

12/15/2020

CERTIFICATE OF APPROPRIATENESS

Kraemer Design Group, LLC
1420 Broadway
Detroit, MI 48226

**RE: Application Number 20-6982; 459 Henry; Cass-Henry Historic District
Project Scope: Rehabilitate Apartment Building**

Dear Applicant,

At the regular scheduled meeting that was held on December 9, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of December 15, 2020.

The Commission issued a Certificate of Appropriateness for the following work as it meets the Secretary of Interior’s Standards for Rehabilitation:

Brick and stone

- *Inspected for damage*
- *Brown paint to be removed [process not provided]*
- *Masonry cleaned with a light duty detergent and low pressure water rinse*
- *Brick and stone will be repointed, and loose or displaced units will be reset*
- *Repointed mortar will match the color, texture, compressive strength, joint width, and joint profile of the existing historic mortar*
- *Damaged brick and stone will be repaired as necessary*
- *Any units too badly deteriorated to repair will be replaced, with salvaged brick to be reused where replacements are needed before new units are used*
- *If new units are necessary, they will be selected to match the existing in size, profile, color, and finish*
- *The stone elements at the main entry porch will be cleaned to remove all paint and return to bare stone [process not provided]*

Cornice

- *A new fiberglass or GFRC cornice will be fabricated using the existing cornices at 439 and 489 Henry as design intent. Cornice color to match historic color found at reference locations (TBD).*

Main entrance and doors

- *Main entrance doors will be inspected for damage and repaired as necessary with new hardware to match existing*
- *Basement doors will be inspected for damage and repaired as necessary with new hardware or replaced with compatible doors*
- *At the center bay balconettes, the anachronistic windows will be removed, along with the infill brick knee wall. Openings will be replaced with wood double doors, using the balconette doors at 439 Henry (Bretton Hall) as design intent. Aluminum storm doors will also be added in front of the double doors. The storm doors will be compatible with the historic nature of the building without appearing falsely*

historic.

- *At the rear elevation, the ground floor steel door and the furniture loading doors will be inspected for damage and repaired as necessary with new hardware or replaced with compatible doors.*
- *ADA lift and new entrance door will be installed on the west façade of the building convenient to the adjacent parking lot*

Windows

- *New historic replica aluminum-clad wood windows throughout: Marvin Ultimate Double Hung G2 per attached data sheet (no extant historic windows, color TBD)*

Lighting

- *Exterior building lighting will be provided and designed to highlight building features*
- *Lighting locations may include up-lights on the west (Cass) façade and wall-mounted fixtures flanking the entrance*

Signage

- *Future signage is proposed to be reinstated in the same location as the stone-inscribed "CLARIDGE" above the main entry door*
- *Final signage drawings (including size, color, and design) will be submitted for staff approval before installation*

Roof, rooftop mechanicals, and penthouses

- *Current poor condition membrane roof to be removed and replaced with a new EPDM roof*
- *Small condenser farm will be added to the rear center of the roof and screened with an approximately 5' tall metal roof screen in a "Dove Grey" color*

And, as per the submitted documents, specifically drawings 2A101, 2A102 (floor/roof plans) and 2A401, 2A401.1, 2A402, 2A402.1 (elevations)

The Certificate of Appropriateness is issued with the following conditions:

- Staff review of the submitted construction drawings will include the identification of specific standards concerning repair and/or replacement of deteriorated character-defining features, and related standards concerning the qualifications of historic preservation contractors retained to perform the work.
- Staff review of the submitted construction drawings to specifically include review of specifications/cut sheets for lighting, windows, doors, ADA lifts, signage, and other exterior elements/color selections not yet finalized, with staff authority to approve if per the Secretary of the Interior's Standards, the district's Elements of Design, and otherwise consistent with Commission intent and guidelines.
- The historic name of the building, set in stone above the entryway, be preserved and remain visible.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-3521.

For the Commission:



Garrick Landsberg
Director/Staff
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____
 AKA: _____ Lot(s): _____ Subdivision: _____
 Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____
 Current Legal Use of Property: _____ Proposed Use: _____
 Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
 Foundation Only Change of Use Temporary Use Other: _____
 Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
 Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____
 Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____
 Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____
 Zoning District: _____ Zoning Grant(s): _____
 Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: Olympia Development of Michigan

Address: 2211 Woodward Avenue City: _____ State: _____ Zip: _____

Phone: 313 725 3621 Mobile: 248 225 9188

Driver's License #: _____ Email: Eric.Tuomey@olydev.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

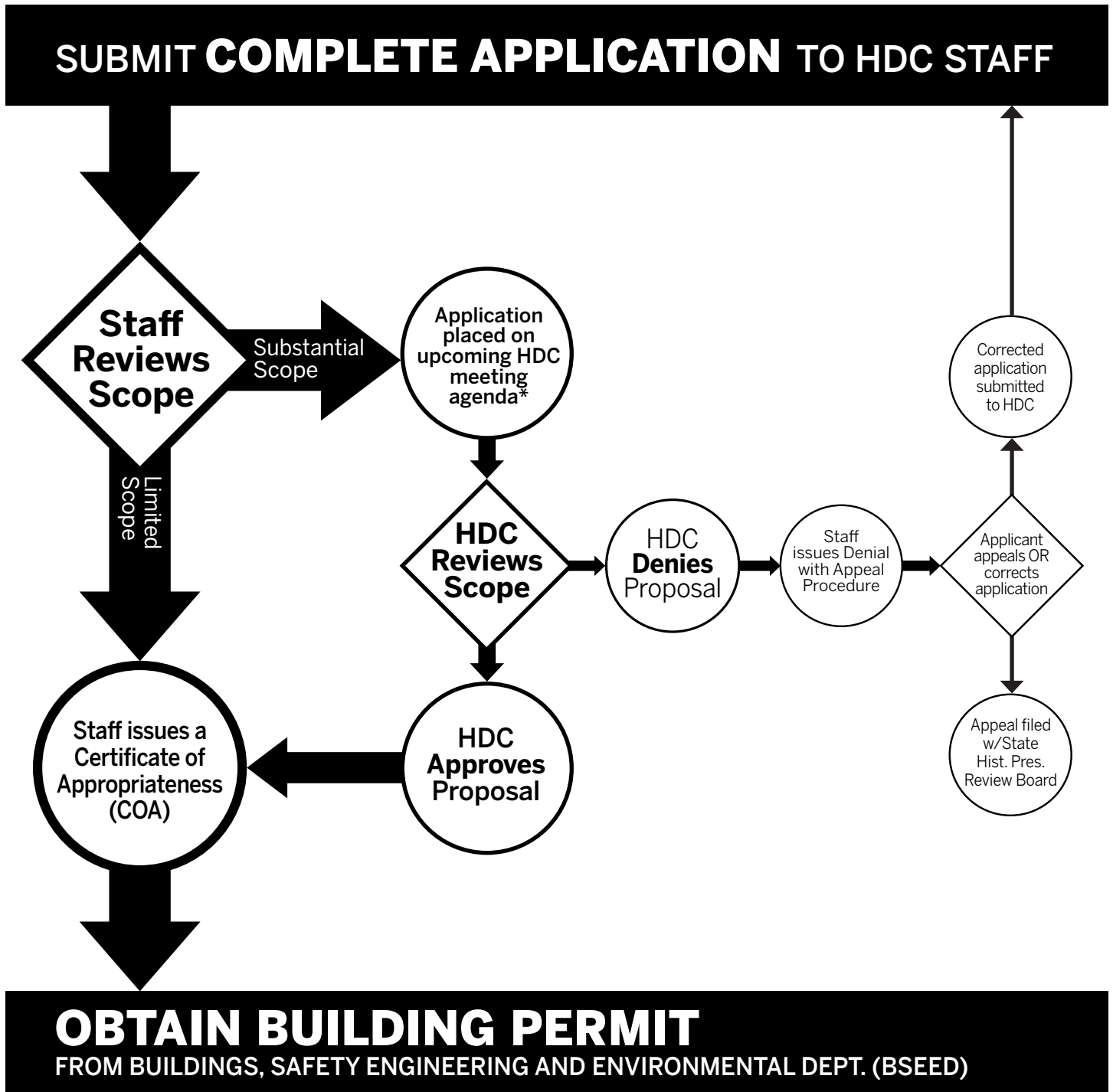
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc

November 20, 2020

City of Detroit
Ms. Jennifer Ross
Historic District Commission
2 Woodward Ave., Suite 800
Detroit, MI 48226

RE: 459 Henry Street—The Claridge Apartments

Dear Ms. Ross,

Kraemer Design Group, LLC (KDG) is writing on behalf of Cass Village Apartments, LLC to the Historic District Commission regarding the building located at 459 Henry Street (known as The Claridge Apartments.) The building is currently vacant, and this project will rehabilitate the building for new residential occupancy. The exterior rehabilitation plan for 459 Henry includes brick and stone repairs, repairs to the entrance and new exterior doors, installation of new windows, installation of new double doors at the Juliet balconies, installation of a new reconstructed cornice, façade lighting, signage, new roofing, and the addition of rooftop equipment. The following is a detailed description of each exterior feature proposed to be rehabilitated.

Built in approximately 1916, the building at 459 Henry Street is a four-story brick building that faces north onto Henry Street with a surface parking lot located to the west and the William B. Ralston garage (447 Henry) adjacent to the east. The building is one of three 'sister' buildings on the block with the nearly identical Bretton Hall (439 Henry) two buildings to the east and the Berwin Apartments (489 Henry) across the surface parking lot to the west. The building is relatively rectangular in plan stretching almost the full length of the block from Henry Street to W Fisher Service Drive. The building is slightly elevated above grade and is faced in yellow-brown brick on the primary façade and brown brick on the remaining three elevations. The building is accented with pale stone including around windows, at sills, and a series of water tables. The north elevation (facing Henry Street) consists of five bays with the entrance located in the central bay at the first floor. The building features a central projecting porch with brick piers and pilasters and arches of painted stone, which shelters the main entrance. "CLARIDGE" is carved into the architrave just above the arch. The porch creates a balcony for the second floor which is surrounded by a metal railing. At the first floor, the double entrance doors are boarded over but are flanked by a set of paired windows on either side. Because the first floor is slightly elevated, the basement is accessed by two doors located just below grade on either side of the main entrance. Stairs lead down to these two entrances. The center bay on the upper stories, located directly above the arched entrance porch, feature paired windows set in a stone surround with an iron balconette. The windows in the center bay are likely not original as beige brick – which does not match the historic brick on this façade – is found below each set of windows. The two outer bays on each floor have a single-hung window with a stone sill. The east, west, and south facades are largely devoid of decoration except for stone sills. Windows punctuate the facades at regular intervals. Some windows, mostly at the basement and first floor level, have been boarded over on all facades.

Overall Site Plan

The district will be rehabilitated as a whole to create a unified, cohesive design. The local district comprises nearly the entire city block at the southwest corner of Cass Avenue and Henry Street with the western-most parking lot and the areas directly south of all buildings not included in the district. That being said, although the areas south of the buildings are not included in the district, because work is being proposed in two such areas—on the grassy area south of 2447 Cass and on an area directly south of 439 Henry—both areas will be discussed. The district consists of seven buildings situated along Cass Avenue and Henry Street.

The streetscape on Henry Street will be re-designed to eliminate most of the curb cuts as access to the parking lot between 489 Henry and 459 Henry will be accessed from the alley not from Henry Street. Further, that parking lot will be re-designed with a wide landscape buffer to shield the occupants of 489 Henry and 459 Henry from noise and headlight glare. A tot lot will be added to the area directly adjacent to the parking lot and 459 Henry. The sidewalk along the southern side of Henry Street will be retained, a wide greenbelt will be planted, and a decorative hardscape and patterned concrete will be used directly in front of 447 Henry for the anticipated retail/dining tenant. A forecourt will be created in front of each residential building by construction of a 12" concrete planter curb with ornamental



plantings found within the forecourt. For the buildings along Cass Avenue – 2447 and 2467 Cass - an 18" aluminum garden fence will be placed in front of each building as well. The landscaping in front of each building will have a slightly different arrangement of landscaping and trees to provide greenery and visual interest to the buildings.

There is currently an alley running north to south between 439 and 427 Henry. This alley will be recreated into additional outdoor gathering spaces as well as parking for residents. The northern end of the alley will become a seating area with a granite chip surface—it will be surrounded by plantings and accessed through an aluminum fence and gate set back from Henry Street. The southern end of where alley currently runs will become a surface parking lot with 15 parking spaces. The drive aisle will be accessed from the W. Fisher Service Drive. New concrete paving will be installed along the parking lot and provide access to 2447 Cass, 2467 Cass, 427 Henry, and 439 Henry. The concrete paving will also extend in between 427 Henry and 2467 Cass. This area will have lawn furniture and will also be accessible via an aluminum fence and gate facing Henry Street. The alley that runs east to west, just south of the 439 Henry, 447 Henry, 459 Henry, and 489 Henry will be re-paved with asphalt and will remain accessible to vehicular traffic and barrier free entry to 439 Henry. A consolidated site refuse enclosure will be located along this alley and will be screened from the W. Fisher Service Drive with both plantings and a masonry screen wall. Along the service drive a staggered 6' tall ornamental aluminum fence will be built just south of 2447 Cass Avenue and the open green space south of 427 Henry to provide privacy from the I-75 service drive. In between 2467 and 2447 Cass, a public/private gathering space will be created with ornamental plantings and lawn furniture located closer to Cass Avenue, while a larger outdoor park for residents will be nestled further into the site, between the buildings, and will be accessed by an aluminum fence and gate off Cass Avenue.

Brick and stone

The building is clad in yellow-brown brick on the north façade and brown brick on the remaining three facades. The brick is in fair condition in most areas with some step cracking, mortar loss, puncture holes, and some efflorescence beneath the stone sills. The first floor of the south elevation (facing W Fisher Service Drive) has been painted brown. Overall, the brick is in fair-to-good condition. On the north elevation, simple stone bands frame the central window and knee wall openings and stone water table bands run under the window openings at the first, second, and fourth floors. The black paint on the stone pilasters and architraves is cracked and peeling. The remaining elevations are relatively devoid of decoration and have stone sills beneath each window opening. Most of the stone is in fair to good condition with some discoloration and cracking visible.

All brick and stone are to be inspected for damage. The paint will be removed from any painted masonry and then all masonry will be cleaned with a light duty detergent and low-pressure water rinse prior to masonry work to allow matching of mortar color. The painted stone at the arches and pilasters on the projecting porch on the north façade will be stripped of all paint and left as bare stone. Brick and stone will be repointed, and loose or displaced units will be reset. Re-pointed mortar will match the color, texture, compressive strength, joint width and joint profile of the existing historic mortar. Damaged brick and stone will be repaired as necessary and loose or displaced units to be reset. If any units are too badly deteriorated to repair, they will be replaced—any salvaged brick will be reused where replacements are needed before new units are used. If new units are necessary, they will be selected to match the existing in size, profile, color, and finish.

Entrance and Doors

The main entrance, including the doors, transom, and sidelights are boarded over. The transom is leaded glass with an arts and crafts design. The entrance doors will be inspected for damage and repaired as necessary with new hardware or replaced to match existing. The two exterior basement access doors on the north façade are currently boarded over with sheets of plywood. They will be inspected for damage and repaired as necessary with new hardware or replaced with compatible doors.

The central bay above the front entrance contain non-original infill windows and brick within original stone surrounds. The anachronistic windows and infill brick knee wall will be removed. The openings will be replaced with wood double doors, using the balconette doors at 439 Henry as design intent. Aluminum storm doors will also be added in front of the double doors. The storm doors will be compatible with the historic nature of the building without appearing falsely historic. On the south elevation there is a steel door at the ground floor level and furniture loading doors at the second, third, and fourth floors. These doors are currently boarded over. The ground floor steel door and the furniture loading doors will be inspected for damage and repaired as necessary with new hardware or replaced with compatible doors. The furniture loading doors contain glazed panels and transoms above.



A new porch lift to provide accessible access to the first floor will be added on the west façade of the building. This porch lift will provide a necessary accessible entry from both the Henry street sidewalk and the surface parking lot located to the west of 459 Henry into the building.

Cornice

A light-colored brick band exists at the top of the north façade where a cornice once existed. This ghost band wraps the corner onto the west façade and wraps the whole first bay of the east façade. The cornice likely matched those on the two adjacent 'sister' buildings at 439 and 489 Henry. A new fiberglass or GFRC cornice will be fabricated using the existing cornices at 439 and 489 Henry as design intent. The cornice color will match the original historic color found at 439 and 489 Henry.

Windows

The windows are non-historic vinyl single-hung units. There are no known photos depicting the historic window configuration. The windows will be replaced with aluminum clad wood single-hung windows which will be compatible with the historic nature of the building without appearing falsely historic. The window frame color will be selected to be compatible with the period of the building construction.

Façade Lighting

Exterior building lighting will be provided and designed to highlight building features. Lighting locations may include wall mounted fixtures flanking the front entrance. Final lighting cut sheets are not yet available and will be provided to staff for review once ready.

Signage

Currently there is no signage on the building beyond the stone inscribed "CLARIDGE" on the projecting porch. It is proposed that future signage will be reinstated on the building at the same location. Once this general area is approved, final signage drawings (including size, color and design) will be submitted for staff approval before installation.

Roof

The building currently has a flat membrane roof. It is in fair to poor condition and will be removed and replaced with a new single EPDM roof. A small condenser farm located to the rear center of the roof will be screened with an approximately 5' tall metal roof screen. The metal screen will be a "Dove Grey" color. This location was selected so that the units will not be visible from the street within a one block radius—please see attached sightline study.

The items listed above provide a synopsis of the proposed scope of work for the rehabilitation of 459 Henry (The Claridge Apartments). Further detail is provided in the attached drawings, renderings, reports, and photos. Please contact me if you have further questions.

Sincerely,

Kraemer Design Group, LLC



Brian Rebain, RA, NCARB
Principal



HENRY STREET REDEVELOPMENT

489 HENRY, 459 HENRY, 447 HENRY, 439 HENRY, 427 HENRY,
2467 CASS, 2447 CASS
DETROIT, MICHIGAN 48201

OWNER
OLYMPIA DEVELOPMENT OF MICHIGAN,LLC
2211 WOODWARD AVENUE
DETROIT, MICHIGAN 48201

ARCHITECT
NEUMANN/SMITH ARCHITECTURE
400 GALLERIA OFFICENTRE, SUITE 555
SOUTHFIELD, MICHIGAN 48034
248.352.8310

PRE-CONSTRUCTION SERVICES
O'BRIEN CONSTRUCTION COMPANY
966 LIVERNOIS
TROY, MI 48083
248.334.2470

CIVIL ENGINEER
GIFFELS WEBSTER
28 W. ADAMS STREET, SUITE 1200
DETROIT, MICHIGAN 48226
313.962.4442

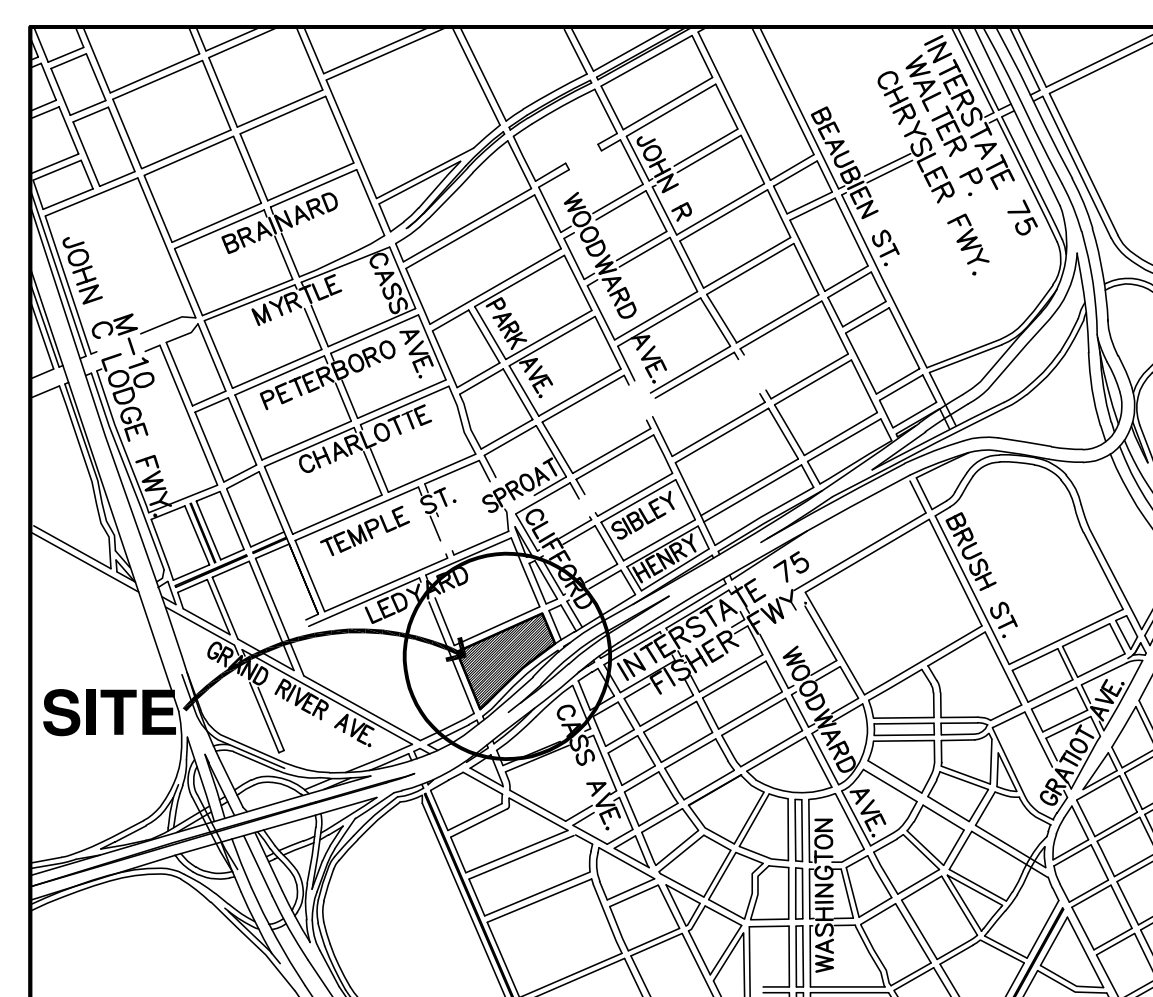
LANDSCAPE ARCHITECT
GRISSIM METZ ANDRIESE ASSOCIATES
311 EAST CADY STREET
SUITES A&B
NORTHVILLE, MICHIGAN 48167
248.347.7010

STRUCTURAL ENGINEER
RESURGET ENGINEERING
4219 WOODWARD AVENUE, SUITE 306
DETROIT, MICHIGAN, 48201
313.315.3290

MECH / ELECT ENGINEER
STRATEGIC ENERGY SOLUTIONS, INC.
4000 WEST 11 MILE RD
BERKLEY, MICHIGAN 48072
248.399.1900

CODE DATA	
CODES OF JURISDICTION: CITY OF DETROIT	
1.	2015 MICHIGAN BUILDING CODE /2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
2.	2015 MICHIGAN PLUMBING CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE
3.	2015 MICHIGAN MECHANICAL CODE INCORPORATING THE 2015 EDITION OF THE MECHANICAL CODE
4.	MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.0-2009
5.	2015 NATIONAL ELECTRICAL CODE (NEC) (WITH MICHIGAN ELECTRICAL CODE.)
6.	BARRIER FREE CODE: ICC/ANSI 117.1 2003 & 2010 MICHIGAN BARRIER FREE DESIGN & AMERICANS WITH DISABILITIES ACT DESIGN GUIDELINES (ADAAG)

INDEX OF DRAWINGS	
NO.	SHEET TITLE
	GENERAL
	TITLE SHEET
	LANDSCAPE
	RENDERED LANDSCAPE PLAN
	LANDSCAPE PLAN
	LANDSCAPE DETAILS
	SITE LIGHTING DESIGN INTENT
	ARCHITECTURAL
	BASEMENT & GROUND FLOOR PLANS
	2ND - 4TH FLOOR & ROOF PLANS
	BASEMENT & GROUND FLOOR PLANS
	2ND - 4TH FLOOR & ROOF PLANS
	BASEMENT & GROUND FLOOR PLANS
	ROOF PLAN
	BASEMENT & GROUND FLOOR PLANS
	2ND - 4TH FLOOR & ROOF PLANS
	BASEMENT, 1ST, 2ND, 3RD, ROOF PLAN
	BASEMENT & GROUND FLOOR PLAN
	2ND - 4TH FLOOR & ROOF PLAN
	BASEMENT & GROUND FLOOR PLANS
	EXTERIOR ELEVATIONS 489 HENRY
	EXTERIOR ELEVATIONS 489 HENRY
	EXTERIOR ELEVATIONS 489 HENRY
	EXTERIOR ELEVATIONS 489 HENRY
	EXTERIOR ELEVATIONS 459 HENRY
	EXTERIOR ELEVATIONS 459 HENRY
	EXTERIOR ELEVATIONS 459 HENRY
	EXTERIOR ELEVATIONS 459 HENRY
	EXTERIOR ELEVATIONS 447 HENRY
	EXTERIOR ELEVATIONS 447 HENRY
	EXTERIOR ELEVATIONS 439 HENRY
	EXTERIOR ELEVATIONS 439 HENRY
	EXTERIOR ELEVATIONS 439 HENRY
	EXTERIOR ELEVATIONS 439 HENRY
	EXTERIOR ELEVATIONS 427 HENRY
	EXTERIOR ELEVATIONS 427 HENRY
	EXTERIOR ELEVATIONS 2467 CASS
	EXTERIOR ELEVATIONS 2467 CASS
	EXTERIOR ELEVATIONS 2447 CASS
	EXTERIOR ELEVATIONS 2447 CASS
	ENLARGED ELEVATIONS DETAILS
	ELECTRICAL
	ELECTRICAL SITE PLAN



LOCATION MAP
NORTH

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.20.2020 - HISTORIC DISTRICT COMMISSION

Drawn Preliminary
Checked Construction
RMM Record
Approved
MW Bidpak Number
Do not scale
Use figured dimensions only

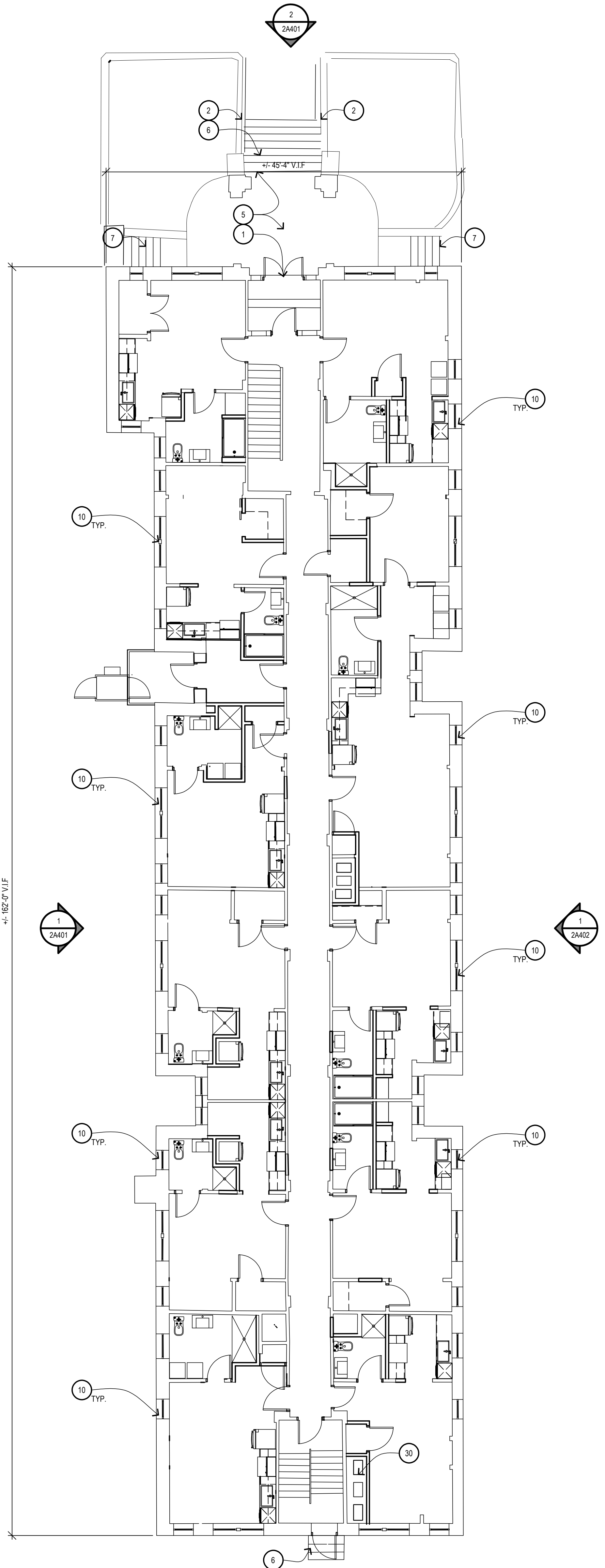
Job Number
2020078

Title
TITLE SHEET

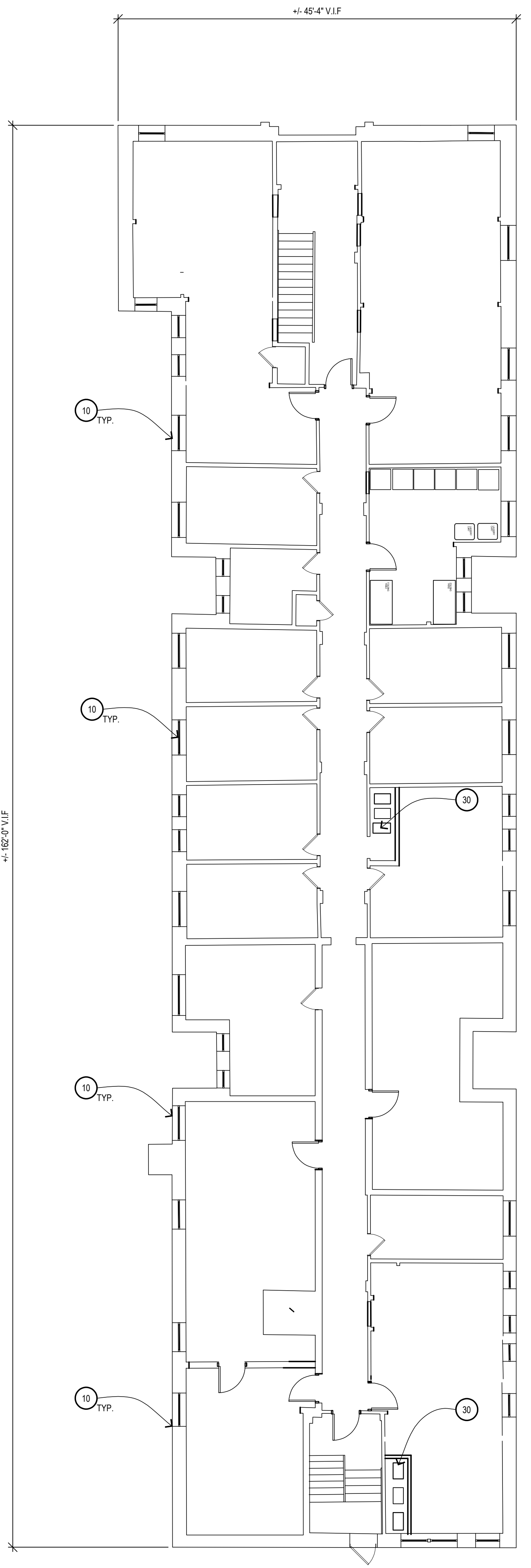
Sheet
A001

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
- 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/ STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
- 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
- 14 RECONSTRUCTED STONE PORCH, STEPS, ASSOCIATED REINFORCED CONCRETE FOOTINGS & METAL HANDRAILS (PAINTED)
- 15 RECONSTRUCTED EXTERIOR STAIR SYSTEM: FRAMING, LANDINGS, STAIRS, RAILS, GUARDRAILS HISTORICALLY APPROPRIATE
- 16 RECONSTRUCTED FLOOR ASSEMBLY
- 17 RECONSTRUCTED STAIRS, LANDINGS, RAIL/GUARD RAIL SYSTEM W/ HISTORICALLY APPROPRIATE MATERIALS/ FINISHES
- 18 RECONFIGURED ELEVATOR HOIST WAY WITH NEW ELEVATOR (RAILS, PIT) & RECONFIGURED FLOOR FRAMING TO ACCEPT NEW FLOOR OPENING
- 19 EXISTING LIGHT WELL WITH NEW 2 HR RATED SHAFT WALL ASSEMBLY INNER LINING, PROVIDE RATED GLAZING AT EXISTING OPENINGS
- 20 EXISTING MASONRY FIREPLACE
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF/ FLASHING AT PROJECTED BAY WINDOWS/ PORCH ROOFS
- 26 PROVIDE NEW GUTTERS/ DOWNSPOUTS
- 27 PROVIDE NEW FLASHING AT ROOF/ STAIR ENCLOSURE
- 28 MECHANICAL UNITS ON PREFABRICATED EQUIPMENT CURBS
- 29 PREFINISHED GALV METAL METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C. PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 NEW MECHANICAL SHAFT
- 31 EXISTING STAIR CONSTRUCTION TO REMAIN, EXISTING RAILS TO REMAIN, PAINT
- 32 NEW MECHANICAL ROOF PENETRATION, PROVIDE INSULATED CURBS WITH INTEGRAL FLASHING
- 33 NEW INSULATED OVERHEAD DOOR
- 34 EXISTING DTE PEDESTAL
- 35 PROVIDE WATERPROOFING AT BASEMENT FOUNDATION WALLS
- 36 NEW ELEVATOR OVER RUN ENCLOSURE, INSULATED METAL SIDING ON COLD FORM FRAMING



459 HENRY GROUND
 PROJECT NORTH
 1/8" = 1'-0"



459 HENRY BASEMENT
 PROJECT NORTH
 1/8" = 1'-0"
 GROSS AREA: 6,300 SF

NEW WORK LEGEND:

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
	PARTITION TYPE, SEE SHEET AXXX FOR DETAILS
	ROOM NAME AND NUMBER
	DOOR NUMBER

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.20.2020 - HISTORIC DISTRICT COMMISSION

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 JKM
 Checked Construction
 RMM Record
 Approved Do not scale
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 Bidpak Number

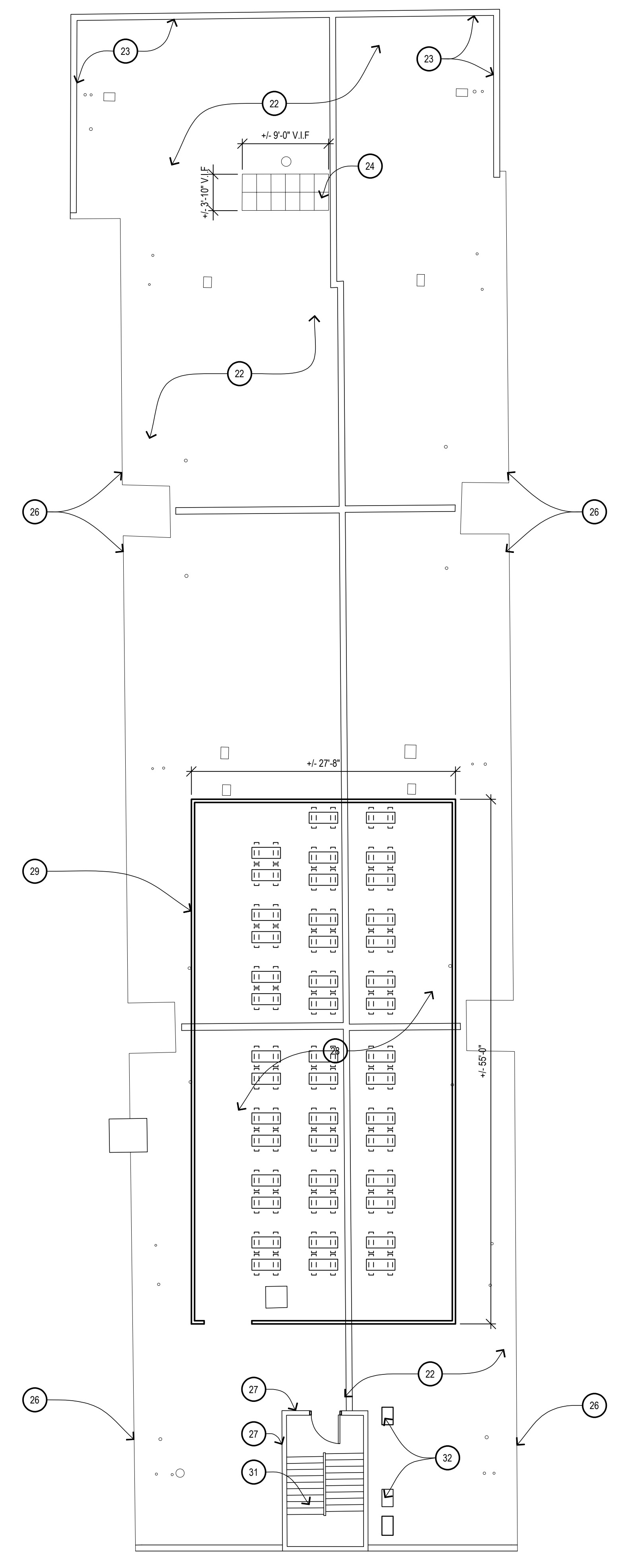
Job Number
2020078

Title
BASEMENT & GROUND FLOOR PLAN

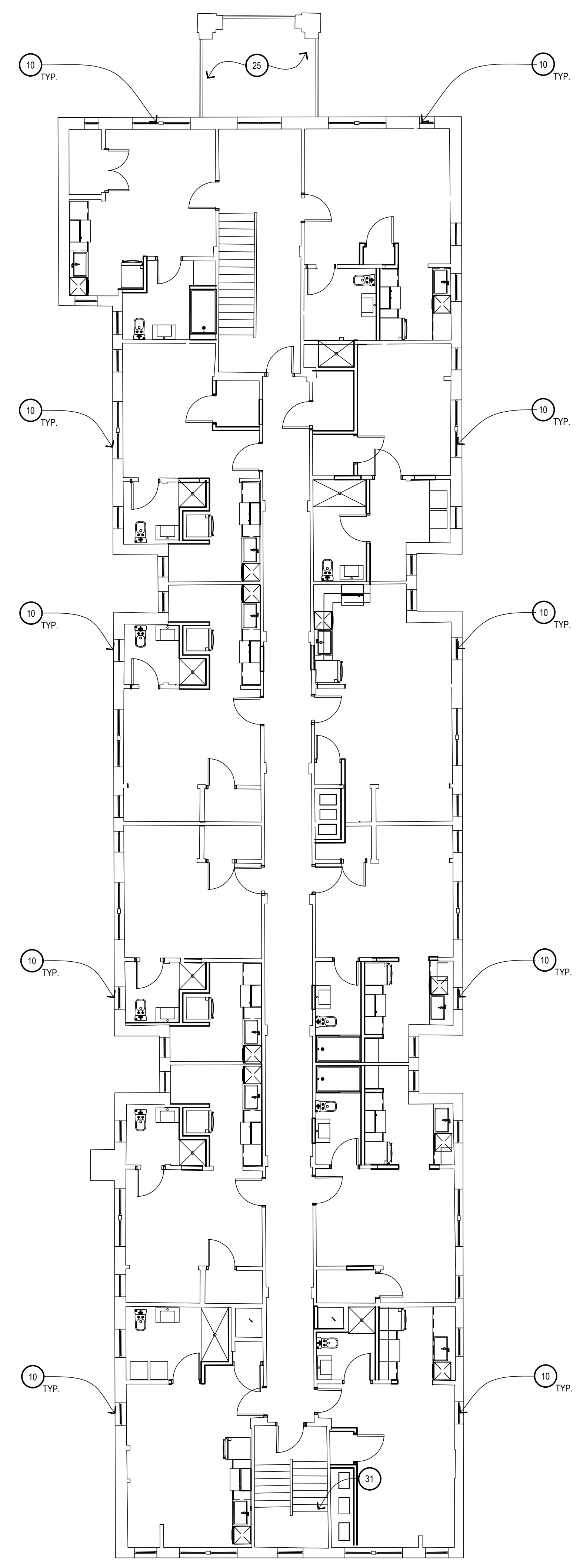
Sheet
2A101

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
- 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/ STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
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- 36 NEW ELEVATOR OVER RUN ENCLOSURE, INSULATED METAL SIDING ON COLD FORM FRAMING



2
 2A102
459 HENRY ROOF
 1/8" = 1'-0"
 PROJECT NORTH



1
 2A102
459 HENRY FLOOR PLAN 2-4
 1/8" = 1'-0"
 PROJECT NORTH

NEW WORK LEGEND:

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
	PARTITION TYPE, SEE SHEET AXXX FOR DETAILS
	ROOM NAME AND NUMBER
	DOOR NUMBER

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.20.2020 - HISTORIC DISTRICT COMMISSION

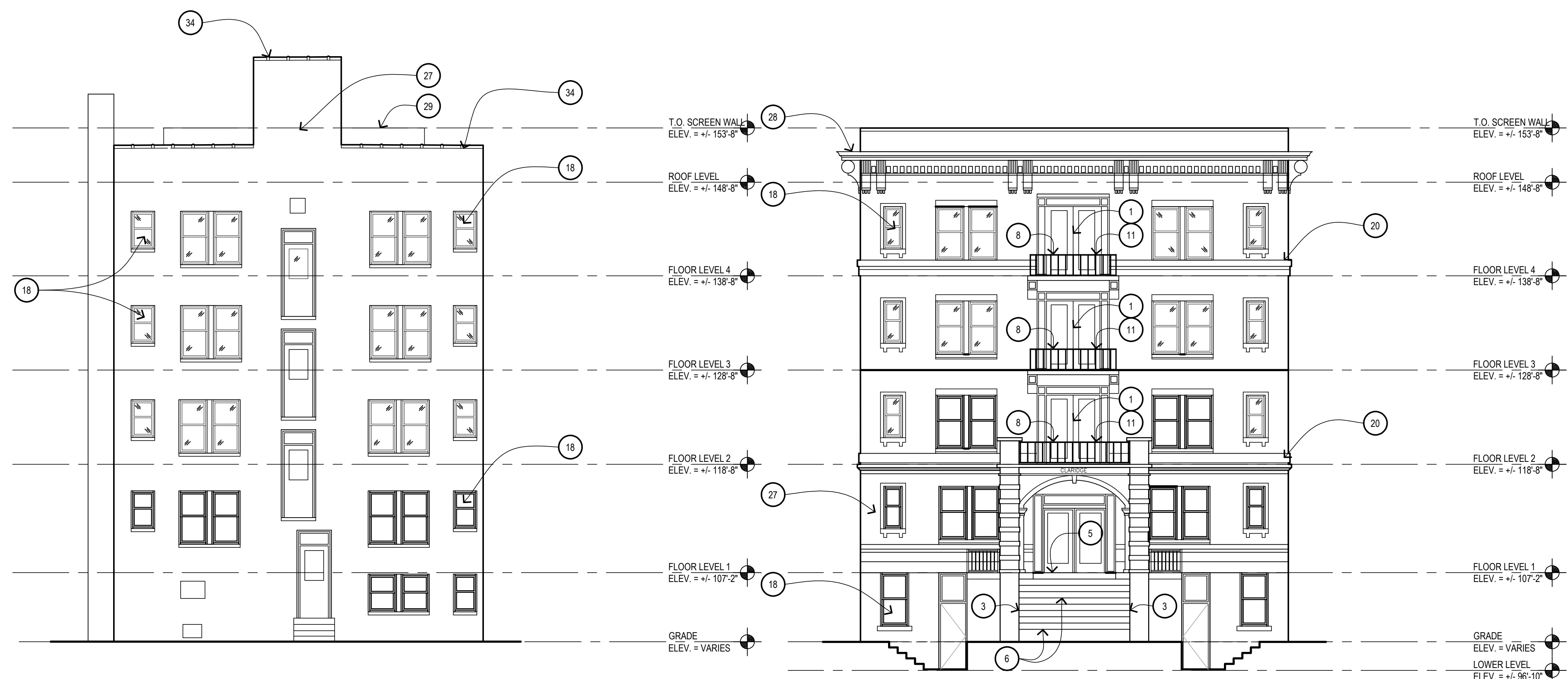
Drawn Preliminary
 JKM Construction
 Checked Record
 RMM
 Approved Do not scale
 MW Use figured dimensions only
 Bidpak Number

Job Number
2020078
 Title
2ND-4TH FLOOR & ROOF PLAN

Sheet
2A102

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
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- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF FLASHING AT PROJECTED BAY WINDOWS
- 26 PROVIDE NEW GUTTERS/DOWNSPOUTS
- 27 EXISTING BRICK CLADDING. REFER TO FUTURE RESTORATION DRAWINGS
- 28 EXISTING CORNICE. REFER TO FUTURE RESTORATION DRAWINGS
- 29 PREFINISHED GALV METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C., PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 RESTORED LIMESTONE BASE
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- 32 RECONSTRUCTED BAY WINDOW PROJECTIONS W/ NEW INSULATED GLAZING
- 33 NEW BALCONY CONSTRUCTION, METAL RAIL/GUARD RAIL SYSTEM, SYNTHETIC DECKING ON TREATED WOOD, PROVIDE REINF CONCRETE FOOTINGS
- 34 EXISTING CLAY TILE PARAPET COPING. REFER TO FUTURE RESTORATION DRAWINGS
- 35 NEW WOOD ENTRY DOOR SYSTEM W/ GLAZING
- 36 NEW INSULATED OVERHEAD DOOR



3
 2A401
 1/8" = 1'-0"
459 HENRY SOUTH EXTERIOR ELEVATION

2
 2A401
 1/8" = 1'-0"
459 HENRY NORTH EXTERIOR ELEVATION



1
 2A401
 1/8" = 1'-0"
459 HENRY WEST EXTERIOR ELEVATION

GENERAL NOTE
 *PER CIVIL 129.6 = 100'-0"

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Title
EXTERIOR ELEVATIONS 459 HENRY

Sheet
2A401



3
 2A401.1
 1/8" = 1'-0"
459 HENRY SOUTH EXTERIOR ELEVATION

2
 2A401.1
 1/8" = 1'-0"
459 HENRY NORTH EXTERIOR ELEVATION



1
 2A401.1
 1/8" = 1'-0"
459 HENRY WEST EXTERIOR ELEVATION

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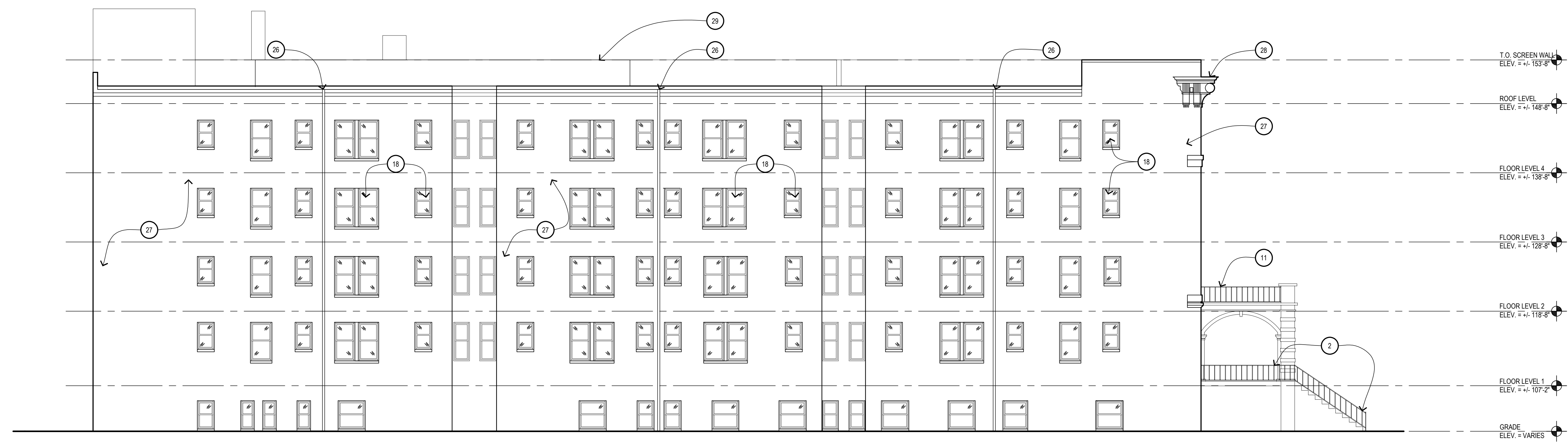
Title
EXTERIOR ELEVATIONS 459 HENRY

Sheet
2A401.1

GENERAL NOTE
 PER CIVIL 129.6 = 100'-0"

KEYNOTES:

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- 34 EXISTING CLAY TILE PARAPET COPING, REFER TO FUTURE RESTORATION DRAWINGS
- 35 NEW WOOD ENTRY DOOR SYSTEM W/ GLAZING
- 36 NEW INSULATED OVERHEAD DOOR



1
 2A402
 1/8" = 1'-0"
**459 HENRY EAST
 EXTERIOR ELEVATION**

GENERAL NOTE
 *PER CIVIL 129.6 = 100'-0"

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11.20.2020 - HISTORIC DISTRICT COMMISSION

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 RMM Record
 Approved _____
 MW Bidpak Number _____
 Do not scale Use figured dimensions only

Job Number
2020078

Title
**EXTERIOR ELEVATIONS
 459 HENRY**

Sheet
2A402



1
 2A402.1
 1/8" = 1'-0"
 459 HENRY EAST
 EXTERIOR ELEVATION

GENERAL NOTE
 PER CIVIL 129.6 = 100'-0"

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

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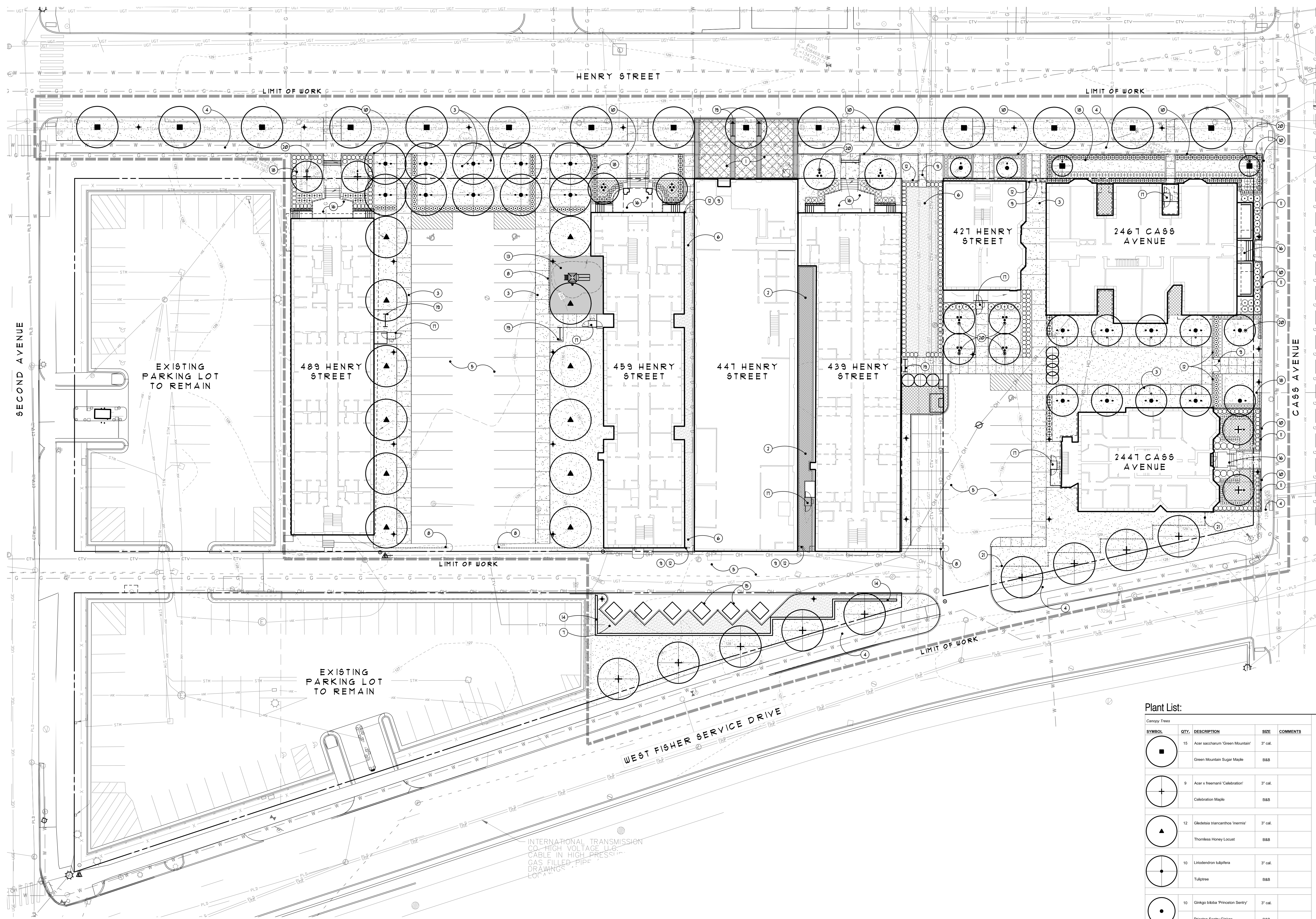
11.20.2020 - HISTORIC DISTRICT COMMISSION

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 RMM
 Approved Record
 MW
 Bidpak Number _____
 Do not scale
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 dimensions only

Job Number
 2020078

Title
**EXTERIOR
 ELEVATIONS
 459 HENRY**

Sheet
 2A402.1



- Legend:**
- LIMIT OF WORK
 - W WATER MAIN
 - G GAS LINE
 - OH OVERHEAD ELECTRIC WIRE
 - SD STORY DRAIN
 - + PEDESTRIAN LIGHT POLE - REFER TO SITE ELECTRICAL DRAWINGS
 - ⊙ EXISTING COBRA HEAD STREET LIGHTS TO REMAIN
 - IRRIGATED BODDED LAWN
 - RIGHT OF WAY

- Note Key:**
- 1 SCORED CONCRETE PAVING WITH PAVER INLAY AND BORDER
 - 2 PAVERS
 - 3 CONCRETE PAVING - REFER TO CIVIL PLANS
 - 4 EXISTING SIDEWALK TO REMAIN
 - 5 ASPHALT PARKING LOT AND DRIVE AILE - REFER TO CIVIL PLANS
 - 6 4" DEPTH DECOMPOSED GRANITE
 - 7 4" DEPTH CRUSHED AGGREGATE MULCH
 - 8 4"-0" HT. ORNAMENTAL ALUMINUM FENCE - REFER TO DETAIL ON SHEET L201
 - 9 ORNAMENTAL ALUMINUM GATE
 - 10 2" HT. x 6" WIDE CONCRETE PLANTER CURB
 - 11 30" HT. ORNAMENTAL ALUMINUM GARDEN FENCE - REFER TO DETAIL ON SHEET L201
 - 12 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 3/4" PICKET SPACING - REFER TO DETAIL ON SHEET L201
 - 13 TOT LOT PLAYGROUND - SURFACE TO BE 12" DEPTH ENGINEERED WOOD MULCH
 - 14 MASONRY SCREEN WALL - REFER TO DETAIL ON SHEET L201
 - 15 DUMPSTER, TYP.
 - 16 EXISTING BUILDING PORCH - REFER TO ARCHITECTURAL DRAWINGS
 - 17 BARRIER FREE PORCH LIFT - REFER TO ARCHITECTURAL DRAWINGS
 - 18 STEEL EDGING BETWEEN LAWN AND PLANT BEDS, TYP.
 - 19 BIKE RACK
 - 20 TREE UPLIGHT, TYP.
 - 21 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 1/2" PICKET SPACING - REFER TO DETAIL ON SHEET L201

- General Notes:**
- 1 PROVIDE 4" DEPTH TOPSOIL AT ALL BODDED LAWN AREAS
 - 2 PROVIDE SHREDDED BARK MULCH AT ALL PLANT BEDS PER DETAILS
 - 3 REFER TO TYPICAL PLANTING DETAILS, SHEET L201
 - 4 IRRIGATION SYSTEM IS TO BE PROVIDED FOR ALL PLANTING BEDS AND LAWN AREAS.

Plant List:

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
■	15	Acer saccharum 'Green Mountain'	3" cal.	
●		Green Mountain Sugar Maple	B&B	
+	9	Acer x freemantle 'Celebration'	3" cal.	
○		Celebration Maple	B&B	
▲	12	Gleditsia triacanthos 'nervis'	3" cal.	
●		Thornless Honey Locust	B&B	
●	10	Liquidambar styraciflua	3" cal.	
●		Tulipree	B&B	
●	10	Ginkgo biloba 'Princeton Sentry'	3" cal.	
●		Princeton Sentry Ginkgo	B&B	
+	2	Miksa 'Royal Raindrops'	3" cal.	
●		Royal Raindrops Crabapple	B&B	
●	2	Cercis canadensis	10" ht.	multi-stem
●		Eastern Redbud	B&B	3 trunk min.
+	4	Magnolia soulangeana	10" ht.	multi-stem
●		Saucer Magnolia	B&B	3 trunk min.
+	2	Cornus florida	10" ht.	multi-stem
●		Flowering Dogwood	B&B	3 trunk min.
+	2	Prunus serotina 'Weinzierl'	3" cal.	
●		Kwanan Cherry	B&B	
●	2	Carpinus betulus 'Frans Fontaine'	3" cal.	
●		Franc Fontaine Hornbeam	B&B	
+	2	Miksa 'Prairiefire'	2.5' cal.	tree form
●		Prairie Fire Crabapple	B&B	
+	7	Quercus x water 'Nutter'	3" cal.	
●		Knotted Spill Oak	B&B	

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
○	88	Buxus 'Green Mountain'	18" ht. min.	Plant 18" o.c.
●		Green Mountain Boxwood	B&B	
⊕	140	Ilex glabra 'Shamrock'	24" ht. min.	Plant 24" o.c.
●		Isleberry	B&B	
○	10	Ilex x meserveae 'Blue Prince'	30" ht. min.	Plant 30" o.c.
●		Blue Prince Holly	B&B	
⊗	14	Rhododendron 'Daleware Valley'	30" ht. min.	Plant 30" o.c.
●		Daleware Valley Azalea	B&B	
○	213	Taxus x media 'Densiformis'	24" ht. min.	Plant 24" o.c.
●		Dense Yew	B&B	
○	86	Taxus x media 'Nicksal'	30" ht. min.	Plant 24" o.c.
●		Nicksal Yew	B&B	
⊕	12	Thuja occidentalis 'Emerald Green'	6" ht.	Plant 30" o.c.
●		Emerald Green Arborvitae	B&B	Hedge to 5' ht.
Deciduous Shrubs, Groundcover, and Perennials				
SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
⊕	49	Ilex verticillata 'Henry's Garnet'	#3	Plant 24" o.c.
●		Virginia Sweetpire	cont.	
⊕	35	Hydrangea macrophylla 'Pae Wae'	#5	Plant 30" o.c.
●		Pae Wae Oakleaf Hydrangea	cont.	
⊕	16	Hydrangea paniculata 'Tumbo'	#5	Plant 30" o.c.
●		Bobo Hydrangea	cont.	
○	21	Syringa patula 'Miss Kim'	#5	Plant 30" o.c.
●		Miss Kim Lilac	cont.	
○	10	Hippocrepis emerus 'Sonic Bloom'	#5	Plant 30" o.c.
●		Sonic Bloom Wajigala	cont.	
○	21	Hosta x Patriot	1 gal.	Plant 18" o.c.
●		Patriot Hosta	cont.	
1100		Pachysandra terminalis	1 gal.	Plant 12" o.c.
		Japanese pachysandra	cont.	

811 Know what's below. Call before you dig.

Scale: 1"=20'

North Arrow

NEUMANN SMITH architecture

SOUTHFIELD • DETROIT

400 Galleria Office Centre
Suite 555
Southfield, Michigan 48034
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www.neumannsmith.com

GRISSIM METZ ANDRIESE Associates
Landscape Architects

OLYMPIA DEVELOPMENT OF MICHIGAN

HENRY STREET REDEVELOPMENT

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for: *Allyson Tanson*

11.20.2020 HISTORIC DISTRICT COMMISSION

Drawn: Preliminary
 AEP Construction
 Checked: Record
 RKM
 Approved: Do not scale
 RKM Use figured dimensions only
 Bidpak Number

Job Number: 2020078
 Title: Landscape Plan

Sheet L101



MEMO

Date 11.25.2020

Subject HDC Sheet Revisions

Project Name Henry Street Redevelopment

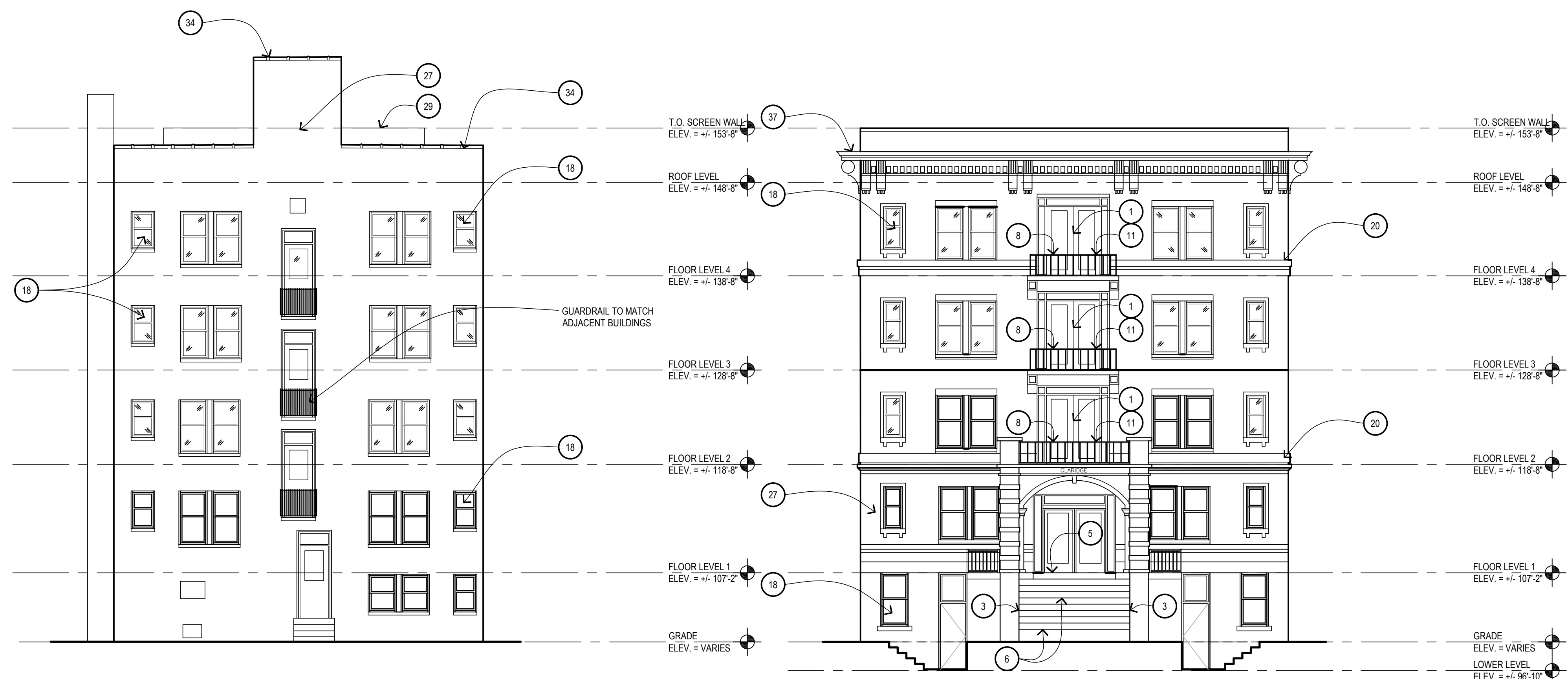
Project Number 2020078

Message:

<u>Sheets</u>	<u>Revisions</u>
3A101	Added Second Means of Egress in assembly area. Placed door in existing window opening.
2A401	Added Keynote 37 – “New Cornices, Reference Adjacent Building as Basis of Design”
2A401.1	Replace all instances of “Crown Molding” with “Cornice”
3A401	Added new door location on drawing 2/3A401 based on Sheet 3A101 Location
3A401.1	Revised rendered elevations based on Sheet 3A401
4A401.1	Replace all instances of “Crown Molding” with “Cornice”
5A401	Revised Bay-Window sizes based on site measurements Added keynote 37 – “New Cornices, Reference Adjacent Building as Basis of Design”
5A401.1	Revised rendered elevations based on Sheet 5A401 Replace all instances of “Crown Molding” with “Cornice”
5A421	Revised Bay-Window sizes based on site measurements

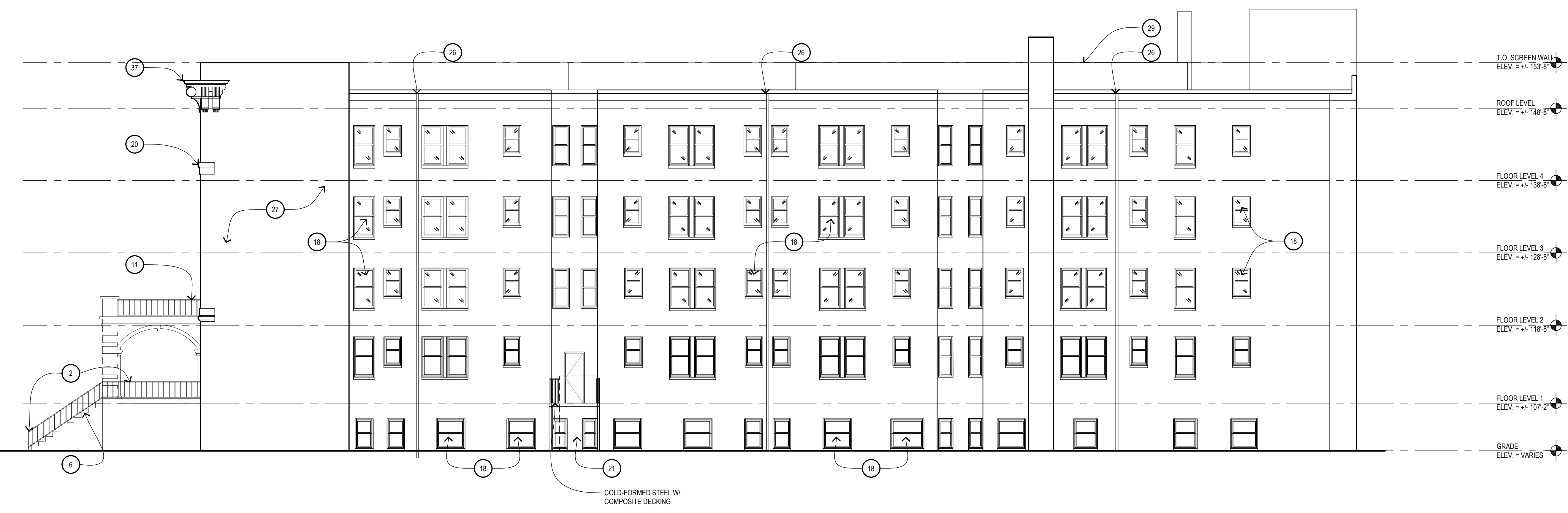
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- 20 EXISTING STONE TRIM DETAIL
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF FLASHING AT PROJECTED BAY WINDOWS
- 26 PROVIDE NEW GUTTERS/ DOWNSPOUTS
- 27 EXISTING BRICK CLADDING, REFER TO FUTURE RESTORATION DRAWINGS
- 28 EXISTING CORNICE, REFER TO FUTURE RESTORATION DRAWINGS
- 29 PREFINISHED GALV METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C., PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 RESTORED LIMESTONE BASE
- 31 EXISTING DTE PEDESTAL/TRANSFORMER
- 32 RECONSTRUCTED BAY WINDOW PROJECTIONS W/ NEW INSULATED GLAZING
- 33 NEW BALCONY CONSTRUCTION, METAL RAIL/GUARD RAIL SYSTEM, SYNTHETIC DECKING ON TREATED WOOD, PROVIDE REINF CONCRETE FOOTINGS
- 34 EXISTING CLAY TILE PARAPET COPING, REFER TO FUTURE RESTORATION DRAWINGS
- 35 NEW WOOD ENTRY DOOR SYSTEM W/ GLAZING
- 36 NEW INSULATED OVERHEAD DOOR
- 37 NEW CORNICES, REFERENCE ADJACENT BUILDINGS AS BASIS OF DESIGN



3
 2A101
 1/8" = 1'-0"
459 HENRY SOUTH EXTERIOR ELEVATION

2
 2A101
 1/8" = 1'-0"
459 HENRY NORTH EXTERIOR ELEVATION



1
 2A101
 1/8" = 1'-0"
459 HENRY WEST EXTERIOR ELEVATION

GENERAL NOTE
 PER CIVIL 129.6 = 100'-0"

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.25.2020 - HISTORIC DISTRICT COMMISSION

Drawn Preliminary
 Checked Construction
 RMM Record
 Approved Do not scale
 MW Bidpak Number Use figured dimensions only

Job Number
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Title
EXTERIOR ELEVATIONS 459 HENRY

Sheet
2A401



3
 2A101
**459 HENRY SOUTH
 EXTERIOR ELEVATION**
 1/8" = 1'-0"

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