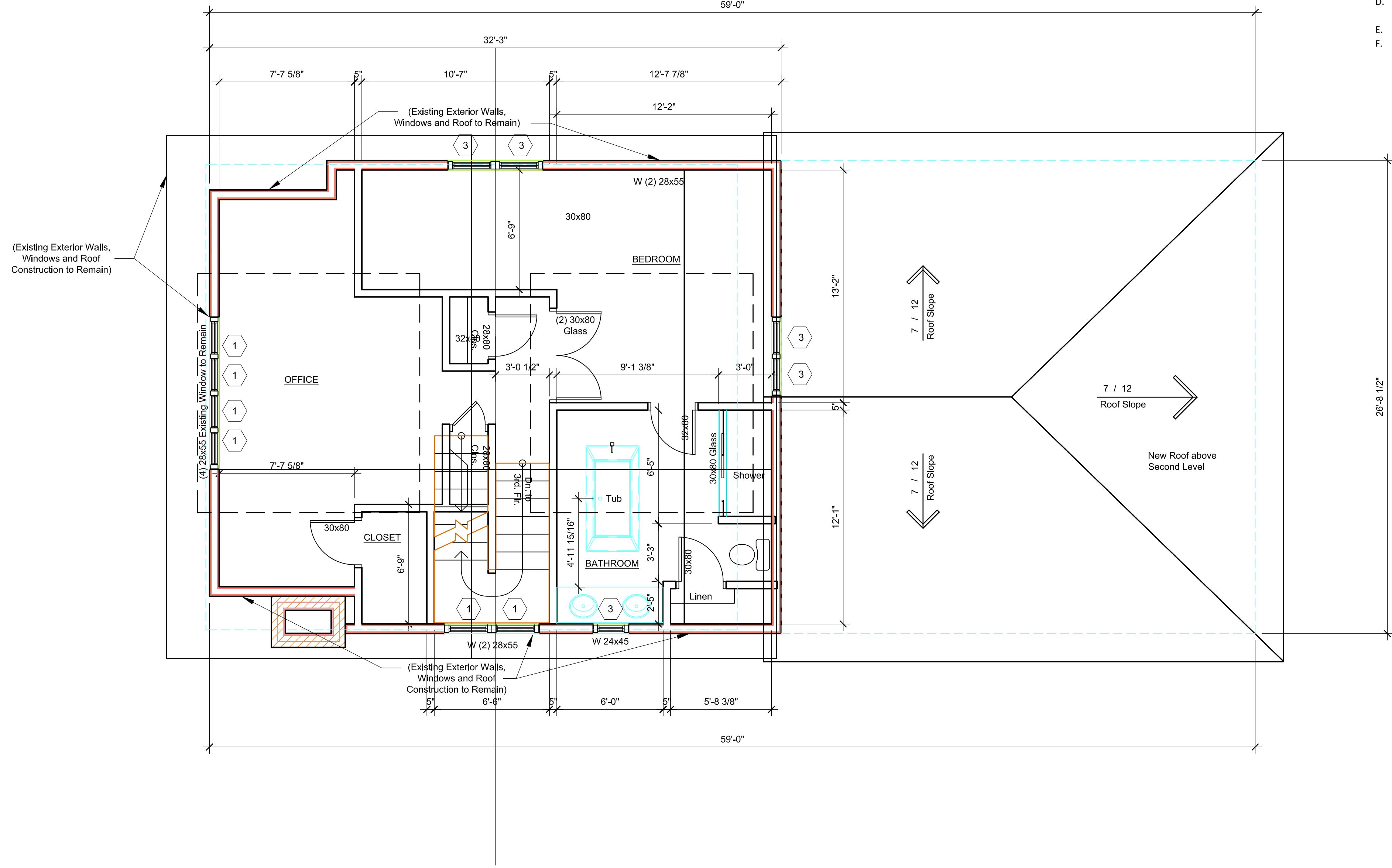
DRAWING NO.

A3-02

REVISION NO.

1

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



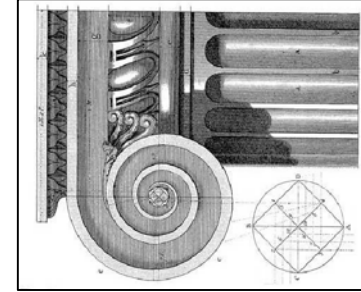
 NORTH
PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Demolition Key Notes:

1. Existing window to remain— restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
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8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

General Key Notes:

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
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- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



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SCALE: AS NOTED

DATE
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REV	DESCRIPTION	BY	DATE
1	BUILDING PERMIT	CM	10-08-2020
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3	HDC AND BUILDING PERMIT	CM	11-11-2020
4	HDC AND BUILDING PERMIT	CM	12-11-2020

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CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

THIRD FLOOR PLAN

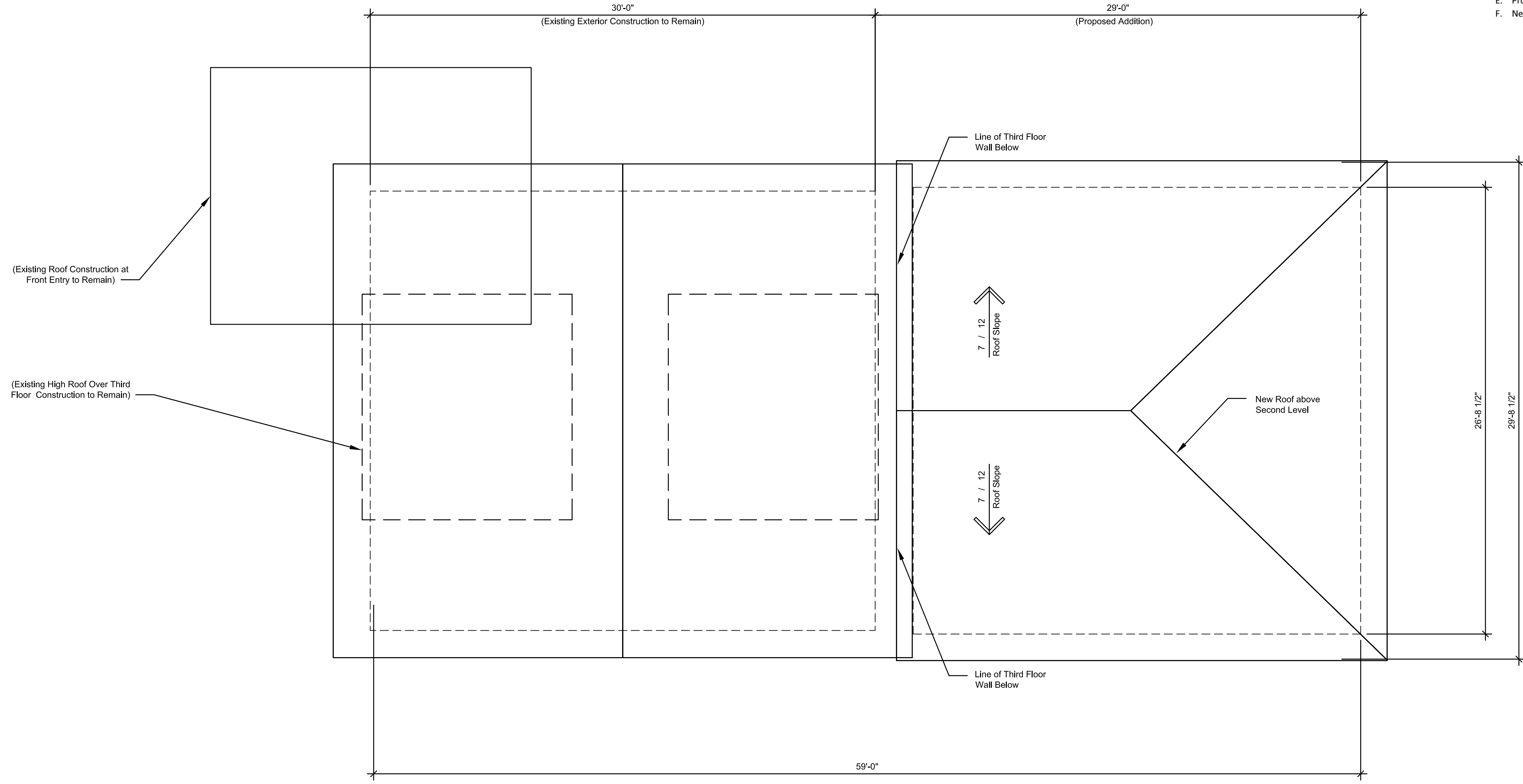
DRAWING NO.

A3-03

REVISION NO.

1

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



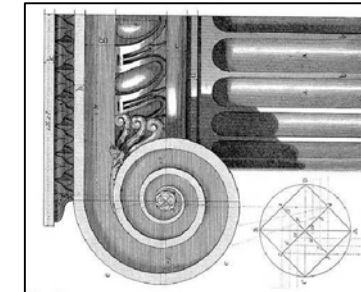
NORTH
ROOF PLAN
 SCALE: 1/4" = 1'-0"

Demolition Key Notes:

- Existing window to remain— restore, re-glaze, paint and re-caulk as required.
- Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
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4	HDC AND BUILDING PERMIT	CM	12-11-2020

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CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

WHITFIELD RESIDENCE

DRAWING TITLE

ROOF PLAN

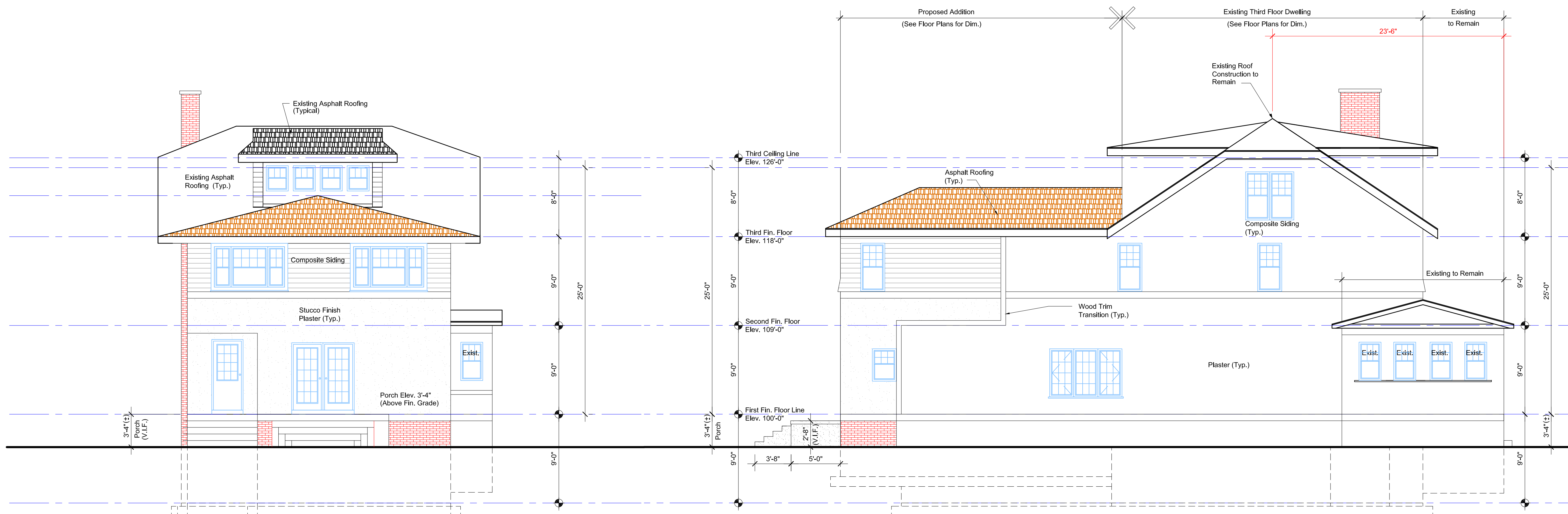
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A3-04

REVISION NO.

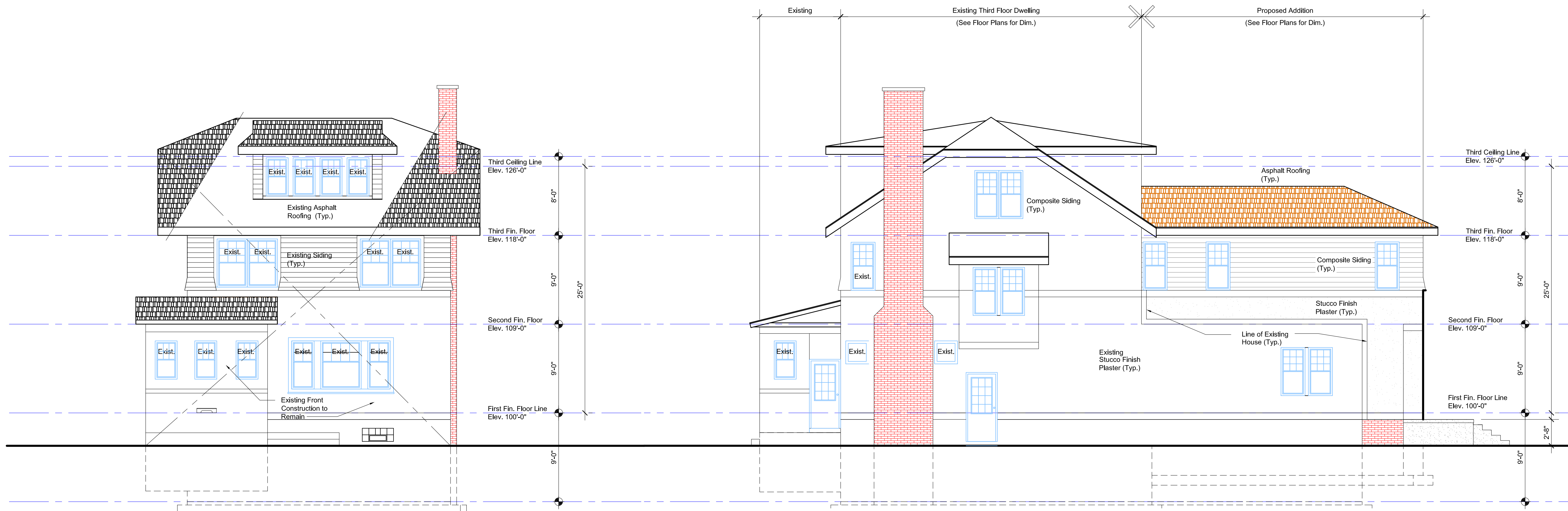
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SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



NORTH ELEVATION
SCALE: 3/16" = 1'-0"

WEST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

EAST ELEVATION
SCALE: 3/16" = 1'-0"

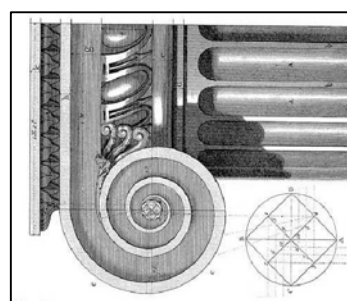
Note:
See Sheet A3-01 First Floor Plan for
Windows Dimensions and Sizes

PROJECT MG: PROJECT NO. 07 31 2020
WHITFIELD RESIDENCE
 DRAWING TITLE
EXTERIOR ELEVATIONS
 DRAWING NO. **A4-01**
 REVISION NO. 1

REV	DESCRIPTION	BY	DATE	CHECKED
1	BUILDING PERMIT	CM	10-08-2020	
2	HDC AND BUILDING PERMIT	CM	10-22-2020	
3	HDC AND BUILDING PERMIT	CM	11-11-2020	
4	HDC AND BUILDING PERMIT	CM	12-11-2020	

DRAWN BY DATE
 CHECKED BY DATE
CEM

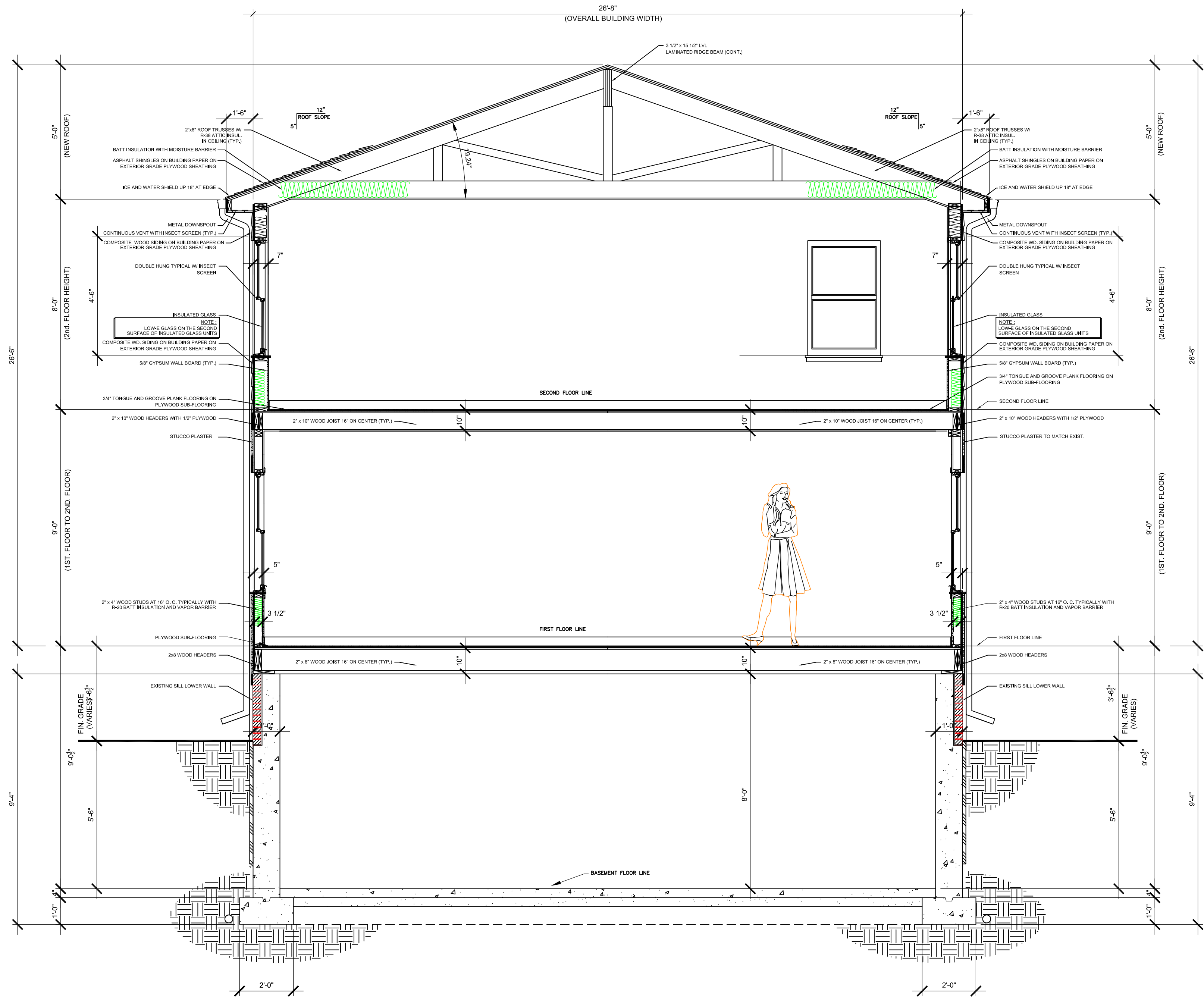
WHITFIELD HISTORIC RESIDENCE
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 Detroit, Michigan 48206
McCrary Group, LLC. charles@mccrarygroup.com
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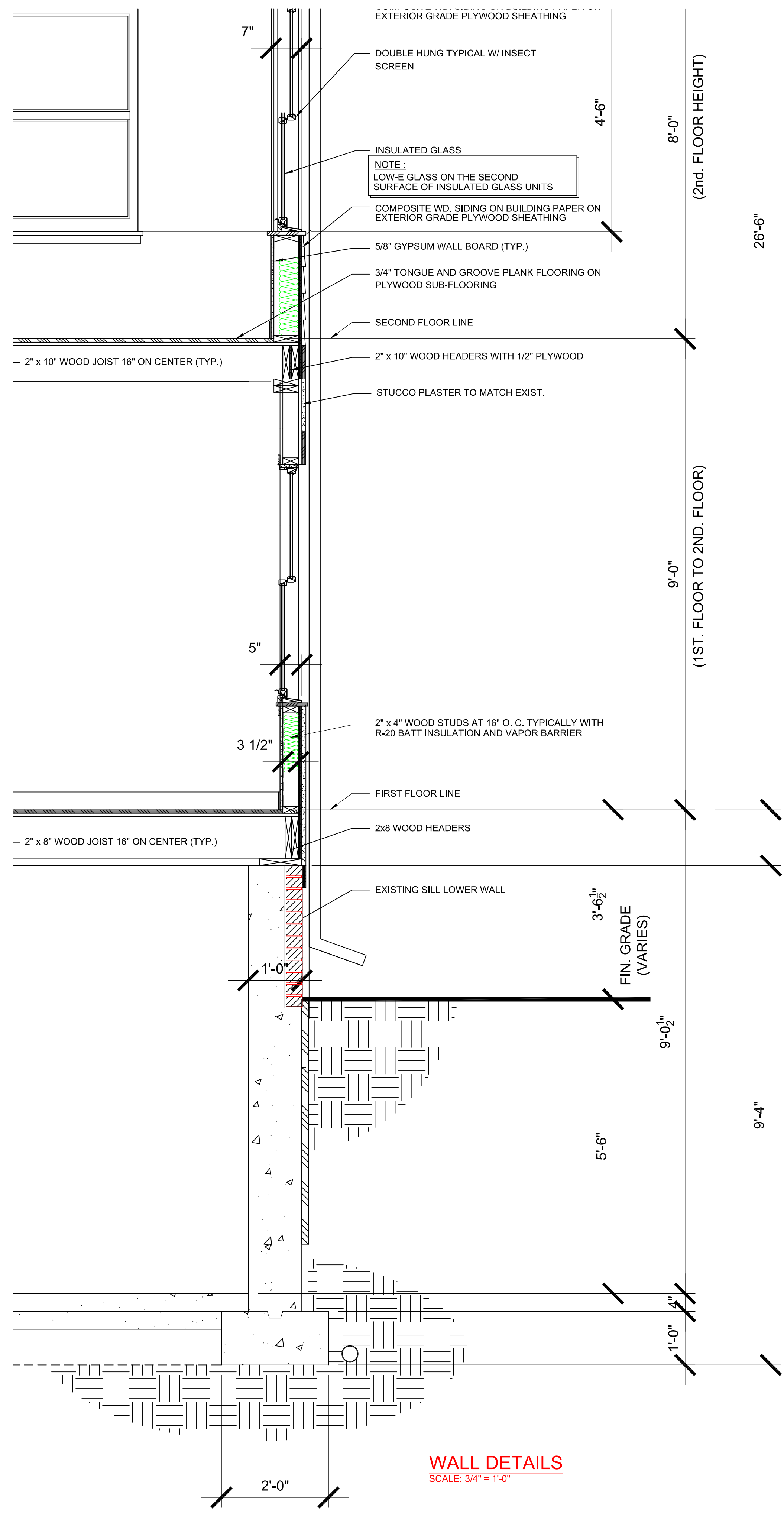
DATE December 11, 2020
 SCALE: AS NOTED

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER

FILE NAME: Sketch



BUILDING CROSS SECTION
SCALE: 3/8" = 1'-0"



WALL DETAILS
SCALE: 3/4" = 1'-0"

WHITFIELD HISTORIC RESIDENCE
858 Edison Street,
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DATE: AS NOTED
December 11, 2020

PROJECT MGI PROJECT NO. 08 05 2020

WHITFIELD RESIDENCE
DRAWING TITLE

BUILDING DETAILS
DRAWING NO. A5-01

REVISION NO. 1

DATE

REV	DESCRIPTION	BY	DATE
1	BUILDING PERMIT	CM	10-08-2020
2	HDC AND BUILDING PERMIT	CM	10-22-2020
3	HDC AND BUILDING PERMIT	CM	11-11-2020
4	HDC AND BUILDING PERMIT	CM	12-11-2020

CHECKED BY DATE
CEM

FILE NAME: Sketch

SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER

New Pella Wood Windows Cost Schedule

Size	Type	Window Sizes		Sq. In.	Pre-discount Unit Cost	Total Quantities	Total Cost
		Width	Height				
1	Double Hung	24	45	1080	\$650.00	2	\$1,300.00
2	Double Hung	24	55	1320	\$875.00	7	\$6,125.00
3	Double Hung	28	45	1260	\$775.00	7	\$5,425.00
4	Double Hung	28	55	1540	\$895.00	21	\$18,795.00
5	Casement	18	65	1170	\$725.00	4	\$2,900.00
6	Casement	30	65	1950	\$1,100.00	2	\$2,200.00
7	Fix	30	65	1950	\$805.00	2	\$1,610.00
8	Fix	42	65	2730	\$910.00	1	\$910.00
						46	\$39,265.00

Restore Living Room Existing Windows Cost Schedule

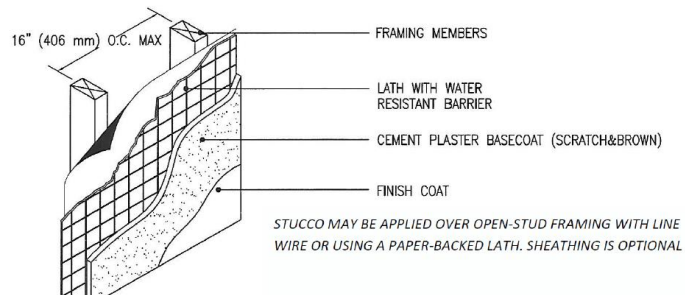
Size	Type	Window Sizes		Sq. In.	Pre-discount Unit Cost	Total Quantities	Total Cost
		Width	Height				
1	Fix	24	65	1560	\$725.00	2	\$1,450.00
2	Fix	48	65	3120	\$1,100.00	1	\$1,100.00
						3	\$2,550.00

Whitfield Residence – Stucco Specs

The Stucco Manufacturers Association (SMA) Guide Specification for 3-coat Portland Cement Plaster (Stucco) applied to Framed Walls

INTRODUCTION: The Stucco Manufacturers Association (SMA) is a non-profit association formed in 1957 to promote best practices for cement plastering (stucco). The SMA is made up of manufacturers, dealers, contractors and consultants who desire to promote stucco through education, collaboration and agree to follow SMA by-laws. This process promotes quality and institutes a mechanism to solve on site issues through third party observations/reports.

This guide specification is for a standard three-coat portland cement plaster with a cement or an acrylic finish coat on framing or furring. A portland cement plaster assembly is comprised of a sheathing (optional), water resistant barrier(s) a lath, scratch and brown coats (the basecoat), and a decorative finish coat. Ancillary items include: Trim accessories, architectural shapes, crack reduction systems, special coatings.



The specification may be customized by the design professional/building envelope consultant to suit the project requirements and follows the Construction Specification Institute's (CSI) MasterFormat (2004 Ed.) and Section Format. There are locations where information needs to be added or deleted depending upon project needs. These locations are indicated using the following formatting:

Notes that provide instructions or guidance to specifier. These should be deleted when no longer needed.

Possible options for the assembly. Select appropriate option(s) and delete the remaining options. Delete the brackets and un-bold the selected option(s).

Locations where text needs to be inserted by the specifier.

This specification should be used along with other documentation including the SMA three coat stucco details, technical papers, applicable ASTM standards, AAMA recommendations, and SMA approved product data sheets. Visit www.stuccomfgassoc.com to obtain these documents and SMA members for more information.

Applicator: The contractor installing the lath and plaster (stucco) assembly has a significant impact on the success of the cladding. Education and training are critical. Regional variations should be vetted prior to accepting. It is recommended to use SMA contractors and work with your stucco product manufacturers.

Stucco Manufacturers Association – www.stuccomanufacturersassoc.com

Manufacturers: Not all plaster/stucco products are alike. Some "stucco-like" products have proven to be problematic and fail over time or in certain environments. SMA member manufacturers provide quality products for the industry. Members agree to SMA by-laws and strictly adhere to ASTM, ANSI, ICC and SMA standards. Refer to SMA website for current approved product list.

Consultants: Consultants should agree to provide services on a third-party basis. They should not have any conflicts of interest. Consultants are listed on the SMA website and fees for services regarding disputes are recommended to be shared in advance between the disputing parties. This increases the chance of an unbiased report. The SMA staff will offer an opinion on any submitted report.

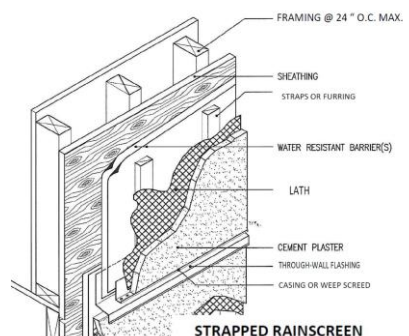
Alternative Assemblies:

Continuous Insulation - Rigid foam sheathing may be added under three-coat cement plaster over framed walls per ASTM and the International Code. SMA 2017 recommendations include:

- A maximum thickness of two (2) inches foam
- A rigid foam with channels or a matt for backside drainage
- An approved water resistant barrier under the foam sheathing: **Exception**, foam density with sufficient structural strength to have windows surface mounted may have sheet WRB over foam. Attach lath to framing members.
- Designers are encouraged to consider ICC, Intertek or IAPMO approved “Insulated Cement Plaster” systems when using foam for CI. Refer to SMA website for more information.

Stucco over Masonry, Concrete or Concrete Masonry Units (CMU)- Refer to the SMA guide specification specifically for portland cement plaster over masonry/concrete.

Rainscreen: This assembly employs the concept of an air space or designed gap created between the cement plaster and the substrate. This gap allows for faster drainage and drying of the cement membrane. This may be beneficial in high rainfall areas with limited drying days, there is an added cost for this option. Traditional “concealed barrier” stucco is per the building code, ASTM and when installed correctly, a proven and cost effective weather-resistive cladding for framed walls. Flashings for larger penetrations should be per code and industry recommendations. Building Envelope consultants should be used for rain screen design.



COLOR SYSTEM E

ASSOCIATED ARCHITECTURAL STYLES: (14) PRAIRIE, (15) BUNGALOW

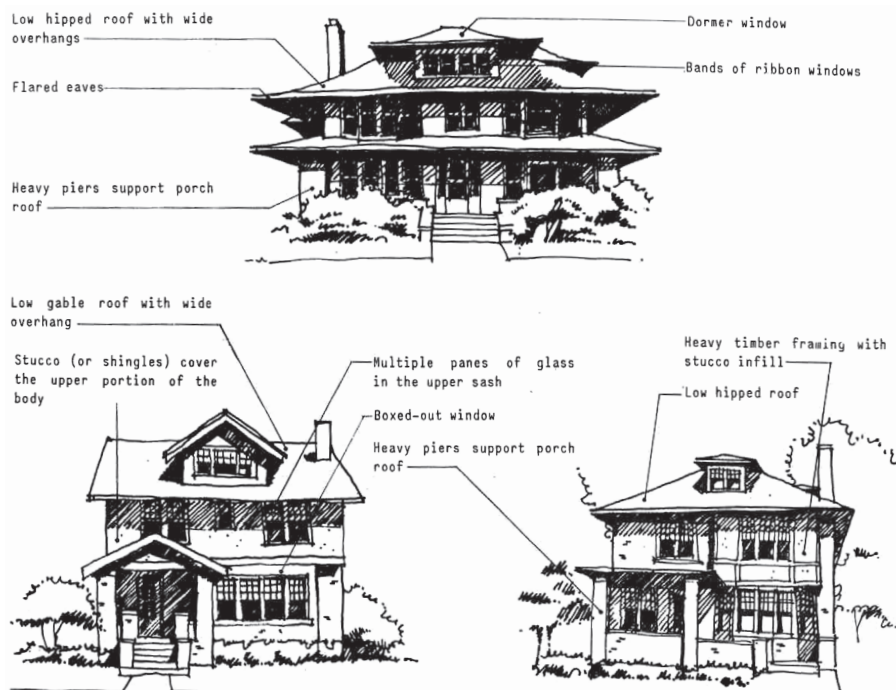
The Prairie School houses with their Neo-Georgian and Chicago School Vernacular spin-offs and the ubiquitous Bungalow Style, all more or less partake of the same color theory as the post-1900 English Revival houses. Both the Prairie School and the Bungalow houses, however, followed a trend toward the lighter colors introduced later in the century. If the owner wished to follow Color System D, he would certainly be historically correct in so doing, however, both Prairie and Bungalow Style houses permit a wider range of choice.

Those Neo-Georgian Vernacular houses that are touched by the Prairie Style (low hip roofs with side overhanging eaves, ribbon windows, a change of materials from the first to the second floors) should not be painted with the Colonial color palette as their name might suggest. Just as the Prairie details might have been grafted onto what is essentially a 4-square box, so the colors of the Prairie Style should be used.

Stucco houses of these styles might be painted in grays, yellows, browns, or when used only for the second floor which is stuccoed above a first floor of another material, one of two oranges. However, stark white was rarely used for Prairie or Bungalow (or for that matter Arts and Crafts) houses.

The heavy timber framing and shingles occasionally used on Prairie or Bungalow Style houses should be painted or stained a dark color to give what one early twentieth-century manufacturer called "the weathered idea of the old bungalow which gained its beauty largely by leaving the unprotected lumber to be exposed to the weather."

It is in the choice of trim colors that there is the greatest freedom, for the use of whites, grays, soft greens, browns, and yellows are all acceptable. Keeping in mind the need to provide color contrast between the trim and any shingles or stucco and half-timbering, (the stucco color should also be different than the half-timbering), grays, yellows, browns, greens and oranges would be appropriate trim colors. For houses of this type, one Detroit manufacturer suggested that "green is by far the most popular color for shutters, though in many instances they are painted to correspond to the body or trimmings of the house." Sash is "usually painted black, white, ivy green or deep rich colors such as copper browns.... If desired, one of the same shades may be used that is employed for the body of the house."



COLOR SYSTEM E

ACCEPTABLE COLOR COMBINATIONS *MS = MUNSELL STANDARD

BODY	TRIM	SASH	SHUTTERS
Stucco/Siding: Any system E color EXCEPT A:7, A:8, A:9, B:19 Use E:2 & E:3 on second floor only above another material	Any System E color to contrast body color	Match trim color or match body color or A:9, B:18, B:19	Match trim color, match body color, or A:8
Shingles/Heavy Timber: Stained or painted A:9, B:1, B:2, B:5, B:6, B:7, B:8, B:11, B:12, B:13, B:14, B:18	Any System E color to contrast body color	Match trim color or match body color or A:9, B:18, B:19	Match trim color, match body color, or A:8
Existing brick or stone			

Windows and Wood Trim

 A:1 Yellowish Gray MS: 2.5Y 8/2	 A:2 Light Olive Gray MS: 10Y 6/1	 A:3 Light Yellow MS: 5Y 8/6	 A:4 Pale Yellow MS: 2.5Y 8.5/4	 A:5 Grayish Yellow MS: 2.5Y 7/4	 A:8 Blackish Green MS: 2.5BG 2/2
 A:9 Moderate Reddish Brown MS: 7.5R 3/6	 B:1 Light Yellowish Brown MS: 10YR 6/4	 B:2 Dark Yellow MS: 5Y 6/6	 B:3 Light Yellow MS: 2.5Y 8/6	 B:4 Moderate Yellow MS: 2.5Y 7/6	 B:5 Light Brown MS: 7.5YR 5/4
 B:6 Moderate Brown MS: 7.5YR 4/4	 B:7 Moderate Yellowish Brown MS: 10YR 5/4	 B:8 Grayish Brown MS: 5YR 3/2	 B:11 Grayish Olive Green MS: 5GY 4/2	 B:12 Grayish Green MS: 10G 4/2	 B:13 Moderate Olive Brown
 B:14 Dark Grayish Olive MS: 10Y 2/2	 B:15 Dark Grayish Yellow MS: 5Y 6/4	 B:17 Light Olive MS: 10Y 5/4	 B:18 Dark Reddish Brown MS: 2.5YR 2/4	 B:19 Black MS: N 0.5/	 C:4 Yellowish White MS: 5Y 9/1
 C:5 Yellowish White MS: 2.5Y 9/2	 D:1 Brownish Pink MS: 7.5YR 7/2	 D:2 Light Brown MS: 5YR 6/4	 E:1 Light Grayish Yellowish Brown MS: 10YR 6/2	 E:2 Strong Yellowish Brown MS: 7.5YR 6/8	 E:3 Grayish Reddish Orange MS: 2.5YR 5/6
 E:4 Grayish Yellow Green MS: 7.5GY 6/2					

FIND OUT MORE!
www.detroitmi.gov/hdc

Restore the look of a grand Cape Cod or add distinction to a handsome bungalow. HardieShingle® siding embodies the enchanting look of cedar shingles with lower maintenance.

Better than the real thing, HardieShingle siding resists rotting, curling, warping and splitting.



Achieve the handcrafted
LOOK OF CEDAR.



STAGGERED EDGE PANEL

Chestnut Brown

Thickness 1/4 in.
Length 48 in.
Height 15.25 in.
Exposure 6 in.
Pcs./Pallet 100
Sq./Pallet 2
Pcs./Sq. 50.0



STRAIGHT EDGE PANEL

Iron Gray

Thickness 1/4 in.
Length 48 in.
Height 15.25 in.
Exposure 7 in.
Pcs./Pallet 86
Sq./Pallet 2
Pcs./Sq. 43.0



HALF ROUNDS*

Not available with ColorPlus Technology

Thickness 1/4 in.
Length 48 in.
Height 15.25 in.
Exposure 7 in.
Pcs./Pallet 86
Sq./Pallet 2
Pcs./Sq. 43.0

*Half Rounds are only available in Minneapolis, Detroit, Kentucky, and St. Louis districts.

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



True to the tradition of
PERFORMANCE AND BEAUTY.



SELECT CEDARMILL®

Navajo Beige

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5



SMOOTH

Evening Blue

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5



STUCCO

Navajo Beige

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5



SIERRA 8

Not available with ColorPlus Technology

Thickness	5/16 in.		
Size	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
Pcs./Pallet	50	50	50
Pcs./Sq.	3.2	2.8	2.5

*4 ft. x 9 ft. HardiePanel vertical siding only available primed.

Products are available primed or with ColorPlus Technology finishes. For more details, visit jameshardiepros.com



Pella® 450 Series Wood Windows and Patio Doors



Come on in and explore windows and patio doors offering beautiful wood craftsmanship, exceptional energy efficiency and Pella's most popular choices – all at a competitive price.

FEATURES AND OPTIONS

Personalize your windows and doors with our most requested design choices.

Visit pella.com/pella-450-series to see the complete list of features and options available on Pella® 450 Series products.

ENDURA CLAD® ALUMINUM EXTERIOR FINISHES

Standard



White

Tan

Brown

Feature



Poplar White

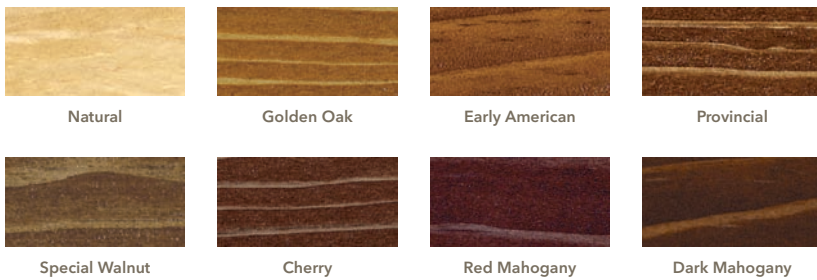
Putty

Hartford Green

Brick Red

Black

PREFINISHED PINE INTERIORS



Natural

Golden Oak

Early American

Provincial

Special Walnut

Cherry

Red Mahogany

Dark Mahogany



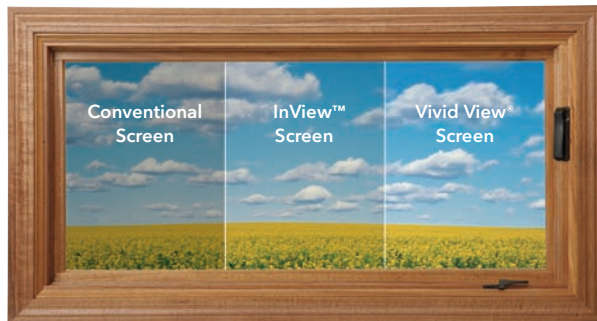
White

Bright White

Linen White

Primed

SCREENS¹



Vivid View screens allow in 29% more light and 21% more airflow.² InView screens let in 14% more light and 8% more airflow² – plus, they're the standard option on all Pella 450 Series wood windows and patio doors.

HARDWARE



Double-Hung Window Sash Lift

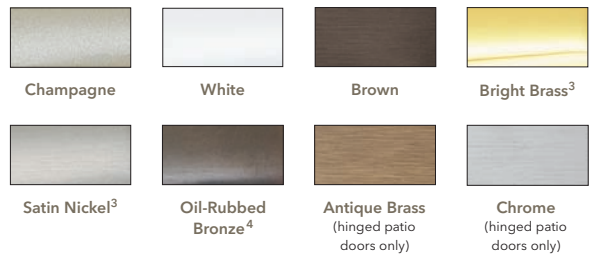
Double-Hung Window Cam-Action Sash Lock

Casement and Awning Fold-Away Window Crank

Sliding Patio Door Handle

Hinged Patio Door Handle

Hardware Finishes



Hinged patio door hardware not available in Champagne and White.

¹ Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

² Screen cloth airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

³ On hinged patio doors, Endura Hardware Collection offers superior corrosion resistance with a 10-year warranty. See written warranty for complete details at pella.com/warranty.

⁴ Oil-Rubbed Bronze is a living finish that will develop its own unique patina with use.



Pella® 450 Series Features and Options



GLASS

InsulShield® Low-E Glass Collection

Advanced Low-E insulating glass with argon*	O
AdvancedComfort double-pane glass with argon*	O
SunDefense™ Low-E insulating glass with argon*	O
NaturalSun Low-E insulating glass with argon*	O

Additional Energy-Efficient Glass Options

Clear insulating glass with argon*	O
Gray-, Bronze- or Green-tinted glass with argon**	O
Obscure glass*	O

* Optional high-altitude InsulShield Low-E insulating glass does not contain argon.

** Not available with blinds-between-the-glass on sliding patio doors.

EXTERIOR/INTERIOR FINISHES

EnduraClad® aluminum exterior	S
Unfinished Pine interior	S
Prefinished paint or primed interior	O
Prefinished stain (Pine)	O

ENDURA CLAD EXTERIOR COLORS

Standard colors (White, Tan or Brown)	S
Feature colors	O*

* Available in Poplar White, Putty, Hartford Green, Brick Red or Black only.

HARDWARE FINISHES

Windows and sliding patio doors

Champagne, White or Brown	S
Bright Brass*, Satin Nickel* or Oil-Rubbed Bronze**	O
Exterior handle matches EnduraClad exterior finish color (patio doors)	S

Hinged patio doors

Bright Brass*	S
Brown, Satin Nickel*, Oil-Rubbed Bronze**, Antique Brass or Chrome	O

* Endura Hardware Collection on hinged patio doors offers superior corrosion resistance with a 10-year warranty. See written warranty for complete details at pella.com/warranty.

** Oil-Rubbed Bronze is a living finish that will develop its own unique patina with use.

SASH LOCKS/SASH LIFTS

Surelock® System with Unison Lock System* (casement and awning windows)	S
Cam-action locks (double-hung windows)	S
Sash lifts (sold separately for double-hung windows)	O

* Unison Lock System is standard on casement and awning windows over 29" tall or wide, respectively. Dual sash locks and lifts are standard on large windows.

EASY-CLEAN FEATURES

Clean exterior glass from inside (casement, awning and double-hung windows)	S
Both sashes tilt at the bottom (double-hung windows)	S

HINGES

Match handle finish color (in-swing doors)	O
--	---

LOCKING SYSTEM

Hinged patio door multipoint locking system	S
Sliding patio door single-point locking system	S

PERMANENT GRILLES*

7/8" Simulated-Divided-Light grilles (wood roomside and EnduraClad exterior)	O
3/4" aluminum grilles-between-the-glass**	O

* Grille patterns offered may vary per product. See your local Pella sales representative for availability.

** Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

REMOVABLE GRILLES*

3/4" grilles (wood roomside only, no exterior)	O
--	---

* Grille patterns offered may vary per product. See your local Pella sales representative for availability.

SCREENS*

Window

InView™ flat screen	S
Vivid View® high-transparency flat screen	O

Hinged patio door

Exterior InView flat screen door (matches exterior color)	O
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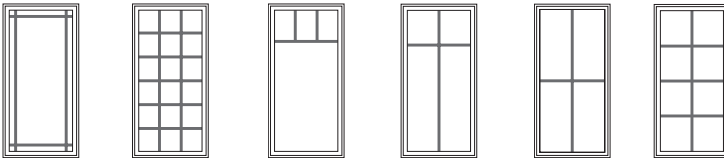
Sliding patio door

Top-hung InView flat screen door	O
----------------------------------	---

* Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

(S) Standard (O) Optional

GRILLE PATTERNS



9-Lite Prairie

Traditional

Top Row

Cross

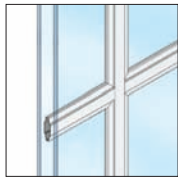
Custom (equally divided)

GRILLE TYPES

Permanent

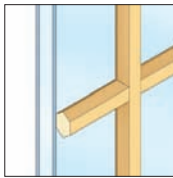


7/8" Simulated-Divided-Light Grilles



3/4" Aluminum Grilles-Between-the-Glass

Removable



3/4" Roomside Wood Grilles

GRILLES-BETWEEN-THE-GLASS INTERIOR COLORS⁵



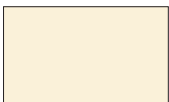
White



Tan⁶



Brown⁶



Ivory



Harvest



Cordovan



Brickstone

⁵ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁶ Only available with same colors on interior and exterior.

Tuesday, February 2, 2021

To: Ann Phillips phillipsann@detroitmi.gov

From: Charles McCrary

Cc: Historic District Commission (Staff), Garrick Landsberg

Written Reply to HDC Questions: (Responses are in blue text)

- **ISSUE 1:**

Letter “c” under the “Description of Exterior Conditions” (see screenshot of document below) section, the document states, “the first floor windows are scheduled for a full restoration back to its original state. (See Pella attachment.)”

- o **HDC Staff Comment:** In your previous application from October 2020, the HDC approved the restoration (not replacement) of the (3) living room windows only. They did not approve the restoration (or any work at all) at any of the other existing windows. Please see attached Certificate of Appropriateness for a list of what was approved.

- **Questions regarding the windows (please reply with response):**

1. Are you proposing work items at the existing windows on the **first floor** in your current application?

Issued for Clarification: The (3) living room windows are scheduled to remain and for restoration as indicated on A3-01 – not replacement.

2. Are you proposing work items at the existing windows on any floor **other than the first floor**?

Issued for Clarification: On the second floor the (5) existing windows the girls room and the (2) at stairs are scheduled remain.

3. Are you proposing to restore (repair and restore existing windows) *and/or* replace (remove existing windows and replace with new windows) the existing windows?

Issued for Clarification: The (2) living room windows on either side of the fireplace is likewise scheduled to remain.

4. If you are proposing work items at **any** existing window, what specific work items (restoration or replacement) are proposed at which specific windows and what is the scope of work (ex: repair, scrape, paint, replace broken glass, etc.) associated)? Please provide detailed photographs of the interior and exterior of each window you are proposing for restoration or replacement as soon as possible.

5. If proposing to replace, which specific window product within the Pella cut sheets are you proposing (including operation, light configuration, and finish)?

Issued for Clarification: See attached photos of existing windows. All front windows on the south elevation will be restored (repaired in place, scrape, and painted).

- **ISSUE 2:**

Letter “d” under the “Description of Exterior Conditions” (see screenshot of document below) section, the document states, “There are (3) exterior door on the first floor, none of which appears to original. (See Pella attachment.)”

o **HDC Staff Comment:** In your previous application from October 2020, the HDC did not approve the replacement (or any work at all) of the existing exterior doors. Please see attached Certificate of Appropriateness for a list of what was approved.

▪ **Questions regarding the doors (please reply with response):**

6. Are you proposing to restore (repair and restore existing windows), replace (remove existing windows and replace with new windows), and/or completely remove (not to be replaced) any of the existing doors?

7. If so, what specific work items are proposed at which specific door? Please provide detailed photographs of the interior and exterior of each door you are proposing for restoration, replacement, and/or removal (not to be replaced) as soon as possible.

8. provide detailed photographs of the interior and exterior of each window you are proposing for restoration or replacement as soon as possible.

9. If proposing to replace, what specific door within the Pella cut sheets are you proposing? (including design and finish)

10. If proposing to restore, what is the scope of work associated with the restoration? (ex: repair, scrape, paint, etc.)

Issued for Clarification: Notes same as response comments above.

• **ISSUE 3:**

Letter “f” under the “Description of Exterior Conditions” (see screenshot of document below) section, the document states, “The concrete front porch and steps are in severe deferred maintenance – we proposed these conditions to be restored.”

o **HDC Staff Comment:** In your previous application from October 2020, the HDC approved the repair and restoration of the existing concrete porch deck and stairs. Please see attached Certificate of Appropriateness for a list of what was approved. **This scope item will not be reviewed by the Commission as it has already been approved.**

• **ISSUE 4:**

It is not stated anywhere in your current application documents that you are proposing to demolish the existing rear wing.

o **HDC Staff Comment:** In your previous application from October 2020, you were proposing to demolish the existing rear wing to erect the new addition.

▪ **Questions regarding the demolition of the rear wing (please reply with response):**

11. What is the proposal – demolition of the existing rear wing or not?

Issued for Clarification: The existing first and second floor rear wings will be demolished and shown on the submitted plans.

Restore windows,
replace glass, paint

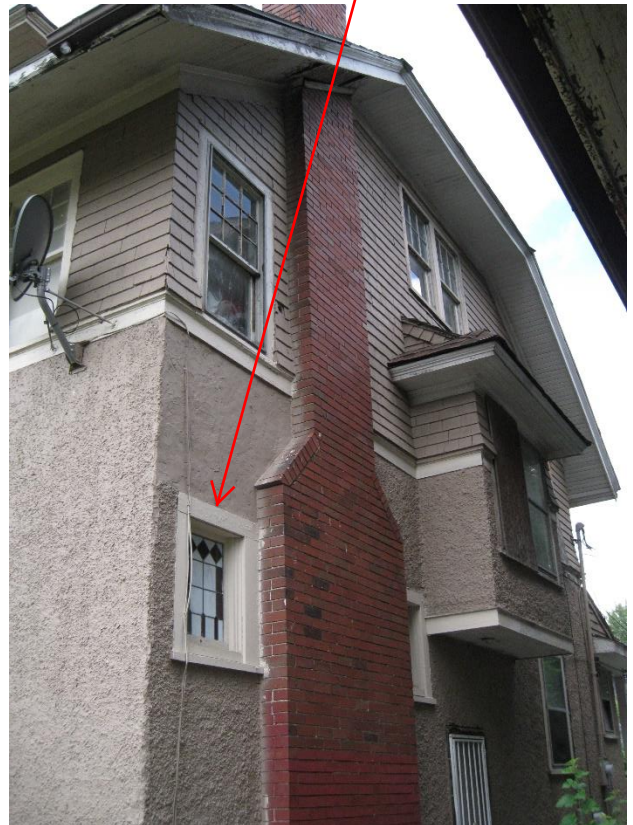
Restore windows,
replace glass, paint



Restore windows,
replace glass, paint

Replace non-
original entry door

Restore windows,
replace glass, paint



Restore 1st floor front windows, replace glass, paint



Restore 1st floor side windows, replace glass, paint



Restore 3rd floor front windows, replace glass, paint



Ann Phillips <phillipsann@detroitmi.gov>

To: Charles McCrary

Cc: Isatou Whitfield, Garrick Landsberg, Historic District Commission (Staff)

Hi Charles,

Received, thanks for sending. I still need clarification on the following items. Please respond to all of the red items below as soon as you are able so I can be sure to include the information in my staff report:

- **Doors**

- o **Doors at Existing House**

- o **Exterior Door Replacement Proposal** -- You are proposing to replace the two existing doors (1 at the front porch and 1 at the side (east) elevation).

- I received the photo of the existing door at the front porch in your previous submission – thank you.

- Please send a photo of the existing door at the side (east) elevation

- Reply: A straight on photo is difficult the houses are less than 10' apart.

- See attached photo.

- Please send a photo of the existing door at the porch on the rear (north) elevation

- Reply: See attached photo.

- What is the exact door(s) in the Pella 450 Series you are proposing? (include exterior finish, hardware proposal, and light configuration (simulated divided light or grille between the glass?) for each door).

- Reply: See attached Pella door, finish, hardware and lights.

- o **Doors at Addition**

- o **New Exterior Doors at Addition Proposal** -- You are proposing a new rear entry door as well as a pair of new doors which open out onto the proposed rear deck

- What is the exact doors in the Pella 450 Series you are proposing? (include exterior finish, hardware proposal, and light configuration (simulated divided light or grille between the glass?) for those doors).

- Reply: Same as above - see attached Pella door.

- **Windows**

- o **Windows at Existing House**

- o **New Windows at Existing House Proposal (Pella 450 Series – Aluminum Clad wood windows)**

- Your drawings show that you are proposing to completely remove existing windows on the side and rear elevations of the existing house and are proposing to construct new openings (with new windows) in new locations on the side and rear elevations. (See highlighted portions of existing and proposed drawings below for an example)

- Please confirm this is correct.

- Reply: Correct.

- Please send photographs of all windows you are proposing to remove on the side and rear elevations.

- What is the exact window(s) in the Pella 450 Series you are proposing (include exterior finish and light configuration (simulated divided light or grille between the glass?) for each window).

- Reply: See attached Pella Lifestyles Series windows, finish, hardware and glass.

- o **Windows at Addition**

- New Windows at *Addition* Proposal (Pella 450 Series – Aluminum Clad wood windows)**

- **What is the exact window(s) in the Pella 450 Series you are proposing (include exterior finish and light configuration (simulated divided light or grille between the glass?) for each window).**

- Reply: See attached Pella door, finish, hardware and lights Pella Lifestyle Series door, finish, hardware and lights**

- **Cladding**

- o Cladding at Existing House**

- **Are you proposing to repair, clean, paint or modify the existing stucco and cedar shake siding?**

- Reply: See attached exterior stucco details and hardie siding in the submittal package.**

- **If so, what are you proposing?**

- Reply: Repair existing stucco where possible.**

- o New Cladding at Addition**

- Your application states you will be using the Straight Edge Panel Hardie Product at the top portion and a 3-coat stucco cladding at the bottom portion of the addition only (not on the existing house). You also propose a continuation of painted wood trim. And that the addition will be painted to match the existing house (light beige for the Hardie siding and stucco with a yellowish gray for the windows and wood trim).

- **Please confirm.**

- Reply: Correct, paint samples previously submitted in package.**

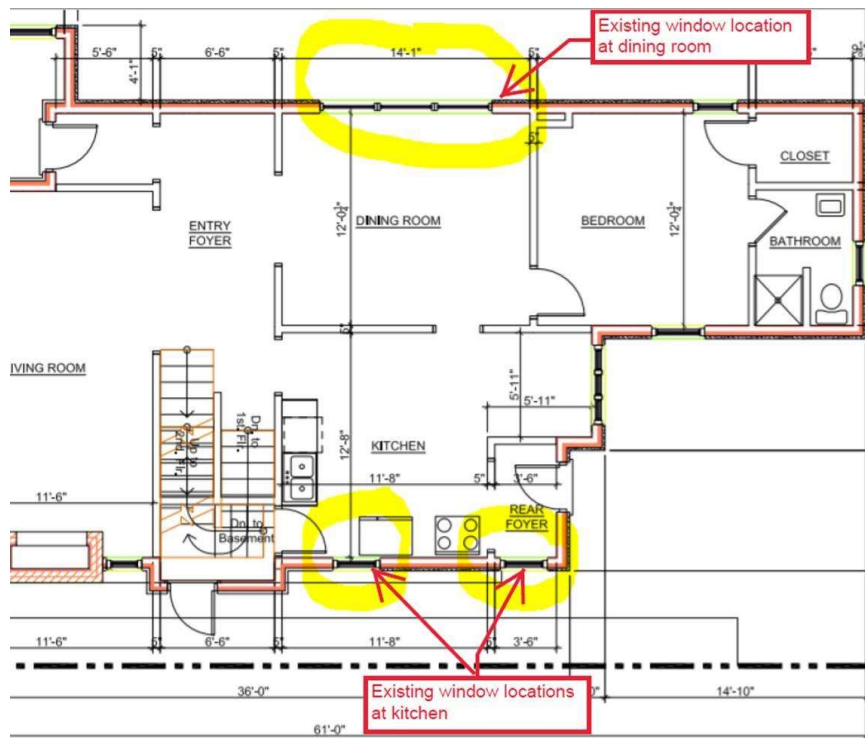
- In the application, you include the B:18 Dark Reddish Brown color as a proposal for the stucco.

- **Is this correct?**

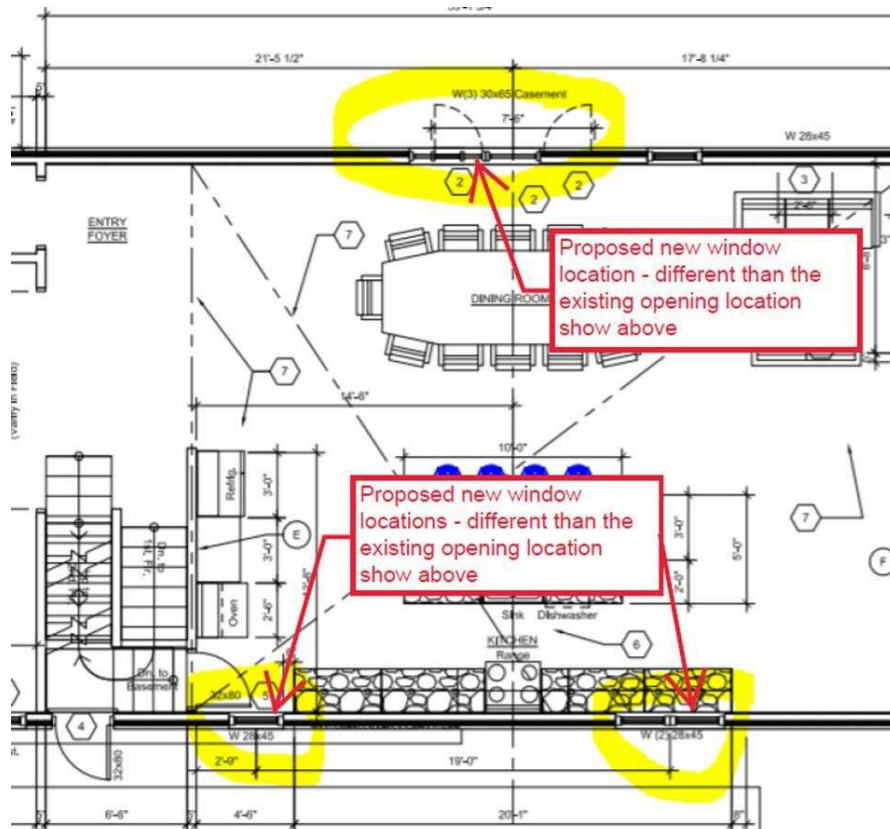
- Reply: Correct the stucco paint color will “Yellowish Grey” same and the windows, and the wood trim.**

- I ask because the stucco of the existing house is **not** dark reddish brown, it is painted a light beige color.

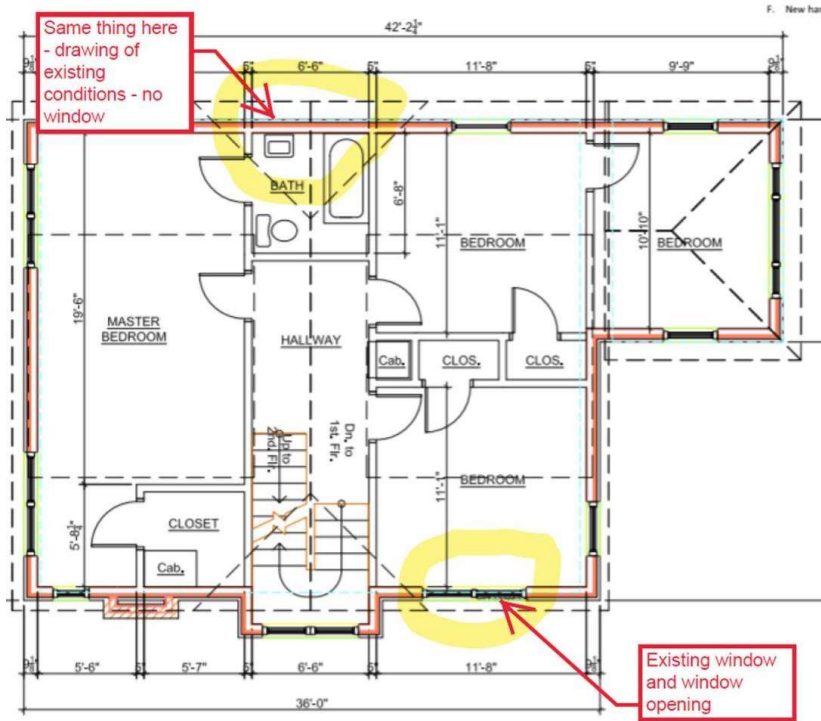
1st Floor Existing Drawing



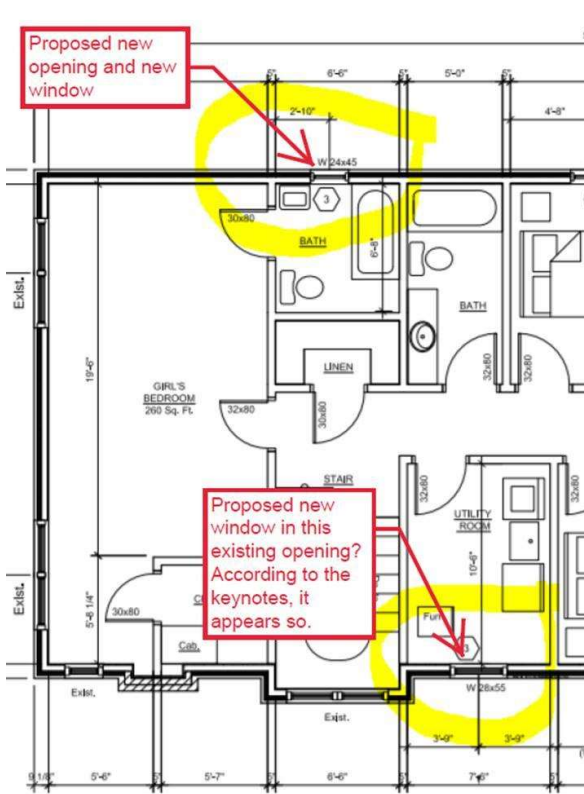
1st Floor Proposed Drawing



2nd Floor Existing Drawing



2nd Floor Proposed Drawing



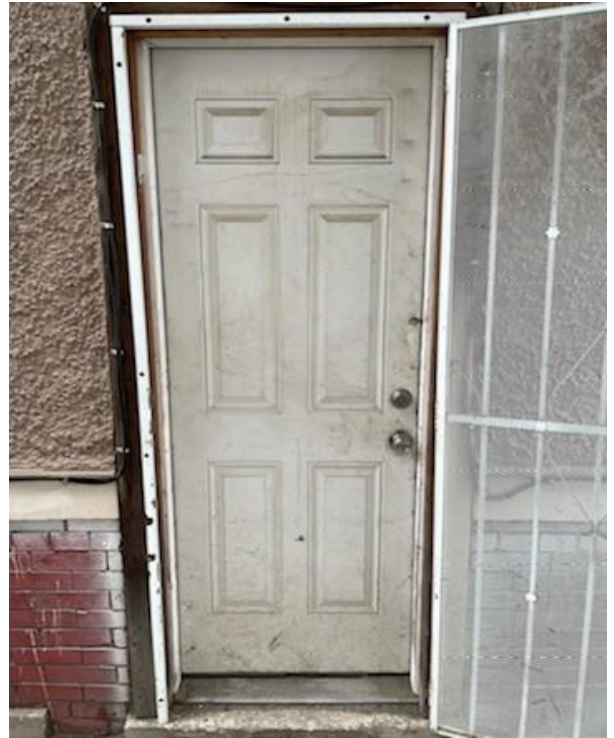


Photo of the existing interior & exterior door at the side (east) elevation.



Photo of the existing interior & exterior door at the porch on the rear (north) elevation.

COLOR SYSTEM E

ASSOCIATED ARCHITECTURAL STYLES: (14) PRAIRIE, (15) BUNGALOW

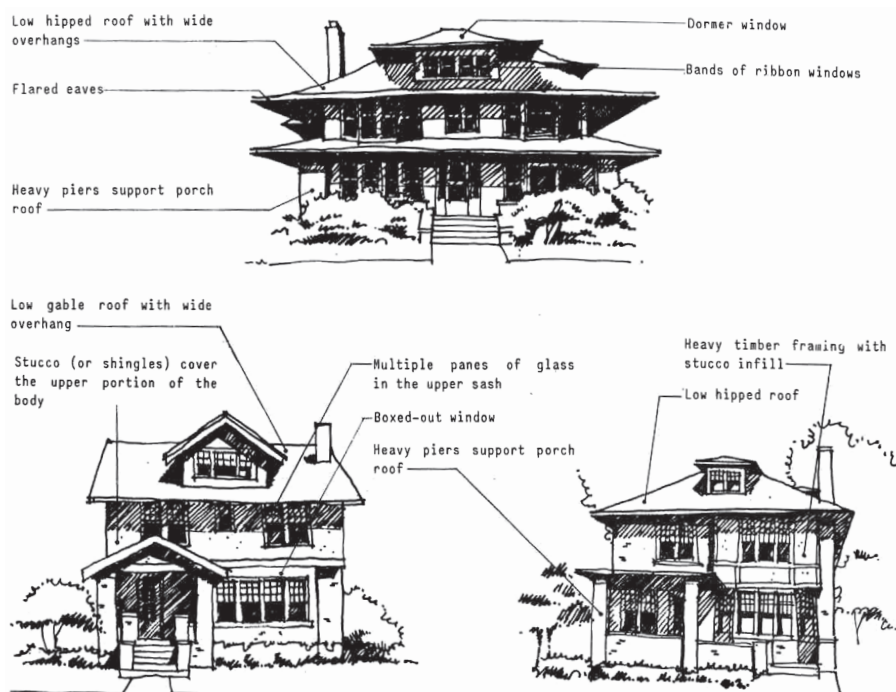
The Prairie School houses with their Neo-Georgian and Chicago School Vernacular spin-offs and the ubiquitous Bungalow Style, all more or less partake of the same color theory as the post-1900 English Revival houses. Both the Prairie School and the Bungalow houses, however, followed a trend toward the lighter colors introduced later in the century. If the owner wished to follow Color System D, he would certainly be historically correct in so doing, however, both Prairie and Bungalow Style houses permit a wider range of choice.

Those Neo-Georgian Vernacular houses that are touched by the Prairie Style (low hip roofs with side overhanging eaves, ribbon windows, a change of materials from the first to the second floors) should not be painted with the Colonial color palette as their name might suggest. Just as the Prairie details might have been grafted onto what is essentially a 4-square box, so the colors of the Prairie Style should be used.

Stucco houses of these styles might be painted in grays, yellows, browns, or when used only for the second floor which is stuccoed above a first floor of another material, one of two oranges. However, stark white was rarely used for Prairie or Bungalow (or for that matter Arts and Crafts) houses.

The heavy timber framing and shingles occasionally used on Prairie or Bungalow Style houses should be painted or stained a dark color to give what one early twentieth-century manufacturer called "the weathered idea of the old bungalow which gained its beauty largely by leaving the unprotected lumber to be exposed to the weather."

It is in the choice of trim colors that there is the greatest freedom, for the use of whites, grays, soft greens, browns, and yellows are all acceptable. Keeping in mind the need to provide color contrast between the trim and any shingles or stucco and half-timbering, (the stucco color should also be different than the half-timbering), grays, yellows, browns, greens and oranges would be appropriate trim colors. For houses of this type, one Detroit manufacturer suggested that "green is by far the most popular color for shutters, though in many instances they are painted to correspond to the body or trimmings of the house." Sash is "usually painted black, white, ivy green or deep rich colors such as copper browns.... If desired, one of the same shades may be used that is employed for the body of the house."



COLOR SYSTEM E

ACCEPTABLE COLOR COMBINATIONS *MS = MUNSELL STANDARD

BODY	TRIM	SASH	SHUTTERS
Stucco/Siding: Any system E color EXCEPT A:7, A:8, A:9, B:19 Use E:2 & E:3 on second floor only above another material	Any System E color to contrast body color	Match trim color or match body color or A:9, B:18, B:19	Match trim color, match body color, or A:8
Shingles/Heavy Timber: Stained or painted A:9, B:1, B:2, B:5, B:6, B:7, B:8, B:11, B:12, B:13, B:14, B:18	Any System E color to contrast body color	Match trim color or match body color or A:9, B:18, B:19	Match trim color, match body color, or A:8
Existing brick or stone			

Windows, Stucco, and Wood Trim

 A:1 Yellowish Gray MS: 2.5Y 8/2	 A:2 Light Olive Gray MS: 10Y 6/1	 A:3 Light Yellow MS: 5Y 8/6	 A:4 Pale Yellow MS: 2.5Y 8.5/4	 A:5 Grayish Yellow MS: 2.5Y 7/4	 A:8 Blackish Green MS: 2.5BG 2/2
 A:9 Moderate Reddish Brown MS: 7.5R 3/6	 B:1 Light Yellowish Brown MS: 10YR 6/4	 B:2 Dark Yellow MS: 5Y 6/6	 B:3 Light Yellow MS: 2.5Y 8/6	 B:4 Moderate Yellow MS: 2.5Y 7/6	 B:5 Light Brown MS: 7.5YR 5/4
 B:6 Moderate Brown MS: 7.5YR 4/4	 B:7 Moderate Yellowish Brown MS: 10YR 5/4	 B:8 Grayish Brown MS: 5YR 3/2	 B:11 Grayish Olive Green MS: 5GY 4/2	 B:12 Grayish Green MS: 10G 4/2	 B:13 Moderate Olive Brown
 B:14 Dark Grayish Olive MS: 10Y 2/2	 B:15 Dark Grayish Yellow MS: 5Y 6/4	 B:17 Light Olive MS: 10Y 5/4	 B:18 Dark Reddish Brown MS: 2.5YR 2/4	 B:19 Black MS: N 0.5/	 C:4 Yellowish White MS: 5Y 9/1
 C:5 Yellowish White MS: 2.5Y 9/2	 D:1 Brownish Pink MS: 7.5YR 7/2	 D:2 Light Brown MS: 5YR 6/4	 E:1 Light Grayish Yellowish Brown MS: 10YR 6/2	 E:2 Strong Yellowish Brown MS: 7.5YR 6/8	 E:3 Grayish Reddish Orange MS: 2.5YR 5/6
 E:4 Grayish Yellow Green MS: 7.5GY 6/2					

FIND OUT MORE!
www.detroitmi.gov/hdc



Contract - Detailed

Pella Window and Door Showroom of Auburn Hills
 1920 Opdyke Ct Suite 100
 Auburn Hills, MI 48326
Phone: (248) 292-5000 **Fax:** (248) 292-5005

Sales Rep Name: Kruzel, Patrick
Sales Rep Phone: 248-260-6844
Sales Rep Fax: 248-292-5053
Sales Rep E-Mail: KruzelPL@pella.com

Customer Information	Project/Delivery Address	Order Information
MCCRARY GROUP 20433 KLINGER DETROIT, MI 48234 Primary Phone: (313) 3334031 Mobile Phone: Fax Number: E-Mail: Contact Name: Great Plains #: Customer Number: 1009725316 Customer Account: 1005875971	WHITFIELD 858 EDISON DETROIT Lot # , County: Owner Name: Owner Phone:	Quote Name: 2020LS Order Number: 189 Quote Number: 13156781 Order Type: Non-Installed Sales Wall Depth: Payment Terms: Tax Code: MISALESTAX Cust Delivery Date: None Quoted Date: 9/22/2020 Contracted Date: Booked Date: Customer PO #:

Customer Notes: 2020 LIFESTYLE SERIES

YOUR COST AS SHOWN BELOW

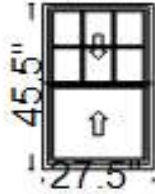
- EXTERIOR- VERIFY
- INTERIOR- UNFINISHED (FOR PREFINISH WHITE ADD \$2200)
- HARDWARE- VERIFY
- SCREEN- VERIFY
- GRILL- BETWEEN GLASS (FOR SDL ADD \$6800)
- JAMB EXTENSION- 4 9/16" ATTACHED (VERIFY)

INCLUDES INSTALLATION TAPE

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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10 KITCHEN

Lifestyle, Double Hung, 27.5 X 45.5, Without HGP, White



PK #
2072

Viewed From Exterior

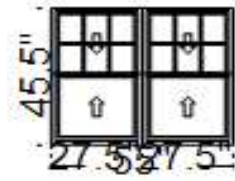
1: 27.545.5 Double Hung, Equal
Frame Size: 27 1/2 X 45 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 146".

Item Price	Qty	Ext'd Price
\$324.42	1	\$324.42

Rough Opening: 28 - 1/4" X 46 - 1/4"

Line #	Location:	Attributes
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15 FAMILY ROOM



PK #
2072

Viewed From Exterior

Lifestyle, 2-Wide Double Hung, 55 X 45.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$675.68	1	\$675.68

1: 27.545.5 Double Hung, Equal

Frame Size: 27 1/2 X 45 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

2: 27.545.5 Double Hung, Equal

Frame Size: 27 1/2 X 45 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 201".

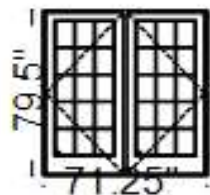
Rough Opening: 55 - 3/4" X 46 - 1/4"

Line #	Location:	Attributes
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20 FAMILY ROOM

Lifestyle, Double Inswing Door Active / Inactive, 71.25 X 79.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$2,687.55	1	\$2,687.55



PK #
2072

Viewed From Exterior

1: 7280 Active / Inactive Double Inswing Door

Frame Size: 71 1/4 X 79 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5 7/8", 4 9/16", Standard Sill, Mill Finish Sill

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Standard, White, Multipoint Lock, No Integrated Sensor, Order Handle Set, Order Handle Set

Screen: No Screen

Performance Information: U-Factor 0.28, SHGC 0.19, VLT 0.35, CPD PEL-N-221-00392-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W5H / 3W5H), White, White

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 302".

Rough Opening: 72" X 80"

Line #	Location:	Attributes
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25 BATH

Lifestyle, Double Hung, 27.5 X 45.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$403.24	1	\$403.24



PK #
2072

Viewed From Exterior

1: 27.545.5 Double Hung, Equal

Frame Size: 27 1/2 X 45 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00366-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 146".

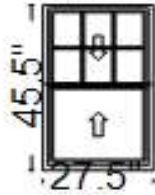
Rough Opening: 28 - 1/4" X 46 - 1/4"

Line #	Location:	Attributes		
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30 FAMILY ROOM

Lifestyle, Double Hung, 27.5 X 45.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$324.42	2	\$648.84



PK #
2072

Viewed From Exterior

1: 27.545.5 Double Hung, Equal
Frame Size: 27 1/2 X 45 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 146".

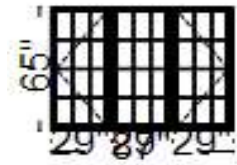
Rough Opening: 28 - 1/4" X 46 - 1/4"

Line #	Location:	Attributes
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35 DINING ROOM

Lifestyle, 3-Wide Casement, 87 X 65, Without HGP, White

Item Price	Qty	Ext'd Price
\$1,439.21	1	\$1,439.21



PK #
2072

Viewed From Exterior

1: 2965 Left Casement

Frame Size: 29 X 65

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integrated Sensor

Screen: No Screen

Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-14-00501-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W4H), White, White

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

2: 2965 Fixed Sash Set

Frame Size: 29 X 65

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Performance Information: U-Factor 0.28, SHGC 0.28, VLT 0.52, CPD PEL-N-22-00656-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W4H), White, White

Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

3: 2965 Right Casement

Frame Size: 29 X 65

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16"

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integrated Sensor

Screen: No Screen

Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-14-00501-00001, Performance Class LC, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)

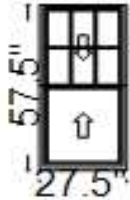
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W4H), White, White

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 304".

Rough Opening: 87 - 3/4" X 65 - 3/4"

Line #	Location:	Attributes
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40	UTILITY ROOM	Lifestyle, Double Hung, 27.5 X 57.5, Without HGP, White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$380.13	1	\$380.13



PK #
2072

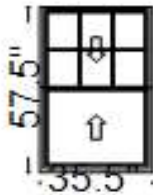
Viewed From Exterior

1: 27.557.5 Double Hung, Equal
Frame Size: 27 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 170".

Rough Opening: 28 - 1/4" X 58 - 1/4"

Line #	Location:	Attributes
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45	GUEST BEDROOM 1	Lifestyle, Double Hung, 35.5 X 57.5, Without HGP, White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$432.20	2	\$864.40



PK #
2072

Viewed From Exterior

1: 35.557.5 Double Hung, Equal
Frame Size: 35 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 186".

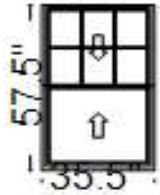
Rough Opening: 36 - 1/4" X 58 - 1/4"

Customer Notes: ***EGRESS ADJUSTED***

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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50 GUEST BEDROOM 2

Lifestyle, Double Hung, 35.5 X 57.5, Without HGP, White



PK #
2072

Viewed From Exterior

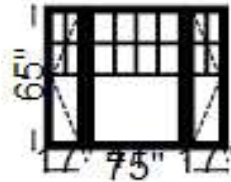
1: 35.557.5 Double Hung, Equal
Frame Size: 35 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 186".

Item Price	Qty	Ext'd Price
\$432.20	1	\$432.20

Rough Opening: 36 - 1/4" X 58 - 1/4"

Customer Notes: ***EGRESS ADJUSTED***
 ***FOR ARCH SE *** \$785

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
55	GUEST BEDROOM 2	Architect, Traditional, Casement, Sash Set, Casement, 75 X 65, White	\$1,673.06	1	\$1,673.06

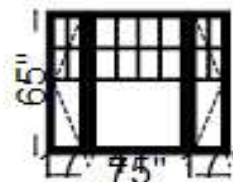
PK #
2072

Viewed From Exterior

1: Traditional, 1765 Left Casement**Frame Size:** 17 X 65**General Information:** Standard, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Painted, Standard Enduraclad, White**Interior Color / Finish:** Unfinished Interior**Sash / Panel:** Ogee, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor**Screen:** No Screen**Performance Information:** U-Factor 0.28, SHGC 0.24, VLT 0.43, CPD PEL-N-11-21749-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** GBG, No Custom Grille, 3/4" Contour, Top Row (2W2H), White, White**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20**2: Traditional, 4165 Fixed Sash Set****Frame Size:** 41 X 65**General Information:** Standard, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Painted, Standard Enduraclad, White**Interior Color / Finish:** Unfinished Interior**Sash / Panel:** Ogee, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Performance Information:** U-Factor 0.28, SHGC 0.27, VLT 0.50, CPD PEL-N-1-53755-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11**Grille:** GBG, No Custom Grille, 3/4" Contour, Top Row (4W2H), White, White**Vertical Mull 2:** FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20**3: Traditional, 1765 Right Casement****Frame Size:** 17 X 65**General Information:** Standard, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Painted, Standard Enduraclad, White**Interior Color / Finish:** Unfinished Interior**Sash / Panel:** Ogee, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor**Screen:** No Screen**Performance Information:** U-Factor 0.28, SHGC 0.24, VLT 0.43, CPD PEL-N-11-21749-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** GBG, No Custom Grille, 3/4" Contour, Top Row (2W2H), White, White**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 280".**Rough Opening:** 75 - 3/4" X 65 - 3/4"

Customer Notes: ***FOR 2020LS W/ TOP ROW*** \$1705

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
60	GUEST BEDROOM 2	Architect, Traditional, Casement, Sash Set, Casement, 75 X 65, White	\$1,673.06	1	\$1,673.06

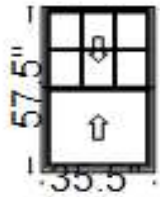
PK #
2072

Viewed From Exterior

1: Traditional, 1765 Left Casement**Frame Size:** 17 X 65**General Information:** Standard, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Painted, Standard Enduraclad, White**Interior Color / Finish:** Unfinished Interior**Sash / Panel:** Ogee, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor**Screen:** No Screen**Performance Information:** U-Factor 0.28, SHGC 0.24, VLT 0.43, CPD PEL-N-11-21749-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** GBG, No Custom Grille, 3/4" Contour, Top Row (2W2H), White, White**Vertical Mull 1:** FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20**2: Traditional, 4165 Fixed Sash Set****Frame Size:** 41 X 65**General Information:** Standard, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Painted, Standard Enduraclad, White**Interior Color / Finish:** Unfinished Interior**Sash / Panel:** Ogee, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Performance Information:** U-Factor 0.28, SHGC 0.27, VLT 0.50, CPD PEL-N-1-53755-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11**Grille:** GBG, No Custom Grille, 3/4" Contour, Top Row (4W2H), White, White**Vertical Mull 2:** FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20**3: Traditional, 1765 Right Casement****Frame Size:** 17 X 65**General Information:** Standard, Clad, Pine, 5", 3 11/16"**Exterior Color / Finish:** Painted, Standard Enduraclad, White**Interior Color / Finish:** Unfinished Interior**Sash / Panel:** Ogee, Ogee, Standard**Glass:** Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude**Hardware Options:** Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor**Screen:** No Screen**Performance Information:** U-Factor 0.28, SHGC 0.24, VLT 0.43, CPD PEL-N-11-21749-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements**Grille:** GBG, No Custom Grille, 3/4" Contour, Top Row (2W2H), White, White**Wrapping Information:** Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 280".**Rough Opening:** 75 - 3/4" X 65 - 3/4"

Line #	Location:	Attributes			
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65	GUEST BEDROOM 3	Lifestyle, Double Hung, 35.5 X 57.5, Without HGP, White			
			Item Price	Qty	Ext'd Price
			\$432.20	1	\$432.20



PK #
2072

Viewed From Exterior

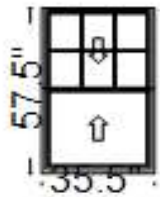
1: 35.557.5 Double Hung, Equal
Frame Size: 35 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 186".

Rough Opening: 36 - 1/4" X 58 - 1/4"

Customer Notes: ***EGRESS ADJUSTED***
 ***FOR ARCH SE *** \$785

Line #	Location:	Attributes			
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70	GUEST BEDROOM 4	Lifestyle, Double Hung, 35.5 X 57.5, Without HGP, White			
			Item Price	Qty	Ext'd Price
			\$432.20	2	\$864.40



PK #
2072

Viewed From Exterior

1: 35.557.5 Double Hung, Equal
Frame Size: 35 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 186".

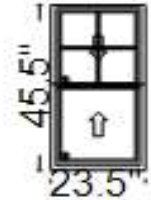
Rough Opening: 36 - 1/4" X 58 - 1/4"

Customer Notes: ***EGRESS ADJUSTED***
 ***FOR ARCH SE *** \$785

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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75 UPPER BATH

Lifestyle, Double Hung, 23.5 X 45.5, Without HGP, White



PK #
2072

Viewed From Exterior

1: 23.545.5 Double Hung, Equal
Frame Size: 23 1/2 X 45 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00366-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (2W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 138".

Item Price	Qty	Ext'd Price
\$367.46	1	\$367.46

Rough Opening: 24 - 1/4" X 46 - 1/4"

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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80	OFFICE	Lifestyle, 4-Wide Double Hung, 110 X 57.5, Without HGP, White	\$1,451.46	1	\$1,451.46
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PK #
2072

Viewed From Exterior

1: 27.557.5 Double Hung, Equal
Frame Size: 27 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: No Screen
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

2: 27.557.5 Double Hung, Equal
Frame Size: 27 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: No Screen
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Vertical Mull 2: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

3: 27.557.5 Double Hung, Equal
Frame Size: 27 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: No Screen
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Vertical Mull 3: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

4: 27.557.5 Double Hung, Equal
Frame Size: 27 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: No Screen
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella

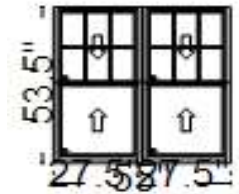
For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Recommended Clearance, Perimeter Length = 335".

Rough Opening: 110 - 3/4" X 58 - 1/4

Line #	Location:	Attributes
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85 UPPER STAIR



PK #
2072

Viewed From Exterior

Lifestyle, 2-Wide Double Hung, 55 X 53.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$924.64	1	\$924.64

1: 27.553.5 Double Hung, Equal

Frame Size: 27 1/2 X 53 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00366-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

2: 27.553.5 Double Hung, Equal

Frame Size: 27 1/2 X 53 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00366-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 217".

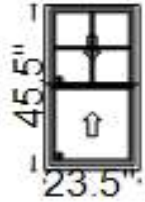
Rough Opening: 55 - 3/4" X 54 - 1/4"

Line #	Location:	Attributes		
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90 3RD FL BATH

Lifestyle, Double Hung, 23.5 X 45.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$367.46	1	\$367.46



PK #
2072

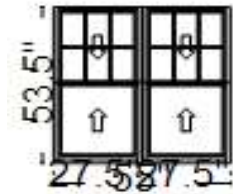
Viewed From Exterior

1: 23.545.5 Double Hung, Equal
Frame Size: 23 1/2 X 45 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00366-00001, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (2W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 138".

Rough Opening: 24 - 1/4" X 46 - 1/4"

Line #	Location:	Attributes
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95 WALK IN CLOSET



PK #
2072

Viewed From Exterior

Lifestyle, 2-Wide Double Hung, 55 X 53.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$749.95	1	\$749.95

1: 27.553.5 Double Hung, Equal

Frame Size: 27 1/2 X 53 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

2: 27.553.5 Double Hung, Equal

Frame Size: 27 1/2 X 53 1/2

General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray

Exterior Color / Finish: Standard Enduraclad, White

Interior Color / Finish: Unfinished Interior

Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude

Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor

Screen: Full Screen, White, InView™

Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements

Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White

Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 217".

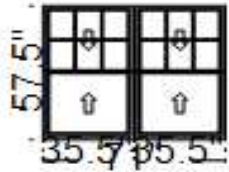
Rough Opening: 55 - 3/4" X 54 - 1/4"

Line #	Location:	Attributes
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100 MASTER BEDROOM

Lifestyle, 2-Wide Double Hung, 71 X 57.5, Without HGP, White

Item Price	Qty	Ext'd Price
\$891.23	4	\$3,564.92



PK #
2072

Viewed From Exterior

1: 35.557.5 Double Hung, Equal
Frame Size: 35 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Mull Design Pressure- 20, Overall Thru Direction- Vertical

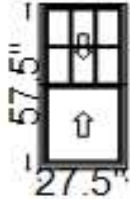
2: 35.557.5 Double Hung, Equal
Frame Size: 35 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 35, Calculated Positive DP Rating 35, Calculated Negative DP Rating 35, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 257".

Rough Opening: 71 - 3/4" X 58 - 1/4"

Customer Notes: ***EGRESS ADJUSTED***

Line #	Location:	Attributes		
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105	3RD FAMILY ROOM	Lifestyle, Double Hung, 27.5 X 57.5, Without HGP, White	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$380.13	2	\$760.26



PK #
2072

Viewed From Exterior

1: 27.557.5 Double Hung, Equal
Frame Size: 27 1/2 X 57 1/2
General Information: No Package, Without Hinged Glass Panel, Clad, Pine, 5", 3 11/16", Gray
Exterior Color / Finish: Standard Enduraclad, White
Interior Color / Finish: Unfinished Interior
Glass: Insulated Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.30, SHGC 0.27, VLT 0.50, CPD PEL-N-35-00363-00001, Performance Class LC, PG 40, Calculated Positive DP Rating 40, Calculated Negative DP Rating 40, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: GBG, No Custom Grille, 3/4" Contour, Traditional (3W2H / 0W0H), White, White
Wrapping Information: Foldout Fins, Factory Applied, No Exterior Trim, 4 9/16", 5 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 170".

Rough Opening: 28 - 1/4" X 58 - 1/4"

Line #	Location:	Attributes		
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110	None Assigned	01HM0000 - 3" Pella Installation Tape, 150 ft (1)	<u>Item Price</u>	<u>Qty</u>	<u>Ext'd Price</u>
			\$36.40	6	\$218.40



Quotation

Pella Windows & Doors Detroit

1940 Opdyke Ct
Auburn Hills,
United States
2482925000

Quote ID SQIGV000474-1

**P.O. Number
**

Quoted for

Ship-to

Micronesia, Federated States Of

Prepared by Patrick Kruzel
(248) 292-5000
kruzelpl@pella.com

Prepared on 9/24/2020
Available to 11/23/2020

Quote Information

Quote ID	SQIGV000474-1	Quote Name	WHITFIELD 858 EDISON DETROIT	
Total Lines	2	Total Value	2,657.88	Status Open
Freight Terms		Payment Terms		

All prices are in USD

All units, quantities and accessories have been verified and accepted by the undersigned for purchase.

Accepted by _____

Date _____

Application version 8.1.1.5CF

Printed on 9/24/2020

Content Version 1.0.0.0

Page 1 of 3



Quotation

Pella Windows & Doors Detroit

1940 Opdyke Ct
Auburn Hills,
United States
2482925000

Quote ID

SQIGV000474-1

P.O. Number

Line	Label	Qty	UOM	Family/Part Number	Unit	Extended
1	SIDE ENTRY	1.0000	EA	Waudena Entrance Systems	1,348.81	1,348.81



Door Configuration: Single Entry Unit Type: Assembled Unit

Texture: ValueLine
Glass Type: Clear LE Glass
Style: D-866
Width: 3'-0" Height: 6'-8"

Hinging: Hinge Left/Right Hand Inswing
Hinge Type: Ball Bearing Satin Nickel (US15)
2-3/4" Backset - 2-1/8" Deadbolt Bore
Zeel Frame

Jamb and Sill

Jamb Type: Aluminum Clad Dura Frame
Full Lip DB Strike Prep
Jamb Depth: 4-9/16"
Jamb Prefinish: Paint Interior Surface On Jamb
Interior Jamb Prefinish: 120 Classic White
Jamb Reinforcement Plate Provided as a Standard.
Clad Type: Brickmold Nosing, Clad Color: 120 Classic White
Nail Fin: Vinyl Nailing Fin
Sill Type: Adjustable Mill Finish
Beige Q-Lon W/S and Sweep

Door Opening Specifications (Width x Height)

Frame Size/Unit Dimension: 37 1/2" x 81 3/4"
R.O. Size: 38 1/2" x 82"
Brickmold/Clad Dimensions: 40" x 83"

Note: The image shown is a representation of the product and may not reflect all options selected. Verify the details above for the actual configuration.



Quotation

Pella Windows & Doors Detroit

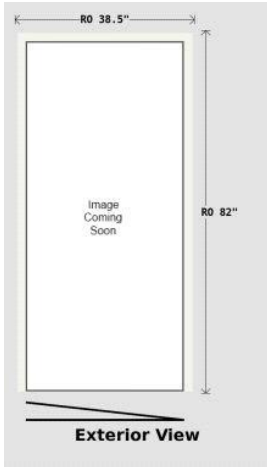
1940 Opdyke Ct
Auburn Hills,
United States
2482925000

Quote ID

SQIGV000474-1

P.O. Number

Line	Label	Qty	UOM	Family/Part Number	Unit	Extended
2	FRONT ENTRY	1.0000	EA	Waudena Entrance Systems	1,309.07	1,309.07



Door Configuration: Single Entry

Unit Type: Assembled Unit

Texture: ValueLine
 Glass Type: Clear Glass
 Style: D-25 -9L
 Grille Color: Classic White
 Width: 3'-0" Height: 6'-8"
 Hinging: Hinge Left/Right Hand Inswing
 Hinge Type: Ball Bearing Satin Nickel (US15)
 2-3/4" Backset - 2-1/8" Deadbolt Bore
 Zeel Frame

Jamb and Sill

Jamb Type: Aluminum Clad Dura Frame
 Full Lip DB Strike Prep
 Jamb Depth: 4-9/16"
 Jamb Prefinish: Paint Interior Surface On Jamb
 Interior Jamb Prefinish: 120 Classic White
 Jamb Reinforcement Plate Provided as a Standard.
 Clad Type: Brickmold Nosing, Clad Color: 120 Classic White
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All prices are in USD

Items Subtotal (MSRP)

2,657.88