

October 21, 2020

CERTIFICATE OF APPROPRIATENESS

Kate and Zak Toomey
1485 Seyburn
Detroit MI 48214

RE: Application Number 20-6866; 1485 Seyburn: West Village Historic District

Dear Ms. and Mr. Toomey:

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Sections. 21-2-57 and 21-2-73 of the 2019 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness (COA), which is effective as of October 21, 2020.

Staff finds the following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Per the submitted documents:

- Construct a new dormer on the north side elevation at the roof. Two double hung wood windows painted to match the existing will be located in the dormer. The windows are sized to provide the code required emergency escape and rescue openings for the habitable attic.
- The exterior massing of the dormer draws from the existing dormers on the front and rear facades, with a hip roof matching the style of the other secondary dormers. The eave and trim details will match those on the existing secondary dormer on the front façade in material, scale, and color.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Audra Dye
Staff
Detroit Historic District Commission

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

 MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building

Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description:

Current Legal Land Use: _____ Proposed Use: _____

Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____

Zoning District: _____ Zoning Grant(s): _____

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____

Permit #:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Mobile: _____
Driver's License #: _____ Email: _____

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Mobile: _____ Email: _____
City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____
Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.





Project Overview

PROJECT	SEY - 1485 SEYBURN ATTIC RENOVATION + DORMER
PROJECT ADDRESS	1485 Seyburn Street Detroit, MI 48214
CLIENT	Kate + Zak Toomey
DATE	09/14/20

Project Narrative

The renovation will transform the existing attic into a functional guest bedroom with sleeping area and full bathroom. In order to provide appropriate head clearance for access to the space, a dormer will be constructed above the existing stair.

The interior ceiling of the dormer sits at 6'-8" above the nosing of the top stair. Two double hung wood windows painted to match the existing will be located in the dormer. The windows are sized to provide the code required emergency escape and rescue openings for the habitable attic.

The exterior massing of the dormer draws from the existing dormers on the front and rear facades, with a hip roof matching the style of the other secondary dormers. The eave and trim details will match those on the existing secondary dormer on the front façade in material, scale, and color.













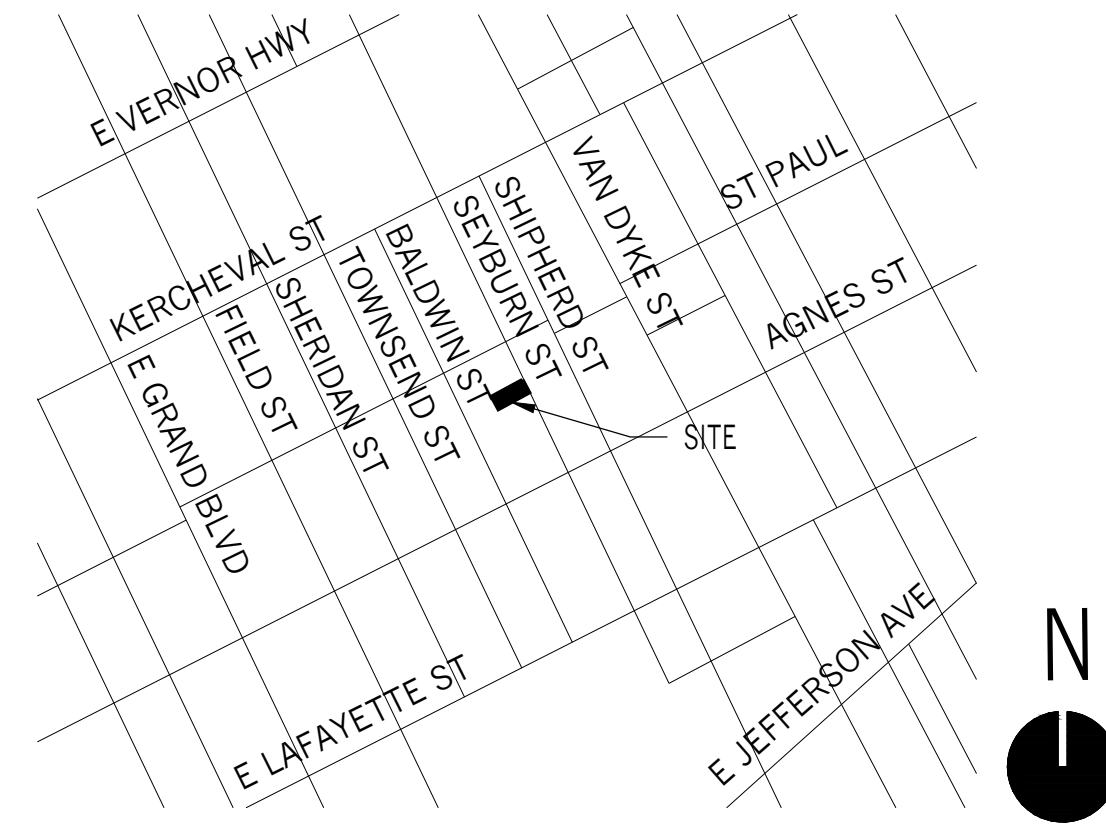
SEYBURN ATTIC RENOVATION & DORMER

ARCHITECT
 ELISE DECHARD
 END STUDIO, LLC
 1533 MERRICK STREET
 DETROIT, MI 48208
 908.419.8398
 ELISE@E-N-D-STUDIO.COM

CONTRACTOR
 TBD

STRUCTURAL ENGINEER
 TBD

MEP ENGINEER
 N/A



END STUDIO, LLC
 1533 Merrick Street
 Detroit, MI 48208
 908.419.8398
 e-n-d-studio.com

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

PROJECT INFORMATION

OWNER: KATE & ZAKARY TOOMEY
 ADDRESS: 1485 SEYBURN STREET
 DETROIT, MI 48214
 PARCEL ID NUMBER: 17011007.
 REGULATING BODY: CITY OF DETROIT
 CODE: 2015 MICHIGAN RESIDENTIAL CODE
 ZONING: R1 - LOW DENSITY RESIDENTIAL
 HISTORIC DISTRICT: WEST VILLAGE
 SUBDIVISION: WESSONS SUBDIVISION

ZONING REVIEW

PRIMARY STRUCTURE REGULATIONS

MAX. BUILDING HEIGHT 35'
 MAX. LOT COVERAGE 35%
 MIN. LOT WIDTH: 50'-0"
 MIN. LOT AREA: 5,000 SF
 FRONT YARD SETBACK 20'
 BACK YARD SETBACK 30'
 SIDE YARD SETBACK 4' MINIMUM / 14' COMBINED

EXISTING

USE: SINGLE-FAMILY RESIDENTIAL
 LOT SIZE: 4,356 SF
 LOT WIDTH: 35'-0"
 LOT DEPTH: 125'-0"
 EX. HOUSE FOOTPRINT: 1,300 SF
 LOT COVERAGE: 29.8%
 EX. HOUSE AREA 2,240 SF INCL. ATTIC > 7'-0"
 EX. BUILDING HEIGHT 27'-5" TO MEAN ROOF HT
 33'-0" OVERALL HEIGHT

PROPOSED

USE: SINGLE FAMILY RESIDENTIAL
 HOUSE FOOTPRINT: 1,300 SF
 LOT COVERAGE: 29.8%
 HOUSE AREA 2,270 SF INCL. ATTIC > 7'-0"
 BUILDING HEIGHT 27'-5" TO MEAN ROOF HT
 33'-0" OVERALL HEIGHT

SHEET LIST

#	DRAWING NAME	PERMIT SET SEPTEMBER 14, 2020
T-000	TITLE	•
G-001	GENERAL NOTES	•
A-100	ATTIC PLANS	•
A-200	ELEVATIONS	•
A-300	SECTIONS	•

SEYBURN ATTIC RENOVATION & DORMER
 1485 Seyburn Street
 Detroit, MI 48214

NO.	ISSUE/REV.	DATE
...	PERMIT SET	09/14/20

TITLE

T-000

DRAWING SYMBOL KEY

	EXISTING WALL TO REMAIN		DRYWALL / PLASTER
	NEW WALL CONSTRUCTION		EARTH / SOIL
	CAST IN PLACE CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT (CMU)		WOOD
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER
	CRUSHED STONE		WOOD - ROUGH BLOCKING
	STEEL		BATT INSULATION
	ALUMINUM		SPRAY FOAM INSULATION
	RIGID INSULATION		DEMO WALL
	ROOM TAG		SECTION
	DOOR TAG		DETAIL CALL OUT
	WINDOW TAG		FINISH TAG
	WALL TYPE		INTERIOR ELEVATION(S)
	ELEVATION MARKER		REVISION TAG
	EXTERIOR ELEVATION		LOT LINE
	FLOOR DRAIN		SETBACK
	ROOF DRAIN		STRUCTURAL GRID LINE

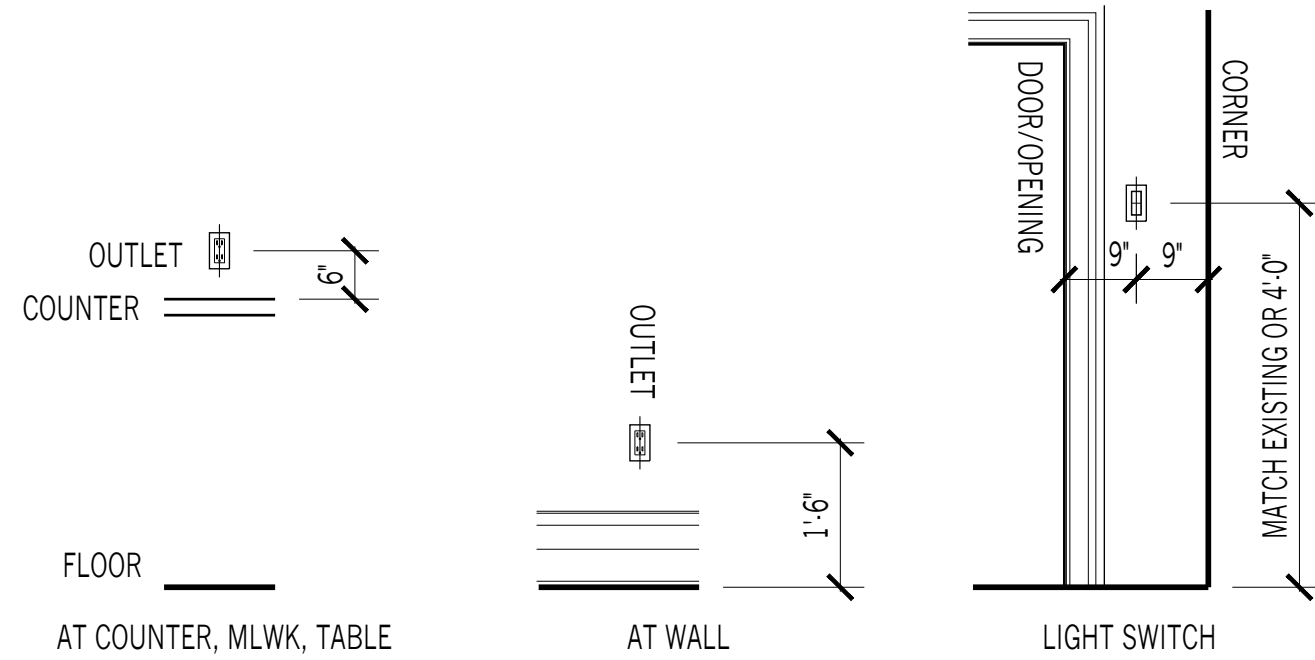
ABBREVIATIONS

ABV ABOVE	DEG DEGREE	GA GAUGE	OPP OPPOSITE	SS STAINLESS STEEL
ACOUS ACOUSTICAL	DIM DIMENSION	GALV GALVANIZED	OPT OPTION(AL)	STD STANDARD
ADA AMERICANS WITH DISABILITIES ACT	DW DRYWALL	GAR GARAGE	OZ OUNCE	STL STEEL
ADD ADDITIONAL	DISP DISPENSER	GC GENERAL CONTRACTOR	PH PENTHOUSE	STR STAIR
ADJ ADJACENT	DN DOWN	GFRG GLASS FIBER REINFORCED CONCRETE	PL PROPERTY LINE	STRUC STRUCTURE
AFF ABOVE FINISHED FLOOR	DR DOOR	LFB LBS	PLAS PLASTIC	SUP SUPPLY
ALT ALTERNATE	DSPT DOWNSPOUT	LF LINEAR FEET	PLUM PLUMBING	SUSP SUSPENDED
ALW ALLOW	DTL DETAIL	LN LINEAR	PLY PLYWOOD	SYM SYMMETRICAL
ALWB ALLOWABLE	DWG DRAWING	LT LIGHT	PNT PAINT	SYST SYSTEM
ALUM ALUMINUM	EA EACH	MACH MACHINE	POL POLISHED	UL UNDERWRITERS LABORATORY
ANOD ANODIZED	EC ELECTRICAL CONTRACTOR	MAS MASONRY	PRTN PARTITION	UON UNLESS OTHERWISE NOTED
ARCH ARCHITECT	EL ELEVATION	MAX MAXIMUM	PSF POUNDS PER SQUARE FOOT	
ASMB ASSEMBLY	ELEC ELECTRICAL	MC MECHANICAL CONTRACTOR	PT PRESSURE TREATED	
	ELEV ELEVATOR	MDF MEDIUM DENSITY FIBER BOARD	PTD PAINTED	
BLDG BUILDING	ENCL ENCLOSURE	HD HEAD		VNL VINYL
BLT-IN BUILT-IN	ENG ENGINEER	HDF HIGH DENSITY FIBER BOARD		VERT VERTICAL
	EQ EQUAL	MECH MECHANICAL		VEST VESTIBULE
CAB CABINET	EQUIP EQUIPMENT	MEMB MEMBRANE	QUAL QUALITY	VIF VERIFY IN FIELD
CEM CEMENT	EST ESTIMATE(D)	MFTD MANUFACTURED	QTY QUANTITY	
CIP CAST IN PLACE	EXH EXHAUST	MFTR MANUFACTURER	R RISER	
CL CENTER LINE	EXP JT EXPANSION JOINT	MH MANHOLE	RAD RADIUS	W WIDTH
CLG CEILING	EXIST EXISTING	MIN MINIMUM	RD ROOF DRAIN	W/ WITH
CLO CLOSET	EXT EXTERIOR	MIR MIRROR	RECT RECTANGULAR	W/O WITHOUT
CMU CONCRETE MASONRY UNIT	F&I FURNISH AND INSTALL	HVAC HEATING, VENTILATION & AIR CONDITIONING	REF REFERENCE	WAT WATER
	FAB FABRICATE	HW HOT WATER	REINF REINFORCED	
COL COLUMN	FBO FURNISH BY OWNER	HWH HOT WATER HEATER	REQD REQUIRED	WC WATER CLOSET
CONC CONCRETE	FLDR FLOOR DRAIN	ID INSIDE DIAMETER	REV REVISION	WD WOOD
CONST CONSTRUCTION	FIN FINISHED	IN INCH	RF ROOF	WP WATERPROOFING
CONT CONTINUOUS	FLG FLOORING	INCAD INCANDESCENT	RM ROOM	WPT WORKING POINT
COORD COORDINATE	FLR FLOOR	INSUL INSULATION	RO ROUGH OPENING	WT WEIGHT
CORR CORRIDOR	FLUOR FLUORESCENT	INT INTERIOR		
CPT CARPET	FND FOUNDATION			
CTR CENTER	FP FIRE PROOFING	JBOX JUNCTION BOX	SAN SANITARY	& + AND
CW COLD WATER	FO FACE OF	JC JANITORS CLOSET	SCHED SCHEDULE	@ AT
	FT FOOT/FEET	JST JOIST	SECT SECTION	
DBL DOUBLE	FTG FOOTING	JNT JOINT	SF SQUARE FOOT	
DEMO DEMOLITION		OC ON CENTER	SHT SHEET	
DIA DIAMETER		OD OUTSIDE DIAMETER	SIM SIMILAR	
		OPNG OPENING	SPEC SPECIFICATION	
			SQ SQUARE	

POWER, DATA, & LIGHTING KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX		SWITCH
	DUPLEX - SPECIFIC MOUNTING HT.		DIMMER SWITCH
	DUPLEX - GFI		THREE-WAY SWITCH
	QUADPLEX		THREE-WAY DIMMER SWITCH
	DUPLEX IN FLOOR		JAMB SWITCH
	DUPLEX IN CEILING		TELEPHONE
	SMOKE DETECTOR		INTERNET
	CARBON MONOXIDE DETECTOR		TELEVISION
	SPEAKER LOCATION		PENDANT FIXTURE
	SPEAKER INPUT		FLUSH MOUNT FIXTURE
	RECESSED FIXTURE		LED STRIP LIGHT
	WALL MOUNTED SCONCE		VENTILATION FAN
	WET-RATED FIXTURE		VENTILATION FAN W/ LIGHT
	TRACK LIGHTING		EXISTING FIXTURES

TYPICAL MOUNTING HEIGHTS



GENERAL NOTES

- THIS APPLICATION IS BEING FILED FOR AN ATTIC RENOVATION AND STAIR DORMER ADDITION TO AN EXISTING HOUSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL CODE AND ALL OTHER APPLICABLE LAWS, INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, ELECTRICAL, PLUMBING, ETC).
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS, ONLY WRITTEN DIMENSIONS SHALL BE USED. WHERE REQUIRED DIMENSIONS ARE MISSING, NOTIFY ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OR SURFACES, UNLESS OTHERWISE NOTED.

PLAN NOTES

- ALL NEW EXTERIOR WALLS TO BE 2X6 CONSTRUCTION @ 16" O.C. W/R-21 BATT INSULATION AND ONE (1) LAYER 1/2" GYP BOARD INTERIOR SIDE, UNLESS OTHERWISE NOTED.
- ALL NEW INTERIOR PARTITIONS TO BE 2X4 CONSTRUCTION @ 16" O.C. W/ ONE (1) LAYER 1/2" GYP BOARD EACH SIDE, UNLESS OTHERWISE NOTED.

DEMO PLAN NOTES

- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.

POWER, LIGHTING, & RCP NOTES

- UNLESS OTHERWISE NOTED, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE CENTERED ON WALL OR BETWEEN OR BENEATH THE WINDOWS, DOORS, OTHER WORK, OR OTHER FIXTURES THEY ARE LOCATED IN RELATION TO.
- RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING HEIGHTS DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE COMBINED IN BANKS OR STACKED VERTICALLY.
- ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.



END STUDIO, LLC

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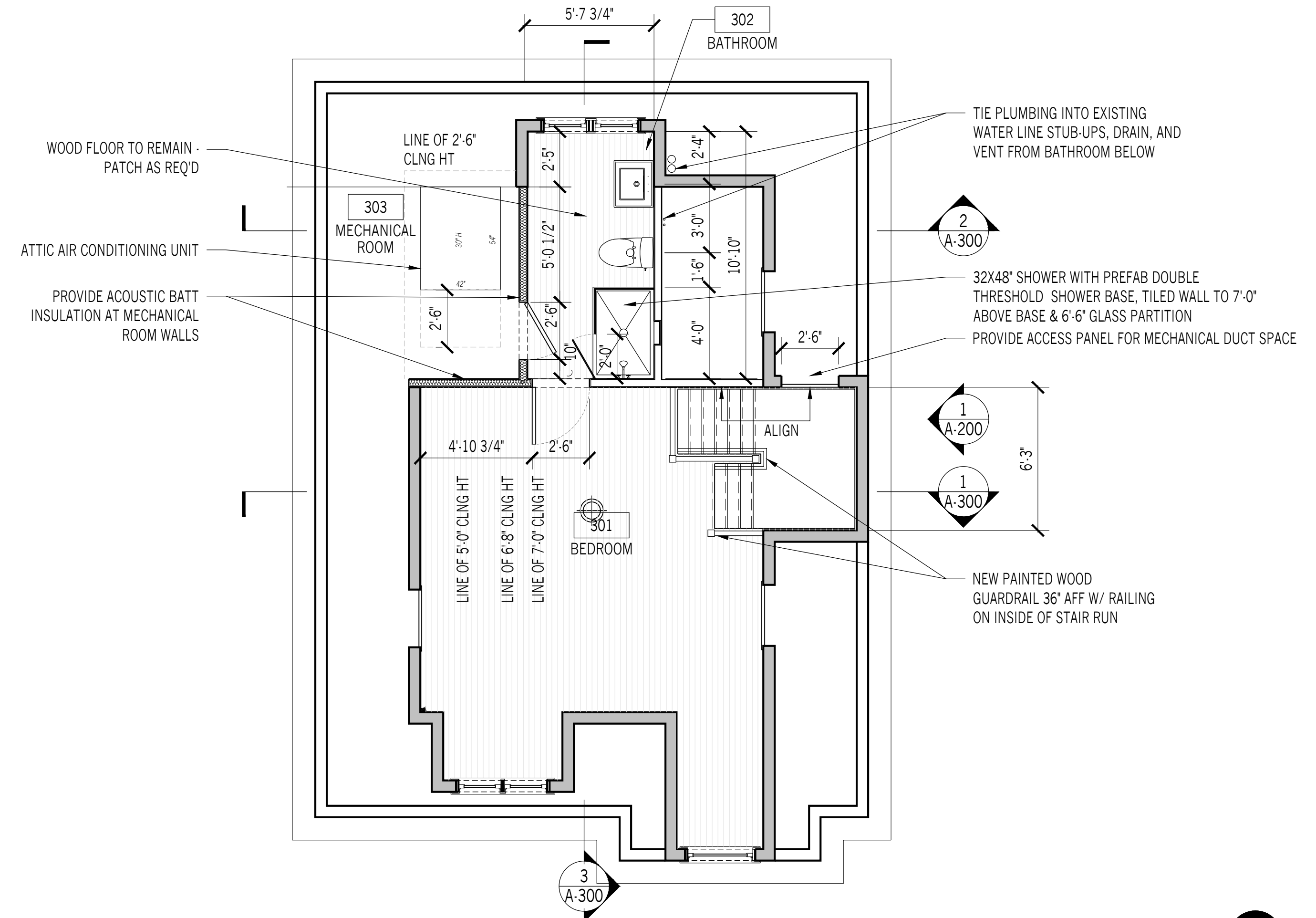
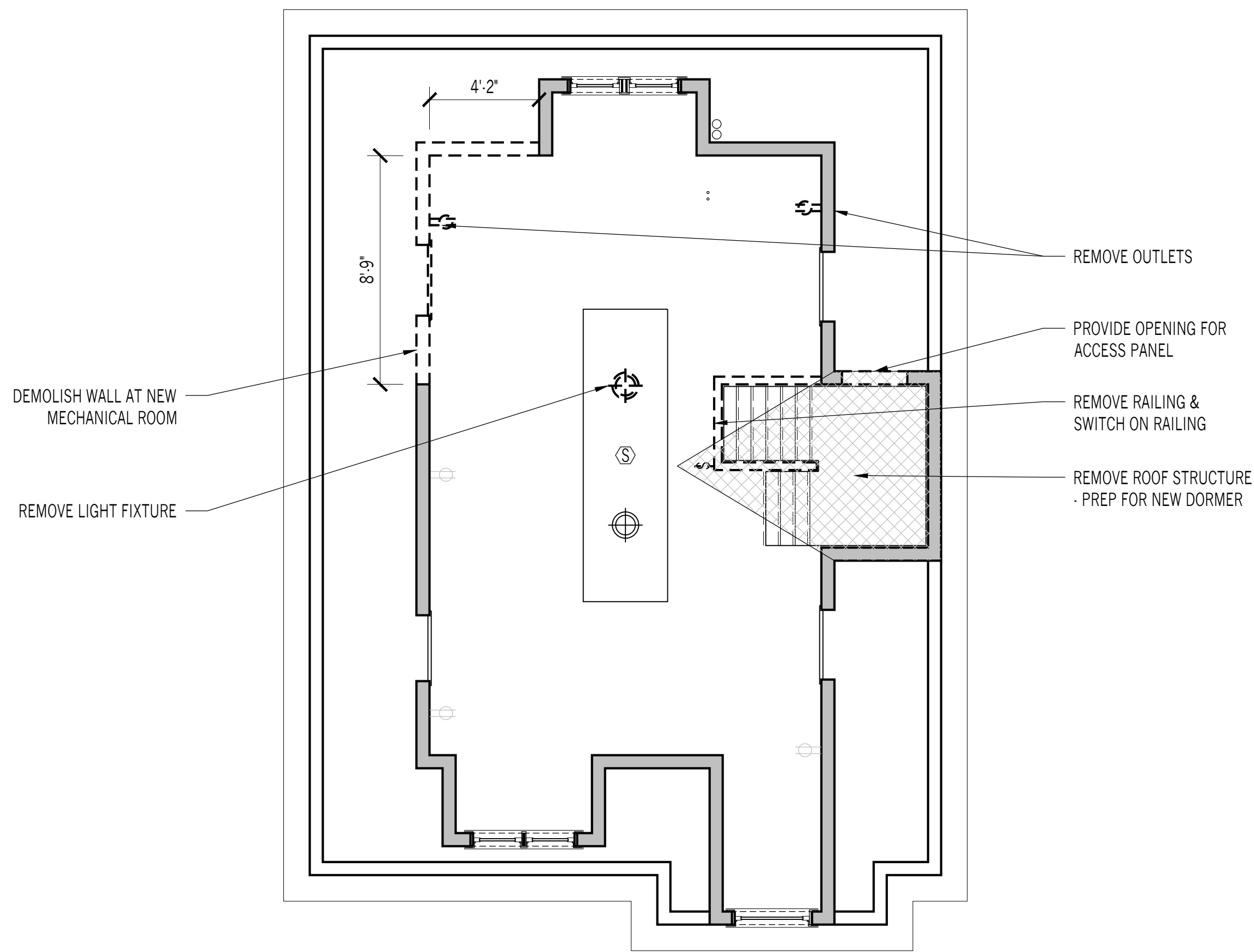
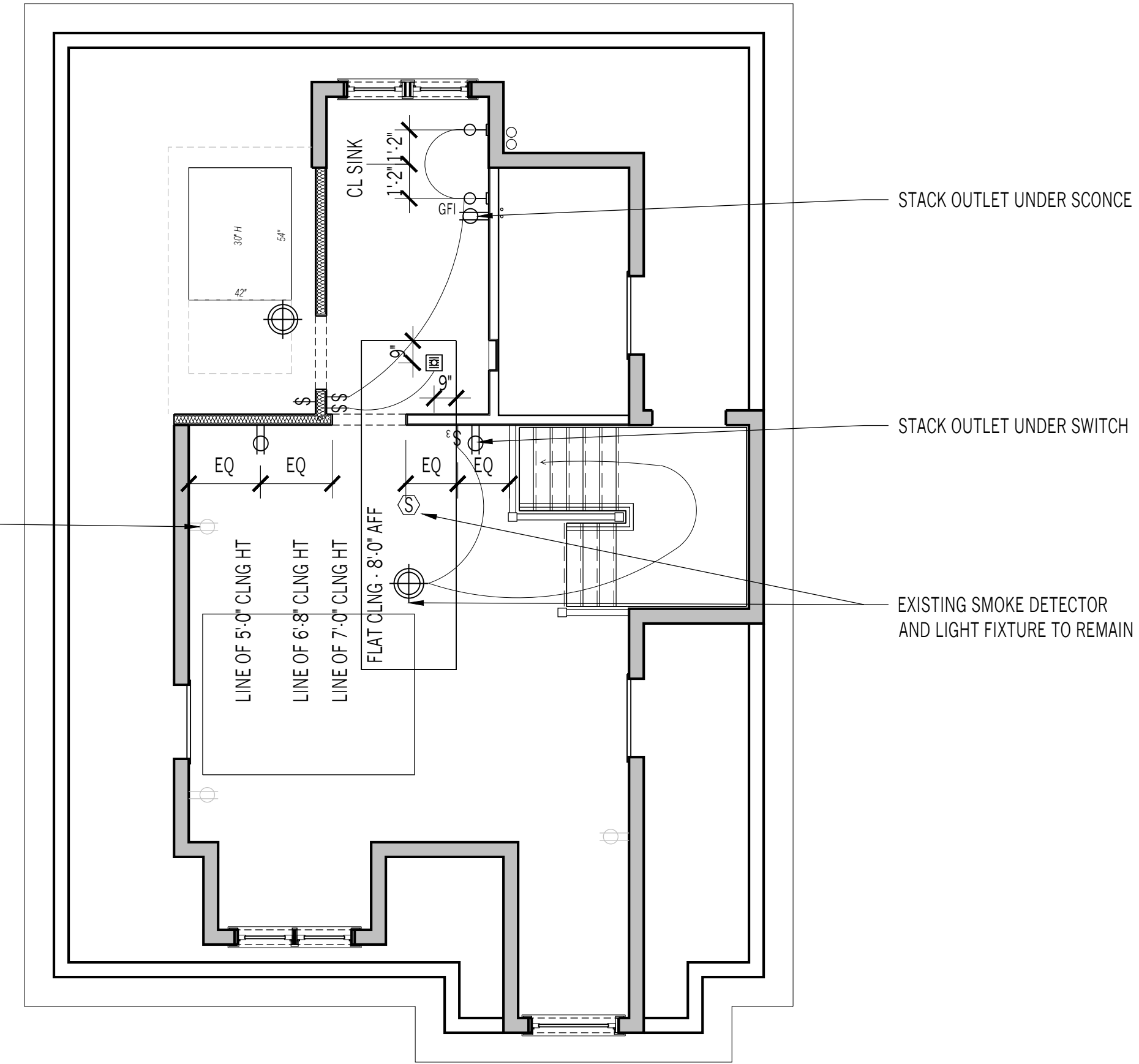
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GENERAL NOTES

G-001

NO.	ISSUE/REV.	DATE
---	PERMIT SET	09/14/20



WINDOW SCHEDULE									
#	MANUFACTURER	MODEL/STYLE	SIZE			FINISH			NOTES
			W	X	H	INT	EXT	GLAZ	
1	MARVIN OR APPROVED EQUAL	UWDH3028	2'-10"	X	5'-3"	PTD	PTD	DBL IGU	EGRESS WINDOW - 5.75F CLEAR OPENING REQ'D
2	MARVIN OR APPROVED EQUAL	UWDH3028	2'-10"	X	5'-3"	PTD	PTD	DBL IGU	EGRESS WINDOW - 5.75F CLEAR OPENING REQ'D

02 WINDOW SCHEDULE
 NTS

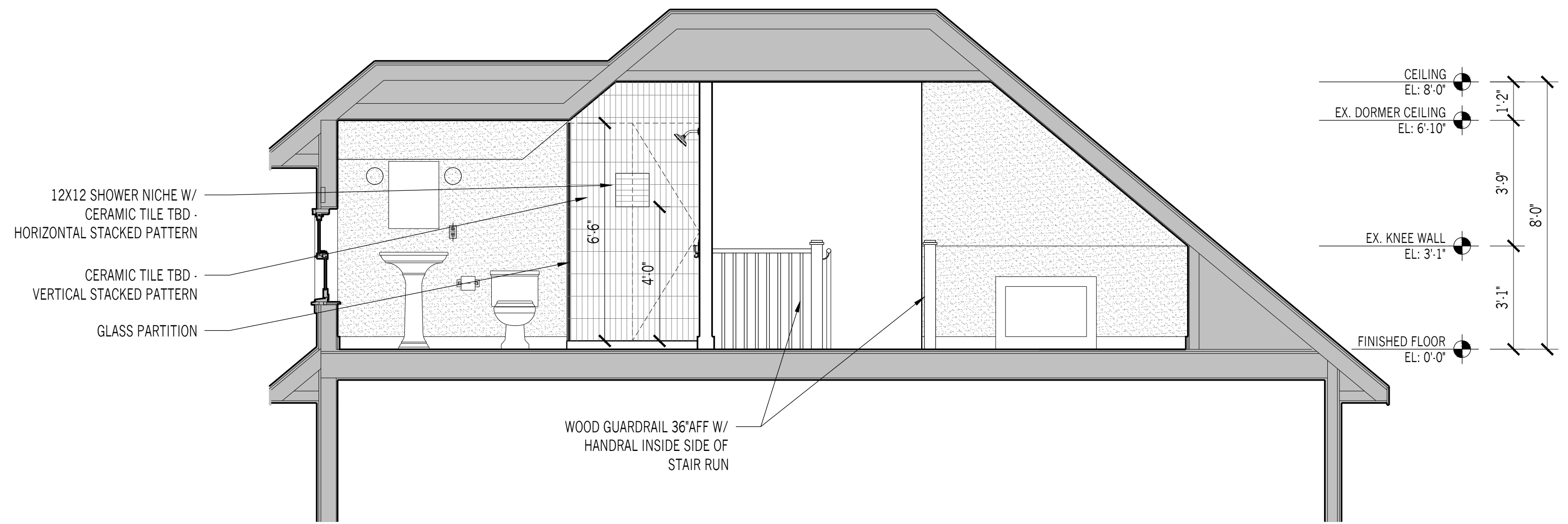


01 NORTH ELEVATION
 1/4" = 1'

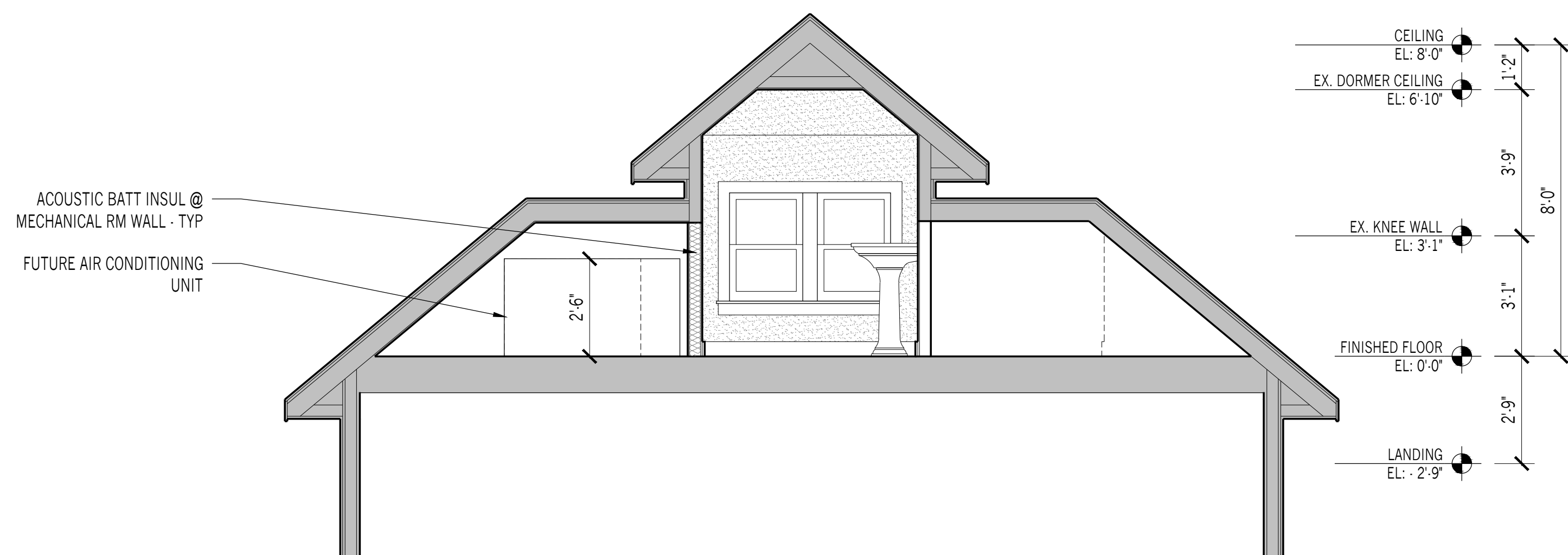
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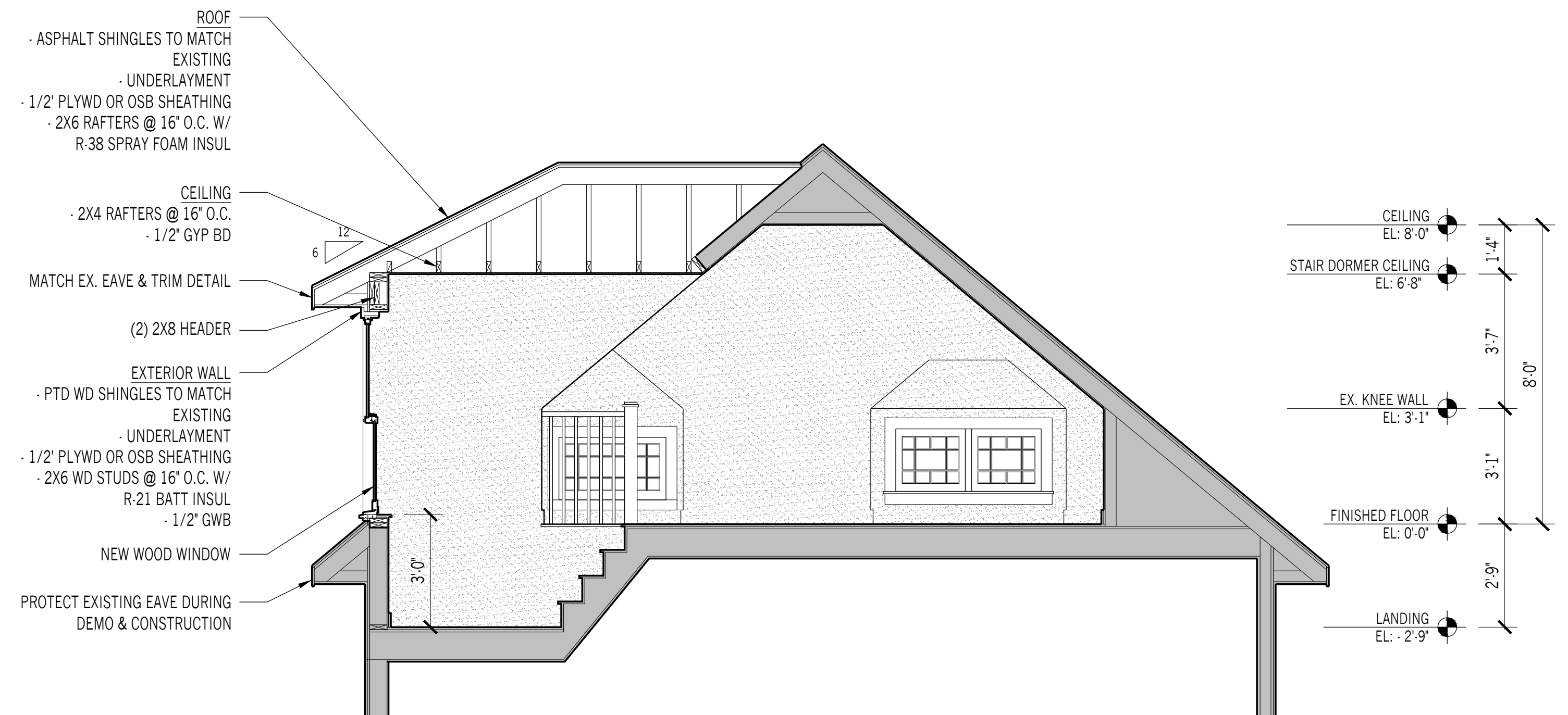
SECTIONS



03 LONGITUDINAL SECTION
 3/8" = 1"



02 TRANSVERSE SECTION THROUGH BATHROOM
 3/8" = 1"



01 TRANSVERSE SECTION THROUGH STAIR DORMER
 3/8" = 1"