

12/15/2020

CERTIFICATE OF APPROPRIATENESS

Kraemer Design Group, LLC
1420 Broadway
Detroit, MI 48226

**RE: Application Number 20-6983; 447 Henry; Cass-Henry Historic District
Project Scope: Rehabilitate Commercial Storefront Building**

Dear Applicant,

At the regular scheduled meeting that was held on December 9, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of December 15, 2020.

The Commission issued a Certificate of Appropriateness for the following work as it meets the Secretary of Interior’s Standards for Rehabilitation:

Brick and stone

- *Inspected for damage*
- *Black paint to be removed [process not provided]*
- *Masonry cleaned with a light duty detergent and low pressure water rinse*
- *Brick and stone will be repointed, and loose or displaced units will be reset*
- *Repointed mortar will match the color, texture, compressive strength, joint width, and joint profile of the existing historic mortar*
- *Damaged brick and stone will be repaired as necessary*
- *Any units too badly deteriorated to repair will be replaced, with salvaged brick to be reused where replacements are needed before new units are used*
- *If new units are necessary, they will be selected to match the existing in size, profile, color, and finish*

Main entrance and doors

- *A new aluminum storefront system will be installed in the existing storefront openings, painted a historically appropriate color (TBD – “dark anodized” per drawings)*
- *Current design depicts the eastern-most bay as maintaining its current configuration but with the possibility of adding or relocating door openings once a tenant is secured*
- *Western-most storefront bay will be reconfigured to include two sets of double doors, one recessed and the second (westernmost) not. The installation of the new double-door would require cutting through the stone base*
- *The center bay will incorporate a new entry door, cutting through the stone base [per 3A401 but not 3A401.1 or the floor plan, 3A101]*
- *All three bays will restore the glass transoms*
- *At east elevation, two new doors will be added to provide access to the “alley” which runs along the building. This “alley” will be paved. [paving material not provided; note also that this space appears to be part of the parcel on which Bretton Hall is built, not this building]*

- *At the rear (public alley) elevation, the central metal coiling door will be replaced with a new insulated overhead door to match the existing in size and appearance. [material not provided] Pedestrian doors will be replaced with solid hollow metal doors and frames.*

Windows

- *At the east and west elevations, the existing windows [no existing windows are apparent, openings are blocked with CMU] will be replaced with new aluminum clad wood fixed windows*

Lighting

- *Exterior building lighting will be provided and designed to highlight building features*
- *Lighting locations may include up-lights in the east alley courtyard and wall-mounted fixtures on the front facade*

Signage

- *Future signage is proposed to be reinstated in the storefront signage band(s).*
- *Final signage drawings (including size, color, and design) will be submitted for staff approval before installation*

Roof, rooftop mechanicals, and penthouses

- *Current poor condition membrane roof to be removed and replaced with a new EPDM roof*
- *Rooftop condensers surrounded by an approximately 5' tall metal screen will be located on the roof toward the rear of the building so as to not be visible from the sidewalk. Metal screen will be a "Dove Grey" color.*

And, as per the submitted documents, specifically drawings 3A101, 3A102 (floor/roof plans) and 3A401, 3A401.1 (elevations).

The Certificate of Appropriateness is issued with the following conditions:

- Staff review of the submitted construction drawings will include the identification of specific standards concerning repair and/or replacement of deteriorated character-defining features, and related standards concerning the qualifications of historic preservation contractors retained to perform the work.
- Staff review of the submitted construction drawings to specifically include review of specifications/cut sheets for lighting, windows, doors, ADA lifts, signage, paint removal, color choices, and other exterior elements/selections not yet finalized, with staff authority to approve if per the Secretary of the Interior's Standards, the district's Elements of Design, and otherwise consistent with Commission intent and guidelines
- The design be modified to choose a different window type/configuration for the openings at the east and west elevations consistent with an industrial steel window style appropriate to the utilitarian historic context, subject to staff approval
- The design be modified to prioritize the retention of historic materials across all three bays as revealed by further field investigation, to include the denticulated entablature at the westernmost bay, and that staff be given authority to review/approve a revision to the storefront design.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-3521.

For the Commission:



Garrick Landsberg
Director/Staff
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

 MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #:

Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: Olympia Development of Michigan

Address: 2211 Woodward Avenue City: _____ State: _____ Zip: _____

Phone: 313 725 3621 Mobile: 248 225 9188

Driver's License #: _____ Email: Eric.Tuomey@olydev.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

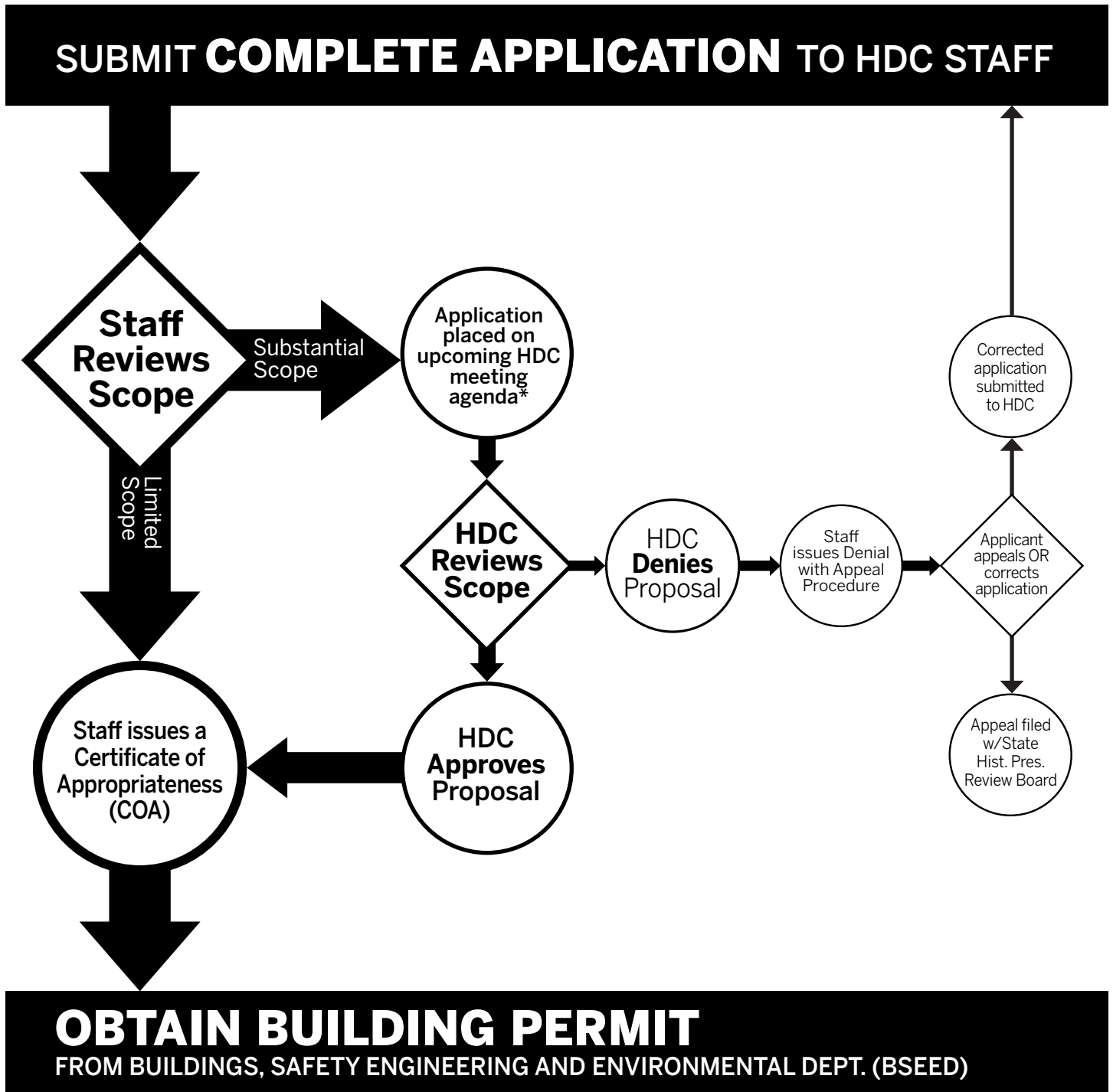
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc

November 20, 2020

City of Detroit
Ms. Jennifer Ross
Historic District Commission
2 Woodward Ave., Suite 800
Detroit, MI 48226

RE: 447 Henry Street—William B. Ralston garage

Dear Ms. Ross,

Kraemer Design Group, LLC (KDG) is writing on behalf of Cass Village Apartments, LLC to the Historic District Commission regarding the building located at 447 Henry Street (known as William B. Ralston garage). The building is currently vacant and will be rehabilitated into leasable commercial space as well as residential tenant amenities for 6 residential buildings on the block. The exterior rehabilitation plan for 447 Henry includes brick and stone repairs, installation of new storefront system on the north façade, installation of new windows, the addition of door openings, façade lighting, signage, new roofing, and the addition of rooftop equipment. The following is a detailed description of each exterior feature proposed to be rehabilitated.

Built between 1922-23, 447 Henry is a one-story commercial building located directly adjacent to 439 Henry (Bretton Hall) and 459 Henry (The Claridge Apartments). Bretton Hall and 447 Henry are directly adjacent for one bay and then 439 Henry pulls in creating a nine-foot grassy alley on the east side of 447 Henry. The Claridge Apartments and 447 Henry are separated by a narrow grassy alley for their full length. The building is divided into three bays along Henry Street while the east and west façade are punctuated with several large openings that have been boarded over. The south façade has a large metal coiling door in the center of the façade and two pedestrian doors on either side along with a series of individual glass block openings in the upper wall area. There is evidence of several infilled openings on the south façade where variegated brick has been laid that does not match the original brick in color.

Overall Site Plan

The district will be rehabilitated as a whole to create a unified, cohesive design. The local district comprises nearly the entire city block at the southwest corner of Cass Avenue and Henry Street with the western-most parking lot and the areas directly south of all buildings not included in the district. That being said, although the areas south of the buildings are not included in the district, because work is being proposed in two such areas—on the grassy area south of 2447 Cass and on an area directly south of 439 Henry—both areas will be discussed. The district consists of seven buildings situated along Cass Avenue and Henry Street.

The streetscape on Henry Street will be re-designed to eliminate most of the curb cuts as access to the parking lot between 489 Henry and 459 Henry will be accessed from the alley not from Henry Street. Further, that parking lot will be re-designed with a wide landscape buffer to shield the occupants of 489 Henry and 459 Henry from noise and headlight glare. A tot lot will be added to the area directly adjacent to the parking lot and 459 Henry. The sidewalk along the southern side of Henry Street will be retained, a wide greenbelt will be planted, and a decorative hardscape and patterned concrete will be used directly in front of 447 Henry for the anticipated retail/dining tenant. A forecourt will be created in front of each residential building by construction a 12" concrete planter curb with ornamental plantings found within the forecourt. For the buildings along Cass Avenue – 2447 and 2467 Cass - an 18" aluminum garden fence will be placed in front of each building as well. The landscaping in front of each building will have a slightly different arrangement of landscaping and trees to provide greenery and visual interest to the buildings.

There is currently an alley running north to south between 439 and 427 Henry. This alley will be recreated into additional outdoor gathering spaces as well as parking for residents. The northern end of the alley will become a seating area with a granite chip surface—it will be surrounded by plantings and accessed through an aluminum fence and gate set back from Henry Street. The southern end of where alley currently runs will become a surface parking lot with 15 parking spaces. The drive aisle will be accessed from the W. Fisher Service Drive. New concrete paving will be installed along the parking lot and provide access to 2447 Cass, 2467 Cass, 427 Henry, and 439 Henry. The concrete paving will also extend in between 427 Henry and 2467 Cass. This area will have lawn furniture and will also be accessible via an aluminum fence and gate facing Henry Street. The alley that runs east to west, just south of the



439 Henry, 447 Henry, 459 Henry, and 489 Henry will be re-paved with asphalt and will remain accessible to vehicular traffic and barrier free entry to 439 Henry. A consolidated site refuse enclosure will be located along this alley and will be screened from the W. Fisher Service Drive with both plantings and a masonry screen wall. Along the service drive a staggered 6' tall ornamental aluminum fence will be built just south of 2447 Cass Avenue and the open green space south of 427 Henry to provide privacy from the I-75 service drive. In between 2467 and 2447 Cass, a public/private gathering space will be created with ornamental plantings and lawn furniture located closer to Cass Avenue, while a larger outdoor park for residents will be nestled further into the site, between the buildings, and will be accessed by an aluminum fence and gate off Cass Avenue.

Brick and stone

The building is clad in brick which is in fair condition in most areas with some step cracking, mortar loss, puncture holes, and some staining on the stone base. The brick is brown except for on the south façade where it is clad in reddish common brick. Portions of brick on the south elevation have been painted black. The primary façade (Henry Street) features a fair share of decorative brick work. The area directly above the storefronts feature decorative bond patterns: bricks laid perpendicular on the horizontal plane and bricks laid in a stack bond on the vertical plane frame an English Cross bond pattern in the center. Overall, the brick is in fair-to-good condition. Light stone accent blocks near the parapet accentuate the brickwork. The same light stone is found below the storefront windows at grade. Four stone globe finials are found at the top of each brick pier on the north façade. The two globe finials at the ends of the façade are largely deteriorated/missing with pieces missing and the stone base is in fair to poor condition. The remaining stone accents appear to be in fair to good condition.

All brick and stone are to be inspected for damage. The paint will be removed from any painted masonry and then all masonry will be cleaned with a light duty detergent and low-pressure water rinse prior to masonry work to allow matching of mortar color. The Brick and stone will be repointed, and loose or displaced units will be reset. Re-pointed mortar will match the color, texture, compressive strength, joint width and joint profile of the existing historic mortar. Damaged brick and stone will be repaired as necessary and loose or displaced units to be reset. If any units are too badly deteriorated to repair, they will be replaced—any salvaged brick will be reused where replacements are needed before new units are used. If new units are necessary, such as the deteriorated globe finials, they will be created to match the existing in size, profile, color, and finish.

Entrance and Doors

The three storefront bays on the north façade have been largely painted black. The eastern-most bay has one entrance door which has been boarded over and the western-most bay has a set of double doors blocked by an iron security gate. The central storefront bay has been boarded over but originally contained a large storefront window. The east and west facades currently have no means of egress. The south façade contains the central metal coiling door as well as two pedestrian doors with iron security gates covering them. All are painted black.

A new aluminum storefront system will be installed in the existing storefront openings. The storefronts will be painted a historically appropriate color. The current design depicts the eastern-most bay as maintaining its current configuration but with the possibility of adding or relocating door openings once a tenant is secured. The western-most bay will be reconfigured to include two sets of double doors. All three bays will restore the glazed transoms.

Two new doors will be added on the eastern façade to provide access to the alley which runs along the building between 447 Henry and 439 Henry. The alley will be paved and provide additional lawn furniture to serve residents and patrons.

The central metal coiling door on the south façade will be replaced with a new insulated overhead door to match the existing in size and appearance. The two pedestrian doors on the south façade will be replaced with solid hollow metal doors and frames.

Windows

The east and west facades are punctuated by several large openings which have been boarded up and not available for close inspection. The existing windows will be replaced with new aluminum clad wood fixed windows.

Façade Lighting



Exterior building lighting will be provided and designed to highlight building features. Lighting locations may include up lights in the east alley courtyard and wall mounted fixtures on the front facade. Final lighting cut sheets are not yet available and will be provided to staff for review once ready.

Signage

Currently there is no signage on the building. It is proposed that future signage will be reinstated on the building within the storefront transom band (for tenants). Once this general area is approved, final signage drawings (including size, color and design) will be submitted for staff approval before installation.

Roof

The building currently has a gambrel membrane roof. It is in fair to poor condition and will be removed and replaced with a new EPDM roof single ply roofing system. Rooftop condensers surrounded by an approximately 5' tall metal screen will be located on the gambrel roof toward the rear of the building so as to not be visible from the sidewalk. The metal screen will be a "Dove Grey" color. Please see attached sightline study for additional information.

The items listed above provide a synopsis of the proposed scope of work for the rehabilitation of 447 Henry (William B. Ralston Garage). Further detail is provided in the attached drawings, renderings, reports, and photos. Please contact me if you have further questions.

Sincerely,

Kraemer Design Group, LLC



Brian Rebain, RA, NCARB
Principal



HENRY STREET REDEVELOPMENT

489 HENRY, 459 HENRY, 447 HENRY, 439 HENRY, 427 HENRY,
2467 CASS, 2447 CASS
DETROIT, MICHIGAN 48201

OWNER OLYMPIA DEVELOPMENT OF MICHIGAN, LLC
2211 WOODWARD AVENUE
DETROIT, MICHIGAN 48201

ARCHITECT NEUMANN/SMITH ARCHITECTURE
400 GALLERIA OFFICENTRE, SUITE 555
SOUTHFIELD, MICHIGAN 48034
248.352.8310

PRE-CONSTRUCTION SERVICES O'BRIEN CONSTRUCTION COMPANY
966 LIVERNOIS
TROY, MI 48083
248.334.2470

CIVIL ENGINEER GIFFELS WEBSTER
28 W. ADAMS STREET, SUITE 1200
DETROIT, MICHIGAN 48226
313.962.4442

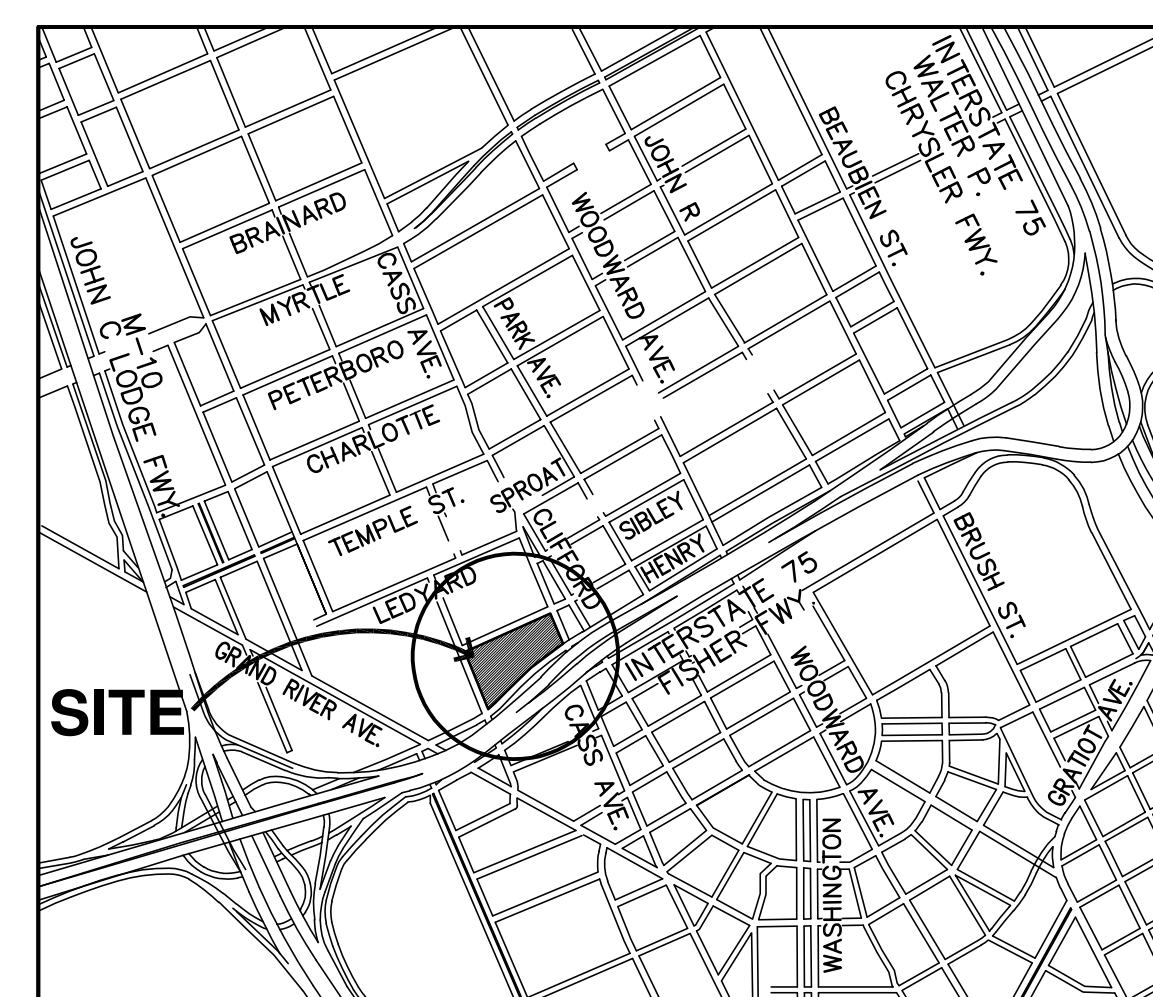
LANDSCAPE ARCHITECT GRISSIM METZ ANDRIESE ASSOCIATES
311 EAST CADY STREET
SUITES A&B
NORTHVILLE, MICHIGAN 48167
248.347.7010

STRUCTURAL ENGINEER RESURGET ENGINEERING
4219 WOODWARD AVENUE, SUITE 306
DETROIT, MICHIGAN, 48201
313.315.3290

MECH / ELECT ENGINEER STRATEGIC ENERGY SOLUTIONS, INC.
4000 WEST 11 MILE RD
BERKLEY, MICHIGAN 48072
248.399.1900

CODE DATA	
CODES OF JURISDICTION: CITY OF DETROIT	
1.	2015 MICHIGAN BUILDING CODE /2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
2.	2015 MICHIGAN PLUMBING CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE
3.	2015 MICHIGAN MECHANICAL CODE INCORPORATING THE 2015 EDITION OF THE MECHANICAL CODE
4.	MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.0-2009
5.	2015 NATIONAL ELECTRICAL CODE (NEC) (WITH MICHIGAN ELECTRICAL CODE.)
6.	BARRIER FREE CODE: ICC/ANSI 117.1 2003 & 2010 MICHIGAN BARRIER FREE DESIGN & AMERICANS WITH DISABILITIES ACT DESIGN GUIDELINES (ADAAG)

INDEX OF DRAWINGS	
NO.	SHEET TITLE
GENERAL	
A001	TITLE SHEET
LANDSCAPE	
L100	RENDERED LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L201	LANDSCAPE DETAILS
L301	SITE LIGHTING DESIGN INTENT
ARCHITECTURAL	
1A101	BASEMENT & GROUND FLOOR PLANS
1A102	2ND - 4TH FLOOR & ROOF PLANS
2A101	BASEMENT & GROUND FLOOR PLANS
2A102	2ND - 4TH FLOOR & ROOF PLANS
3A101	BASEMENT & GROUND FLOOR PLANS
3A102	ROOF PLAN
4A101	BASEMENT & GROUND FLOOR PLANS
4A102	2ND - 4TH FLOOR & ROOF PLANS
5A101	BASEMENT, 1ST, 2ND, 3RD, ROOF PLAN
6A101	BASEMENT & GROUND FLOOR PLAN
6A102	2ND - 4TH FLOOR & ROOF PLAN
7A101	BASEMENT & GROUND FLOOR PLANS
1A401	EXTERIOR ELEVATIONS 489 HENRY
1A401.1	EXTERIOR ELEVATIONS 489 HENRY
1A402	EXTERIOR ELEVATIONS 489 HENRY
1A402.1	EXTERIOR ELEVATIONS 489 HENRY
2A401	EXTERIOR ELEVATIONS 459 HENRY
2A401.1	EXTERIOR ELEVATIONS 459 HENRY
2A402	EXTERIOR ELEVATIONS 459 HENRY
2A402.1	EXTERIOR ELEVATIONS 459 HENRY
3A401	EXTERIOR ELEVATIONS 447 HENRY
3A401.1	EXTERIOR ELEVATIONS 447 HENRY
4A401	EXTERIOR ELEVATIONS 439 HENRY
4A401.1	EXTERIOR ELEVATIONS 439 HENRY
4A402	EXTERIOR ELEVATIONS 439 HENRY
4A402.1	EXTERIOR ELEVATIONS 439 HENRY
5A401	EXTERIOR ELEVATIONS 427 HENRY
5A401.1	EXTERIOR ELEVATIONS 427 HENRY
6A401	EXTERIOR ELEVATIONS 2467 CASS
6A401.1	EXTERIOR ELEVATIONS 2467 CASS
7A401	EXTERIOR ELEVATIONS 2447 CASS
7A401.1	EXTERIOR ELEVATIONS 2447 CASS
5A421	ENLARGED ELEVATIONS DETAILS
ELECTRICAL	
ES101	ELECTRICAL SITE PLAN



LOCATION MAP
NORTH

• DRAWINGS ISSUED
○ DRAWINGS ISSUED FOR REFERENCE ONLY

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.20.2020 - HISTORIC DISTRICT COMMISSION

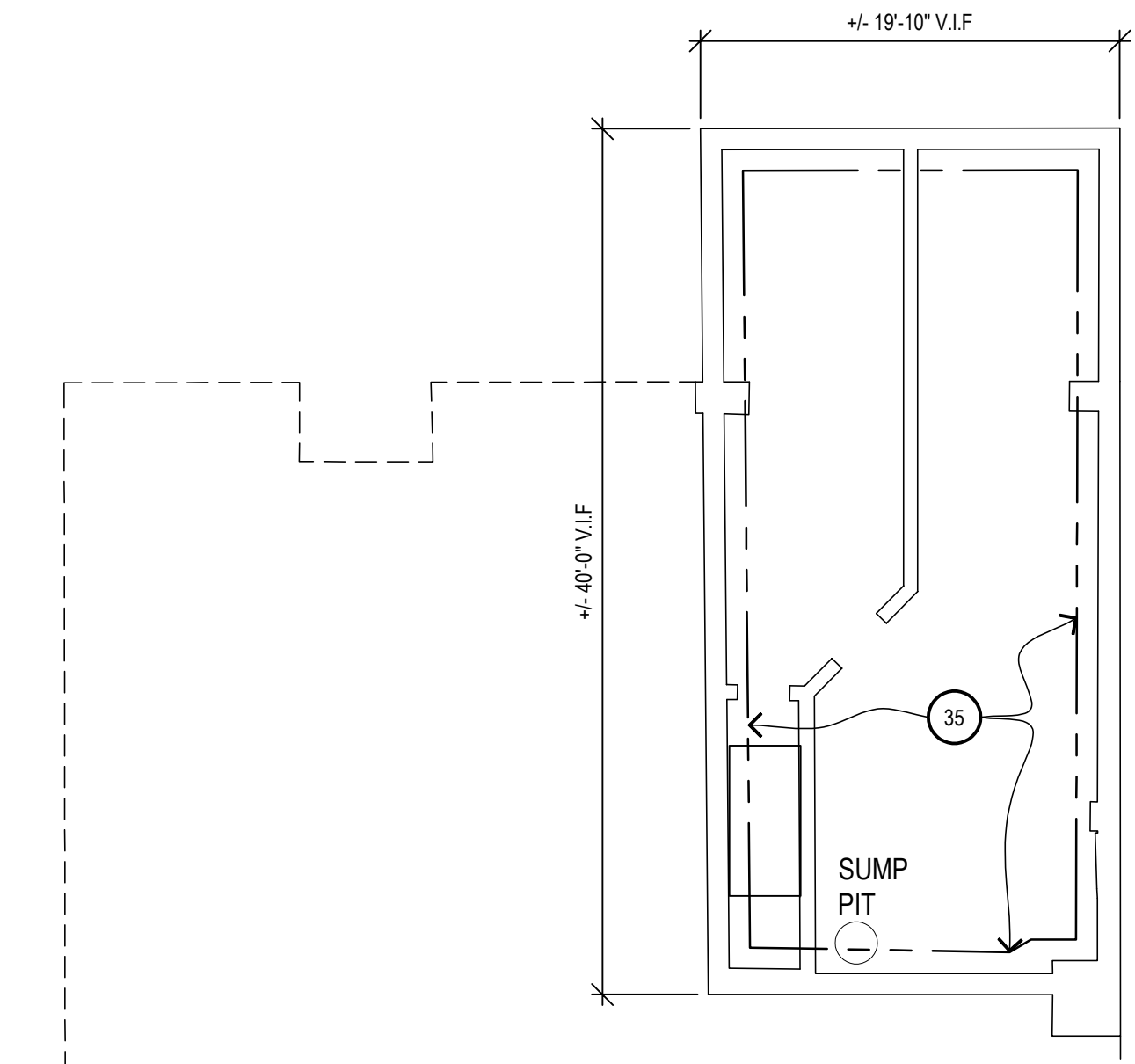
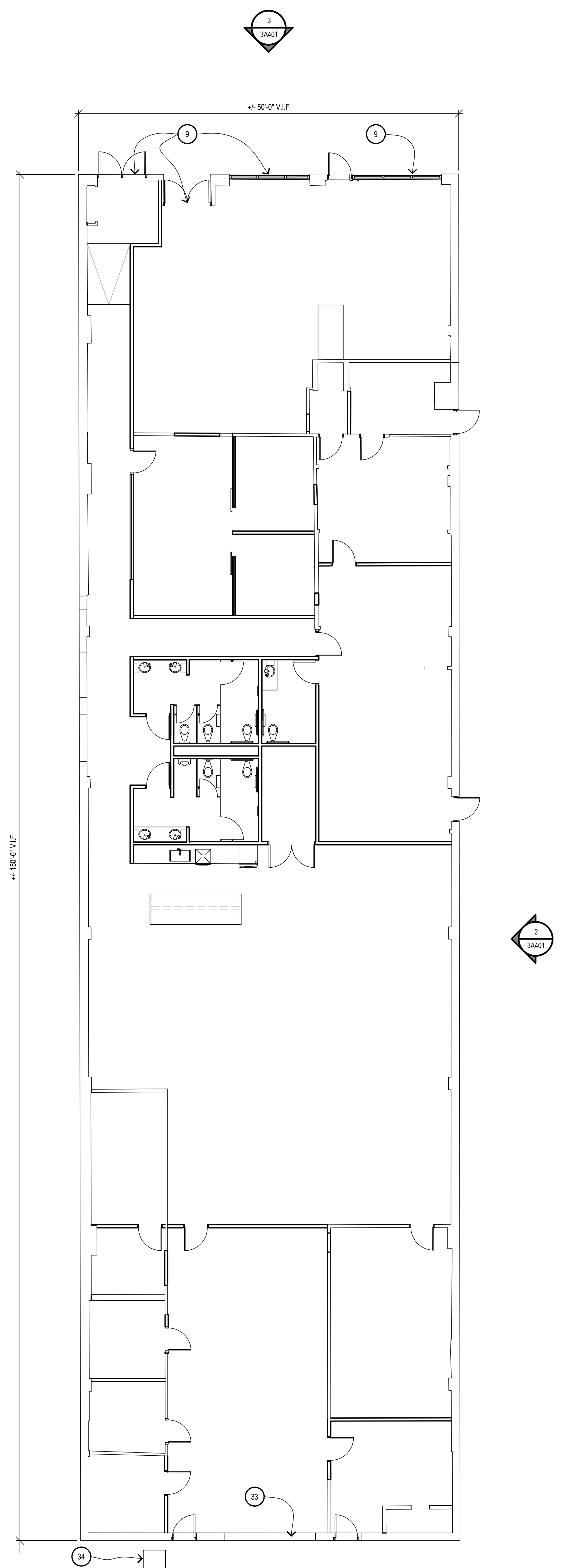
Drawn Preliminary
Checked Construction
RMM Record
Approved
MW Bidpak Number
Do not scale
Use figured dimensions only

Job Number
2020078
Title
TITLE SHEET

Sheet
A001

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
- 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/ STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
- 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
- 14 RECONSTRUCTED STONE PORCH, STEPS, ASSOCIATED REINFORCED CONCRETE FOOTINGS & METAL HANDRAILS (PAINTED)
- 15 RECONSTRUCTED EXTERIOR STAIR SYSTEM: FRAMING, LANDINGS, STAIRS, RAILS, GUARDRAILS HISTORICALLY APPROPRIATE
- 16 RECONSTRUCTED FLOOR ASSEMBLY
- 17 RECONSTRUCTED STAIRS, LANDINGS, RAIL/GUARD RAIL SYSTEM W/ HISTORICALLY APPROPRIATE MATERIALS/ FINISHES
- 18 RECONFIGURED ELEVATOR HOIST WAY WITH NEW ELEVATOR (RAILS, PIT) & RECONFIGURED FLOOR FRAMING TO ACCEPT NEW FLOOR OPENING
- 19 EXISTING LIGHT WELL WITH NEW 2 HR RATED SHAFT WALL ASSEMBLY INNER LINING, PROVIDE RATED GLAZING AT EXISTING OPENINGS
- 20 EXISTING MASONRY FIREPLACE
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF/ FLASHING AT PROJECTED BAY WINDOWS/ PORCH ROOFS
- 26 PROVIDE NEW GUTTERS/ DOWNSPOUTS
- 27 PROVIDE NEW FLASHING AT ROOF/ STAIR ENCLOSURE
- 28 MECHANICAL UNITS ON PREFABRICATED EQUIPMENT CURBS
- 29 PREFINISHED GALV METAL METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C., PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 NEW MECHANICAL SHAFT
- 31 EXISTING STAIR CONSTRUCTION TO REMAIN, EXISTING RAILS TO REMAIN, PAINT
- 32 NEW MECHANICAL ROOF PENETRATION, PROVIDE INSULATED CURBS WITH INTEGRAL FLASHING
- 33 NEW INSULATED OVERHEAD DOOR
- 34 EXISTING DTE PEDESTAL
- 35 PROVIDE WATERPROOFING AT BASEMENT FOUNDATION WALLS
- 36 NEW ELEVATOR OVER RUN ENCLOSURE, INSULATED METAL SIDING ON COLD FORM FRAMING



GROSS AREA: 8,794 SF
 2 3A101
447 HENRY GROUND
 1/8" = 1'-0"
 PROJECT NORTH

1 3A101
447 HENRY BASEMENT
 1/8" = 1'-0"
 PROJECT NORTH

NEW WORK LEGEND:

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
	PARTITION TYPE, SEE SHEET AXXX FOR DETAILS
	ROOM NAME AND NUMBER
	DOOR NUMBER

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for _____

11.20.2020 - HISTORIC DISTRICT COMMISSION

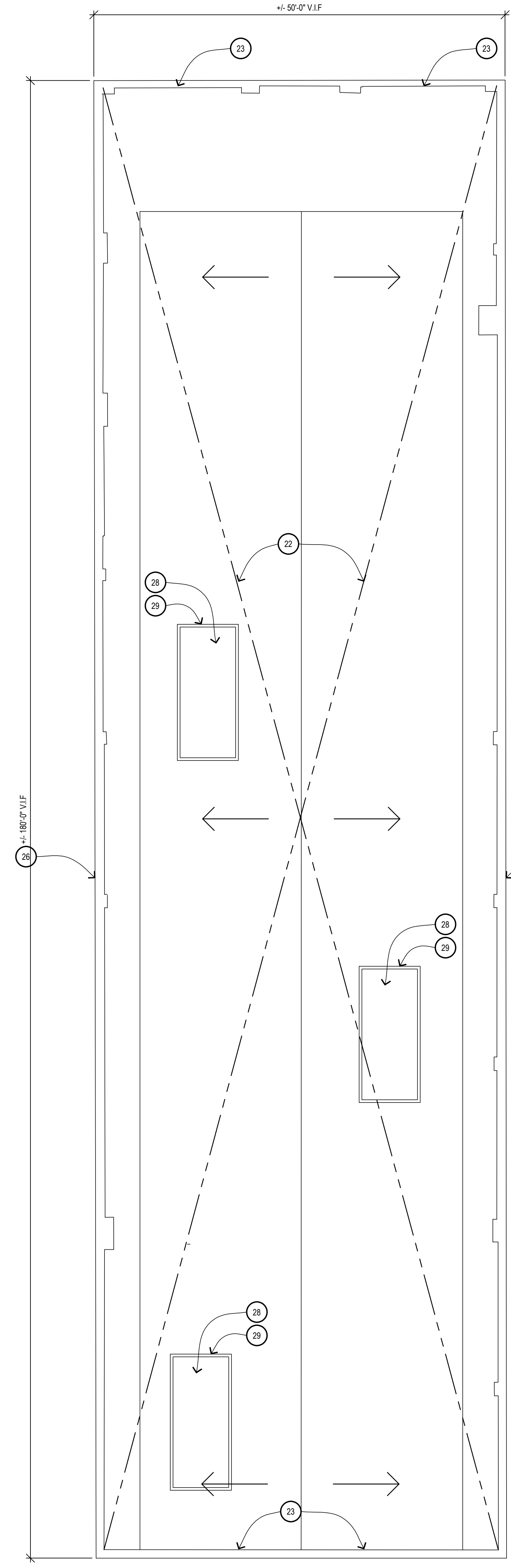
Drawn Preliminary
 Checked Construction
 Approved Record
RMM
 Approved
MW
 Bidpak Number

Job Number
2020078
 Title
BASEMENT & GROUND FLOOR PLAN

Sheet
3A101

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
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- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/ STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
- 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
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- 20 EXISTING MASONRY FIREPLACE
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
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447 HENRY ROOF
 PROJECT NORTH
 1
 3A102 1/8" = 1'-0"

NEW WORK LEGEND:

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	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
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	ROOM NAME AND NUMBER
	DOOR NUMBER

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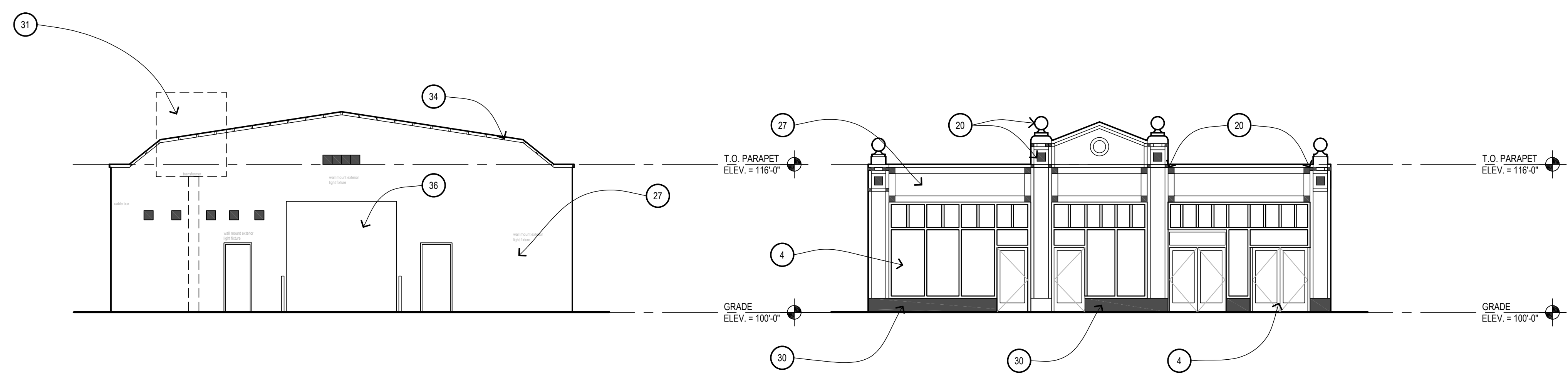
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MW
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Job Number
2020078
 Title
ROOF PLAN

Sheet
3A102

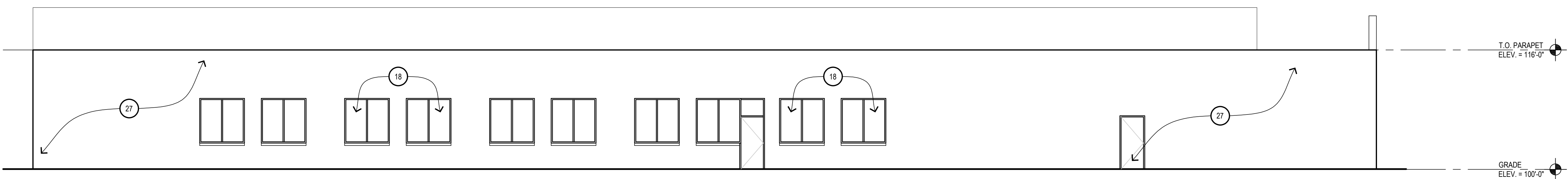
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- 18 NEW WINDOW UNIT WITH INSULATED GLAZING
- 19 NEW HISTORICALLY APPROPRIATE CLADDING
- 20 EXISTING STONE TRIM DETAIL
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
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- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF FLASHING AT PROJECTED BAY WINDOWS
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- 27 EXISTING BRICK CLADDING, REFER TO FUTURE RESTORATION DRAWINGS
- 28 EXISTING CORNICE, REFER TO FUTURE RESTORATION DRAWINGS
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- 30 RESTORED LIMESTONE BASE
- 31 EXISTING DTE PEDESTAL/TRANSFORMER
- 32 RECONSTRUCTED BAY WINDOW PROJECTIONS W/ NEW INSULATED GLAZING
- 33 NEW BALCONY CONSTRUCTION, METAL RAIL/GUARD RAIL SYSTEM, SYNTHETIC DECKING ON TREATED WOOD, PROVIDE REINF CONCRETE FOOTINGS
- 34 EXISTING CLAY TILE PARAPET COPING, REFER TO FUTURE RESTORATION DRAWINGS
- 35 NEW WOOD ENTRY DOOR SYSTEM W/ GLAZING
- 36 NEW INSULATED OVERHEAD DOOR

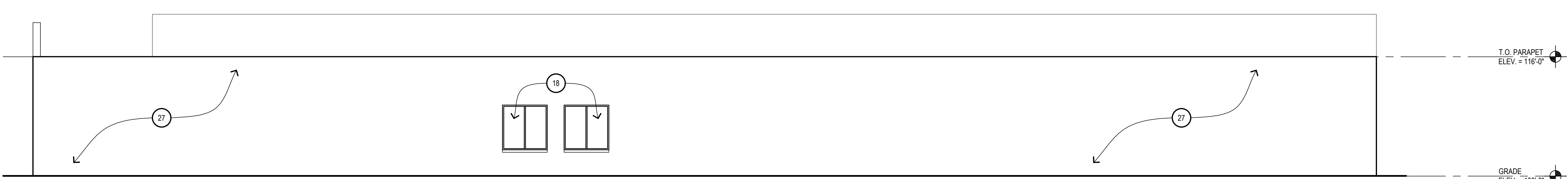


4
 3A401
 1/8" = 1'-0"
447 HENRY SOUTH EXTERIOR ELEVATION

3
 3A401
 1/8" = 1'-0"
447 HENRY NORTH EXTERIOR ELEVATION



2
 3A401
 1/8" = 1'-0"
447 HENRY EAST EXTERIOR ELEVATION



1
 3A401
 1/8" = 1'-0"
447 HENRY WEST EXTERIOR ELEVATION

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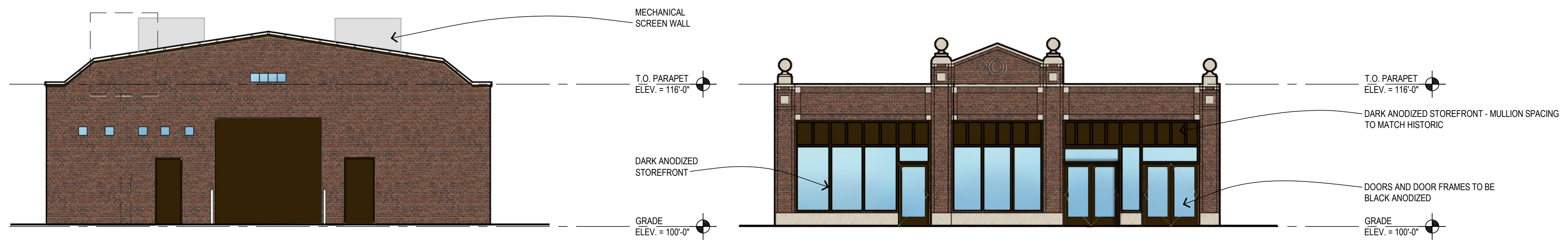
Drawn Preliminary
 Checked Construction
 RMM Record
 Approved _____
 MW Bidpak Number _____
 Do not scale Use figured dimensions only

Job Number
2020078

Title
EXTERIOR ELEVATIONS 447 HENRY

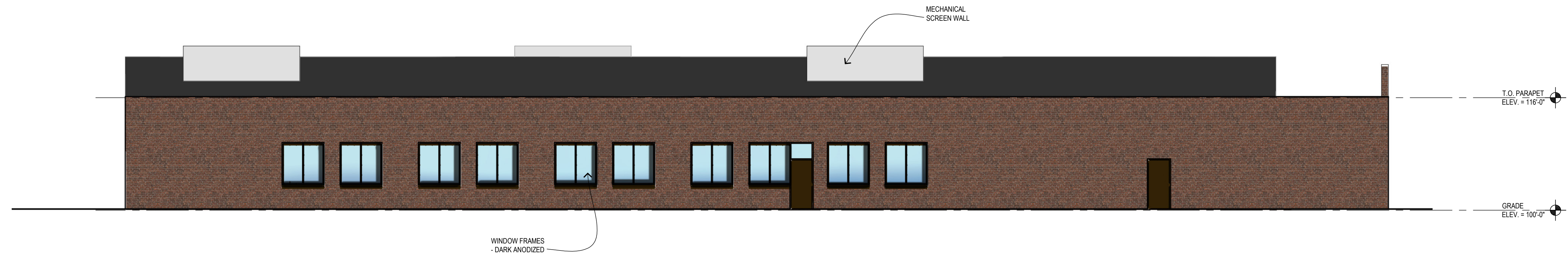
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3A401

GENERAL NOTE
 *PER CIVIL 129.6 = 100'-0"

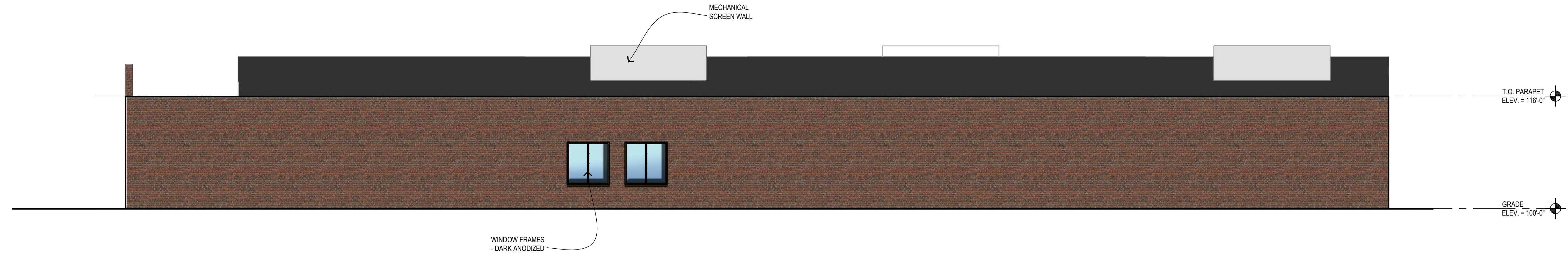


4
 3A401.1
 1/8" = 1'-0"
447 HENRY SOUTH EXTERIOR ELEVATION

3
 3A401.1
 1/8" = 1'-0"
447 HENRY NORTH EXTERIOR ELEVATION



2
 3A401.1
 1/8" = 1'-0"
447 HENRY EAST EXTERIOR ELEVATION



1
 3A401.1
 1/8" = 1'-0"
447 HENRY WEST EXTERIOR ELEVATION

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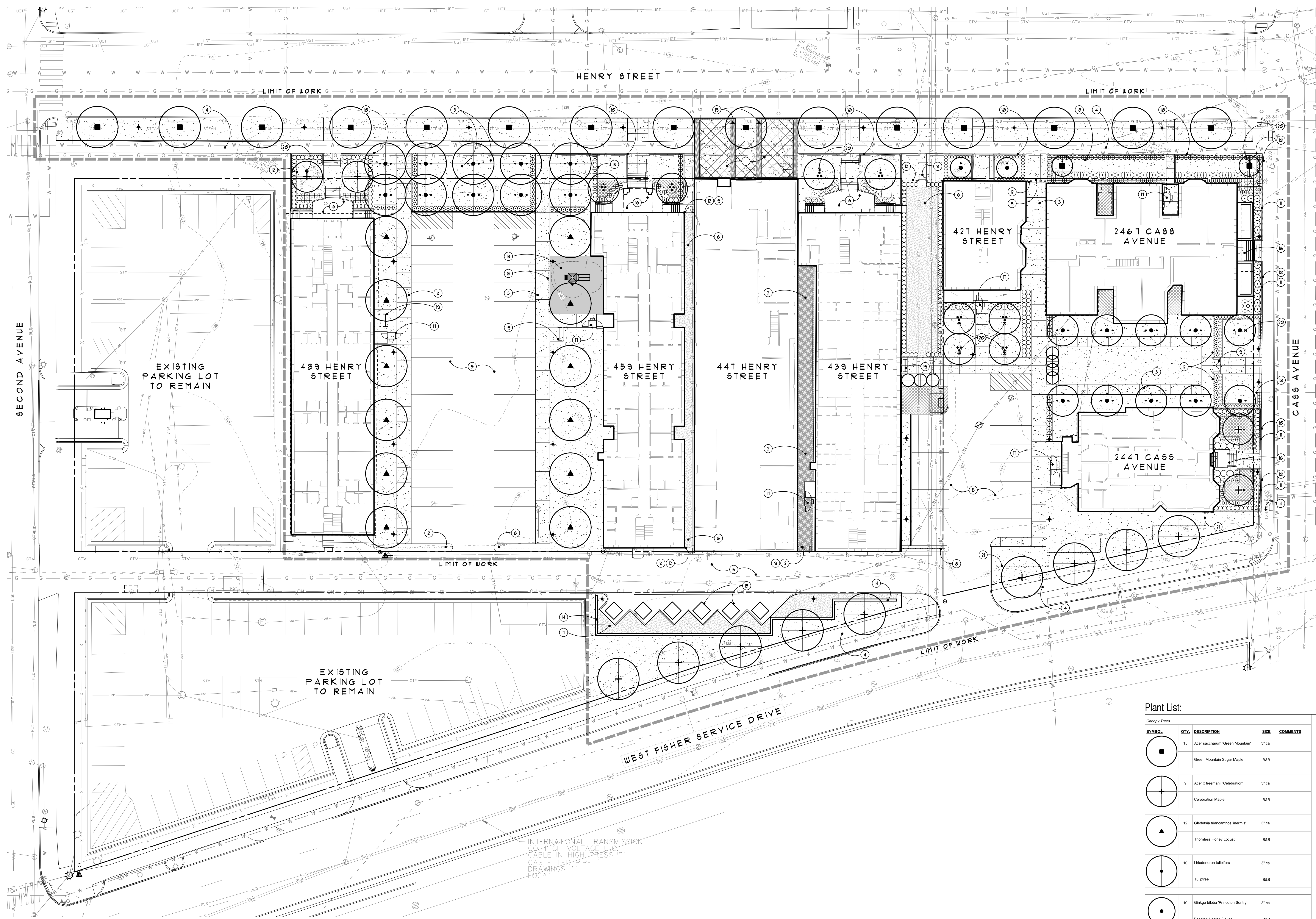
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 JKM
 Checked Construction
 RMM Record
 Approved
 MW
 Bidpak Number _____

Job Number
2020078

Title
EXTERIOR ELEVATIONS 447 HENRY

Sheet
3A401.1

GENERAL NOTE
 *PER CIVIL 129.6 = 100'-0"



- Legend:**
- LIMIT OF WORK
 - W WATER MAIN
 - G GAS LINE
 - OH OVERHEAD ELECTRIC WIRE
 - SD STORY DRAIN
 - + PEDESTRIAN LIGHT POLE - REFER TO SITE ELECTRICAL DRAWINGS
 - ⊙ EXISTING COBRA HEAD STREET LIGHTS TO REMAIN
 - IRRIGATED BODDED LAWN
 - RIGHT OF WAY

- Note Key:**
- 1 SCORED CONCRETE PAVING WITH PAVER INLAY AND BORDER
 - 2 PAVERS
 - 3 CONCRETE PAVING - REFER TO CIVIL PLANS
 - 4 EXISTING SIDEWALK TO REMAIN
 - 5 ASPHALT PARKING LOT AND DRIVE AILE - REFER TO CIVIL PLANS
 - 6 4" DEPTH DECOMPOSED GRANITE
 - 7 4" DEPTH CRUSHED AGGREGATE MULCH
 - 8 4"-0" HT. ORNAMENTAL ALUMINUM FENCE - REFER TO DETAIL ON SHEET L201
 - 9 ORNAMENTAL ALUMINUM GATE
 - 10 2" HT. x 6" WIDE CONCRETE PLANTER CURB
 - 11 30" HT. ORNAMENTAL ALUMINUM GARDEN FENCE - REFER TO DETAIL ON SHEET L201
 - 12 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 3/4" PICKET SPACING - REFER TO DETAIL ON SHEET L201
 - 13 TOT LOT PLAYGROUND - SURFACE TO BE 12" DEPTH ENGINEERED WOOD MULCH
 - 14 MASONRY SCREEN WALL - REFER TO DETAIL ON SHEET L201
 - 15 DUMPSTER, TYP.
 - 16 EXISTING BUILDING PORCH - REFER TO ARCHITECTURAL DRAWINGS
 - 17 BARRIER FREE PORCH LIFT - REFER TO ARCHITECTURAL DRAWINGS
 - 18 STEEL EDGING BETWEEN LAWN AND PLANT BEDS, TYP.
 - 19 BIKE RACK
 - 20 TREE UPLIGHT, TYP.
 - 21 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 1/2" PICKET SPACING - REFER TO DETAIL ON SHEET L201

- General Notes:**
- 1 PROVIDE 4" DEPTH TOPSOIL AT ALL BODDED LAWN AREAS
 - 2 PROVIDE SHREDDED BARK MULCH AT ALL PLANT BEDS PER DETAILS
 - 3 REFER TO TYPICAL PLANTING DETAILS, SHEET L201
 - 4 IRRIGATION SYSTEM IS TO BE PROVIDED FOR ALL PLANTING BEDS AND LAWN AREAS.

Plant List:

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
■	15	Acer saccharum 'Green Mountain'	3" cal.	
●		Green Mountain Sugar Maple	B&B	
+	9	Acer x freemari 'Celebration'	3" cal.	
○		Celebration Maple	B&B	
▲	12	Gleditsia triacanthos 'nervis'	3" cal.	
●		Thornless Honey Locust	B&B	
●	10	Liquidambar styraciflua	3" cal.	
●		Tulipree	B&B	
●	10	Ginkgo biloba 'Princeton Sentry'	3" cal.	
●		Princeton Sentry Ginkgo	B&B	
+	2	Mikus 'Royal Raindrops'	3" cal.	
●		Royal Raindrops Crabapple	B&B	
●	2	Cercis canadensis	10" ht.	multi-stem
●		Eastern Redbud	B&B	3 trunk min.
+	4	Magnolia soudangiana	10" ht.	multi-stem
●		Saucer Magnolia	B&B	3 trunk min.
+	2	Cornus florida	10" ht.	multi-stem
●		Flowering Dogwood	B&B	3 trunk min.
+	2	Prunus serotina 'Wenzari'	3" cal.	
●		Kwanan Cherry	B&B	
●	2	Carpinus betulus 'Frans Fontaine'	3" cal.	
●		Frans Fontaine Hornbeam	B&B	
+	2	Mikus 'Prairiefire'	2.5' cal.	tree form
●		Prairie Fire Crabapple	B&B	
+	7	Quercus x warei 'Nutter'	3" cal.	
●		Knotted Spill Oak	B&B	

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
○	88	Buxus 'Green Mountain'	18" ht. min.	Plant 18" o.c.
●		Green Mountain Boxwood	B&B	
⊕	140	Ilex glabra 'Shamrock'	24" ht. min.	Plant 24" o.c.
●		Isleberry	B&B	
○	10	Ilex x meserioides 'Blue Prince'	30" ht. min.	Plant 30" o.c.
●		Blue Prince Holly	B&B	
⊗	14	Rhododendron 'Daleware Valley'	30" ht. min.	Plant 30" o.c.
●		Daleware Valley Azalea	B&B	
○	213	Taxus x media 'Densiformis'	24" ht. min.	Plant 24" o.c.
●		Dense Yew	B&B	
○	86	Taxus x media 'Hicks'	30" ht. min.	Plant 24" o.c.
●		Hick's Yew	B&B	
⊕	12	Thuja occidentalis 'Emerald Green'	6" ht.	Plant 30" o.c.
●		Emerald Green Arborvitae	B&B	Hedge to 5' ht.
Deciduous Shrubs, Groundcover, and Perennials				
SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
⊕	49	Ilex verticillata 'Henry's Garnet'	#3	Plant 24" o.c.
●		Virginia Sweetpire	cont.	
⊕	35	Hydrangea macrophylla 'Pae Wae'	#5	Plant 30" o.c.
●		Pae Wae Oakleaf Hydrangea	cont.	
⊕	16	Hydrangea paniculata 'Tumbo'	#5	Plant 30" o.c.
●		Bobo Hydrangea	cont.	
○	21	Syringa patula 'Miss Kim'	#5	Plant 30" o.c.
●		Miss Kim Lilac	cont.	
○	10	Helleborus ferdinandsi 'Sonic Bloom'	#5	Plant 30" o.c.
●		Sonic Bloom Wajigala	cont.	
○	21	Hosta x Patriot	1 gal.	Plant 18" o.c.
●		Planet Hosta	cont.	
1100		Pachysandra terminalis	1 gal.	Plant 12" o.c.
		Japanese pachysandra	cont.	

811 Know what's below. Call before you dig.

SCALE: 1"=20'

0' 10' 20' 40'

North Arrow

architecture
NEUMANN SMITH
SOUTHFIELD • DETROIT
400 Galleria Office Centre
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
www.neumannsmith.com

GRISSIM METZ ANDRIESE
Associates
Landscape Architects

OLYMPIA DEVELOPMENT OF MICHIGAN

HENRY STREET REDEVELOPMENT

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for: *Allyson Pearson*

11.20.2020 HISTORIC DISTRICT COMMISSION

Drawn: Preliminary
 AEP Construction
 Checked: Record
 RKM
 Approved: Do not scale
 RKM Use figured dimensions only
 Bidpak Number

Job Number: 2020078
 Title: Landscape Plan

Sheet L101



MEMO

Date 11.25.2020

Subject HDC Sheet Revisions

Project Name Henry Street Redevelopment

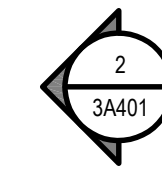
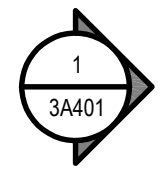
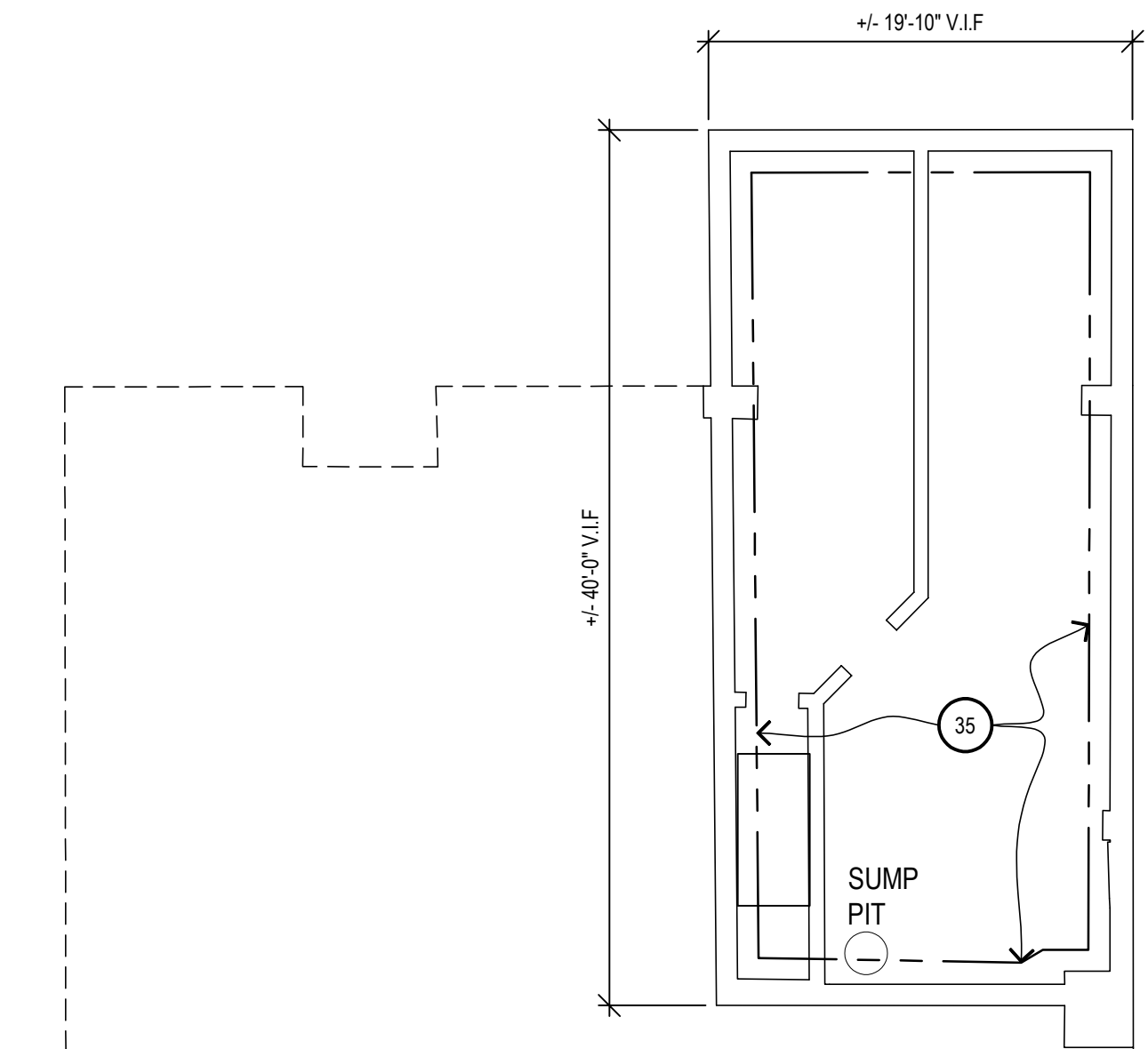
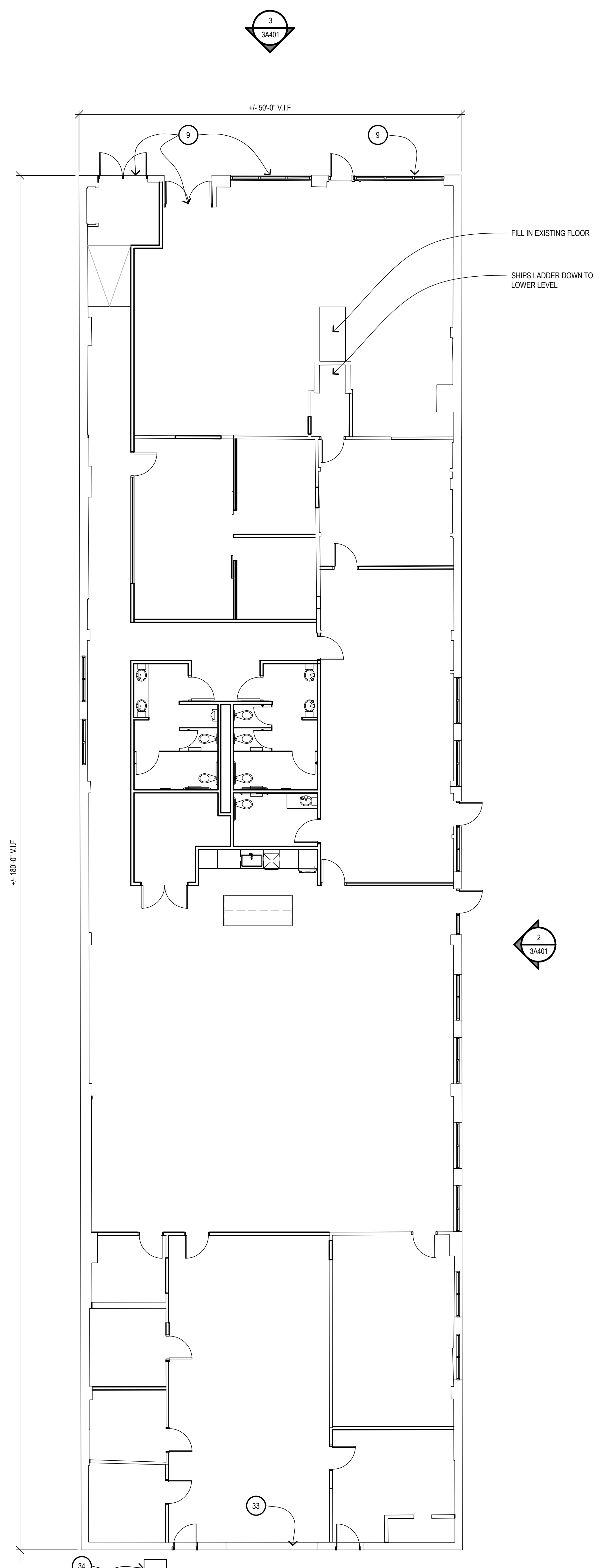
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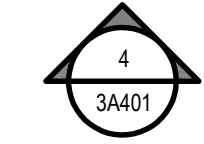
<u>Sheets</u>	<u>Revisions</u>
3A101	Added Second Means of Egress in assembly area. Placed door in existing window opening.
2A401	Added Keynote 37 – “New Cornices, Reference Adjacent Building as Basis of Design”
2A401.1	Replace all instances of “Crown Molding” with “Cornice”
3A401	Added new door location on drawing 2/3A401 based on Sheet 3A101 Location
3A401.1	Revised rendered elevations based on Sheet 3A401
4A401.1	Replace all instances of “Crown Molding” with “Cornice”
5A401	Revised Bay-Window sizes based on site measurements Added keynote 37 – “New Cornices, Reference Adjacent Building as Basis of Design”
5A401.1	Revised rendered elevations based on Sheet 5A401 Replace all instances of “Crown Molding” with “Cornice”
5A421	Revised Bay-Window sizes based on site measurements

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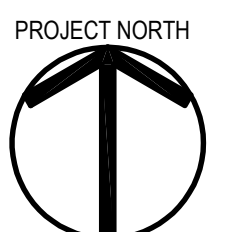


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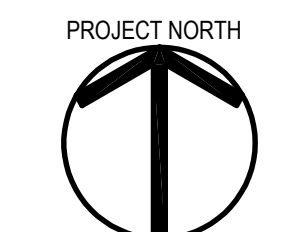
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447 HENRY GROUND



1
 3A101
 1/8" = 1'-0"

447 HENRY BASEMENT



NEW WORK LEGEND:	
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	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
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	DOOR NUMBER

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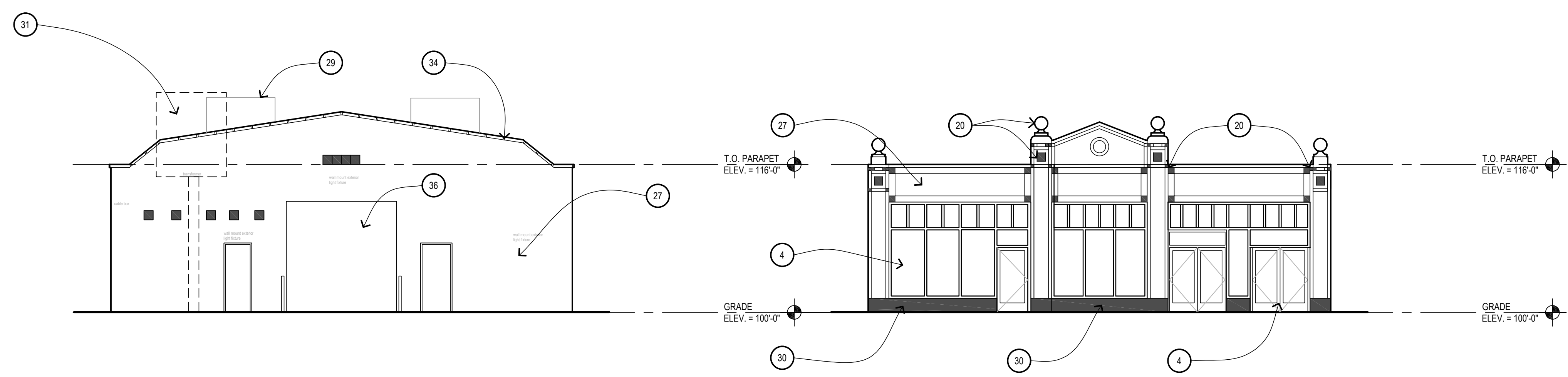
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MW
 Bidpak Number

Job Number
2020078
 Title
BASEMENT & GROUND FLOOR PLAN

Sheet
3A101

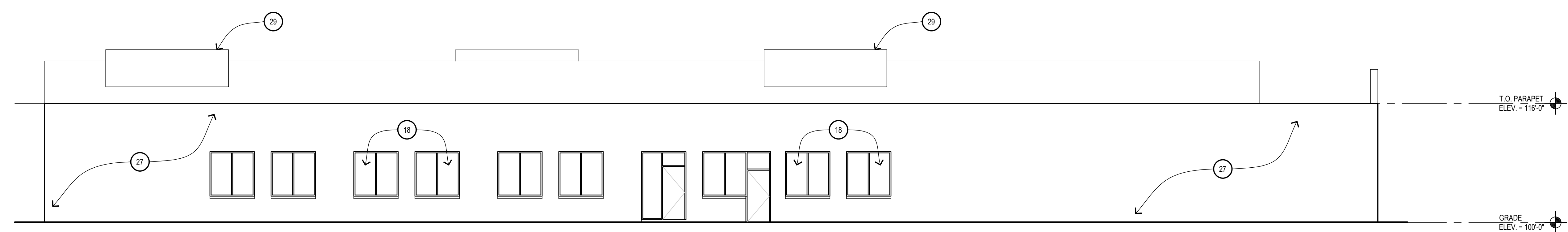
KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/STOREFRONT SYSTEM
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
- 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
- 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
- 14 RECONSTRUCTED STONE PORCH, STEPS, ASSOCIATED REINFORCED CONCRETE FOOTINGS & METAL HANDRAILS (PAINTED)
- 15 RECONSTRUCTED EXTERIOR STAIR SYSTEM: FRAMING, LANDINGS, STAIRS, RAILS, GUARDRAILS HISTORICALLY APPROPRIATE
- 16 RECONSTRUCTED FLOOR ASSEMBLY
- 17 RECONSTRUCTED STAIRS, LANDINGS, RAIL/GUARD RAIL SYSTEM W/ HISTORICALLY APPROPRIATE MATERIALS/ FINISHES
- 18 NEW WINDOW UNIT WITH INSULATED GLAZING
- 19 NEW HISTORICALLY APPROPRIATE CLADDING
- 20 EXISTING STONE TRIM DETAIL
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF FLASHING AT PROJECTED BAY WINDOWS
- 26 PROVIDE NEW GUTTERS/DOWNSPOUTS
- 27 EXISTING BRICK CLADDING, REFER TO FUTURE RESTORATION DRAWINGS
- 28 EXISTING CORNICE, REFER TO FUTURE RESTORATION DRAWINGS
- 29 PREFINISHED GALV METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF, PROVIDE GALV SUPPORTS AT 6'-0" O.C., PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 RESTORED LIMESTONE BASE
- 31 EXISTING DTE PEDESTAL/TRANSFORMER
- 32 RECONSTRUCTED BAY WINDOW PROJECTIONS W/ NEW INSULATED GLAZING
- 33 NEW BALCONY CONSTRUCTION, METAL RAIL/GUARD RAIL SYSTEM, SYNTHETIC DECKING ON TREATED WOOD, PROVIDE REINF CONCRETE FOOTINGS
- 34 EXISTING CLAY TILE PARAPET COPING, REFER TO FUTURE RESTORATION DRAWINGS
- 35 NEW WOOD ENTRY DOOR SYSTEM W/ GLAZING
- 36 NEW INSULATED OVERHEAD DOOR
- 37 NEW CORNICES, REFERENCE ADJACENT BUILDINGS AS BASIS OF DESIGN

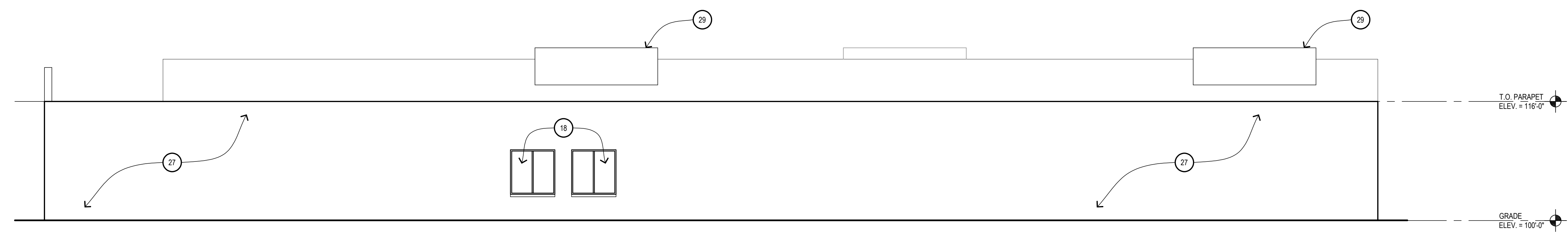


4
 3A101
 1/8" = 1'-0"
447 HENRY SOUTH EXTERIOR ELEVATION

3
 3A101
 1/8" = 1'-0"
447 HENRY NORTH EXTERIOR ELEVATION



2
 3A101
 1/8" = 1'-0"
447 HENRY EAST EXTERIOR ELEVATION



1
 3A101
 1/8" = 1'-0"
447 HENRY WEST EXTERIOR ELEVATION

GENERAL NOTE
 *PER CIVIL 129.6 = 100'-0"

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

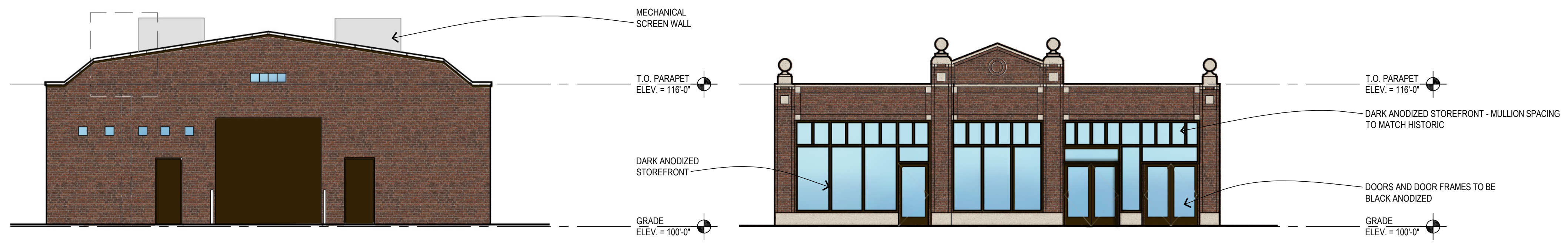
11.25.2020 - HISTORIC DISTRICT COMMISSION

Drawn Preliminary
 JKM Construction
 Checked Record
RMM
 Approved Do not scale
 MW Use figured dimensions only
 Bidpak Number

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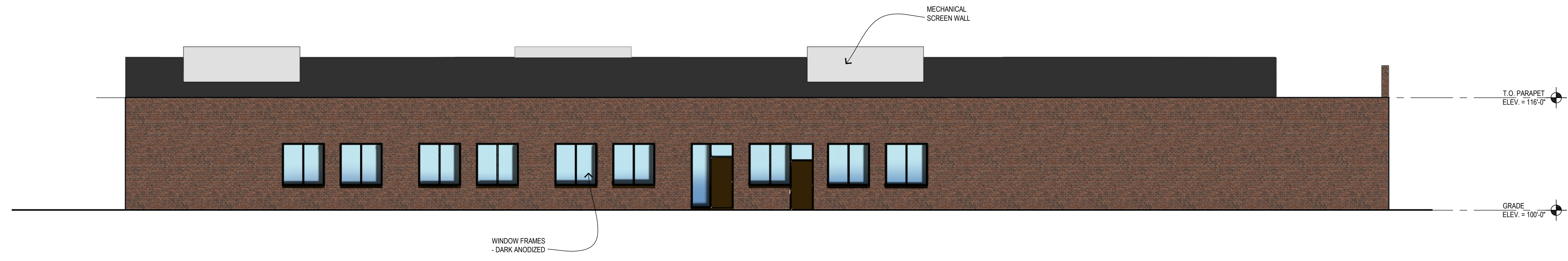
Title
**EXTERIOR ELEVATIONS
 447 HENRY**

Sheet
3A401

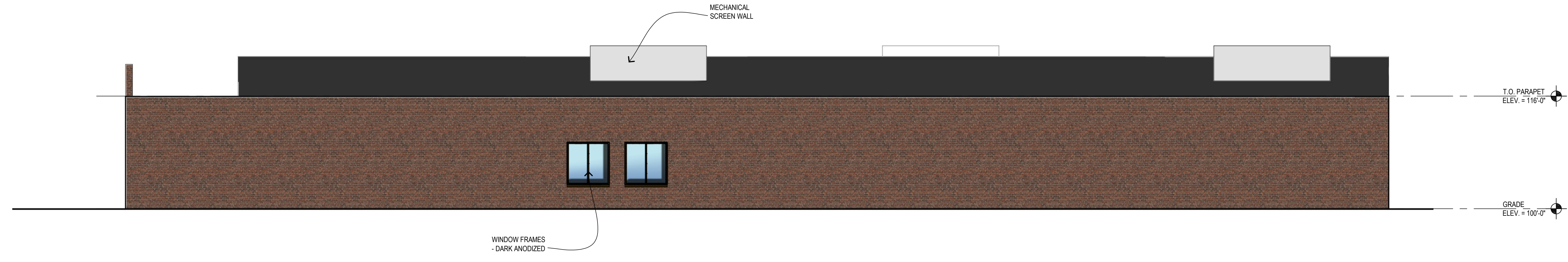


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 EXTERIOR ELEVATIONS
 447 HENRY

Sheet
 3A401.1

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