

December 15, 2020

CERTIFICATE OF APPROPRIATENESS

Scott Lowell
701 W. Canfield
Detroit, MI 48216

RE: Application Number 20-6961; 701 W. Canfield; West Canfield Historic District

Dear Mr. Lowell:

At the regular scheduled meeting that was held on December 9, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as December 15, 2020.

The Commission issued a Certificate of Appropriateness for the following work items listed as well as those shown in the attached drawings because they meet the Secretary of Interior’s Standards for Rehabilitation.

Exterior Work

- Rear elevation changes to the exterior with the replacement of all windows with doors.
- Balcony and staircase at rear elevation of the house.
- Site plan pavers and pool.
- Replace existing fence with wood, shadowbox privacy fence
- Replace existing asphalt shingle roofing with GAF slate line shingles
- Replace existing asphalt shingles at dormers with slate shingles to match existing
- Repair and clean existing slate shingles at gables
- Add skylights, roof vents and side elevation vents and metal dryer exhaust hoods
- Repair existing brick deck support walls to match original condition

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Daniel Rieden
Staff
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 11.16.2020

PROPERTY INFORMATION

ADDRESS: 701 West Canfield AKA:

HISTORIC DISTRICT: West Canfield

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/ Doors	<input checked="" type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input checked="" type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: SCOTT LOWELL COMPANY NAME: 701 W Canfield LLC

ADDRESS: 701 West Canfield CITY: Detroit STATE: MI ZIP: 48216

PHONE: MOBILE: 313-610-8086 EMAIL: scott@trafficjam.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 11.16.2020

PROPERTY INFORMATION

Address: 701 W Canfield Floor: Suite#: Stories: 3
AKA: Lot(s): 1 Subdivision: Cass Farms
Parcel ID#(s): 04000902 Total Acres: 0.171 Lot Width: 50 Lot Depth: 150
Current Legal Use of Property: residential Proposed Use: residential
Are there any existing buildings or structures on this parcel? [X] Yes [] No

PROJECT INFORMATION

Permit Type: [] New [X] Alteration [] Addition [] Demolition [] Correct Violations
[] Foundation Only [] Change of Use [] Temporary Use [] Other:
[] Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

New mechanical, electrical and plumbing systems. New room layout.
Add rear stair and deck, pool, paving. See attached document for itemized exterior scope.
[] MBC use change [X] No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

[X] HVAC/Mechanical [X] Electrical [X] Plumbing [X] Fire Sprinkler System [X] Fire Alarm

Structure Type

[] New Building [X] Existing Structure [] Tenant Space [] Garage/Accessory Building
[] Other: Size of Structure to be Demolished (LxWxH) cubic ft.
Construction involves changes to the floor plan? [X] Yes [] No

(e.g. interior demolition or construction to new walls)

Use Group: R-2 Type of Construction (per current MI Bldg Code Table 601) III-B

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

[X] Residential-Number of Units: 7 [] Office-Gross Floor Area [] Industrial-Gross Floor Area
[] Commercial-Gross Floor Area: [] Institutional-Gross Floor Area [] Other-Gross Floor Area
Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? [] No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? [] Yes [] No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)**Property Owner/Homeowner** Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: 701 W Canfield, LLC
 Address: 4268 Second Avenue City: Detroit State: MI Zip: 48201
 Phone: _____ Mobile: 313-610-8086
 Driver's License #: _____ Email: nikki@pushdetroit.com

Contractor Contractor is Permit Applicant

Representative Name: _____ Company Name: _____
 Address: _____ City: _____ State: _____ Zip: _____
 Phone: _____ Mobile: _____ Email: _____
 City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant

Name: Nicole Rittenour State Registration#: 1301062110 Expiration Date: 10/2021
 Address: 2255 Wabash City: Detroit State: MI Zip: 48216
 Phone: 313-757-5006 Mobile: 313-580-8178 Email: nikki@pushdetroit.com

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
 (Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
 (Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: Nicole Rittenour Signature: *Nicole Rittenour* Date: 10.28.20
 (Permit Applicant)

Driver's License #: R356630585091 Expiration: 2-03-2022

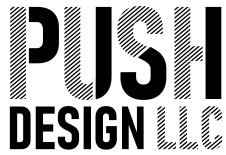
Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
 (Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.





November 16, 2020

701 W Canfield

PROJECT INFORMATION

Description of Existing Conditions

This project site is located in the West Canfield Historic District listed on the U.S. National Register of Historic Places. It is a 3-story structure plus basement. The original building was a residential duplex. The roof is a cross-gable structure with a rear hip-framed structure. The plan incorporates window bays and slate shingled gables on the east and west elevations. The front facade features a covered porch.

The exterior of the building is masonry bearing wall construction at the basement through second stories. The third floor (attic) is framed primarily in wood and clad with a combination of wood trim, and stucco. **The masonry repairs and roof trim are part of a previous submission (a COA was issued on 5/21/2020 under application number 20-6624).**

Description of Work

Renovation of existing historic 3-story duplex building plus basement. Building improvements include new doors, mechanical, electrical and plumbing systems, wall finishes, new fixture and finishes throughout. A 3-level wood-framed deck addition is proposed for the rear.

NORTH ELEVATION (FRONT):

A. REPLACE EXISTING ASPHALT SHINGLES AT (2) DORMERS WITH SLATE SHINGLES TO MATCH EXISTING.

B. REMOVE EXISTING 8' TALL WOOD FENCE

EAST ELEVATION:

A. ADD (11) 8"X8" BRICK VENT PENETRATIONS SIMILAR TO GREENHECK BVE SERIES FRAMELESS GRILL.

B. ADD (3) METAL DRYER EXHAUST HOODS - 5" X 5".

SOUTH ELEVATION (REAR):

- A. ADD 3-LEVEL STEEL DECK WITH COMPOSITE DECKING (SEE SHEET 24) AND 42" GUARD RAILS TYPICAL AT ALL SIDES.
- B. INSTALL (8) MARVIN ULTIMATE CLAD FRENCH DOORS AT NEW MASONRY OPENINGS.
- C. MODIFY (2) DORMERS TO ACCOMMODATE DOOR OPENINGS AT EXISTING WINDOWS. INSTALL MARVIN DBL INSWING ULTIMATE CLAD FRENCH DOORS.
- D. INSTALL (2) MARVIN ULTIMATE CLAD FRENCH DOORS AT EXISTING MASONRY DOOR OPENINGS.
- E. REPLACE EXISTING ASPHALT SHINGLES AT (2) DORMERS WITH SLATE SHINGLES TO MATCH EXISTING.
- F. REPAIR EXISTING BRICK DECK SUPPORT WALLS TO MATCH ORIGINAL CONDITION.
- G. ADD 3-LEVEL WOOD DECK STRUCTURE AND STAIR TO ACCOMMODATE SECOND MEANS OF EGRESS.

WEST ELEVATION:

- A. ADD (9) 8"X8" BRICK VENT PENETRATIONS SIMILAR TO GREENHECK BVE SERIES FRAMELESS GRILL.
- B. ADD (1) 12"X16" BRICK VENT PENETRATIONS SIMILAR TO GREENHECK BVE SERIES FRAMELESS GRILL.
- C. ADD (2) METAL DRYER EXHAUST HOODS - 5" X 5".

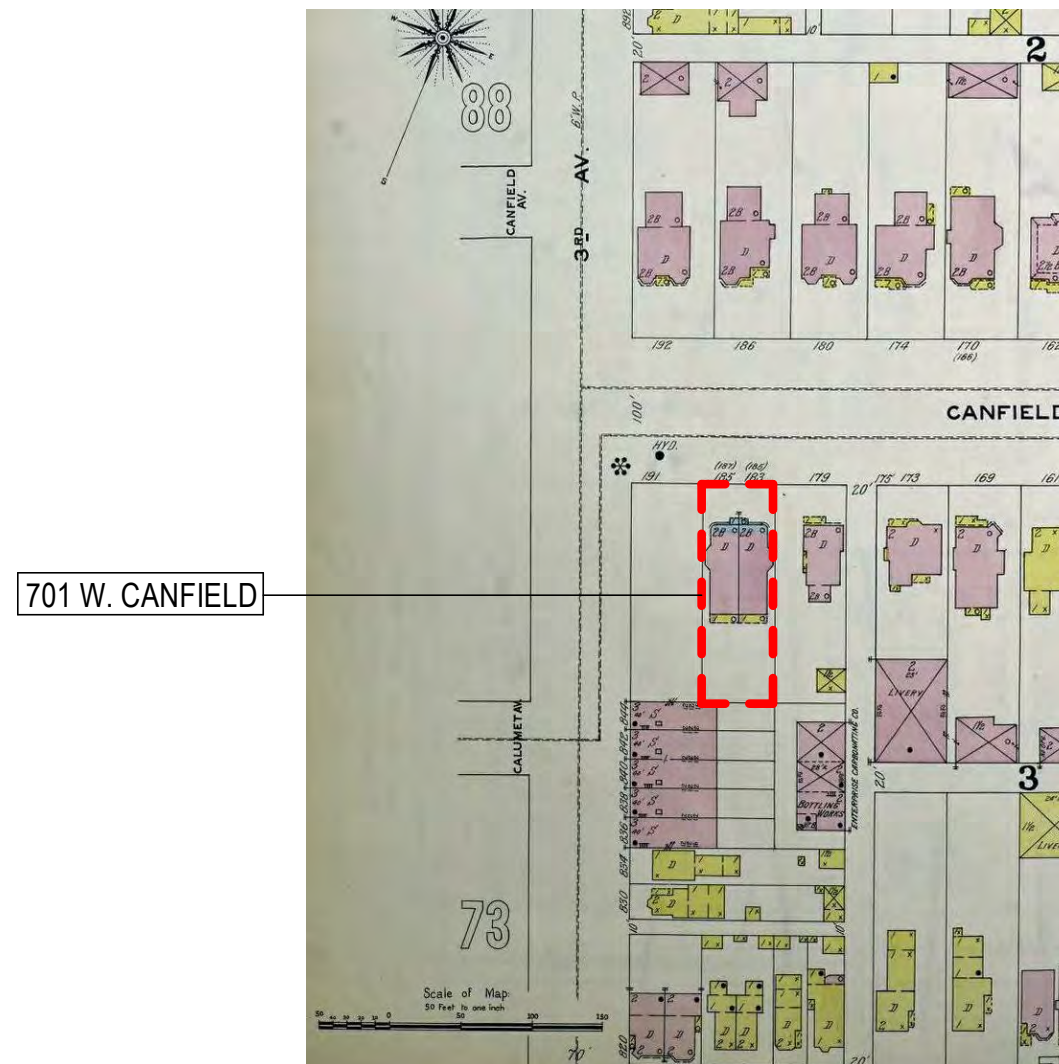
ROOF:

- A. REPLACE EXISTING ASPHALT SHINGLE ROOFING GAF SLATELINE SHINGLES, ANTIQUE SLATE COLOR.
- B. INSTALL (24) ROOF VENTS - VISIBLE ELEMENTS TO BE METAL OR BLACK-PAINTED FINISH.
- C. ADD (2) 4'-0"X5'-0" OPERABLE SKYLIGHTS BY VELUX GGU SERIES OPERABLE CENTER PIVOT.

SITE:

- A. INSTALL 5" X 10" NON-PERMEABLE CONCRETE PAVERS BY UNILOCK IN RUNNING BOND PATTERN AT TYPICAL WALKS.
- B. INSTALL 14' X 20' IN-GROUND SWIMMING POOL.
- C. INSTALL 6' TALL WOOD FENCE ENCLOSURE AT POOL EQUIPMENT.
- D. ADD (5) PARKING SPACES WITH REAR ACCESS.

PROPOSED RENOVATIONS TO 701 W. CANFIELD



1. 1897 SANBORN MAP VOL. 2, MAP 89

INDEX

SHEET NO.

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H.05	PROPOSED SITE PLAN - REVISED 12.02.2020
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H.07	FIRST FLOOR PLANS - REVISED 12.02.2020
H.08	SECOND FLOOR PLANS
H.09	THIRD FLOOR PLANS
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H.12	PROPOSED EAST ELEVATION
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H.21	NOT ISSUED
H.22	EXTERIOR DETAILS - PROPOSED DOOR AT REAR DORMER
H.23	EXTERIOR DETAILS - STAIR & DECK SECTION
H.24	EXTERIOR DETAILS - STAIR & DECK DETAILS - REVISED 12.02.2020
H.25	EXTERIOR MATERIALS - REVISED 12.02.2020
H.26	EXTERIOR MATERIALS
H.27	PROPOSED ENLARGED SITE PLAN AT REAR - REVISED 12.02.2020
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SCOPE OF WORK

NORTH ELEVATION (FRONT):

- A.** REPLACE EXISTING ASPHALT SHINGLES AT (2) DORMERS WITH SLATE SHINGLES TO MATCH EXISTING.
- B.** REMOVE EXISTING 8' TALL WOOD FENCE AT NW CORNER.

EAST ELEVATION:

- A.** REPAIR & CLEAN EXISTING SLATE SHINGLES AT GABLE.
- B.** ADD (11) 8"X8" BRICK VENT PENETRATIONS SIMILAR TO GREENHECK BVE SERIES FRAMELESS GRILL. PROPOSED BRICK VENTS TO SERVE TOILET & KITCHEN EXHAUST VENTING. SEE SHEET H.26.
- C.** ADD (3) METAL DRYER EXHAUST HOODS - 5" X 5".

SOUTH ELEVATION (REAR):

- A.** ADD 3-LEVEL DECK WITH COMPOSITE DECKING (SEE SHEET 24) AND 42" GUARD RAILS TYPICAL AT ALL SIDES.
- B.** EXTEND (4) EXISTING WINDOW OPENING TO FLOOR TO ACCOMMODATE PROPOSED MARVIN ULTIMATE CLAD FRENCH DOORS. BRICK PATCHING TO BE TOOTHED-IN TO MATCH EXISTING MASONRY PATTERN.
- C.** WIDEN (4) EXISTING WINDOW OPENINGS AND EXTEND TO FLOOR TO ACCOMMODATE PROPOSED MARVIN ULTIMATE CLAD FRENCH DOORS. REBUILD ARCH-HEADER TO MATCH PROPOSED OPENING WIDTH. BRICK PATCHING TO BE TOOTHED-IN TO MATCH EXISTING MASONRY PATTERN.
- D.** MODIFY (2) DORMERS TO ACCOMMODATE DOOR OPENINGS AT EXISTING WINDOWS. INSTALL MARVIN DBL INSWING ULTIMATE CLAD FRENCH DOORS.
- E.** INSTALL (2) MARVIN ULTIMATE CLAD FRENCH DOORS AT EXISTING MASONRY DOOR OPENINGS.
- F.** REPLACE EXISTING ASPHALT SHINGLES AT (2) DORMERS WITH SLATE SHINGLES TO MATCH EXISTING.
- G.** REPAIR EXISTING BRICK DECK SUPPORT WALLS TO MATCH ORIGINAL CONDITION.
- H.** ADD 3-LEVEL WOOD DECK STRUCTURE AND STAIR TO ACCOMMODATE SECOND MEANS OF EGRESS.
- I.** INFILL (2) EXISTING DOOR OPENINGS WITH MATCHING BRICK RECESSED 1" FROM FACE OF WALL.
- J.** ADD (6) EXTERIOR WALL-MOUNTED LIGHT FIXTURES. SEE SHEET H.30 FOR SPECS.

WEST ELEVATION:

- A.** REPAIR & CLEAN EXISTING SLATE SHINGLES AT GABLE.
- B.** ADD (9) 8"X8" BRICK VENT PENETRATIONS SIMILAR TO GREENHECK BVE SERIES FRAMELESS GRILL. PROPOSED BRICK VENTS TO SERVE TOILET & KITCHEN EXHAUST VENTING. SEE SHEET H.26.
- C.** ADD (1) 12"X16" BRICK VENT PENETRATIONS SIMILAR TO GREENHECK BVE SERIES FRAMELESS GRILL.
- D.** ADD (2) METAL DRYER EXHAUST HOODS - 5" X 5".

ROOF:

- A.** REPLACE EXISTING ASPHALT SHINGLE ROOFING GAF SLATELINE SHINGLES, ANTIQUE SLATE COLOR.
- B.** INSTALL (24) ROOF VENTS TO ACCOMMODATE FURNACE INTAKE, COMBUSTION AND EXHAUST - VISIBLE ELEMENTS TO BE METAL OR PAINTED TO MATCH ROOF COLOR - SEE SHEET H.26 FOR TYPES.
- C.** ADD (2) 46"W X 56"H OPERABLE SKYLIGHTS BY VELUX GGU SERIES OPERABLE CENTER PIVOT. SEE SHEET H.25 FOR SPECS.

SITE:

- A.** INSTALL 5" X 10" NON-PERMEABLE CONCRETE PAVERS BY UNILOCK IN RUNNING BOND PATTERN AT TYPICAL WALKS - SEE H.25 FOR SPECS.
- B.** INSTALL 14' X 20' IN-GROUND SWIMMING POOL.
- C.** REMOVE EXISTING FENCE AT REAR LOT LINE. INSTALL 6' TALL WOOD FENCE AS INDICATED ON SHEET H.27.
- D.** ADD (5) PARKING SPACES WITH REAR ACCESS.



1. PHOTO FROM STREET - CA. 1970



2. PHOTO FROM STREET - DATE UNKNOWN



1. PHOTO FROM STREET - EXISTING CONDITIONS



2. PHOTO FROM REAR - EXISTING CONDITIONS



5. WEST ELEV. (TOWARD SOUTH)



6. WEST ELEV. (TOWARD SOUTH)



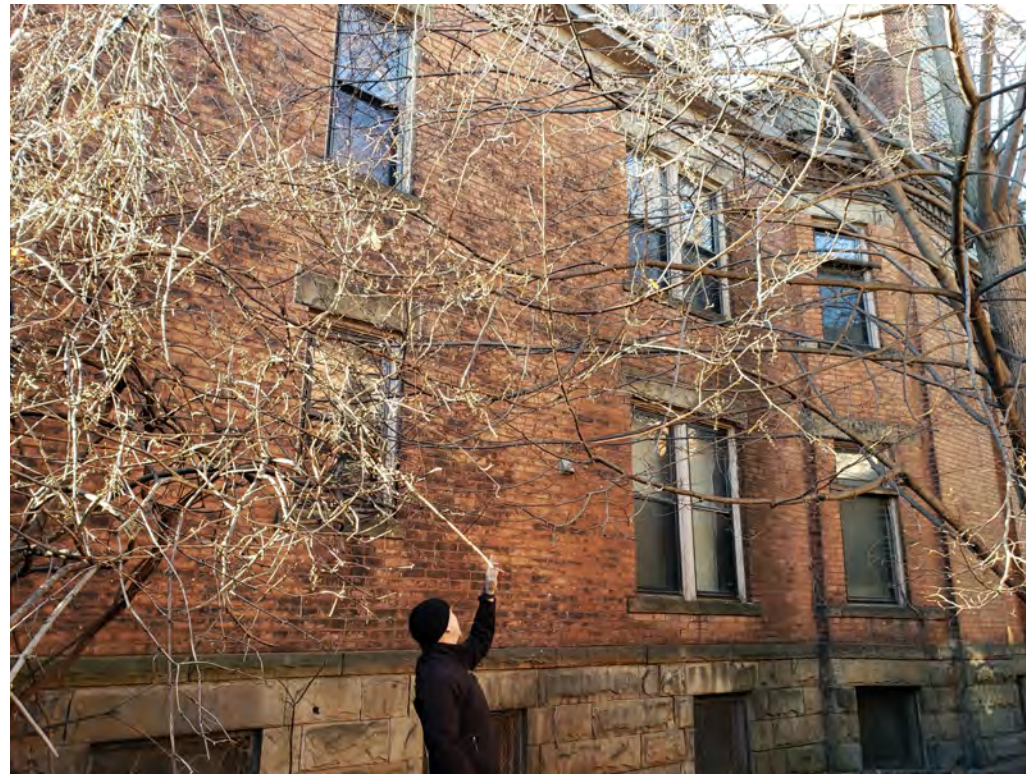
7. WEST ELEV. (TOWARD NORTH)



8. WEST ELEV. (TOWARD NORTH)



1. EAST ELEV. (TOWARD NORTH)



2. EAST ELEVATION (TOWARD NORTH)



3. EAST ELEV. (TOWARD SOUTH)



4. EAST ELEV. (TOWARD SOUTH)



5. SOUTH FACADE - WEST SIDE



6. SOUTH FACADE - EAST SIDE



7. PARTIAL SOUTH FACADE - WEST SIDE



8. SOUTH FACADE - VIEW TO EAST



1. SIDE WALL AT SW CORNER



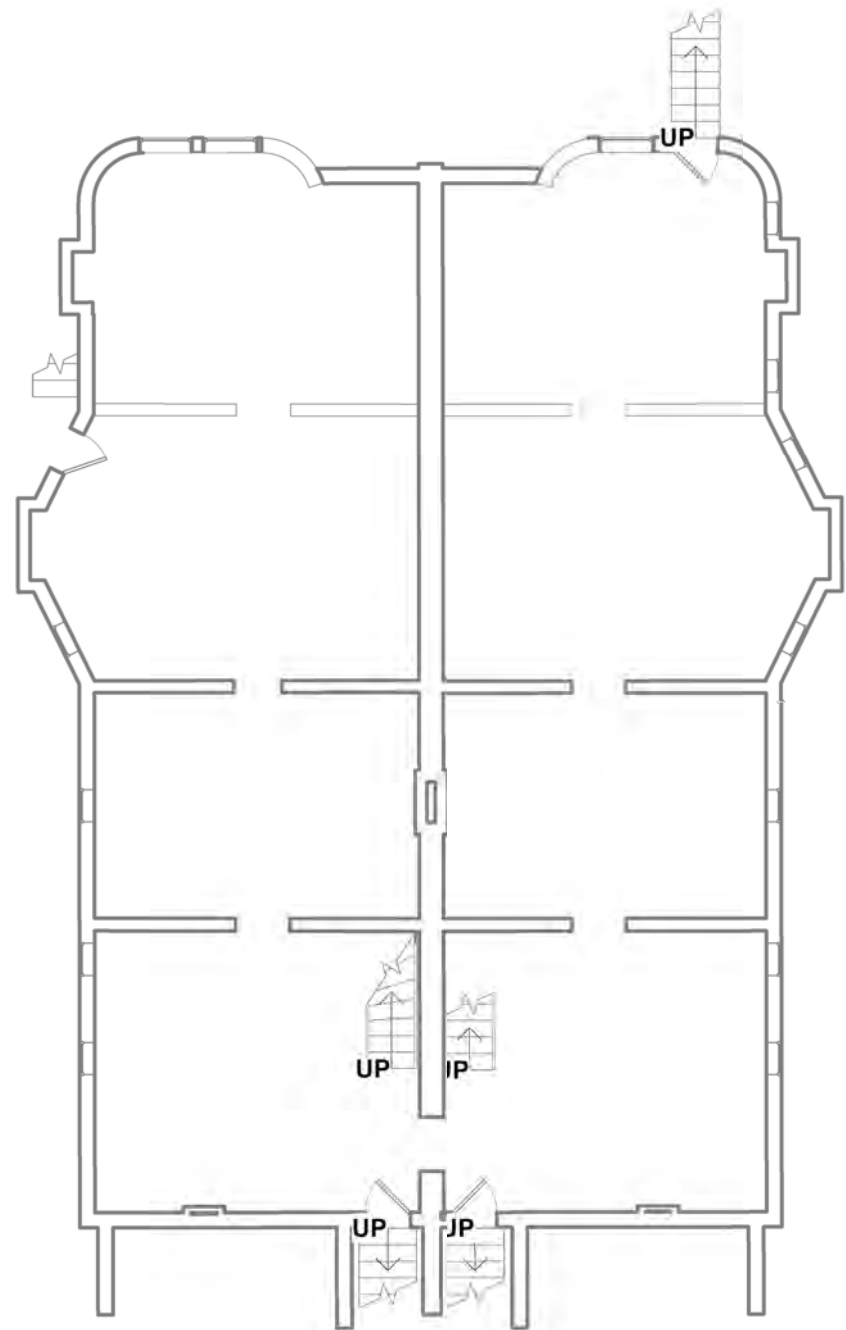
2. CENTER WALL AT SOUTH ELEV.



3. CENTER WALL AT SOUTH ELEV.

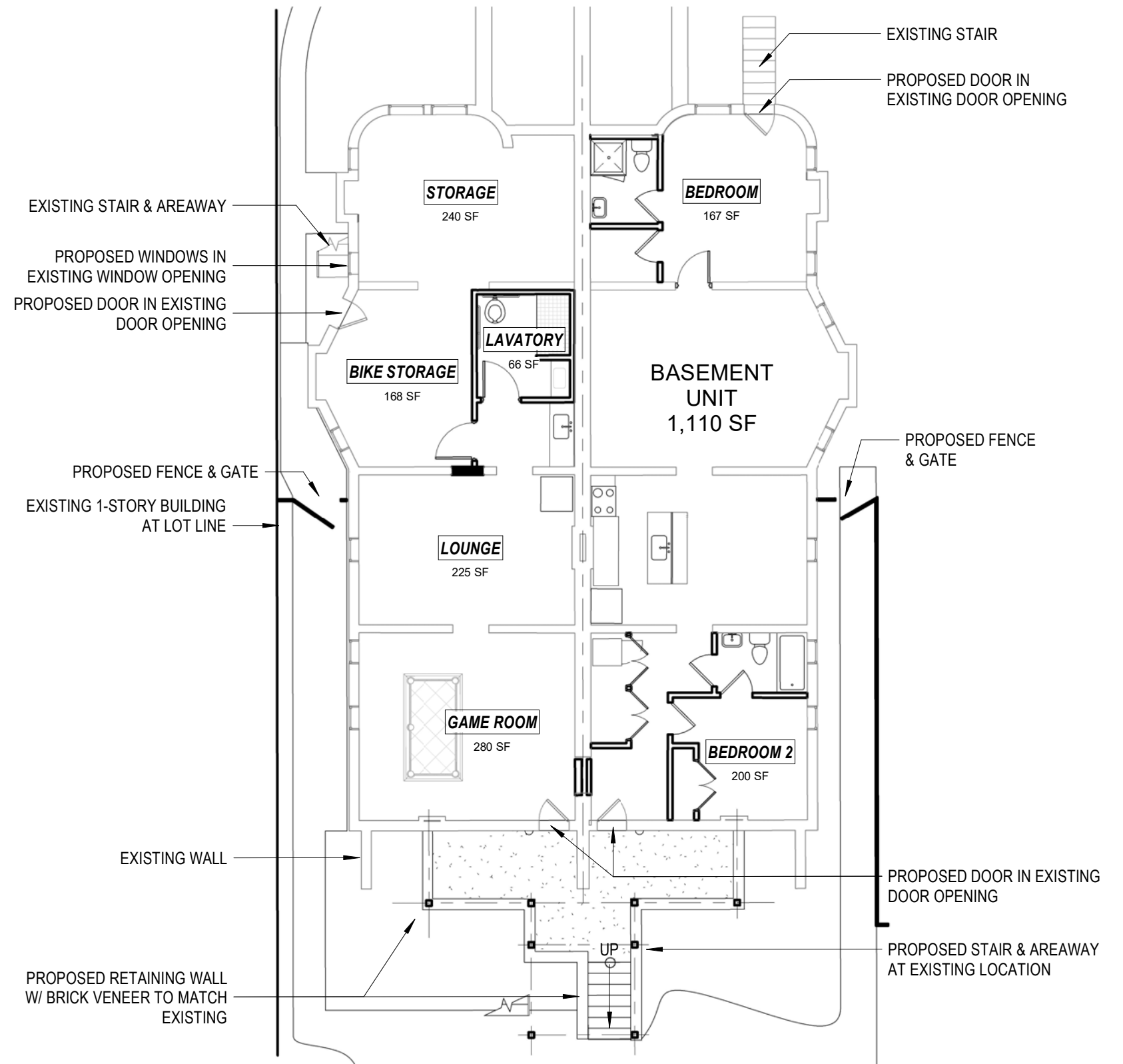


4. SIDE WALL AT SE CORNER



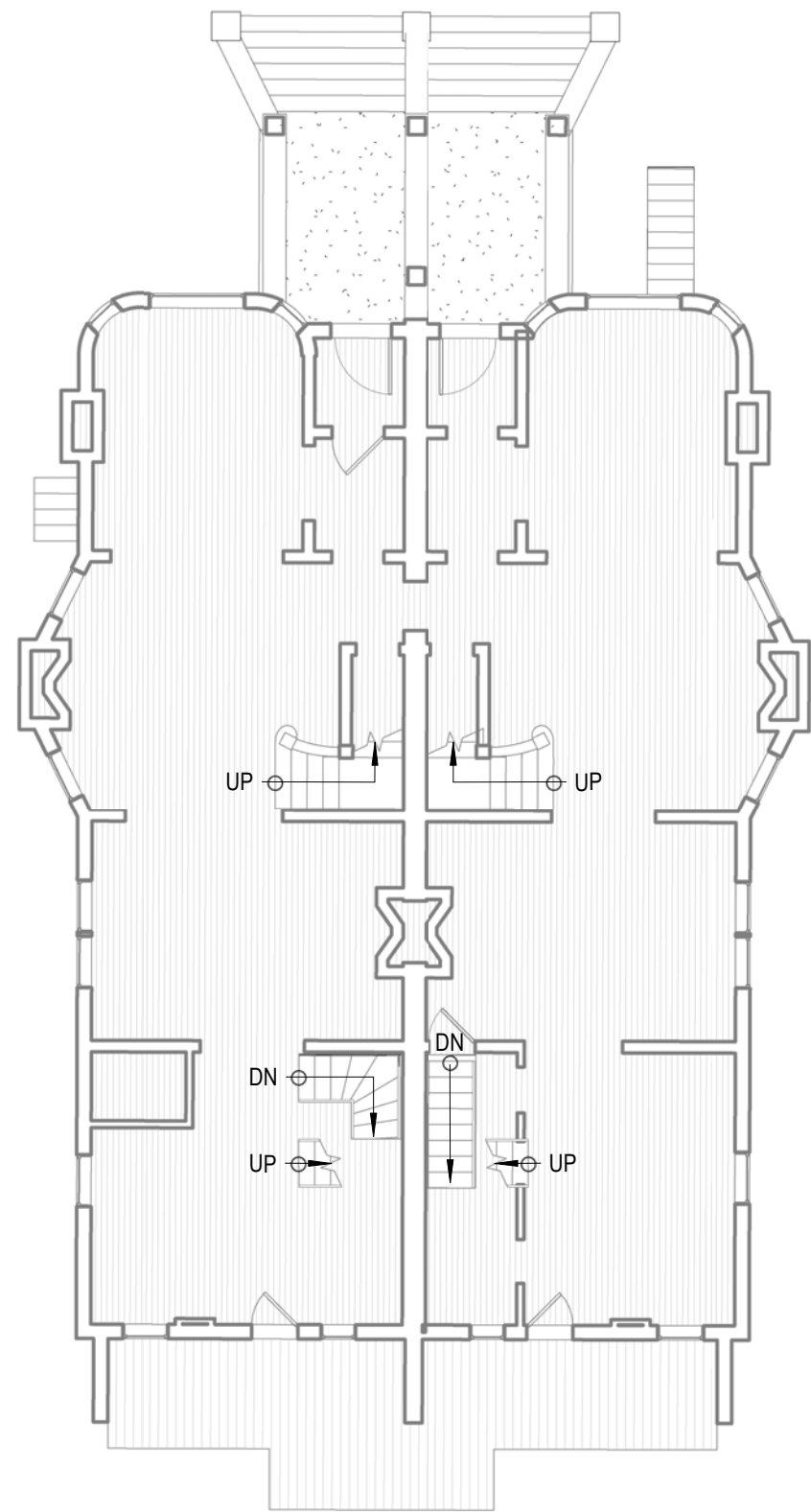
1 EXISTING BASEMENT FLOORPLAN

H.06 3/32" = 1'-0"



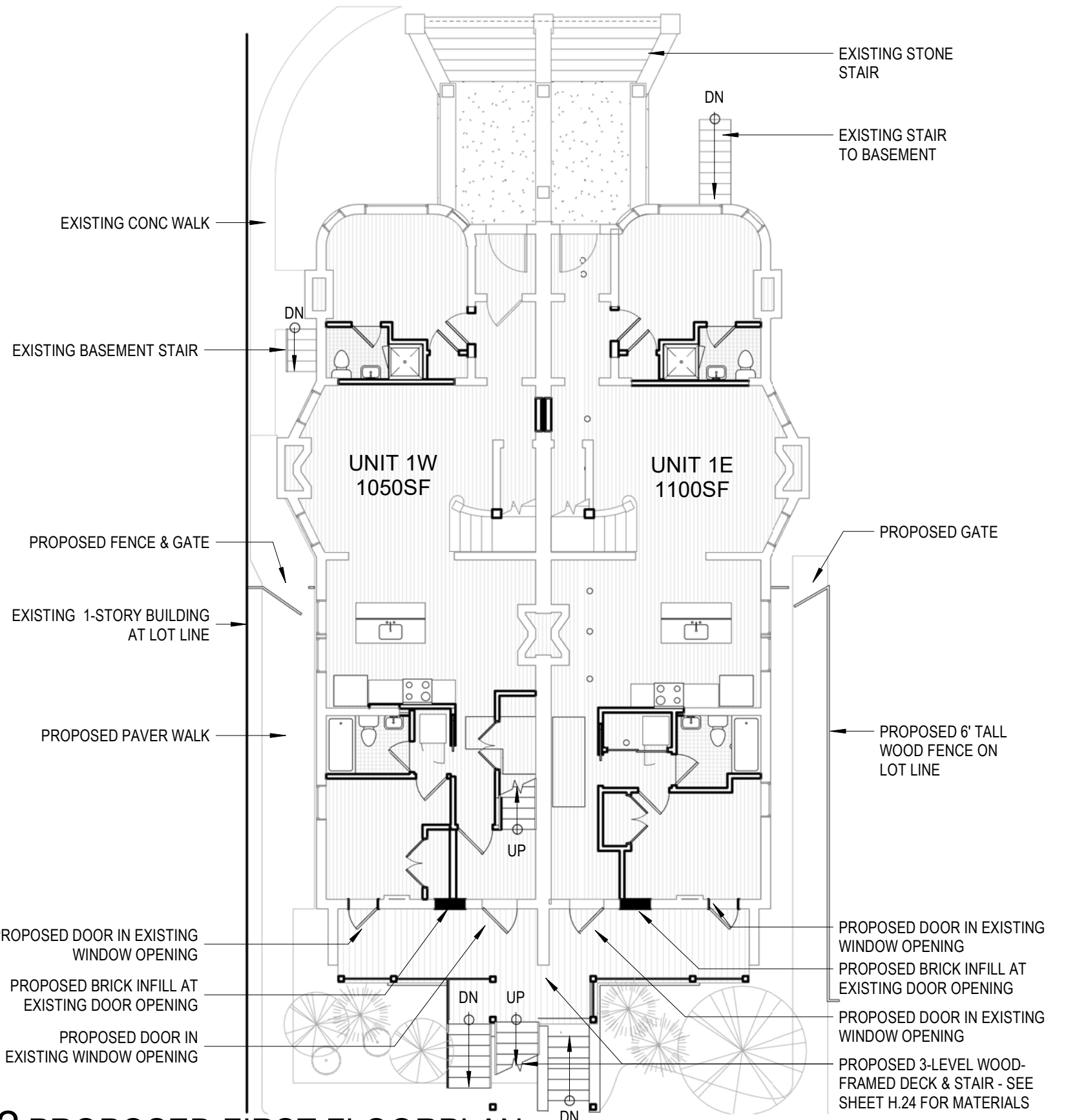
2 BASEMENT CONSTRUCTION PLAN

H.06 3/32" = 1'-0"



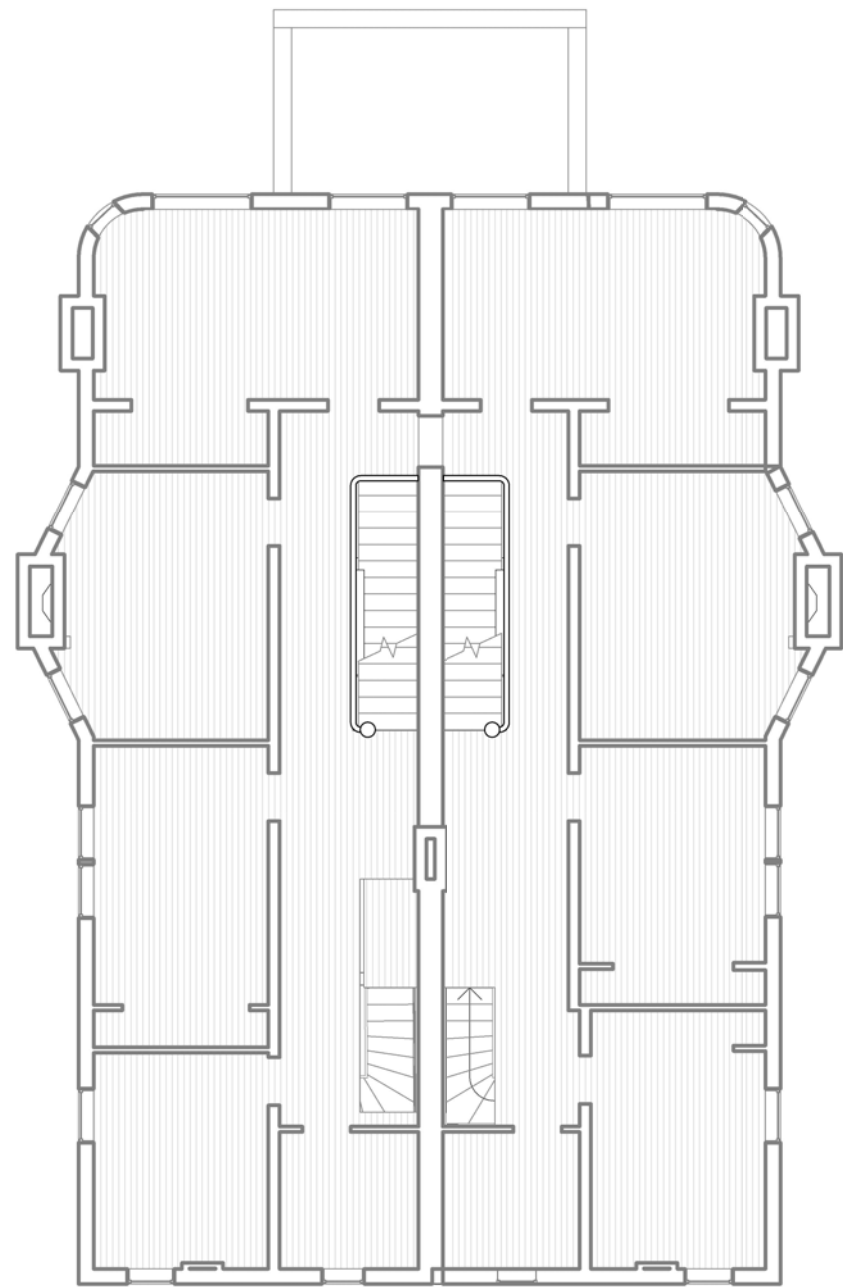
1 EXISTING FIRST FLOORPLAN

H.07 3/32" = 1'-0"



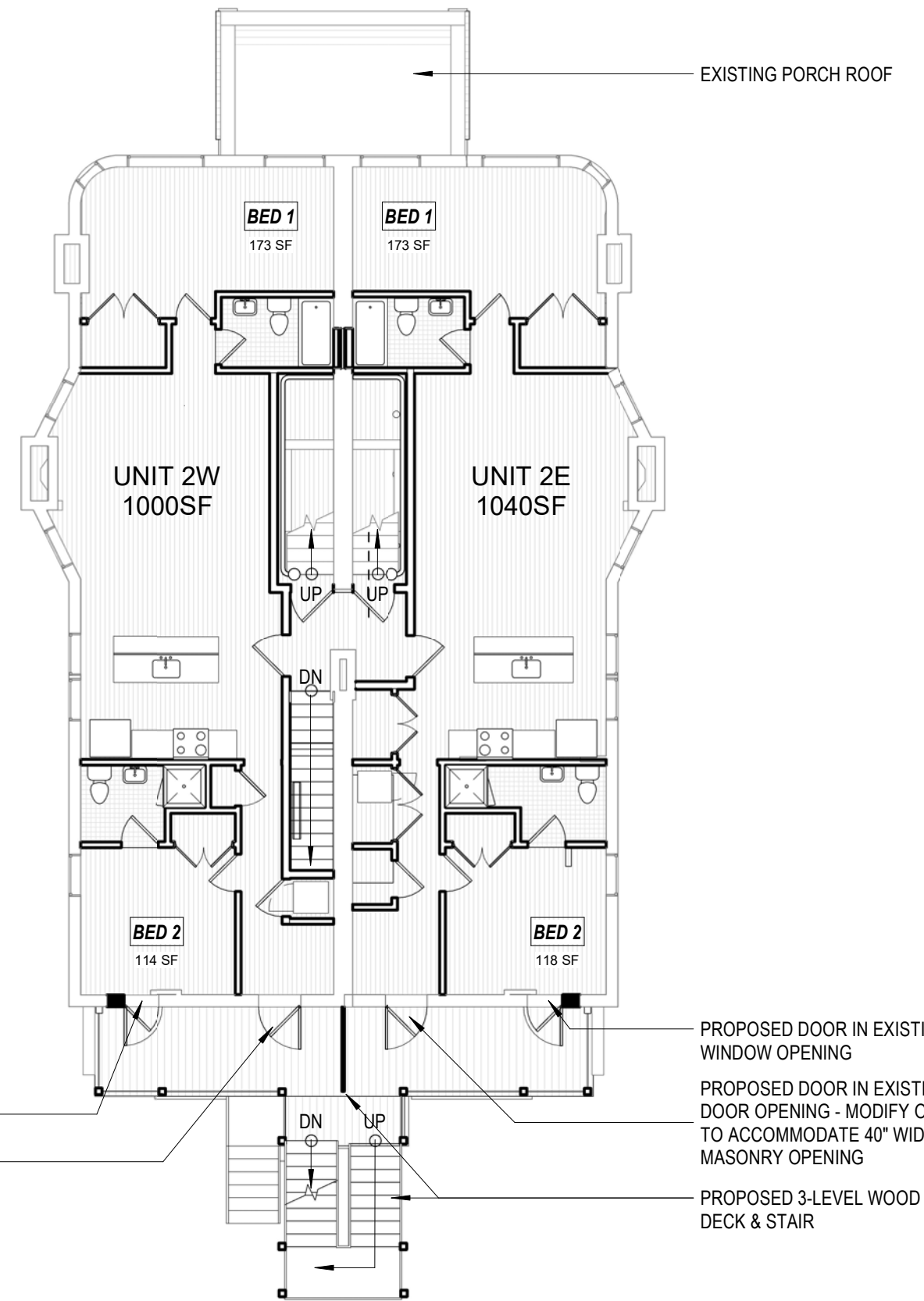
2 PROPOSED FIRST FLOORPLAN

H.07 3/32" = 1'-0"



1 EXISTING SECOND FLOORPLAN

H.08 3/32" = 1'-0"

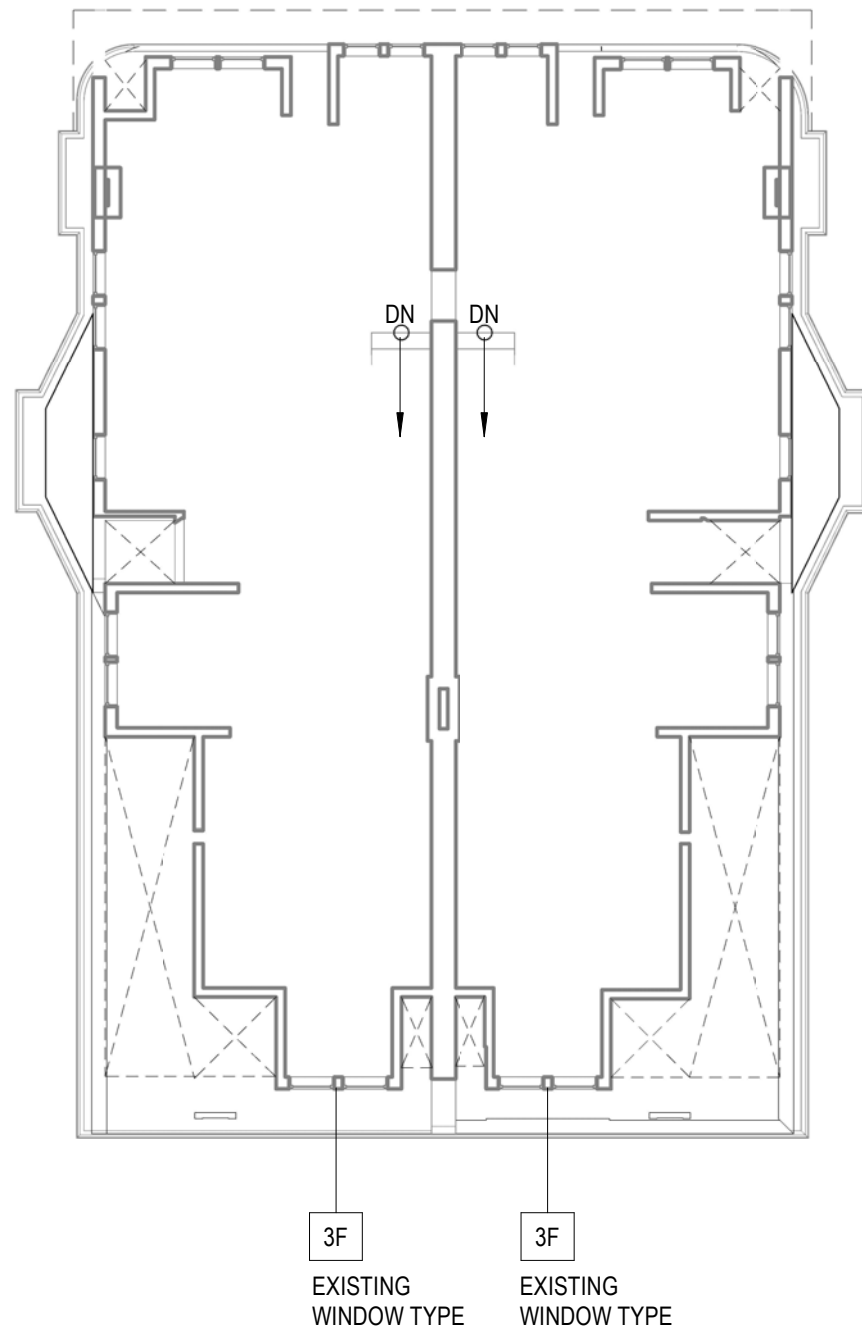


PROPOSED DOOR IN EXISTING WINDOW OPENING
 PROPOSED DOOR IN EXISTING DOOR OPENING - MODIFY OPENING TO ACCOMMODATE 40" WIDE MASONRY OPENING

EXISTING PORCH ROOF
 PROPOSED DOOR IN EXISTING WINDOW OPENING
 PROPOSED DOOR IN EXISTING DOOR OPENING - MODIFY OPENING TO ACCOMMODATE 40" WIDE MASONRY OPENING
 PROPOSED 3-LEVEL WOOD DECK & STAIR

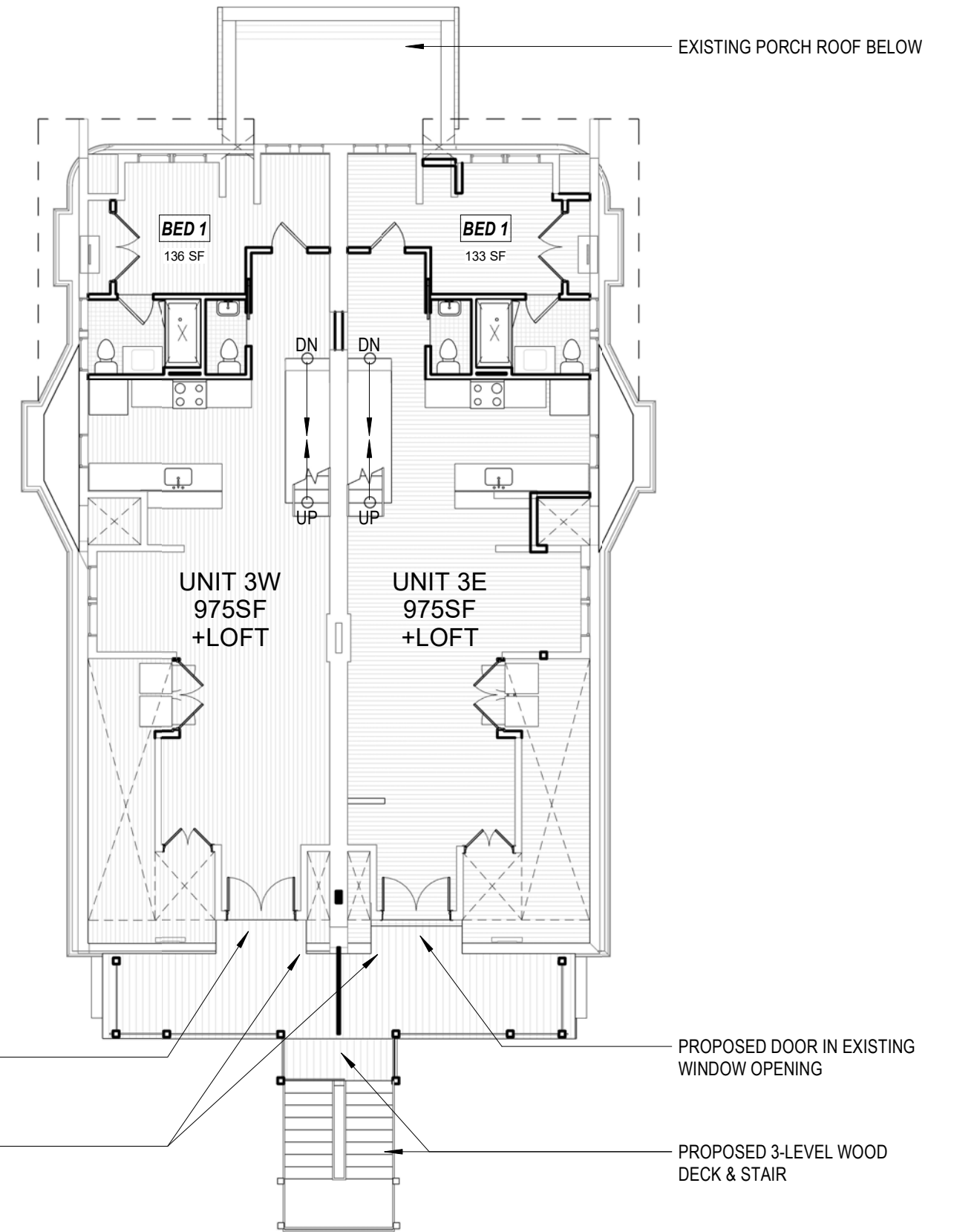
2 PROPOSED SECOND FLOORPLAN

H.08 3/32" = 1'-0"



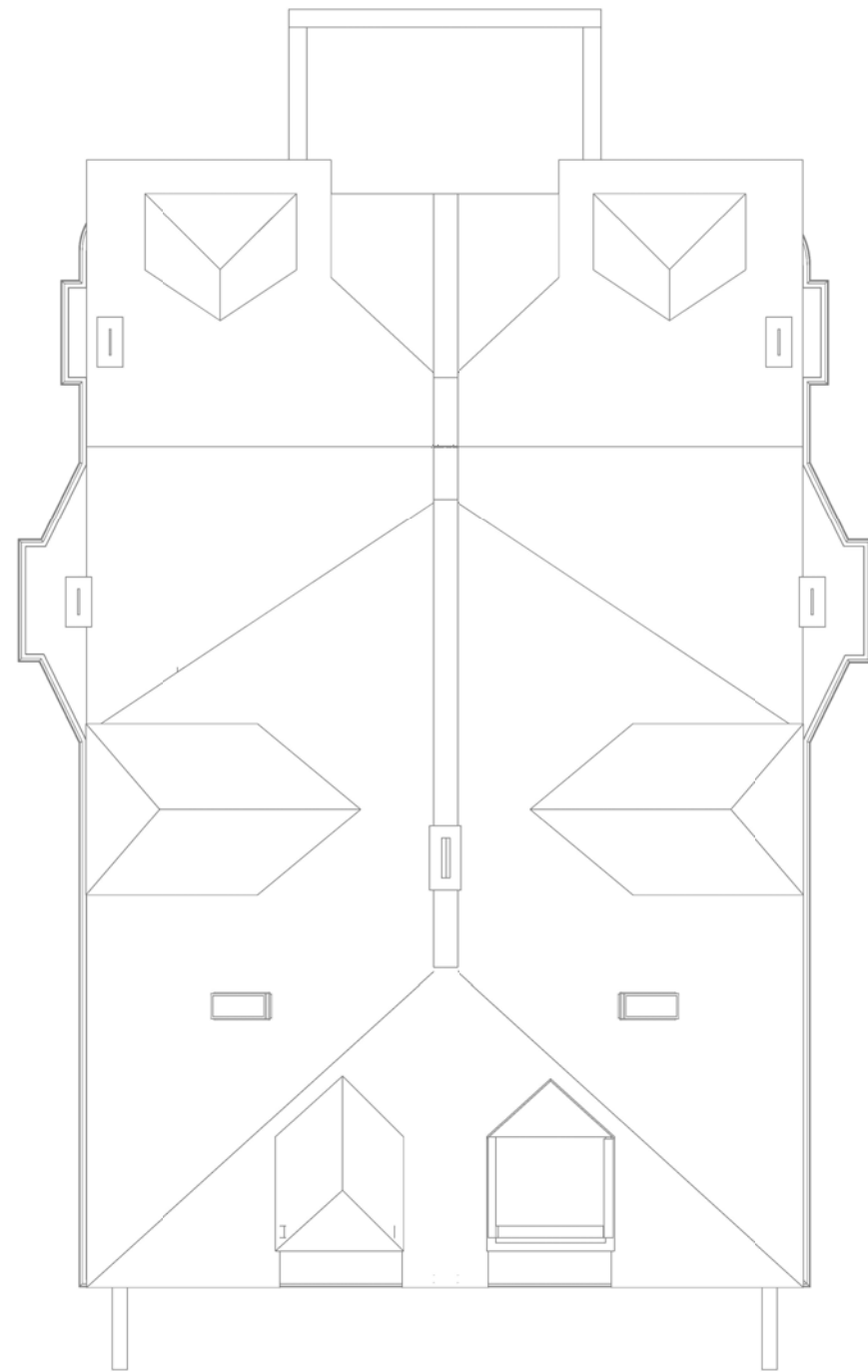
1 EXISTING THIRD FLOORPLAN

H.09 3/32" = 1'-0"



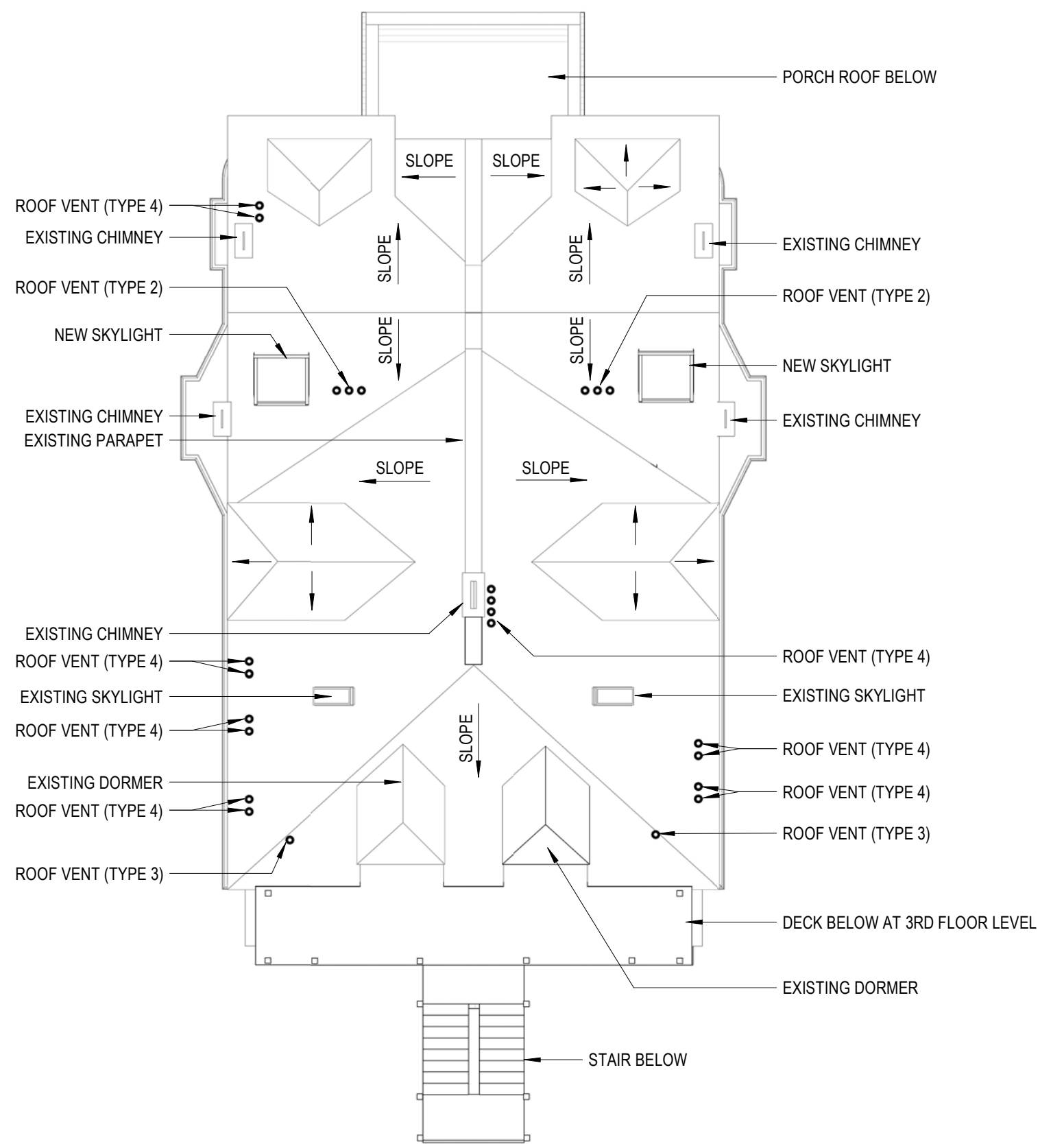
2 PROPOSED THIRD FLOORPLAN

H.09 3/32" = 1'-0"



1 EXISTING ROOF PLAN

H.10 3/32" = 1'-0"



2 PROPOSED ROOF PLAN

H.10 3/32" = 1'-0"



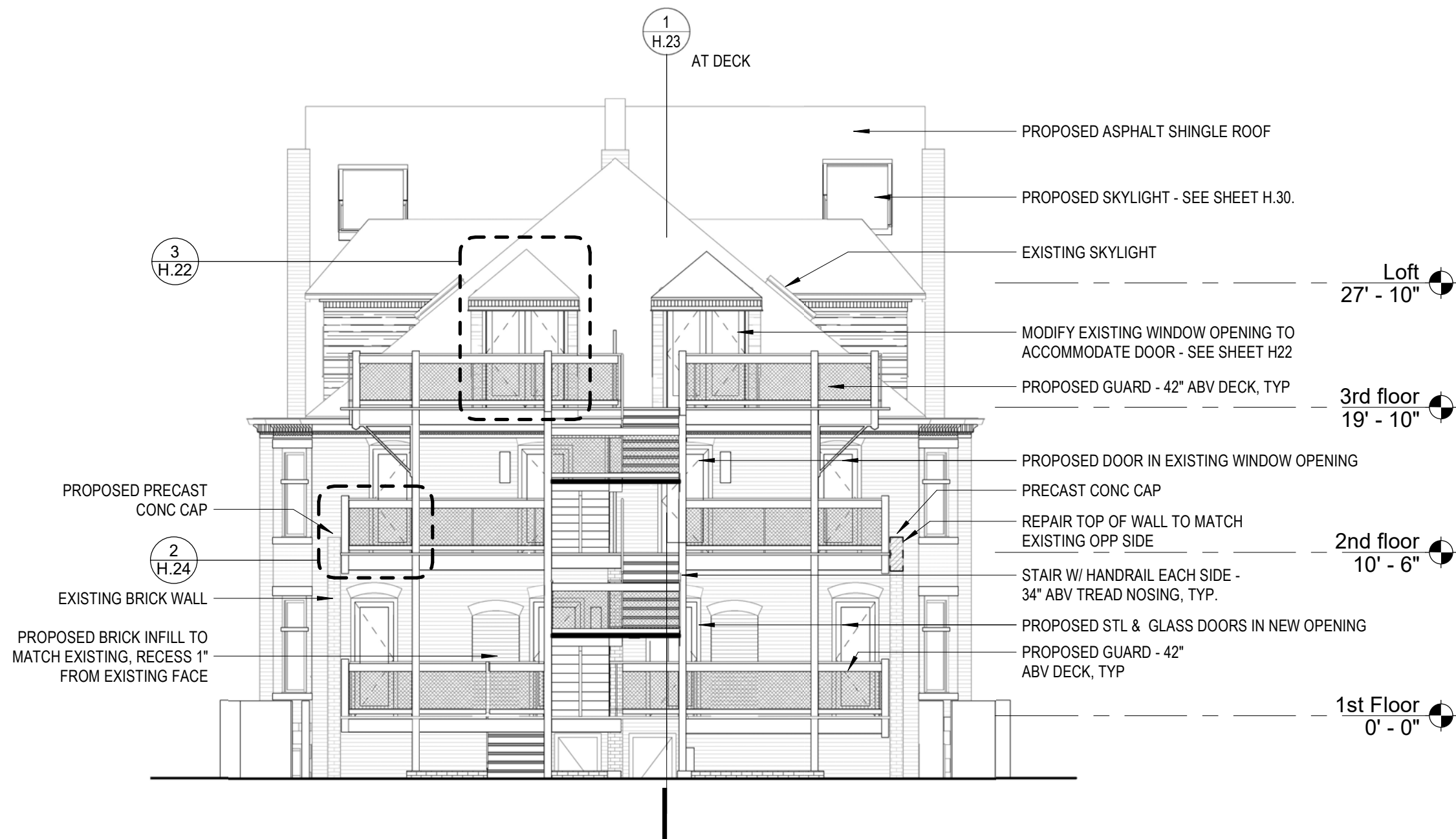
1 PROPOSED NORTH ELEVATION (STREET)

H.11 | 1/8" = 1'-0"



1 PROPOSED EAST ELEVATION

H.12 | 1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION (REAR)

H.13 | 1/8" = 1'-0"

(SEE SHEET H.13a FOR LOCATIONS OF EXISTING MASONRY OPENINGS FOR REFERENCE)

TYPICAL NOTES:

WINDOW & DOOR NOTES ARE TYPICAL FOR EACH SIDE OF BUILDING.

ENLARGED MASONRY OPENINGS TO BE TOOTHED IN TO MATCH EXISTING BRICK PATTERN.

PROPOSED INFILL AT EXISTING OPENINGS TO BE RECESSED 1" FROM EXISTING FACE OF WALL.

MODIFY EXISTING MASONRY OPENING TO 40" WIDTH - CENTER ON OPENING; ADD MASONRY ARCH TO MATCH EXISTING; TOOTH-IN BRICK AT JAMB, TYP

EXISTING WINDOW OPENING SHOWN DOTTED FOR REFERENCE, TYP.

PROPOSED DOOR IN EXISTING WINDOW OPENING - ARCH HEADER TO REMAIN; TOOTH-IN BRICK AT JAMB

EXISTING WINDOW OPENING SHOWN DOTTED FOR REFERENCE, TYP.

PROPOSED DOOR IN EXISTING WINDOW OPENING - ARCH HEADER TO REMAIN; TOOTH-IN BRICK AT JAMB

EXISTING WINDOW OPENING SHOWN DOTTED FOR REFERENCE, TYP.

Loft
27' - 10"

3rd floor
19' - 10"

PROPOSED LIGHT FIXTURE LOCATION, TYP.

MODIFY EXISTING MASONRY OPENING TO 40" WIDTH - CENTER ON EXIST OPENING; ADD MASONRY ARCH TO MATCH EXISTING; TOOTH-IN BRICK AT JAMB, TYP

2nd floor
10' - 6"

EXISTING WINDOW OPENING SHOWN DOTTED FOR REFERENCE, TYP.

INFILL EXISTING DOOR OPENING WITH BRICK TO MATCH - RECESS FACE 1" FROM EXISTING, TYP.

1st Floor
0' - 0"

PROPOSED DOOR IN EXISTING DOOR OPENING

1 EXISTING & PROPOSED MASONRY OPENINGS AT SOUTH ELEVATION

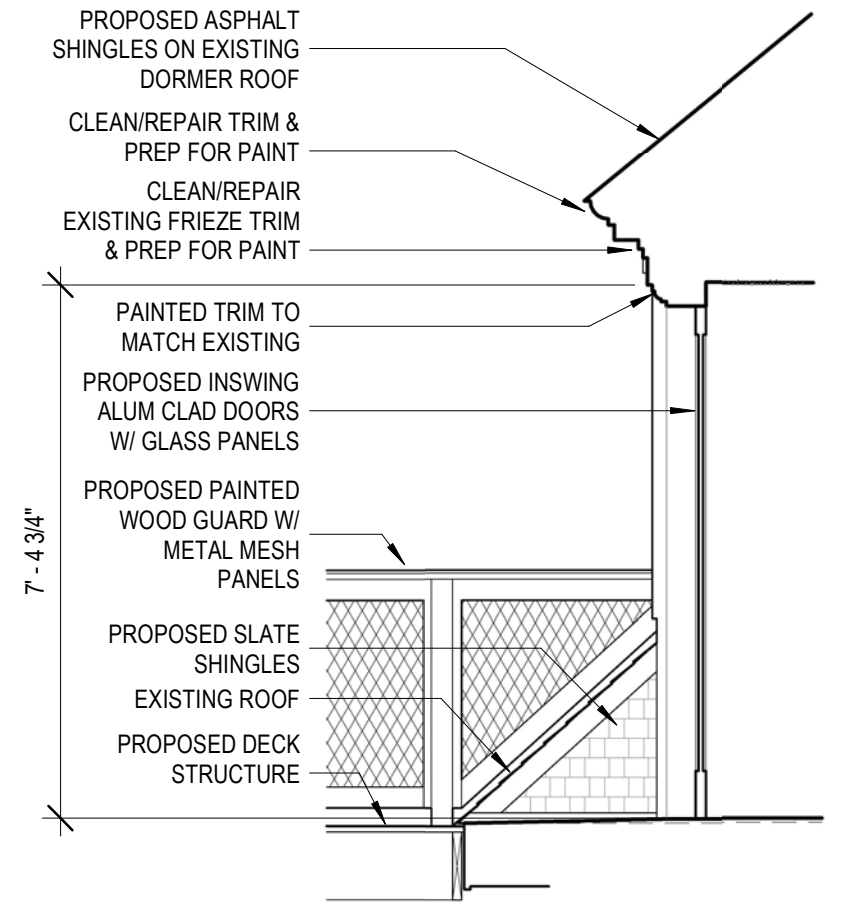
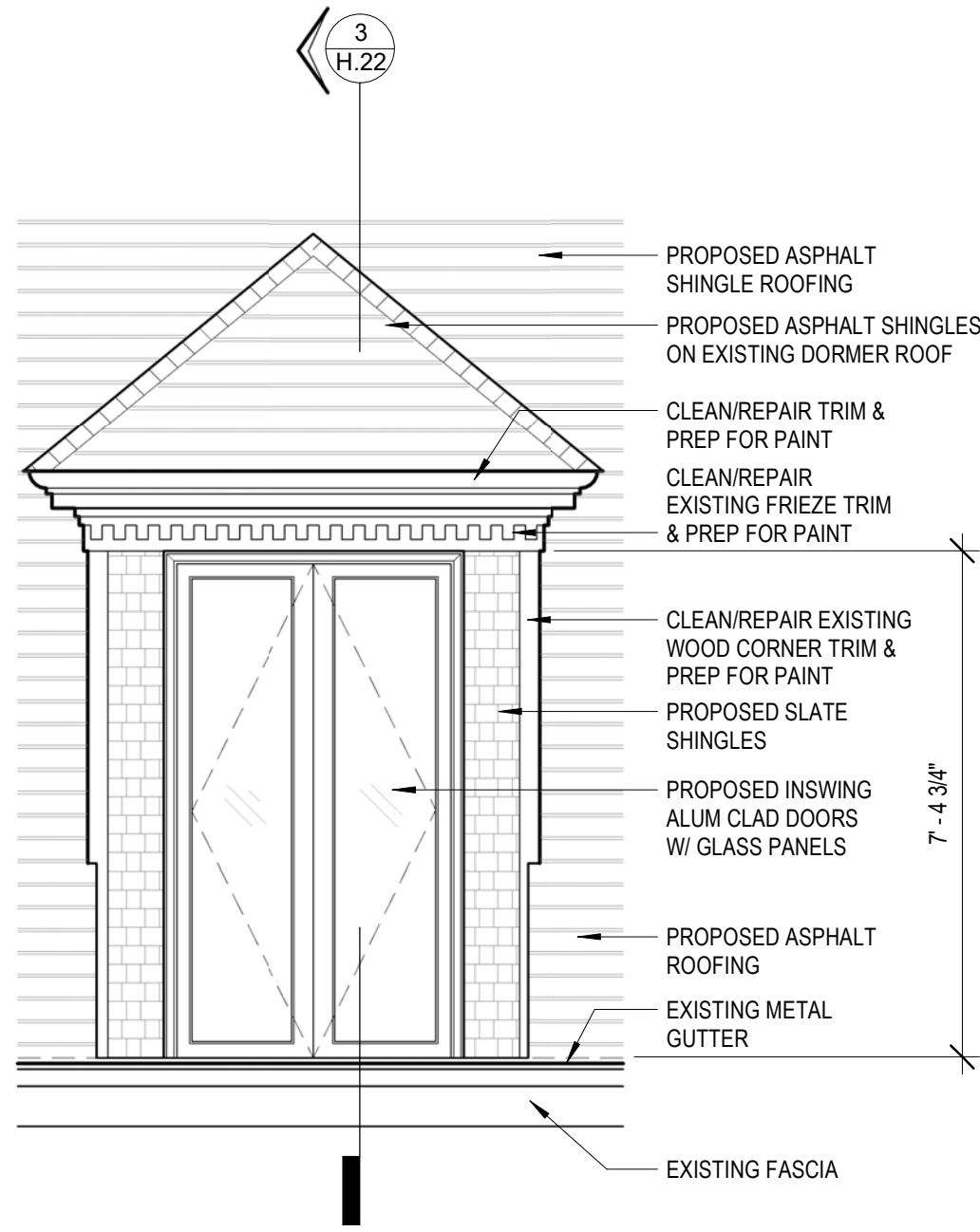
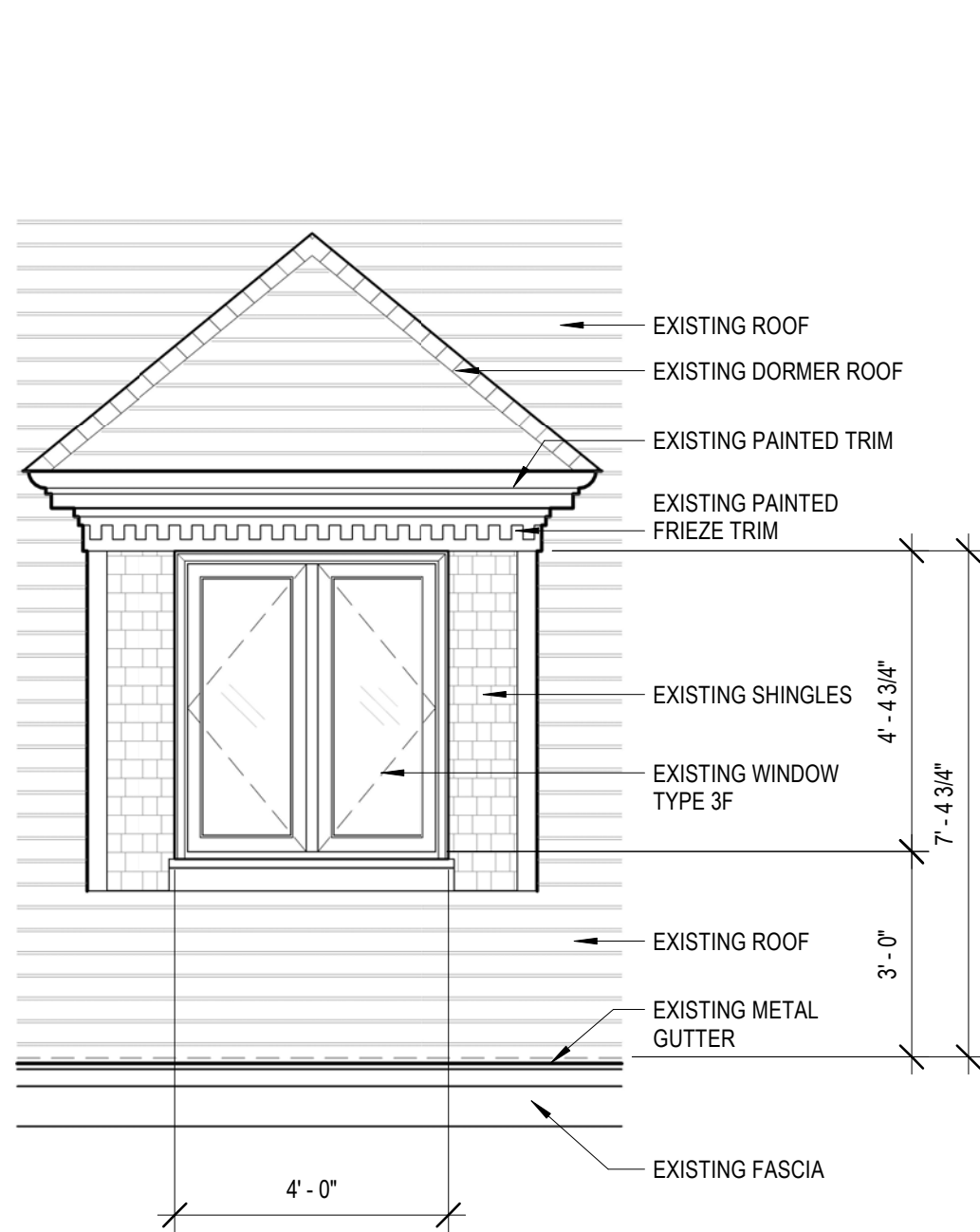
H.13a 3/16" = 1'-0"

(DECK, STAIR & RAILING NOT SHOWN FOR CLARITY)



1 PROPOSED WEST ELEVATION

H.14 | 1/8" = 1'-0"



1 EXISTING DORMER ELEVATION

H.22 | 3/8" = 1'-0"

2 PROPOSED DORMER ELEVATION

H.22 | 3/8" = 1'-0"

3 PROPOSED DORMER SECTION

H.22 | 3/8" = 1'-0"



PROPOSED DECK DETAIL AT 3RD FLOOR



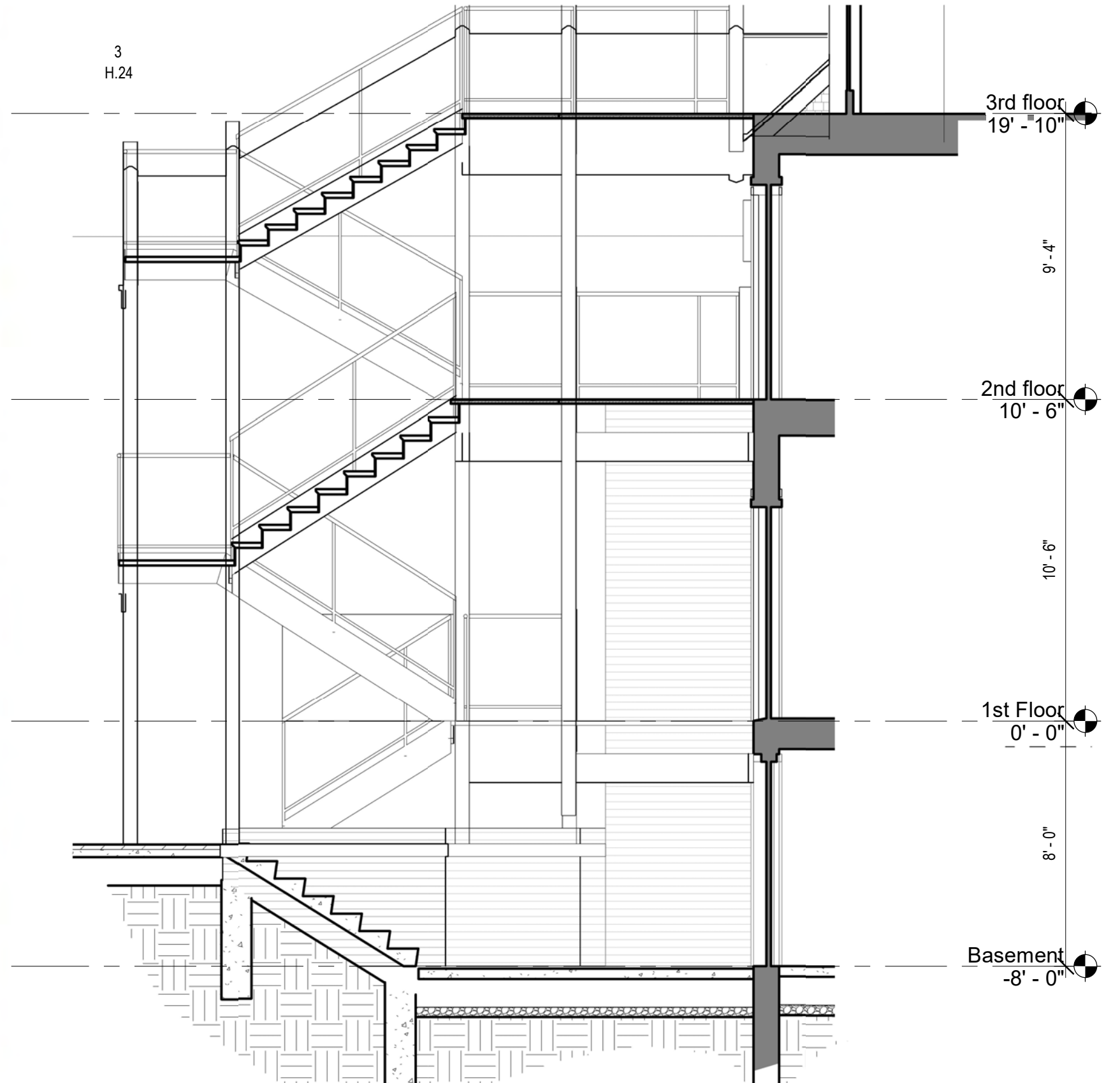
PROPOSED TYPICAL DECK STAIR DETAIL



PROPOSED TYPICAL GUARD RAIL



PROPOSED TYPICAL GUARD RAIL



1 PROPOSED STAIR SECTION

H.23 | 1/4" = 1'-0"

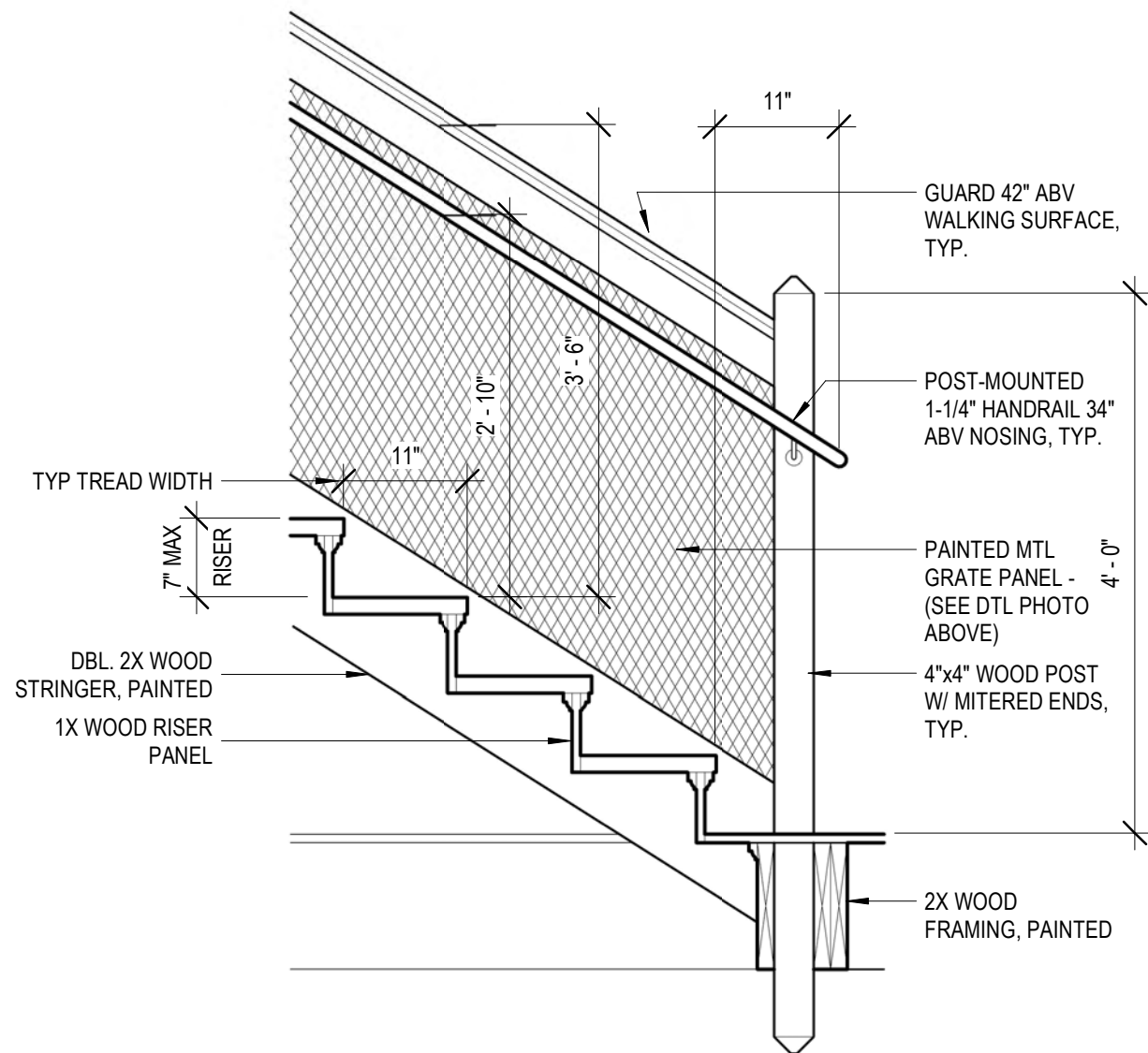


MFR: TREX
 SERIES: ENHANCE
 TYPE: SQUARE EDGE BOARD
 COLOR: CLAM SHELL

PROPOSED COMPOSITE DECKING

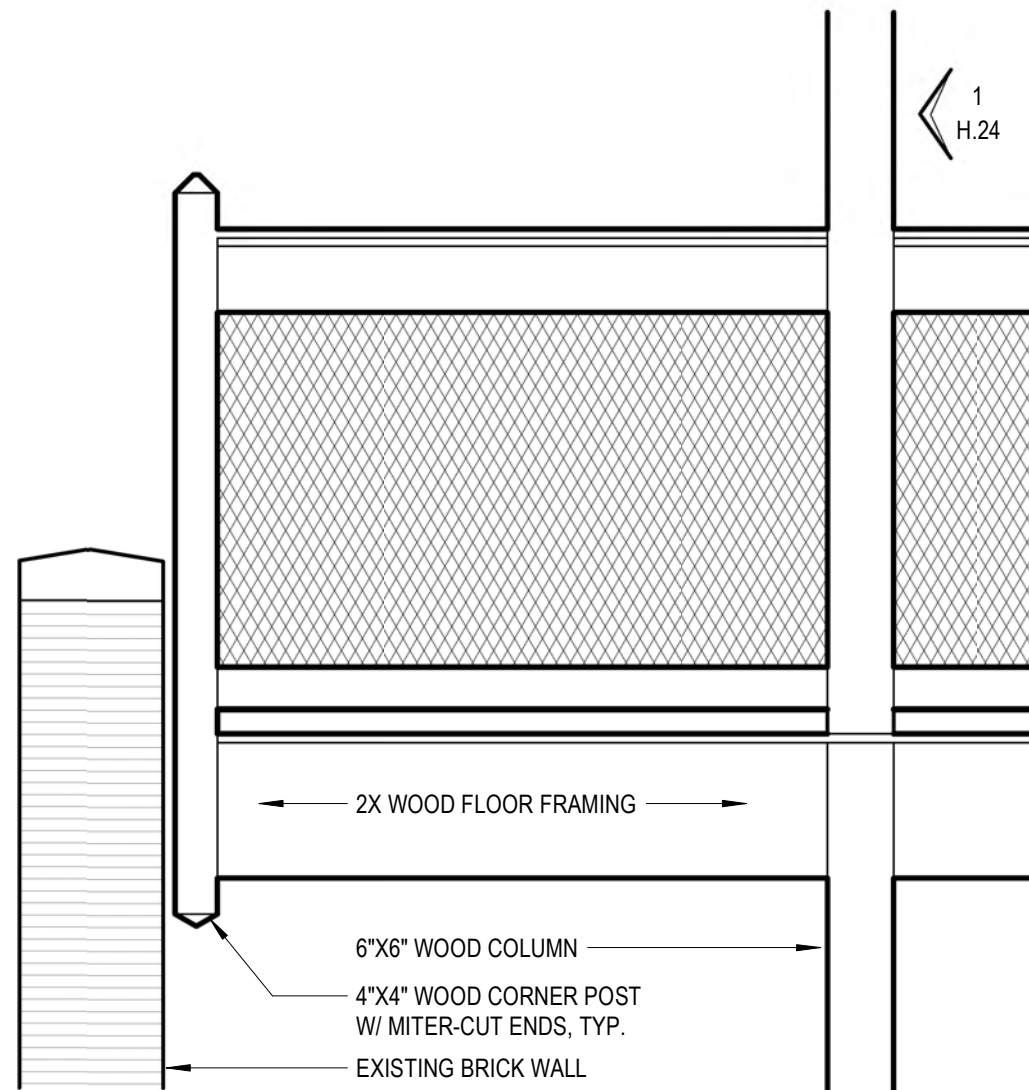


PROPOSED METAL MESH PANEL AT GUARDRAIL



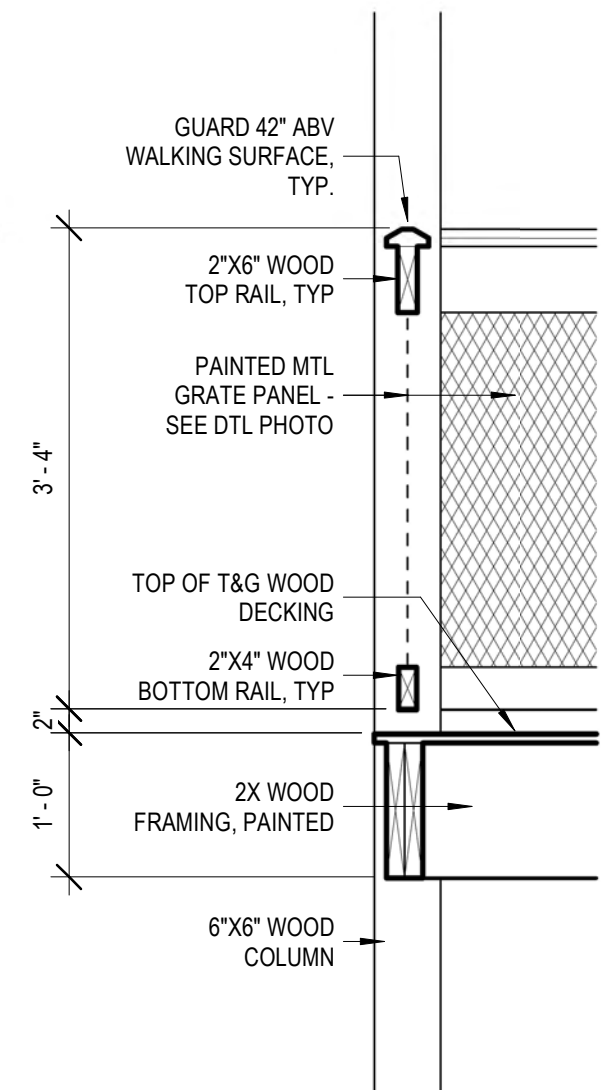
3 PROPOSED DECK STAIR DETAIL

H.24 3/4" = 1'-0"



2 PROPOSED GUARD RAIL ELEVATION

H.24 3/4" = 1'-0"



1 DECK GUARD SECTION

H.24 3/4" = 1'-0"



REPAIR & CLEAN EXISTING SLATE AT GABLE

EXISTING CONDITIONS - VIEW OF EXISTING SLATE SHINGLES AT GABLE (SIM, OPPOSITE SIDE)



PROPOSED ROOFING MATERIAL

SLATELINE SERIES BY GAF
COLOR: ANTIQUE SLATE



Centre-pivot pine finish roof window – GGL



Centre-pivot roof windows with pine finish.



The Pine Centre-pivot window (GGL) is a classic and versatile design manufactured in high quality natural pine, finished with triple coat finish. It is suitable for installation in roof pitches between 15° and 90°. For easy operation it is recommended to place the top frame of the window 1.85-2.20m above the floor.

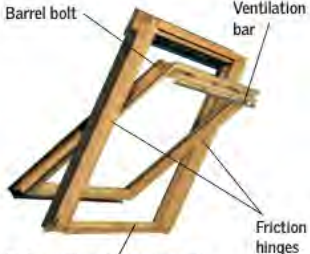
VELUX recommend solar or electrically operated windows with laminated inner pane for windows installed above 2.20m.

Features –

- Ventilation bar with dust and insect filter
- Friction springs
- Sash rotates 180° from inside
- Barrel bolt

Benefits –

- Allows fresh air to enter the room while the window is still securely closed
- Allows easy operation of window
- Allows easy and convenient cleaning
- Allows the window to be locked in two positions
 - At 180° for secure cleaning of the exterior pane internally
 - At 5° to allow extra ventilation



High quality natural pine, with triple coat finish

The window is operated manually using the full width control bar on the ventilation flap along the top of the sash.

To watch an illustration of how the window operates [click here](#).

The pane should be cleaned with a soft, clean, lint-free cloth or non-abrasive sponge. The rest of the window can be cleaned with ordinary household cleaners. The filter can be removed and either washed or replaced.

For further advice on maintenance please [click here](#).

- 10 year VELUX guarantee on windows and flashings
 - 3 year guarantee on blinds, shutters and awnings
- [Click here](#) for further information regarding the VELUX guarantee.

Interior variants:

- White paint finish (GGL).

Cladding variants:

- NCS standard colour: S 7500-N nearest RAL standard colour: 7043.
- Also available: titanium zinc, copper or other cladding types and colours.

Application

Operation

Maintenance

Guarantee

Variants



PROPOSED SKYLIGHT

VELUX MODEL GGU SK-08
SIZE: 46"W X 56"H





PITCHED ROOF CAP WITH INSECT SCREEN
PROPOSED ROOF VENT - TYPE 2



PITCHED ROOF CAP WITH INSECT SCREEN
PROPOSED ROOF VENT - TYPE 3



BVE

**Extruded Aluminum
Brick Vent**

Application and Design

Brick vents provide a permanent means of ventilation for crawl spaces, hung ceilings, incinerator rooms, chimney flues, foundations, pipe spaces and corridors. Extruded construction provides a quality finished appearance. A high water stop at the rear and deep overlapping blades with storm stops provide maximum resistance to rain and weather.

Standard Construction

Frame Heavy gauge extruded 6063T5 aluminum, 4 in. x 0.125 in. nominal wall thickness

Blades Heavy gauge extruded 6063T5 aluminum, 0.125 in. nominal wall thickness, positioned at 45° angles

Construction . . . Mechanically fastened

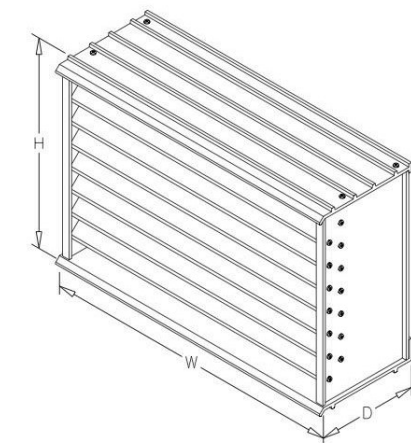
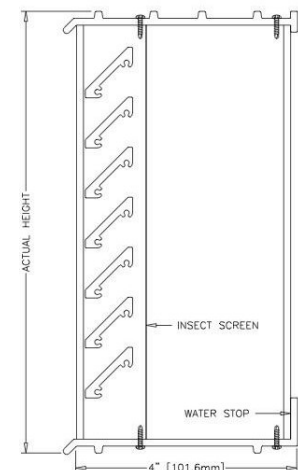
Insect screen . . 18 in. x 14 in. aluminum mesh, inside mount (rear)

Finish 204-R1 Clear anodize

- Available Sizes**
- .8 1/8 in. W x 2 3/8 in. H
 - 8 1/8 in. W x 4 3/4 in. H
 - 8 1/8 in. W x 7 3/4 in. H
 - 12 in. W x 2 3/8 in. H
 - 12 in. W x 4 3/4 in. H
 - 12 in. W x 7 3/4 in. H
 - 12 in. W x 11 3/4 in. H
 - 15 5/8 in. W x 7 3/4 in. H
 - 15 5/8 in. W x 15 3/4 in. H
 - 16 1/2 in. W x 2 3/8 in. H
 - 16 1/2 in. W x 4 3/4 in. H
 - 16 1/2 in. W x 7 3/4 in. H
 - 16 1/2 in. W x 15 3/4 in. H
 - 24 in. W x 2 3/8 in. H
 - 24 in. W x 4 3/4 in. H
 - 24 in. W x 7 3/4 in. H
 - 32 in. W x 7 3/4 in. H
 - 48 in. W x 7 3/4 in. H

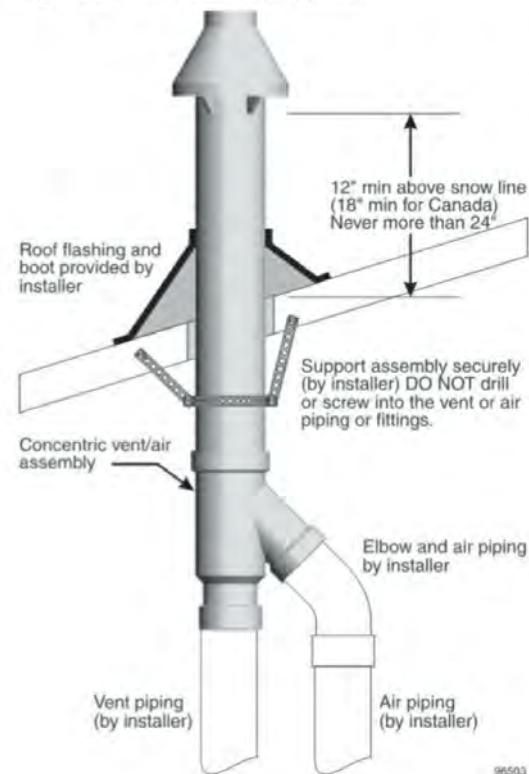
Options (at additional cost)

- Opposed blade damper
- Straight duct
(0.063 in aluminum for up to 18 in. wall thickness)
- A variety of architectural finishes including:
 - Mill
 - Integral color anodize (medium or dark bronze only)
 - Baked enamel paint
 - Kynar paint



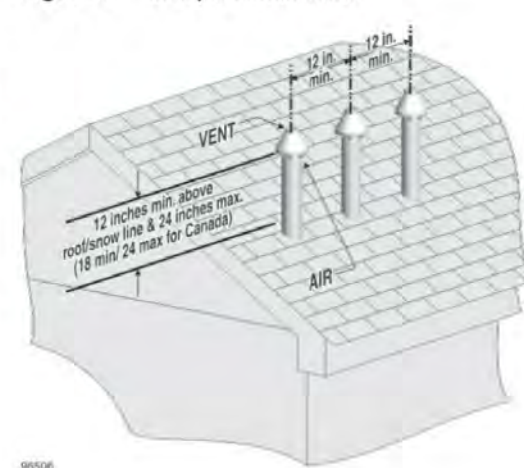
*Width dimension in actual. Height dimension 1/4 in. greater due to mortar ribs.

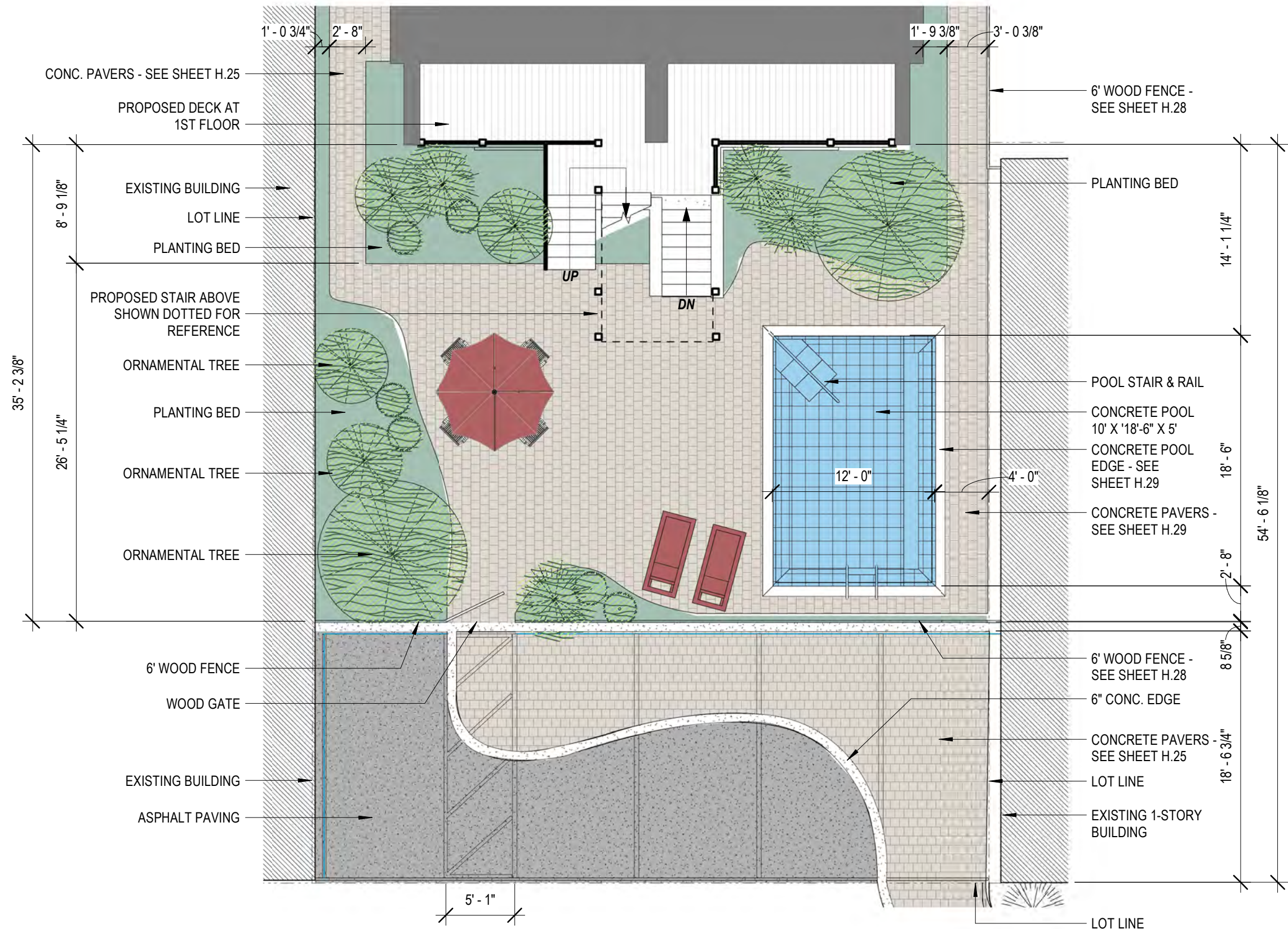
Figure 2 Termination supports



ROOF CONCENTRIC INTAKE & VENT
PROPOSED ROOF VENT - TYPES 4

Figure 3 Multiple terminations





1 PROPOSED ENLARGED REAR SITE PLAN

H.27 1/8" = 1'-0"



1. EXISTING FENCE AT NORTH (FRONT) FACADE



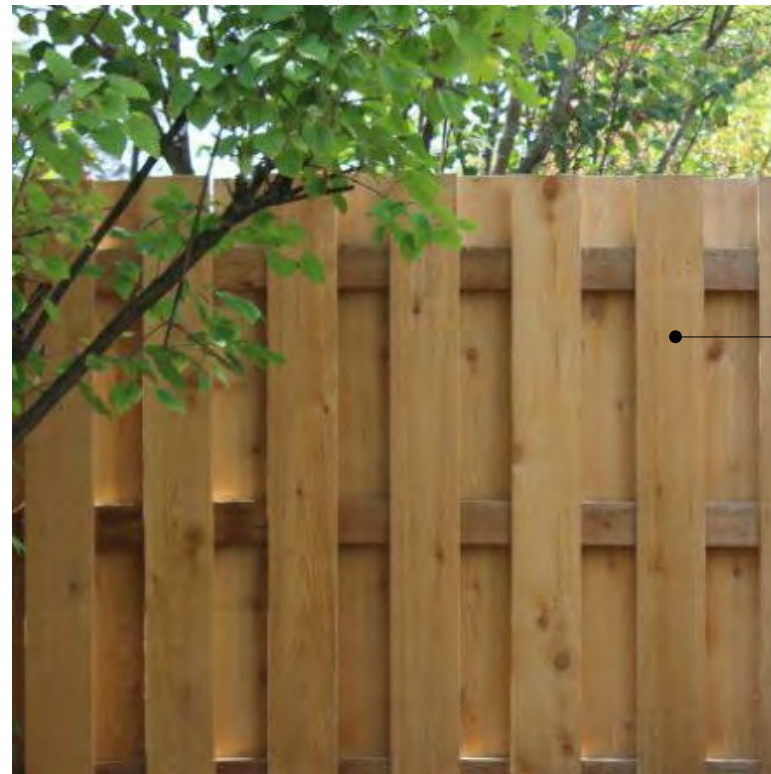
2. EXISTING FENCE AT REAR LOT LINE



3. DETAIL PHOTOGRAPH OF EXISTING FENCE AT REAR



4. PROPOSED FENCE TYPE



5. PROPOSED FENCE TYPE

6 FOOT TALL CEDAR
SHADOWBOX-TYPE FENCE
WITH FLAT TOP, UNFINISHED

CEDAR GATE TO MATCH
FENCE TYPE



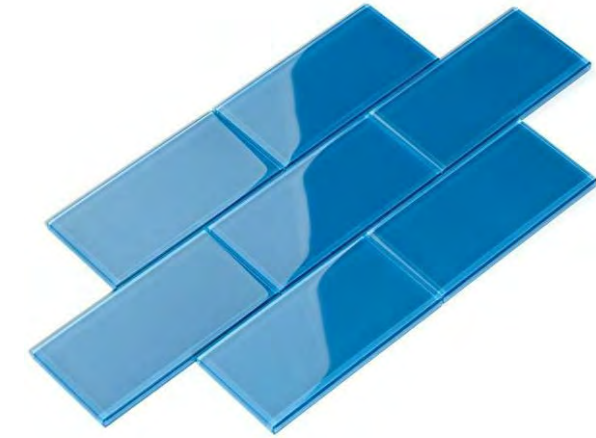
6. PROPOSED GATE TYPE



1. PROPOSED POOL TYPE
CONCRETE WALLS WITH TILE BAND AT WATERLINE



2. PROPOSED 4" TILE BAND AT WATERLINE



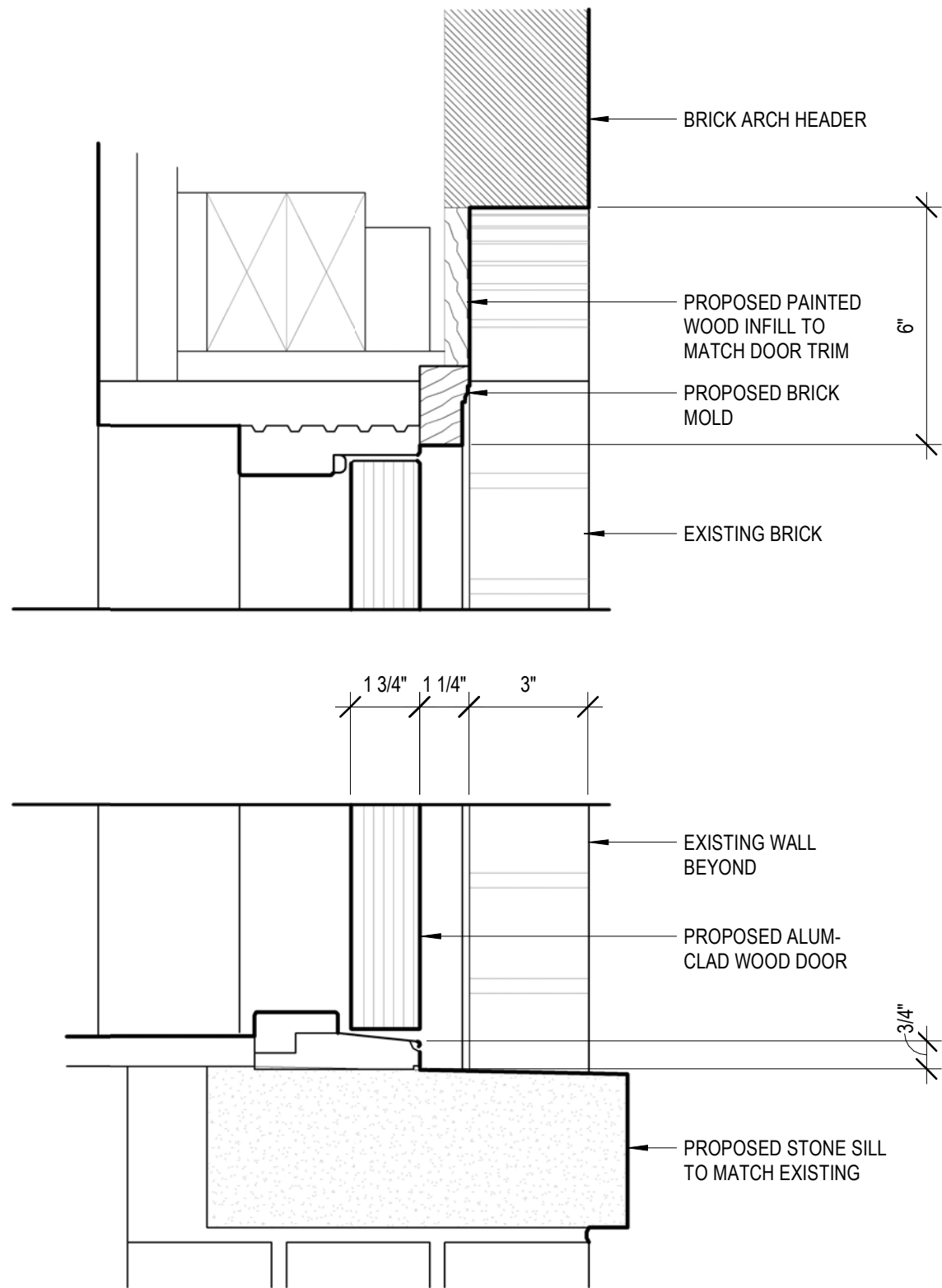
TILE: 1" x 3" GLASS SUBWAY TILE
STYLE: MEDITERRANEAN BLUE BY GIORBELLO



3. PROPOSED POOL EDGE MATERIAL
12" x 1-1/2" PRECAST TERRAZZO - GREY



4. PROPOSED DECK PAVING MATERIAL
WESTPORT CLASSIC BY UNILOCK
COLOR: GRANITE



PROPOSED ALUMINUM-CLAD WOOD EXTERIOR ENTRY DOOR

MFR: MARVIN
 MODEL: ULTIMATE SWINGING FRENCH PATIO DOOR
 FINISH: PREFINISHED ALUMINUM
 COLOR: BLACK



PROPOSED EXTERIOR LIGHT AT REAR

MFR: DWELLED
 MODEL: STEAMPUNK LED WALL SCONCE
 FINISH: BLACK
 SIZE: 12"H X 9-3/8"W

1 DOOR HEAD & SILL DETAIL

H.30 | 3" = 1'-0"